

WESLEY CHAPEL PRE-OWNED AUTO SUPER CENTER

WESLEY CHAPEL BOULEVARD & OLD PASCO ROAD
WESLEY CHAPEL, FL

SITE IMPROVEMENTS

Owner/Developer:

WILLIAMS AUTOMOTIVE GROUP
5300 Eagleston Boulevard
Wesley Chapel, Florida 33544
(813) 407-5813
David Williams

Architect/Engineer:

SPRING ENGINEERING, INC.
3014 U.S. Highway 19
Holiday, Florida 34691
(727) 938-1516
Ryan King, P.E., P.S.M.

Surveyor:

AFN CONSULTING, INC.
9926 PREAKNESS STAKES WAY
DADE CITY, FL 33525
(813) 503-3228
David Graves, P.S.M.

Contractor:

WILLIAMS CONSTRUCTION GROUP, INC.
2287 W. EAU GALLIE BOULEVARD
MELBOURNE, FL 32935
(321) 757-5750
Michael Williams Sr.

Location Map:



SECTION 34, TOWNSHIP 26 S, RANGE 19 E
PARCEL ID: 12-26-19-0030-00000-00A0

Index:

- T1.0 TITLE SHEET
- C1.0 EXISTING CONDITIONS
- C2.0 SITE PLAN
- C2.1 DETAILS
- C3.0 PAVING, GRADING AND DRAINAGE PLAN
- C3.1 CONSTRUCTION SURFACE WATER MANAGEMENT PLAN
- C3.2 NPDES NOTES AND DETAILS
- C4.0 UTILITY PLAN
- C4.1 UTILITY DETAILS
- C4.2 PHOTOMETRIC PLAN
- C5.0 LANDSCAPE PLAN
- C5.1 IRRIGATION PLAN
- C5.2 LANDSCAPE AND IRRIGATION DETAILS
- C6.0 GENERAL NOTES

SIMULTANEOUS SUBMITTAL



SPRING ENGINEERING, INC.
ARCHITECTURE - ENGINEERING - LAND PLANNING
3014 U.S. HWY. 19, HOLIDAY, FL. (727) 938-1516

THE DRAINAGE PLAN PROVIDED
HEREIN IS BASED ON EXISTING FIELD
CONDITIONS OF THE SUBJECT AND
ADJACENT PROPERTIES.

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF SPRING
ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED,
PUBLISHED, OR USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT.
THEY ARE TO BE USED ONLY FOR THE SITE AND PROJECT IDENTIFIED
AND SHALL BE RETURNED UPON REQUEST.

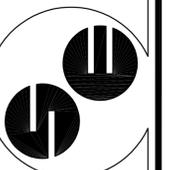
100%
CONSTRUCTION DOCS.
ISSUE DATE: 10.18.13

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |

SCALE: AS SHOWN
DRAWN BY: RJK
CHECKED BY: RJK
DATE: 10/18/13
RYAN J. KING, P.E.
P.E. NO. 64619

WESLEY CHAPEL PRE-OWNED
AUTO SUPER CENTER
WESLEY CHAPEL BOULEVARD & OLD PASCO ROAD
WESLEY CHAPEL, FL

SPRING ENGINEERING, INC.
ENGINEERING • LAND PLANNING • ARCHITECTURE
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516
FL COA NO. 00005158 & LICENSE NO. AIA-0001747



TITLE SHEET
DESIGNED BY: RJK
DRAWN BY: RJK
CHECKED BY: RPD
JOB NO.

2013-41

SHEET NO.

T1.0

SECTION 12, TOWNSHIP 26 SOUTH, RANGE 19 EAST
PASCO COUNTY, FLORIDA

NO TREES EXIST IN THE PROJECT AREA.

SURVEYOR NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY ONLY. PARCEL ID 12-26-19-0030-0000-00A0.
- BEARINGS AS SHOWN HEREON ARE BASED ON THE SOUTH RIGHT OF WAY LINE OF STATE ROAD 54 THE CHORD BEARING IS N88°08'20"E.
- ALL HORIZONTAL SURVEY INFORMATION PROVIDED IN FLORIDA STATE PLANE COORDINATES, NAD 1983, FLORIDA WEST ZONE. ALL ELEVATIONS ARE IN N.A.V.D. 1988.
- THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE SEARCH PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. 137013, EFFECTIVE AUGUST 26, 2013. ITEMS FROM SCHEDULE B, SECTION II: B1-B4, B-16, B-18 NOT PLOTTABLE. B15 AND B17 PLOTTED.
- THIS SURVEYOR IS NOT RESPONSIBLE FOR EASEMENTS, RIGHT-OF-WAYS, OR ENCUMBRANCES OF RECORD NOT SHOWN HEREON THAT HAVE NOT BEEN FURNISHED TO THIS SURVEYOR OF THAT HE HAS NO KNOWLEDGE THEREOF.
- NO ENCROACHMENTS NOTED.

LEGEND

- FIRE HYDRANT
- WATER VALVE
- WATER METER
- LIGHT POLE W/LIGHT
- GTE PEDESTAL
- UTILITY POLE
- SPOT ELEVATION

KEYNOTES

- CONTRACTOR TO PREPARE SURFACE FOR NEW CONSTRUCTION.
- CONTRACTOR TO SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT AND PREPARE SURFACE FOR NEW CONSTRUCTION.
- CONTRACTOR TO SAW CUT AND REMOVE EXISTING 2' WIDE CONCRETE CURB AND GUTTER AND PREPARE SURFACE FOR NEW CONSTRUCTION.
- CONTRACTOR TO INSTALL SILT FENCE PER DETAIL ON SHEET C3.1.

LEGAL DESCRIPTION

A PORTION OF TRACT A, OF SADDLEBROOK CORPORATE CENTER PHASE 1A ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28, PAGES 34 THROUGH 44 INCLUSIVE, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, LYING IN SECTION 12, TOWNSHIP 26 SOUTH, RANGE 19 EAST, PASCO COUNTY, FLORIDA AND BEING MORE PARTICULARLY AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID TRACT A, OF SADDLEBROOK CORPORATE CENTER PHASE 1A; THENCE ALONG THE NORTH BOUNDARY OF SAID TRACT A THE FOLLOWING TWO (2) COURSES: (1) NORTH 81°42'14" WEST, A DISTANCE OF 130.00 FEET TO A POINT OF CURVE TO THE LEFT; (2) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1577.67 FEET, AN ARC LENGTH OF 965.43 FEET, A CENTRAL ANGLE OF 35°03'41" AND A CHORD BEARING AND DISTANCE OF SOUTH 80°45'54" WEST, 960.44 FEET; THENCE DEPARTING SAID NORTH LINE, SOUTH 24°20'20" EAST, A DISTANCE 33.74 TO THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD 54, AS SHOWN ON PASCO COUNTY RIGHT OF WAY MAPS, PROJECT NO. C 1640.00, DATED 10/8/02 WITH A LAST REVISION DATED OF 10/03/03 AND THE POINT OF BEGINNING;

THENCE CONTINUE SOUTH 24°20'20" EAST, A DISTANCE OF 257.43 FEET; THENCE SOUTH 59°40'27" WEST, A DISTANCE OF 255.10 FEET; THENCE NORTH 34°43'19" WEST, A DISTANCE OF 159.92 FEET; THENCE NORTH 36°45'09" WEST, A DISTANCE OF 98.30 FEET TO SAID SOUTHERLY RIGHT OF WAY AND A POINT OF CURVATURE OF A NON-TANGENT CURVE; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY THE FOLLOWING THREE (3) COURSES: (1) NORTHEASTERLY ALONG THE ARC OF SAID NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 1,603.00 FEET, AN ARC LENGTH OF 270.74 FEET, A CENTRAL ANGLE OF 09°40'37", AND A CHORD BEARING AND DISTANCE OF NORTH 58°08'20" EAST, 270.42 FEET TO A NON-TANGENT LINE; (2) SOUTH 71°48'29" EAST, A DISTANCE OF 5.64 FEET TO THE POINT OF CURVATURE OF A NON-TANGENT CURVE; (3) NORTHEASTERLY ALONG THE ARC OF SAID NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 1,599.00 FEET, AN ARC LENGTH OF 30.92 FEET, A CENTRAL ANGLE OF 08°28'28" AND A CHORD BEARING AND DISTANCE OF NORTH 83°40'25" EAST, 30.92 FEET TO THE POINT OF BEGINNING.

CONTAINING 73,257 SQUARE FEET OR 1.6817 ACRES, MORE OR LESS.

TOGETHER WITH EASEMENTS FOR THE ABOVE DESCRIBED LAND, INTO, OVER AND ACROSS THE COMMON AREA(S) OF SADDLEBROOK CORPORATE CENTER PHASE 1A, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28, PAGES 34 THROUGH 44, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, AS CREATED AND SET FORTH IN THAT CERTAIN DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 4412, PAGE 240, AS AMENDED BY THAT CERTAIN AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 4584, PAGE 1914, AS FURTHER AMENDED BY THAT CERTAIN AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 4896, PAGE 1497, ASSIGNMENT AND ASSUMPTION OF DEVELOPMENT RIGHTS RECORDED IN OFFICIAL RECORDS BOOK 4896, PAGE 1531, FURTHER AMENDED BY THAT CERTAIN FIRST AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 5298, PAGE 380, AS FURTHER AMENDED BY THAT CERTAIN RE-RECORDED CORRECTIVE FIRST AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 5298, PAGE 1768, AS FURTHER AMENDED BY THAT CERTAIN SECOND AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 5386, PAGE 1673, AS FURTHER AMENDED BY THAT CERTAIN THIRD AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 5604, PAGE 1540, AS FURTHER AMENDED BY THAT CERTAIN FOURTH AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 6069, PAGE 1310, AS AFFECTED BY QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 6069, PAGE 1315, SUPPLEMENTAL DECLARATION FOR WITHDRAWAL OF LAND FROM DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 7314, PAGE 681 AND AS FURTHER AMENDED BY THAT CERTAIN FIFTH AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 7361, PAGE 770, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

AND TOGETHER WITH THAT CERTAIN EASEMENT AS CREATED AND SET FORTH IN THAT CERTAIN RECIPROCAL STORMWATER EASEMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 4896, PAGE 1508, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

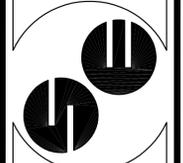
100%
CONSTRUCTION DOCS.
ISSUE DATE: 10.18.13

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

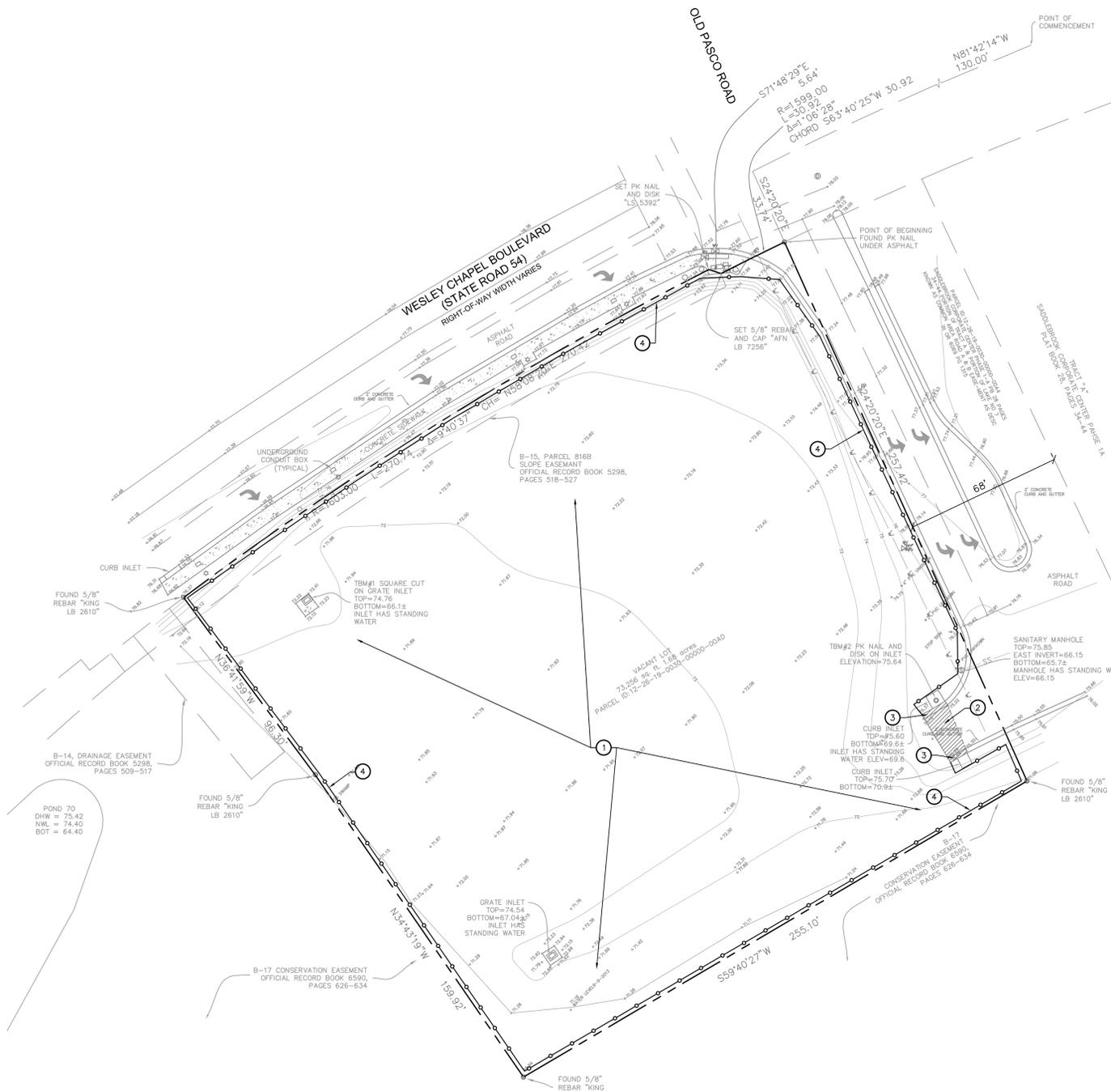
NOT TO SCALE
DATE: 10.18.13
BY: RJK
CHECKED BY: RPD

WESLEY CHAPEL PRE-OWNED
AUTO SUPER CENTER
WESLEY CHAPEL BOULEVARD & OLD PASCO ROAD
WESLEY CHAPEL, FL

SPRING ENGINEERING, INC.
ENGINEERING • LAND PLANNING • ARCHITECTURE
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516
FL COA NO. 00005158 & LICENSE NO. AIA-C001747



DEMOLITION AND EXISTING CONDITIONS PLAN
DESIGNED BY: RJK
DRAWN BY: RJK
CHECKED BY: RPD
JOB NO. 2013-41
SHEET NO. C1.0



DEMOLITION AND EXISTING CONDITIONS PLAN

SCALE: 1" = 30'



CONTRACTOR SHALL CONTACT ALL UTILITY PROVIDERS PRIOR TO ANY DEMOLITION WORK.

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF SPRING ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED, PUBLISHED, OR USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT. THEY ARE TO BE USED ONLY FOR THE SITE AND PROJECT IDENTIFIED AND SHALL BE RETURNED UPON REQUEST.

INVESTIGATE BEFORE YOU EXCAVATE
CALL SUNSHINE STATE ONE
1-800-432-4770
FL STATUTE 323.401 (1)(9) REQUIRES THIS NOTICE TO BE ON ALL EXCAVATION NOTICES.

SECTION 12, TOWNSHIP 26 SOUTH, RANGE 19 EAST
PASCO COUNTY, FLORIDA

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB.

PROJECT DATA

PROJECT NAME: WESLEY CHAPEL PRE-OWNED AUTO SUPER CENTER
 PROPOSED USE: AUTO SALES
 ZONING / LAND USE: RZ6822 FEBRUARY, 2009
 OWNER: WILLIAMS AUTOMOTIVE GROUP
 5300 EAGLESTON BOULEVARD
 WESLEY CHAPEL, FLORIDA 33544
 PHONE: (813) 407-5813
 FAX: (813) 994-0150
 DAVID WILLIAMS
 ENGINEER: SPRING ENGINEERING, INC.
 3014 US HIGHWAY 19
 HOLIDAY, FLORIDA 34691
 PHONE: (727) 938-1516
 FAX: (727) 942-4174
 SURVEYOR: APN CONSULTING, INC.
 9926 PREAKNESS STAKES WAY
 DADE CITY, FLORIDA 33525
 PHONE: (813) 503-3228
 FAX: (813) 437-4078
 DAVID GRAVES, PSM
 CONTACT PERSONS: SPRING ENGINEERING, INC.
 RYAN J. KING, P.E. PSM
 ROLAND P. DOVE, PE

SITE DATA

EXISTING LAND USE: VACANT
 PROPOSED USE: AUTO SALES
 ZONING / LAND USE: RZ6822 FEBRUARY, 2009
 SITE: MPUD / MU
 NORTH: CR 54 / R.O.W.
 SOUTH: MPUD / MU
 WEST: MPUD / MU
 EAST: MPUD / MU
 FUTURE LAND USE CLASSIFICATION: MU
 PARCEL I.D. #: 12-26-19-0030-00000-00A0
 FLOOD ZONE: THIS PROJECT IS LOCATED IN FLOOD ZONE 'A' ACCORDING TO F.I.R.M. NUMBER 120230 0430 E. PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, LAST REVISED SEPTEMBER 30, 1992.
 FLOOD EVACUATION ZONE: NONE
 BUILDING HEIGHT: TWO STORY 60'-0" MAX.
 F.A.R.: 0.06
 OCCUPANCY: AUTO DEALERSHIP
 BUILDING CONSTRUCTION: TO BE DETERMINED
 SITE AREAS: (TOTAL SITE = 9.03 ACRES)

| | | |
|----------------------|----------|---------|
| PROJECT AREA | 1.68 AC. | 100.0 % |
| - BLDG FOOTPRINTS | 0.10 AC | 6.0% |
| - NEW ASPHALT PAVING | 1.00 AC | 59.5% |
| - CONCRETE WALKS | 0.11 AC | 6.5% |
| - LANDSCAPING | 0.47 AC | 28.0% |
| - PERVIOUS AREA | 0.47 AC | 28.0% |
| - IMPERVIOUS AREA | 1.21 AC | 72.0% |

BUILDING SETBACKS:
 25' FRONT YARD
 0.0' SIDE YARD
 0.0' REAR YARD
 BUFFER YARDS:
 NORTH: TYPE 'D' - 15' WIDE
 SOUTH: TYPE 'A' - 10' WIDE
 WEST: TYPE 'A' - 10' WIDE
 EAST: TYPE 'D' - 10' WIDE
 REQUIRED PARKING (AUTO SALES BUILDING):
 1 SPACE PER 400 SF x 4,500 SF = 11 SPACES
 4 SPACE PER SERVICE BAY = 16 SPACES
 TOTAL SPACES REQUIRED: 27 SPACES
 STANDARD PARKING SPACES: = 122 SPACES
 CUSTOMER PARKING SPACES: = 15 SPACES
 HANDICAP PARKING SPACES: = 2 SPACES
 TOTAL SPACES PROVIDED: = 141 SPACES
 UTILITY COMPANIES:
 WATER: PASCO COUNTY
 IRRIGATION: PASCO COUNTY
 SEWER: PASCO COUNTY
 ELECTRIC: WITHLACOCHEE RIVER ELECTRIC
 TELEPHONE: VERIZON
 FIRE PROTECTION: PASCO COUNTY FIRE RESCUE

SITE KEY NOTES

- NEW HANDICAP SPACE WITH H.C. PARKING SIGN PER DETAIL ON SHEET C2.1.
- CONTRACTOR TO INSTALL NEW HDPC RAMP PER DETAIL ON SHEET C2.1.
- NEW 4" WHITE PAINTED PARKING STRIPES, TYPICAL.
- CONTRACTOR TO INSTALL NEW ASPHALT PAVEMENT PER DETAIL ON SHEET C3.0.
- CONTRACTOR TO INSTALL NEW CONCRETE PAVEMENT PER DETAIL ON SHEET C3.0.
- CONTRACTOR TO INSTALL NEW 4" THICK STAMPED CONCRETE SIDE WALK PER DETAIL ON SHEET C2.1.
- CONTRACTOR TO INSTALL NEW 6" VERTICAL CONCRETE CURB PER DETAIL ON SHEET C2.1.
- CONTRACTOR TO INSTALL NEW 6'-0" CMU DUMPSTER ENCLOSURE W/ METAL GATES PER DETAIL ON SHEET C2.1.
- PROPOSED LANDSCAPE AREA, SEE SHEET C5.0.
- NEW 24" PAINTED WHITE STOP BAR.
- CONTRACTOR TO INSTALL STOP SIGN (R1-1).
- CONTRACTOR TO MODIFY TOP TYPE AND TOP ELEVATION, SEE SHEET C3.0.
- CONTRACTOR TO MODIFY LID ELEVATION, SEE SHEET C3.0.



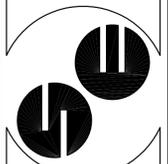
100%
CONSTRUCTION DOCS.
ISSUE DATE: 10.18.13

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

RYAN J. KING, P.E.
P.E. NO. 84619
DATE: _____
SCALE: _____

WESLEY CHAPEL PRE-OWNED
AUTO SUPER CENTER
WESLEY CHAPEL BOULEVARD & OLD PASCO ROAD
WESLEY CHAPEL, FL

SPRING ENGINEERING, INC.
ENGINEERING • LAND PLANNING • ARCHITECTURE
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516
FL COA NO. 00005158 & LICENSE NO. AIA-C001747



SITE PLAN
DESIGNED BY: RJK
DRAWN BY: RJK
CHECKED BY: RPD
JOB NO. _____

2013-41
SHEET NO. C2.0

INVESTIGATE BEFORE YOU EXCAVATE
CALL SUNSHINE STATE ONE 1-800-432-4770
ALL STATUTE, COUNTY, FEDERAL, AND LOCAL REQUIREMENTS MUST BE MET AND MAX. OF 3 DAYS NOTICE BEFORE YOU EXCAVATE.



SITE PLAN
SCALE: 1" = 30'



NO NEW EASEMENTS ARE PROPOSED AS PART OF THIS PROJECT.

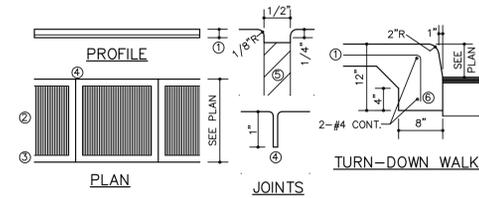
CONTRACTOR SHALL CONTACT ALL UTILITY PROVIDERS PRIOR TO ANY DEMOLITION WORK.

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF SPRING ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED, PUBLISHED, OR USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT. THEY ARE TO BE USED ONLY FOR THE SITE AND PROJECT IDENTIFIED AND SHALL BE RETURNED UPON REQUEST.

STANDARD NOTES

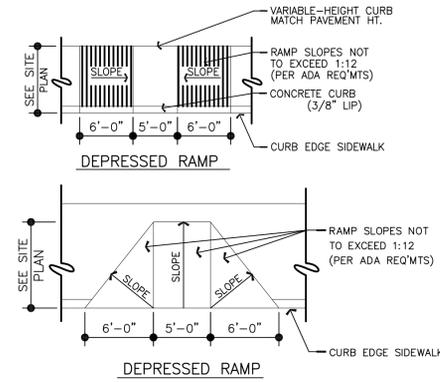
- A.) THE SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL THE SITE IS PERMANENTLY STABILIZED.
- B.) DURING CONSTRUCTION IF SOMETHING IS UNCOVERED, PARTICULARLY OF AN ARCHEOLOGICAL NATURE, THAT ALL WORK SHALL STOP AND THAT THE STATE ARCHEOLOGICAL OFFICE AND COUNTY ARE NOTIFIED.
- C.) PRIOR TO CONSTRUCTION, A BUILDING PERMIT SHALL BE OBTAINED FOR ALL STRUCTURES THAT HAVE A FOOTER, REGARDLESS OF SIZE, THROUGH PASCO COUNTY CENTRAL PERMITTING. (IE: INCLUDING BUT NOT INCLUSIVE BUILDINGS, ACCESSORIES, AND RETAINING WALLS).
- D.) ALL SODDED SLOPES OVER 4 TO 1, SHALL BE INSTALLED WITH SOD PEGS.
- E.) ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF.
- F.) IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATION, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE RESOURCES FOUND ON THE SITE.
- G.) THERE WILL BE NO ON-SITE BURNING PROPOSED ON THIS PROJECT.
- H.) FILL REQUIRED ESTIMATED TO BE ±11,640 C.Y., NOT TO BE USED FOR BID PURPOSES. TEST DRIVES MAY NOT BE CONDUCTED ON RESIDENTIAL STREETS.
- I.) AMPLIFIED SPEAKER/PUBLIC ADDRESS SYSTEMS ARE PROHIBITED EXCEPT WITHIN FULLY ENCLOSED BUILDINGS, NOT INCLUDING SERVICE BAYS AND/OR EXTERIOR WALLS THAT MAY BE OPENED.
- K.) ALL PROJECTS MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE No. 46-51. FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES. PER THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA-1, 16.4.3.1.3: WHERE UNDERGROUND WATER MAINS AN HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
- L.) PER NFPA-1, 18.3.4.1: CLEARANCES OF 7 1/2 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4 FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.
- M.) GATED ENTRIES REQUIRE A SIREN OPERATING SYSTEM OR A 3M OPTICOM SYSTEM FOR EMERGENCY ACCESS.
- N.) FIRE PROTECTION SHALL MEET THE REQUIREMENTS OF THE PASCO COUNTY CODE OF ORDINANCES, CHAPTER 46, FIRE PREVENTION AND PROTECTION, AND PLANS SHALL COMPLY WITH REFERENCED REQUIREMENTS.
- O.) UPON COMPLETION OF THE LAND DEVELOPMENT CONSTRUCTION, A PROFESSIONAL ENGINEER SHALL PROVIDE A CERTIFICATION TO PASCO COUNTY THAT THE PROJECT, INCLUDING EACH PAD AREA, COMPLIES WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL/GEOLOGICAL ENGINEERING REPORT.
- P.) IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON SITE.

SIDEWALK DETAIL

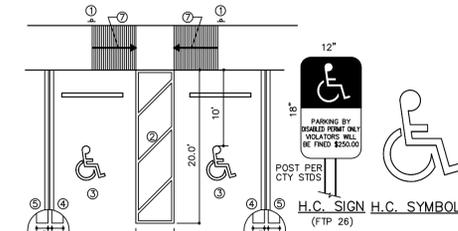


1. CONCRETE SIDEWALK: 4" THICK SLAB ON-SITE AND 6" THICK SLAB OFF-SITE WITH 6x6 #10/10 W.W.M. PLACED 2" ABOVE THE BOTTOM OF THE SLAB.
2. ROUGH BROOM FINISH.
3. 5" WIDE SMOOTH TROWEL FINISH ALONG SIDEWALK EDGE AND JOINTS.
4. CONTRACTION JOINT: 1/8" WIDE x 1" DEEP, SPACED 5' O.C.
5. CONSTRUCTION JOINT: USE PRE-MOLDED FILLER AT BUILDING AND UTILITIES.
6. TURN-DOWN WALK: TERMINATE SIDEWALK ALONG ASPHALT PAVING WITH A THICKENED FOOTING AS SHOWN.

CONCRETE RAMP DETAIL

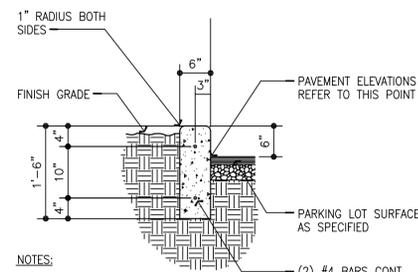


HC PARKING DETAIL



1. BOTTOM OF H.C. SIGN 84" ABOVE GRADE WITH A GALVANIZED METAL POST (ASTM A-499 GRADE 60, ASTM A-123 FINISH). ALL HARDWARE TO BE RUSTPROOF. INSTALL 1" DIA. X 2" DEEP, 3000 PSI CONCRETE FOOTING.
2. 6" WIDE PAINTED STRIPE (WHITE).
3. H.C. SYMBOL: 1 PER SPACE, PAINTED WHITE ON ASPHALT.
4. 6" WIDE PAINTED STRIPE (BLUE).
5. 6" WIDE PAINTED STRIPE (WHITE).
6. ALL BLUE TINTING TO MATCH FEDERAL STANDARD 595a, SHADE 15180.
7. HANDICAP RAMP PER ADA REQUIREMENTS. SLOPE 1:12 AND HAVE A SLIP-RESISTANT SURFACE.

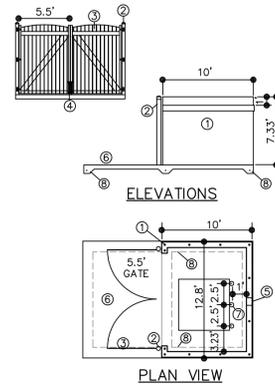
CURB DETAIL



NOTES:

1. ALL CURBING TO BE 2000 P.S.I. @ 28 DAY P.C.C. TYP.
2. PROVIDE EXPANSION JOINTS @ 20'-0" O.C.

DUMPSTER DETAIL



- ① 8" CMU DUMPSTER ENCLOSURE, W/ #5 VERTICAL REINFORCING @ 4' O.C. AS SHOWN.
- ② BOLLARD: 6" DIA. GALV. PIPE COL., 4" BELOW GRADE & EXTEND 8" ABOVE GRADE FILL WITH CONC. AND SET IN CONC. FOOTING. PAINT TO MATCH BLDG.
- ③ METAL GATES: 1x8 METAL PANELS SECURED TO 2" ANGLE FRAME AT TOP AND BOTTOM W/ 3/4" GALV. DECK SCREWS. PAINT TO MATCH BUILDING. 3/4" DIA. x 1.5" DEEP RECESSES FOR GATE CANE BOLTS AT OPEN AND CLOSED POSITION (FIELD VERIFY LOCATION).
- ④ RICHARD WILCOX HARDWARE: CANE BOLT NO. 524-P23, INDUSTRIAL STRAP HINGE NO. 434-P28 (3 PER GATE). PAINT TO MATCH BLDG.
- ⑤ 8"x8" DRAIN WEEP HOLES.
- ⑥ 6" THICK CONCRETE SLAB WITH 6x6 x 1.4x1.4 W.W.F. SLOPE TO DRAIN WEEP HOLES SLAB TO WITHSTAND 10,000 #/ SINGLE WHEEL LOADS.
- ⑦ BOLLARD: 6" DIA. GALV. PIPE COL., 3" BELOW GRADE & EXTEND 4" ABOVE GRADE FILL WITH CONC. AND SET IN CONC. FOOTING. PAINT OSHA YELLOW.
- ⑧ 8"x12" THICKENED SLAB FOOTING WITH 1-#5 REINFORCING CONT.

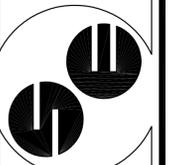
100%
CONSTRUCTION DOCS.
ISSUE DATE: 10.18.13

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

NOT FOR CONSTRUCTION WITHOUT SIGNATURE
RYAN J. KING, P.E.
P.E. NO. 64619
DATE

WESLEY CHAPEL PRE-OWNED
AUTO SUPER CENTER
WESLEY CHAPEL BOULEVARD & OLD PASCO ROAD
WESLEY CHAPEL, FL

SPRING ENGINEERING, INC.
ENGINEERING • LAND PLANNING • ARCHITECTURE
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516
FL COA NO. 00005158 & LICENSE NO. AIA-C001747



DETAILS
DESIGNED BY: RJK
DRAWN BY: RJK
CHECKED BY: RPD
JOB NO.

2013-41
SHEET NO.

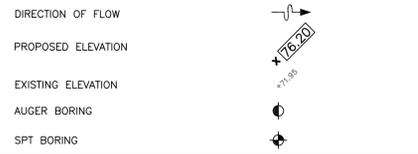
C21

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF SPRING ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED, PUBLISHED, OR USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT. THEY ARE TO BE USED ONLY FOR THE SITE AND PROJECT IDENTIFIED AND SHALL BE RETURNED UPON REQUEST.

SECTION 12, TOWNSHIP 26 SOUTH, RANGE 19 EAST
PASCO COUNTY, FLORIDA

GEOTECHNICAL REPORT
PREPARED BY UNIVERSAL
ENGINEERING SERVICES, DATED
SEPTEMBER 26, 2013

LEGEND



KEY NOTES

- ADJUST LID OF EXISTING SANITARY MANHOLE TO EL = 75.32.
- REMOVE EXISTING CURB INLET TOP AND REPLACE WITH A TYPE "D" GRATE INLET TOP, TOP EL = 75.05.
- EXISTING INLET TO REMAIN. CONTRACTOR TO FIELD VERIFY THAT THE STORM PIPE IS FREE FLOWING TO THE POND TO THE WEST, IS UNOBSTRUCTED AND GOOD WORKING CONDITION. ANY POTENTIAL ISSUES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- ADJUST INLET GRATE EL = 75.10.

GRADING NOTES

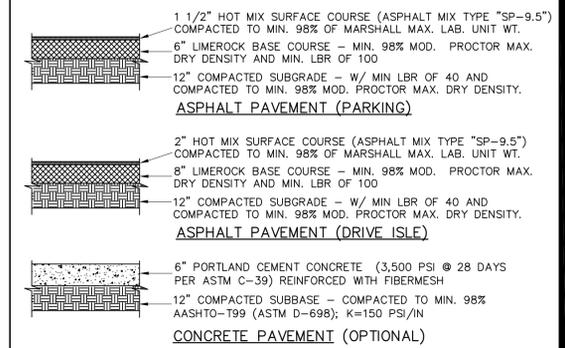
CONTRACTOR SHALL INSURE THAT THE CONSTRUCTION OF ALL HANDICAPPED PARKING SPACES, ACCESS AISLES, LOADING ZONES AND RAMPS COMPLY WITH THE ADA AND CABO/ANSI STANDARDS. SLOPES OF HANDICAPPED PARKING AND LOADING AREAS SHALL NOT EXCEED 2%. CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER (IN WRITING) OF ANY PROBLEM AREAS PRIOR TO CONSTRUCTION OR ASSUME RESPONSIBILITY FOR ALL NECESSARY RELATED CORRECTIONS.

ALL ORGANIC MATERIAL SHALL BE REMOVED FROM BENEATH THE FOOTINGS, SLABS AND PAVEMENT AND REPLACED WITH COMPACTED INORGANIC GRANULAR BACKFILL. EXCAVATION OF UNSUITABLE MATERIALS SHOULD EXTEND A MINIMUM DISTANCE OF 5' BEYOND THE FOOTPRINT OF THE BUILDING OR EDGE OF PAVEMENT.

FOR ADDITIONAL INFORMATION ON THE REQUIRED SITE PREPARATION REFER TO THE REPORT OF GEOTECHNICAL SUBSURFACE EXPLORATION.

ALL IMPERVIOUS SITE AREA DRAINAGE IS DESIGNED TO FLOW TO THE PROPOSED RETENTION POND. THE PERVIOUS SITE AREAS ON THE NORTH SIDE OF PROPERTY WILL CONTINUE FLOWING TO THE ADJACENT SITE. THE PERVIOUS AREAS TO THE SOUTH WILL BE ROUTED VIA GRASS SWALE TO THE REAR OF THE PROPERTY AS THEY DID PRIOR TO CONSTRUCTION.

PAVEMENT DETAIL



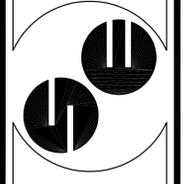
100%
CONSTRUCTION DOCS.
ISSUE DATE: 10.18.13

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |

NOT FOR CONSTRUCTION WITHOUT SIGNATURE
RYAN J. KING, P.E.
P.E. NO. 64619
DATE

WESLEY CHAPEL PRE-OWNED
AUTO SUPER CENTER
WESLEY CHAPEL BOULEVARD & OLD PASCO ROAD
WESLEY CHAPEL, FL

SPRING ENGINEERING, INC.
ENGINEERING • LAND PLANNING • ARCHITECTURE
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516
FL COA NO. 00005158 & LICENSE NO. AIA-C001747



PAVING, GRADING & DRAINAGE PLAN
DESIGNED BY: RJK
DRAWN BY: RJK
CHECKED BY: RPD
JOB NO.

2013-41
SHEET NO.
C3.0

INVESTIGATE BEFORE YOU EXCAVATE
CALL SUNSHINE STATE ONE
1-800-432-4770
FL STATUTE 323.402 (1)(9) REQUIRES NOTICE BEFORE YOU EXCAVATE



PAVING, GRADING & DRAINAGE PLAN

SCALE: 1" = 30'



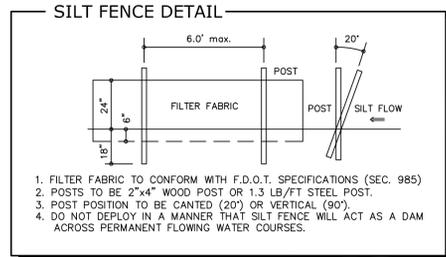
SURVEY NOTES

ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

CONTRACTOR SHALL CONTACT ALL UTILITY PROVIDERS PRIOR TO ANY DEMOLITION WORK.

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF SPRING ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED, PUBLISHED, OR USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT. THEY ARE TO BE USED ONLY FOR THE SITE AND PROJECT IDENTIFIED AND SHALL BE RETURNED UPON REQUEST.

SECTION 12, TOWNSHIP 26 SOUTH, RANGE 19 EAST
PASCO COUNTY, FLORIDA



EROSION CONTROL

TREE BARRICADES AND EROSION CONTROL: ALL EROSION CONTROL MEASURES (SILT BARRIERS) AND TREE BARRICADES MUST BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND REMAIN IN PLACE THROUGHOUT CONSTRUCTION. ENCRAGEMENT OR FAILURE TO MAINTAIN THESE BARRICADES COULD RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS AND/OR PERMIT REVOCATION. SILTATION BARRIERS SHALL BE MAINTAINED AND REPAIRED AT THE END OF EACH WORKING DAY. HAY BALES SHALL BE INSTALLED ONCE PERIMETER GRADING IS COMPLETED. STORMWATER FACILITIES SHALL HAVE HAY BALES PLACED AROUND THEIR ENTRANCES TO PREVENT SEDIMENT FROM BEING TRANSPORTED INTO THE STORMWATER SYSTEM. HAY BALES SHALL BE PLACED ALONG THE PERIMETER OF ALL DOWNSTREAM BOUNDARIES TO PROVIDE FILTRATION OF RUNOFF DURING CONSTRUCTION. THE HAY BALES SHALL REMAIN IN PLACE UNTIL THE ENGINEER HAS APPROVED THE VEGETATIVE COVER ALONG EMBANKMENTS PROVIDING RUNOFF TO THE PERIMETER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN SOIL EROSION CONTROL DEVICES. IF AT ANY TIME DRAINAGE STRUCTURES OR EROSION CONTROL DEVICES BECOME DAMAGED OR INOPERABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR THEM.

THE CONTRACTOR IS EXPECTED, AT THE END OF EACH DAY, TO HAVE THE SITE GRADED IN SUCH A WAY THAT ADJACENT PROPERTIES ARE NOT ADVERSELY IMPACTED BY EROSION OR SEDIMENT LEAVING THE SITE. CLEARED AREAS SHALL BE STABILIZED EARLY IN THE CONSTRUCTION PROCESS AND IF NATURAL PRECIPITATION DOES NOT PROVIDE PERIODIC WETTING OF THE SITE, THEN THE CONTRACTOR SHALL PROVIDE A METHOD OF SPRAYING THE SITE TO PREVENT WIND EROSION. CONTRACTOR SHALL CLEAR ONLY THAT AREA SHOWN TO BE CLEARED ON THE PLAN. CARE SHALL BE TAKEN TO DISTURB THE EXISTING VEGETATION IN ONLY THOSE AREAS UNDER CONSTRUCTION AT THAT TIME.

ALL CLEAR SITE AREAS SHALL BE KEPT FREE OF ANY SIGNAGE, PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND-A-HALF (3 1/2) FEET IN HEIGHT. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIP LINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE LOCAL GOVERNMENT. ALL TREE ROOTS EXISTING WITHIN APPROVED IMPROVEMENT AREAS AND ORIGINATING FROM A PROTECTED TREE SHALL BE SEVERED CLEAN AT THE LIMITS OF THE PRESERVED AREA. ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE PRUNED IN ACCORDANCE WITH THE NATIONAL ARBORIST ASSOCIATION (NAA) PRUNING STANDARDS.

EROSION CONTROL NOTES

1. THE PERIMETER CONTROLS (SILT FENCE AND HAY BALES) SHALL BE INSTALLED AROUND THE ENTIRE AREA TO BE DISTURBED, AS SHOWN.
2. HAY BALES TO BE PROVIDED AROUND THE NEW AND EXISTING CATCH BASINS IMMEDIATELY AFTER THE BASINS ARE INSTALLED AND BEFORE ANY EARTH WORK AND TEMPORARILY REMOVED FOR PAVEMENT INSTALLATION.
3. HAY BALE BARRIERS SHALL BE PROVIDED IN EXISTING UPLAND DITCHES DURING PIPE PLACEMENT AND DITCH FILLING OPERATIONS. SEE DETAIL THIS SHEET.
4. WASTE, SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER OR SANITARY WASTE ARE TO BE PROPERLY CONTROLLED AND NOT DISCHARGED TO THE DRAINAGE DITCHES.
5. TRUCKING OF SEDIMENTS AND GENERATION OF DUST BY OFF-SITE VEHICLES SHALL BE MINIMIZED.
6. PROVIDE TEMPORARY DISTURBED AREA STABILIZATION BY SPREADING RYE GRASS SEED AT THE RATE OF 168 LBS PER ACRE.
7. THE APPLICATION, GENERATION AND MIGRATION OF TOXIC SUBSTANCES SHALL BE LIMITED AND PROPERLY STORED AND DISPOSED OF.
8. EROSION CONTROL DEVICES SHALL BE MAINTAINED IN PROPER WORKING ORDER THROUGHOUT THE CONSTRUCTION. MAINTENANCE SHALL BE PERFORMED AS NEEDED. DEVICES SHALL BE REPAIRED AND/OR REPLACED AS REQUIRED. MATERIAL SHALL BE REMOVED WHEN SEDIMENT BUILD-UP REACHES 50% OF THE HEIGHT OF THE DEVICE.
9. ALL EFFORTS MUST BE UNDERTAKEN TO PREVENT ANY EROSION OR TURBID WATER FROM BEING DISCHARGED INTO WETLANDS AND/OR WATERS OF THE COUNTY. TURBID DISCHARGES THAT EXCEED 50 JTU'S (JACKSON TURBIDITY UNITS) OR 29 NTU'S (NEPHELOMETRIC TURBIDITY UNITS) ABOVE BACKGROUND LEVELS SHALL NOT BE EXCEEDED. HAY BALES, SILT FENCES OR OTHER EPA APPROVED METHODS OF EROSION/TURBIDITY CONTROL ARE REQUIRED. CONTROLS SHOWN ARE MINIMUM REQUIREMENTS. INSTALLATION AND MAINTENANCE OF ADEQUATE CONTROLS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. CONTROLS SHALL BE MAINTAINED IN GOOD CONDITION THROUGHOUT THE CONSTRUCTION PROCESS AND UNTIL ALL LOOSE SOILS HAVE BEEN STABILIZED. CONTROL DEVICES SHALL BE INSPECTED REGULARLY AND MODIFIED AS REQUIRED FOR PROPER OPERATION.

LEGAL DESCRIPTION

A PORTION OF TRACT A, OF SADDLEBROOK CORPORATE CENTER PHASE 1A, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28, PAGES 34 THROUGH 44 INCLUSIVE, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, LYING IN SECTION 12, TOWNSHIP 26 SOUTH, RANGE 19 EAST, PASCO COUNTY, FLORIDA AND BEING MORE PARTICULARLY AS FOLLOWS:

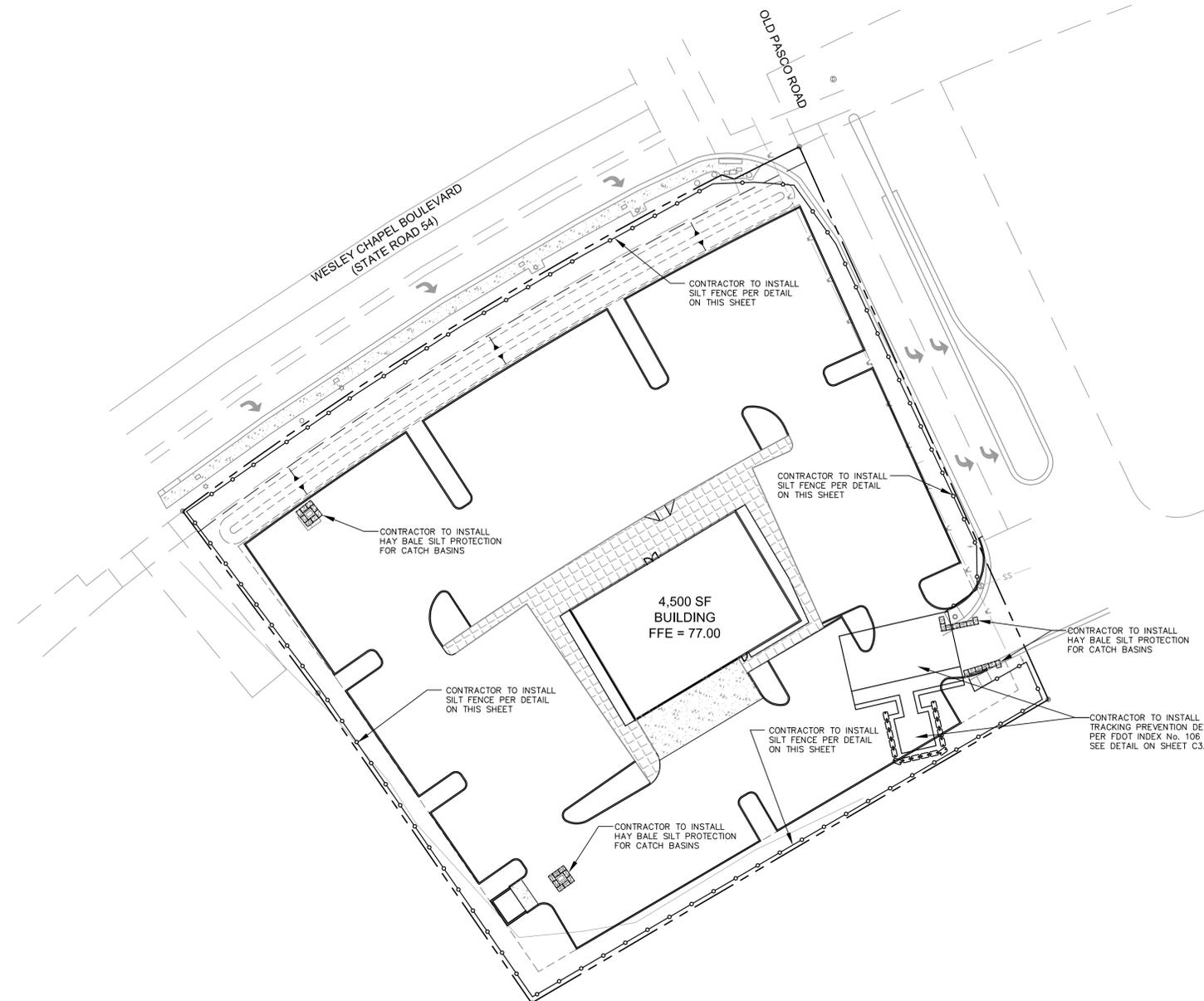
COMMENCE AT THE NORTHEAST CORNER OF SAID TRACT A, OF SADDLEBROOK CORPORATE CENTER PHASE 1A; THENCE ALONG THE NORTH BOUNDARY OF SAID TRACT A THE FOLLOWING TWO (2) COURSES: (1) NORTH 81°42'14" WEST, A DISTANCE OF 130.00 FEET TO A POINT OF CURVE TO THE LEFT; (2) SOUTHWESTERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 1577.67 FEET, AN ARC LENGTH OF 969.43 FEET, A CENTRAL ANGLE OF 35°03'41" AND A CHORD BEARING AND DISTANCE OF SOUTH 80°45'58" WEST, 950.44 FEET; THENCE DEPARTING SAID NORTH LINE, SOUTH 24°20'20" EAST, A DISTANCE 33.74 TO THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD 54, AS SHOWN ON THE PASCO COUNTY RIGHT OF WAY MAPS, PROJECT NO. C 1640, DATED 10/01/02 WITH A LAST REVISION DATED OF 10/03/03 AND THE POINT OF BEGINNING;

THENCE CONTINUE SOUTH 24°20'20" EAST, A DISTANCE OF 257.42 FEET; THENCE SOUTH 58°40'27" WEST, A DISTANCE OF 285.10 FEET; THENCE NORTH 34°43'19" WEST, A DISTANCE OF 159.92 FEET; THENCE NORTH 36°45'59" WEST, A DISTANCE OF 96.30 FEET TO SAID SOUTHERLY RIGHT OF WAY AND A POINT OF CURVATURE; THENCE ALONG SAID SOUTHERLY RIGHT OF WAY THE FOLLOWING THREE (3) COURSES: (1) NORTHEASTERLY ALONG THE ARC OF SAID NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 1,603.00 FEET, AN ARC LENGTH OF 270.74 FEET, A CENTRAL ANGLE OF 09°40'37"; AND A CHORD BEARING AND DISTANCE OF NORTH 58°09'20" EAST, 270.42 FEET TO A NON-TANGENT LINE; (2) SOUTH 71°48'29" EAST, A DISTANCE OF 5.64 FEET TO THE POINT OF CURVATURE OF A NON-TANGENT CURVE; (3) NORTHEASTERLY ALONG THE ARC OF SAID NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 1,599.00 FEET, AN ARC LENGTH OF 30.92 FEET, A CENTRAL ANGLE OF 0°32'28" AND A CHORD BEARING AND DISTANCE OF NORTH 63°40'25" EAST, 30.92 FEET TO THE POINT OF BEGINNING.

CONTAINING 73,257 SQUARE FEET OR 1.6817 ACRES, MORE OR LESS.

TOGETHER WITH EASEMENTS FOR THE BENEFIT OF THE ABOVE DESCRIBED LAND, INTO, OVER AND ACROSS THE COMMON AREA(S) OF SADDLEBROOK CORPORATE CENTER PHASE 1A, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28, PAGES 34 THROUGH 44, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, AS CREATED AND SET FORTH IN THAT CERTAIN DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 4412, PAGE 245, AS AMENDED BY THAT CERTAIN AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 4584, PAGE 1914, AS FURTHER AMENDED BY THAT CERTAIN AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 4896, PAGE 1497, ASSIGNMENT AND ASSUMPTION OF DEVELOPMENT RIGHTS RECORDED IN OFFICIAL RECORDS BOOK 4896, PAGE 1531, FURTHER AMENDED BY THAT CERTAIN FIRST AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 5208, PAGE 380, AS FURTHER AMENDED BY THAT CERTAIN RE-RECORDED CORRECTIVE FIRST AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 5506, PAGE 1788, AS FURTHER AMENDED BY THAT CERTAIN SECOND AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 6386, PAGE 1973, AS FURTHER AMENDED BY THAT CERTAIN THIRD AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 5604, PAGE 1540, AS FURTHER AMENDED BY THAT CERTAIN FOURTH AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 6089, PAGE 1310, AS AFFECTED BY QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 6089, PAGE 1315, SUPPLEMENTAL DECLARATION FOR WITHDRAWAL OF LAND FROM DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 7314, PAGE 681 AND AS FURTHER AMENDED BY THAT CERTAIN FIFTH AMENDMENT TO DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR SADDLEBROOK CORPORATE CENTER RECORDED IN OFFICIAL RECORDS BOOK 7361, PAGE 770, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

AND TOGETHER WITH THAT CERTAIN EASEMENT AS CREATED AND SET FORTH IN THAT CERTAIN RECIPROCAL STORMWATER EASEMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 4896, PAGE 1508, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.



CONSTRUCTION SURFACE WATER MANAGEMENT PLAN

SCALE: 1" = 30'



SURVEY NOTES

ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

CONTRACTOR SHALL CONTACT ALL UTILITY PROVIDERS PRIOR TO ANY DEMOLITION WORK.

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF SPRING ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED, PUBLISHED, OR USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT. THEY ARE TO BE USED ONLY FOR THE SITE AND PROJECT IDENTIFIED AND SHALL BE RETURNED UPON REQUEST.

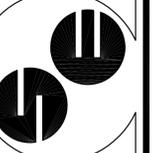
100% CONSTRUCTION DOCS.
ISSUE DATE: 10.18.13

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |

NOT TO SCALE
 RYAN J. KING, P.E.
 P.E. NO. 64619
 DATE

WESLEY CHAPEL PRE-OWNED
 AUTO SUPER CENTER
 WESLEY CHAPEL BOULEVARD & OLD PASCO ROAD
 WESLEY CHAPEL, FL

SPRING ENGINEERING, INC.
 ENGINEERING • LAND PLANNING • ARCHITECTURE
 3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516
 FL COA NO. 00005158 & LICENSE NO. AIA-C001747



CONSTRUCTION SURFACE WATER MANAGEMENT PLAN
 DESIGNED BY: RJK
 DRAWN BY: RJK
 CHECKED BY: RPD
 JOB NO.

2013-41
 SHEET NO.
C3.1

INVESTIGATE BEFORE YOU EXCAVATE
 CALL SUNSHINE STATE ONE
 1-800-432-4770
FL STATE STATUTE 322.02 (1)(9) REQUIRES NOTICE BEFORE YOU EXCAVATE.

NPDES SOIL EROSION CONTROL AND POLLUTION PREVENTION NOTES

ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL STANDARDS. AN EPA EQUIVALENT NOTICE OF INTENT LETTER SHALL BE POSTED IN THE JOB TRAILER AT ALL TIMES. THIS SITE SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS AT THOSE TIMES WHEN PORTIONS OF THE SITE ARE FINISHED AND READY FOR PERMANENT GROUND COVER. THIS WILL REQUIRE MULTIPLE EFFORTS BY THE GRASSING SUBCONTRACTOR TO STABILIZE ALL IMPACTED AREAS OF THE SITE IN AN ORDERLY FASHION. NO AREA OF THE SITE THAT RECEIVES FINAL GRADE SHALL BE LEFT FOR MORE THAN SEVEN (7) DAYS WITHOUT THE APPLICATION OF SEED AND MULCH.

A COPY OF THIS SHEET AND THE EROSION CONTROL PLAN MUST BE KEPT ON-SITE THROUGH THE DURATION OF CONSTRUCTION ACTIVITY. ANY CHANGES MADE TO THIS PLAN MUST BE NOTED, DATED, AND INITIALED BY THE GENERAL CONTRACTOR.

I. GENERAL
THE PROPOSED PLAN INCLUDES THE CONSTRUCTION OF A 4,500 SF BUILDING, XX,XXX SF OF PARKING AREA, STORMWATER AND UTILITY INFRASTRUCTURE.

THE INTENT OF THIS PLAN IS TO CONTROL EROSION AND RESULTING SILT TRANSPORTATION OFF SITE. THE ITEMS INDICATED ARE THE ENGINEERS BEST ESTIMATE OF REQUIREMENTS. MORE CONTROL MAY BE NEEDED DEPENDING ON SITE CONDITIONS, SEASON, ETC. CONTRACTOR SHALL INSTALL ADDITIONAL MEASURES AS NECESSARY TO COMPLY WITH THIS INTENT. ALL CHANGES TO THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MUST BE NOTED.

A. BEST MANAGEMENT PRACTICES PLAN WITH ALL SEDIMENT AND EROSION CONTROL PLANS SHALL BE KEPT ON-SITE WITH COPIES OF ALL INSPECTION REPORTS.

B. EXISTING TOPOGRAPHY AND PROPOSED TOPOGRAPHY ARE SHOWN ON THE GRADING PLAN.

C. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CONSTRUCTED PRIOR TO ANY LAND DISTURBING ACTIVITY TAKING PLACE.

D. OTHER LOCAL, STATE OR FEDERAL STATUTES OR REQUIREMENTS THAT MAY AFFECT THE PERMIT REQUIREMENTS FOR THIS SITE:

1. NPDES CONSTRUCTION STORM WATER MANAGEMENT DISCHARGE CRITERION
2. UNITED STATES ARMY CORPS OF ENGINEERS
3. LOCAL SEDIMENT CONTROL ORDINANCES
4. HAZARDOUS WASTE CONCERNS
5. PROTECTED SPECIES, HISTORICAL PRESERVATION, ETC.

E. MATERIAL NEEDS AFFECTING ENVIRONMENTAL ASPECTS OF THE SITE

1. HAUL-IN/HAUL-OFF
2. TOPSOIL SPOIL OR HAUL-IN

F. PLANNED PHASES OF CONSTRUCTION

1. FLAG ALL WORK LIMITS.
2. CALL THE STATE UTILITY PROTECTION SERVICE TO VERIFY LOCATION OF ANY EXISTING UTILITIES TWO (2) WORKING DAYS PRIOR TO START OF CONSTRUCTION.
3. NOTIFY SEDIMENT CONTROL INSPECTOR TWENTY-FOUR (24) HOURS PRIOR TO START OF CONSTRUCTION.
4. IDENTIFY AND PROTECT ALL EXISTING VEGETATION TO REMAIN.
5. PERFORM CLEARING AND GRADING REQUIRED FOR INSTALLATION OF PERIMETER CONTROLS.
6. INSTALL PERIMETER RUNOFF CONTROLS. NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL BEFORE PROCEEDING FURTHER.
7. INSTALL STORM DRAINAGE PROTECTION.
8. CLEAR AND STABILIZE CONSTRUCTION ACCESS.
9. COMPLETE ALL REQUIRED STOCKPILING, SITE CLEARING AND GRADING.
10. APPLY TEMPORARY OR PERMANENT STABILIZATION MEASURE IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK MAY BE DELAYED OR IS COMPLETE. DO NOT LEAVE LARGE AREAS UNPROTECTED FOR MORE THAN SEVEN (7) DAYS.
11. CONSTRUCT PARKING LOT BASE, BUILDING FOUNDATION AND INSTALL SITE UTILITIES.
12. WEATHER-IN BUILDING.
13. COMPLETE PARKING LOT CONSTRUCTION.
14. COMPLETE FINAL GRADING, STABILIZATION AND LANDSCAPING.
15. NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL TO REMOVE SEDIMENT AND EROSION CONTROL MEASURES.

II. IMPLEMENTATION

PLANNED CONSTRUCTION PHASING AND SPECIFIC REQUIRED SEDIMENT AND EROSION CONTROL MEASURES.

A. PHASE 1: TOPSOIL STRIPPING AND STOCKPILING - THIS IS THE PHASE AFTER ALL DEBRIS REMOVAL. TOPSOIL WILL BE STRIPPED AND STOCKPILED ON THE SITE. THE FOLLOWING REQUIREMENTS WILL APPLY DURING THIS PHASE OF CONSTRUCTION:

1. CONSTRUCTION OF AN FDOT SOIL TRACKING PREVENTION DEVICE TYPE A INDEX 106 SHALL BE COMPLETED TO PREVENT SILT FROM BEING DEPOSITED ON ROADWAYS.
2. SILT FENCES AND/OR DIVERSIONS DIRECTING RUNOFF TO TEMPORARY SEDIMENT BASINS SHALL BE PLACED ON THE DOWNHILL SIDE OF WHERE DIRT HAS BEEN DISTURBED BY GRADING TO PREVENT SILT FROM LEAVING THE SITE. SPECIFIC ATTENTION SHOULD BE PAID TO CULVERTS AND CONSTRUCTION ENTRANCES.
3. ALL DEBRIS SHALL BE KEPT AWAY FROM DITCHES AND STREAMS TO PREVENT RUNOFF ACCUMULATION WILL NOT CARRY DEBRIS DOWNSTREAM.
4. SILT FENCES OR DOUBLE SILT FENCES SHALL BE INSTALLED ALONG THE LOW SIDE OF THE SITE WHERE RUN-OFF FROM THE WORK AREA WILL LEAVE THE SITE OR ENTER A DITCH.
5. SILT TRAPS AND SEDIMENT BASINS SHALL BE INSTALLED WHERE/IF SHOWN ON THE PLANS IN ACCORDANCE WITH DETAILS SHOWN TO CATCH AND FILTER RUN-OFF PRIOR TO DISCHARGE FROM THE SITE.
6. ADDITIONAL SILT FENCING AROUND THE STOCKPILE AREA SHOULD BE INSTALLED TO PREVENT SILT WASH OFF FROM THE SITE.

B. PHASE 2: GRADING OPERATIONS - THIS PHASE IS THAT TIME WHEN EARTH IS BEING MOVED FROM ONE PORTION OF THE SITE TO ANOTHER OR IS BEING HAULED INTO OR HAULED OFF FROM THE SITE. THIS IS A CRITICAL TIME WHEN SEDIMENT AND EROSION CONTROL FACILITIES MUST BE CONTINUALLY CHECKED TO ENSURE EFFECTIVENESS. MEASURES SHOULD BE CHANGED OUT AS OFTEN AS REQUIRED TO MEET DEMANDS OF CURRENT SITE CONDITIONS. THE FOLLOWING WILL APPLY TO THIS STAGE OF CONSTRUCTION:

1. ALL SEDIMENT CONTROL FACILITIES REQUIRED AND INSTALLED DURING PHASE 1 SHALL BE LEFT IN PLACE AND MAINTAINED AS APPROPRIATE.
2. WHENEVER A SILT CONTROL FACILITY IS REMOVED BECAUSE OF CHANGING SITE CONDITIONS IT SHALL BE IMMEDIATELY REPLACED WITH ANOTHER MEASURE OF EQUAL OR GREATER EFFECTIVENESS THAT WILL CONTRIBUTE TO THE PROGRAM OF SILT AND EROSION CONTROL.
3. CUT SLOPES SHALL BE PROTECTED BY CONSTRUCTING SWALES AT THE TOP OF CUT SLOPES TO INTERCEPT RUN-OFF. SWALES WILL BE CONSTRUCTED WITH RIP-RAP CHECK DAMS OR SILT FENCES AS NECESSARY TO PREVENT EROSION AND SILTATION.
4. FILL SLOPES SHALL BE PROTECTED BY THE CONSTRUCTION OF BERMS AT THE TOP OF ALL FILL SLOPES TO PREVENT UNCONTROLLED RUN-OFF DRAINING DOWN FACE OF SLOPES.
5. WHEN SHOWN ON PLAN, RUN-OFF DIRECTING BERMS FOR UPGRADE RUN-OFF SHALL BE CONSTRUCTED ALONG SLOPE TO DRAIN SWAY THAT WILL CARRY RUN-OFF DOWN THE SLOPE. SLOPE DRAINS SHALL HAVE INLET SILT PROTECTION TYPICAL OF OTHER SITE STORM INLET PROTECTION.
6. SILT FENCES SHALL BE IN PLACE AT THE TOE OF ALL FILL SLOPES.
7. TERRACES, BERMS AND SWALES SHALL BE CONSTRUCTED AT INTERMEDIATE LOCATIONS THROUGHOUT THE SITE AS NECESSARY TO CONTROL EROSION AND SEDIMENT TRANSPORT. THESE DIVERSION FACILITIES SHALL BE SUPPLEMENTED AS APPROPRIATE WITH SILT FENCES AND RIP-RAP FILTER BERMS TO FILTER ACCUMULATED SEDIMENT FROM RUN-OFF PRIOR TO DISCHARGE FROM THE SITE.
8. SLOPES (CUT AND FILL) THAT ARE CONSTRUCTED IN THE FINAL CONFIGURATION SHALL BE COVERED WITH FOUR INCHES (4") OF TOPSOIL AND GRASSED AND MULCHED AS SOON AS GRADING IS COMPLETED. THIS GROWING VEGETATION WILL GIVE ADDED PROTECTION TO THE SLOPE.
9. PORTIONS OF THE SITE THAT ARE GRADED TO FINAL GRADE AND ARE NOT TO RECEIVE PAVEMENT OR BUILDINGS SHOULD HAVE FOUR INCHES (4") OF TOPSOIL SPREAD OVER THE SURFACE AND GRASSED AS SOON AS POSSIBLE IN CONSTRUCTION PROCESS. THIS PHASE OF CONSTRUCTION IS CRITICAL IN THE EROSION AND SEDIMENT CONTROL PROCESS.
10. STORM SEWERS SHOULD BE INSTALLED AS SOON AS POSSIBLE IN THE CONSTRUCTION PROCESS AND CONCURRENT TO GRADING OPERATIONS WHENEVER POSSIBLE TO ENSURE A SUCCESSFUL PROGRAM. CONSTRUCTION RUN-OFF SHALL BE DIRECTED TO STORM SEWER SYSTEM AS SOON AS POSSIBLE.

C. PHASE 3: STORM DRAINAGE AND UTILITY INSTALLATION PLAN - THIS PHASE WILL BE COMPLETED AFTER OR CONCURRENT WITH THE GRADING PHASE. THE FOLLOWING WILL APPLY TO THIS PHASE OF CONSTRUCTION:

1. ALL ASPECTS OF THE PREVIOUS PHASES SHALL BE MAINTAINED AS APPLICABLE.
2. STORM SEWERS THAT ARE INSTALLED SHALL BE PUT INTO SERVICE IMMEDIATELY. THE INLETS OF ALL STORM SEWERS SHALL BE PROTECTED WITH SILT TRAPS THAT PREVENT SEDIMENT FROM ENTERING PIPE. THIS PROTECTION CAN BE SILT FENCE OR RIP-RAP FILTER BERMS AS APPLICABLE AND SHOWN ON THE PLANS.
3. RIP-RAP AS SHOWN ON THE PLANS AND AS REQUIRED ON THE SITE WILL BE INSTALLED AT EMERGENCY SPILLWAYS TO PREVENT EROSION DUE TO OUTFLOW WATER VELOCITY. RIP-RAP SHALL BE EXTENDED DOWNSTREAM AS NEEDED TO PREVENT EROSION.
4. ADDITIONAL SILT FENCING SHALL BE INSTALLED AS NECESSARY TO PREVENT EROSION AND SILTATION RESULTING FROM STOCKPILED EXCAVATION MATERIAL FROM UTILITY INSTALLATION OPERATIONS.

D. PHASE 4: FINISH GRADING, CURB AND PAVEMENT INSTALLATION, LANDSCAPING - THIS IS THE WRAP-UP STAGE WHEN ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES WILL BE PHASED OUT. THE FOLLOWING WILL APPLY TO THIS PHASE:

1. ALL FACILITIES WILL BE MAINTAINED, MODIFIED OR REMOVED WHEN APPROPRIATE.
2. SILT TRAPS AROUND DRAINAGE INLETS WILL BE MAINTAINED, MODIFIED AS NECESSARY AND REMOVED WHEN APPROPRIATE.
3. ALL AREAS NOT RECEIVING PAVEMENT OR BUILDINGS SHALL HAVE FOUR INCHES (4") OF TOPSOIL SPREAD OVER THE AREA AND GRASSED, OR HAVE LANDSCAPING, MULCHING AND/OR SOD INSTALLED PER THE PLANS.
4. CONTRACTOR MAY TEMPORARILY COVER SOME AREAS WITH 2" THICK GRADED AGGREGATE IN LIEU OF GRASSING FOR TEMPORARY EROSION CONTROL.

E. LANDSCAPING / SEEDING

REFER TO LANDSCAPING PLAN FOR ACTUAL REQUIREMENTS FOR THE INSTALLATION OF LIME, FERTILIZER, SEED AND MULCH. GRASSING OPERATIONS SHALL BE COMPLETED THROUGHOUT CONSTRUCTION PROCESS AT THOSE TIMES WHEN PORTIONS OF THE SITE ARE FINISHED AND READY FOR PERMANENT GROUND COVER. THIS WILL REQUIRE MULTIPLE EFFORTS BY THE GRASSING SUBCONTRACTOR TO STABILIZE ALL IMPACTED AREAS OF THE SITE IN AN ORDERLY FASHION. NO AREA OF THE SITE THAT RECEIVES FINAL GRADE SHALL BE LEFT FOR MORE THAN SEVEN (7) DAYS WITHOUT THE APPLICATION OF SEED AND MULCH.

F. INSPECTION AND MAINTENANCE INSTRUCTIONS:
THE FOLLOWING WILL APPLY TO MAINTAINING EROSION AND SEDIMENT CONTROL FACILITIES:

1. ALL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSPECTED REGULARLY TO ENSURE THEY ARE EFFECTIVE. IN THE EVENT OF RAINFALL, MEASURES SHALL BE INSPECTED ONCE A WEEK (MINIMUM) AND WITHIN TWENTY-FOUR (24) HOURS AFTER EACH RAINFALL EVENT THAT IS 0.5" INCHES OR GREATER. ANY DAMAGED OR NONFUNCTIONAL FACILITY SHALL BE REPAIRED OR REPLACED IMMEDIATELY. INSPECTION REPORTS SHALL BE KEPT ON FILE IN THE CONSTRUCTION TRAILER. REQUEST A COPY OF AN ACCEPTABLE INSPECTION FORM FROM THE ENGINEER OF RECORD.

2. SEDIMENT TRAPS SHALL BE CHECKED REGULARLY FOR SEDIMENT CLEANOUT. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF OF THE DESIGN VOLUME OF THE NET STORAGE. SEDIMENT REMOVED FROM THE TRAP SHALL BE DEPOSITED IN SUITABLE AREAS AND IN SUCH A MANNER THAT IT WILL NOT ERODE AND CAUSE CONTINUED SEDIMENTATION PROBLEMS.

3. GRAVEL OUTLETS AND CHECK DAMS SHALL BE INSPECTED REGULARLY FOR SEDIMENT BUILDUP WHICH WILL PREVENT DRAINAGE. IF THE GRAVEL IS OBSTRUCTED, IT SHALL BE REMOVED AND CLEANED OR REPLACED.

4. SILT FENCE BARRIERS SHALL BE CHECKED REGULARLY FOR UNDERMINING OR DEGRADATION OF THE FABRIC. SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OF DEPOSIT REACHES ONE-THIRD THE HEIGHT OF THE BARRIER.

5. SEEDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RE-SEED AS NECESSARY.

6. IF ANY FACILITY IS DAMAGED DURING MAINTENANCE OR OTHERWISE, THE DAMAGED PORTION SHALL BE REMOVED AND REPLACED ACCORDING TO THE ASSOCIATED DETAIL.

7. IF SILT HAS OBSTRUCTED THE SEDIMENT CONTROL FACILITY TO THE POINT OF ELIMINATING ALL FILTERING EFFECTIVENESS, THE STRUCTURE SHALL BE REMOVED AND REPLACED WITH A NEW STRUCTURE IN ACCORDANCE WITH THE ASSOCIATED DETAIL.

8. CONSTRUCTION STAGING AREA SHALL HAVE ADDITIONAL STONE ADDED AS MUD COVERS STONE UNDER WET SOIL CONDITIONS. TIRES SHALL BE WASHED PRIOR TO ENTERING A PAVED ROADWAY.

9. QUALIFIED PERSONNEL WILL INSPECT ALL POINTS OF DISCHARGES, ALL DISTURBED AREAS OF CONSTRUCTION THAT HAVE NOT BEEN STABILIZED, CONSTRUCTED AREAS AND LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE AT LEAST ONCE EVERY 7 CALENDAR DAYS OR WITHIN 24 HOURS OF THE END OF AN RAINFALL EVENT THAT IS 0.5 INCHES OR GREATER. WHERE SITES HAVE BEEN FINALLY STABILIZED, SAID INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH UNTIL THE NOTICE OF TERMINATION IS FILED.

G. MAINTAINING EFFECTIVENESS:
CONTRACTOR SHALL INSPECT OVERALL PERFORMANCE OF EROSION AND SEDIMENT CONTROL FACILITIES AND AREAS DOWNSTREAM. IF SILT IS APPARENT DOWNSTREAM FROM STRUCTURES, SOME FAILURE HAS OCCURRED. IF SEDIMENT IS OBSERVED DOWNSTREAM, NOTIFY THE CIVIL ENGINEER. THE CIVIL ENGINEER WILL INSPECT THE CONDITION AND AFTER INSPECTION, DIRECT REPAIRS TO BE MADE AND PROBLEMS DISCOVERED, PERFORM APPROPRIATE REPAIR MEASURES AS NECESSARY. CONTRACTOR SHALL IMPLEMENT RECOMMENDED SOLUTIONS TO PROBLEM AREAS AS RECOMMENDED.

III. COMPLETION

A. PROJECT CLOSE OUT:
THE FOLLOWING SHALL BE DONE AT THE END OF THE PROJECT.

1. INSPECT SITE TO ENSURE THAT GROUND COVER IS COMPLETE AND ADEQUATE. ALL AREAS SHOULD BE EITHER PAVED OR HAVE SUFFICIENT GROUND COVER (MINIMUM 80% VEGETATIVE COVER) WITH NO APPARENT EROSION.
2. WHEN GROUND COVER IS COMPLETE AND APPROVED, ALL STRUCTURAL EROSION CONTROL FACILITIES MAY BE REMOVED ALONG WITH ANY ACCUMULATED SILT AND DEBRIS. AREAS DISTURBED BY STRUCTURE REMOVAL SHALL BE FINE GRADED, GRASSED, AND MULCHED AS REQUIRED.
3. IF GROUND COVER INSPECTION IS MADE AND PROBLEMS DISCOVERED, PERFORM APPROPRIATE REPAIR MEASURES AND RE-INSPECT PRIOR TO STRUCTURE REMOVAL.
4. ALL CONSTRUCTED AND EXISTING STORM SEWERS SHALL BE INSPECTED UPON REMOVAL OF INLET PROTECTION STRUCTURES CONTAINING SEDIMENT AND/OR CONSTRUCTION DEBRIS SHALL BE VACUUM CLEANED PRIOR TO FILING NOTICE OF TERMINATION WITH ENVIRONMENTAL PROTECTION AGENCY.

B. MISCELLANEOUS ISSUES

1. NO FUEL OR OIL SHALL BE STORED ON SITE WITHOUT PROPER CONTAINMENT.
2. NO OILS OR GAS SHALL BE DUMPED ON SITE.
3. LOCATION OF TRAILER AND PORTABLE RESTROOM FACILITY SHALL BE FIELD DETERMINED TO AVOID CONSTRUCTION ACTIVITIES. LOCATION SHALL CHANGE DURING CONSTRUCTION AS NECESSARY.
4. DE-WATERING OPERATIONS ARE NOT REQUIRED ON THIS PROJECT. IF REQUIRED, PUMPED GROUND WATER SHALL BE ROUTED THROUGH SILT CONTROL FACILITY TO FILTER WATER PRIOR TO DISCHARGE.
5. PROJECT SITE SHALL BE KEPT AS CLEAR OF ALL TRASH AND CONSTRUCTION DEBRIS. CONTRACTOR SHALL HAVE TRASH COLLECTED WEEKLY AND PLACED IN DUMPSTER TO BE HAULED OFF-SITE.
6. ALL WATER SUPPLY WILL BE PROVIDED FROM PUBLIC WATER SUPPLY.
7. ALL HUMAN WASTE SHALL BE COLLECTED IN A PORTABLE RESTROOM FACILITY. WASTES SHALL BE DISPOSED OF BY A LICENSED VENDOR.
8. ANY SPILLED OIL, GAS, ETC. RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE CONTAINED AND CLEANED IMMEDIATELY. CONTAMINATED SOILS SHALL BE DISPOSED OF IN AN APPROVED MANNER AT A LICENSED LANDFILL.
9. DUST SUPPRESSION OPERATIONS SHALL BE PERFORMED BY MEANS OF A WATER TRUCK DISTRIBUTE A FINE MIST OF WATER ON THE SITE SURFACE. CONCENTRATE STREAMS OF WATER SPRAY SHOULD BE AVOIDED.
10. A DESIGNATED CONCRETE STOCKPILE SHALL BE MAINTAINED ON THE SITE. ALL EXCESS SOILS AND CONCRETE SPOILS IN THIS AREA SHALL BE REMOVED FROM THE SITE UPON COMPLETION OF CONCRETE PLACEMENT ACTIVITIES.
11. ANY NON-STORM DISCHARGES SUCH AS, BUT NOT LIMITED TO, FIRE HYDRANT FLUSHINGS, WASH WATERS, DUST CONTROL, IRRIGATION DRAINAGE, ETC. THAT DO NOT CONTAIN HAZARDOUS MATERIALS SHALL BE PREVENTED FROM ALLOWING SEDIMENT TRANSPORT INTO STORM SEWERS. FLUSHINGS THAT CONTAIN HAZARDOUS MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWERS AND SHALL BE COLLECTED AND DISPOSED OF IN AN APPROVED MANNER.

C. CHARACTERISTICS OF THE DISCHARGE POINT:
SOILS DATA: FROM GEOTECHNICAL REPORT - EXISTING SOIL TYPES ARE POMONA FINE SAND AND SELLERS MUCKY LOAMY FINE SAND WITH AN ESTIMATED SEASONAL HIGH WATER TABLE OF 2.5-3.0 FEET BELOW EXISTING GRADE.

DRAINAGE AREA: 1.68 ACRES, THE PARKING LOT AREAS AND DRIVES WILL DRAIN INTO AREA INLETS WHICH DISCHARGE INTO AN EXISTING STORMWATER MANAGEMENT POND. THE ASPHALT VEHICULAR AREAS ARE GRADED AT 1-5% E. N.

LATITUDE AND LONGITUDE OF PROJECT: 82° 14' 14" N, 82° 22' 00" W, DISCHARGES INTO AN EXISTING STORMWATER MANAGEMENT POND DIRECTLY SOUTHWEST OF THE PROJECT SITE.

CONTROLS FOR OTHER POTENTIAL POLLUTANTS:
ALL CONSTRUCTION MATERIALS AND DEBRIS WILL BE PLACED IN A DUMPSTER AND HAULED OFF SITE TO A LANDFILL OR OTHER DISPOSAL SITE. NO MATERIALS WILL BE BURIED ON SITE.

FERTILIZERS AND PESTICIDES WILL BE USED AT A MINIMUM AND IN ACCORDANCE WITH THE MANUFACTURER'S SUGGESTED APPLICATION RATES.

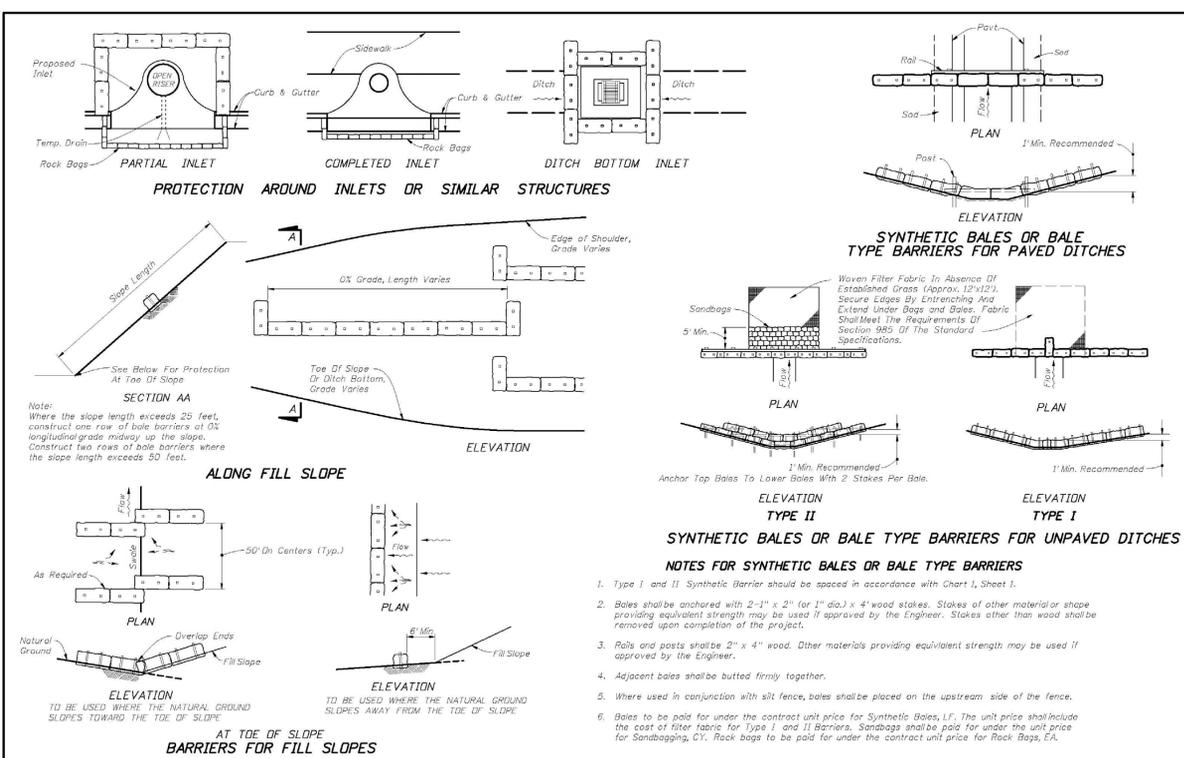
NON-STORMWATER DISCHARGES:
IT IS EXPECTED THAT THE FOLLOWING NON-STORMWATER DISCHARGES MAY OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD: WATER FROM WATER LINE FLUSHING, PAVEMENT WASH WATER (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED), AND UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION). IF SAID DISCHARGES DO OCCUR, THEY WILL BE DIRECTED TO THE RETENTION POND PRIOR TO DISCHARGE. TURBID WATER FROM THE STORMWATER POND SHALL NOT BE PUMPED DIRECTLY INTO THE REGIONAL DITCH, ANY PUMPED WATER FROM THE STORMWATER POND SHALL BE TREATED SO AS TO NOT ALLOW A DISCHARGE OF POLLUTED STORMWATER. TREATMENT CAN INCLUDE SILT FENCES, SETTLING PONDS, THE PROPER USE OF FLOCCULATING AGENTS OR OTHER APPROPRIATE MEANS.

CONTRACTOR/SUBCONTRACTOR CERTIFICATION:
I, CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

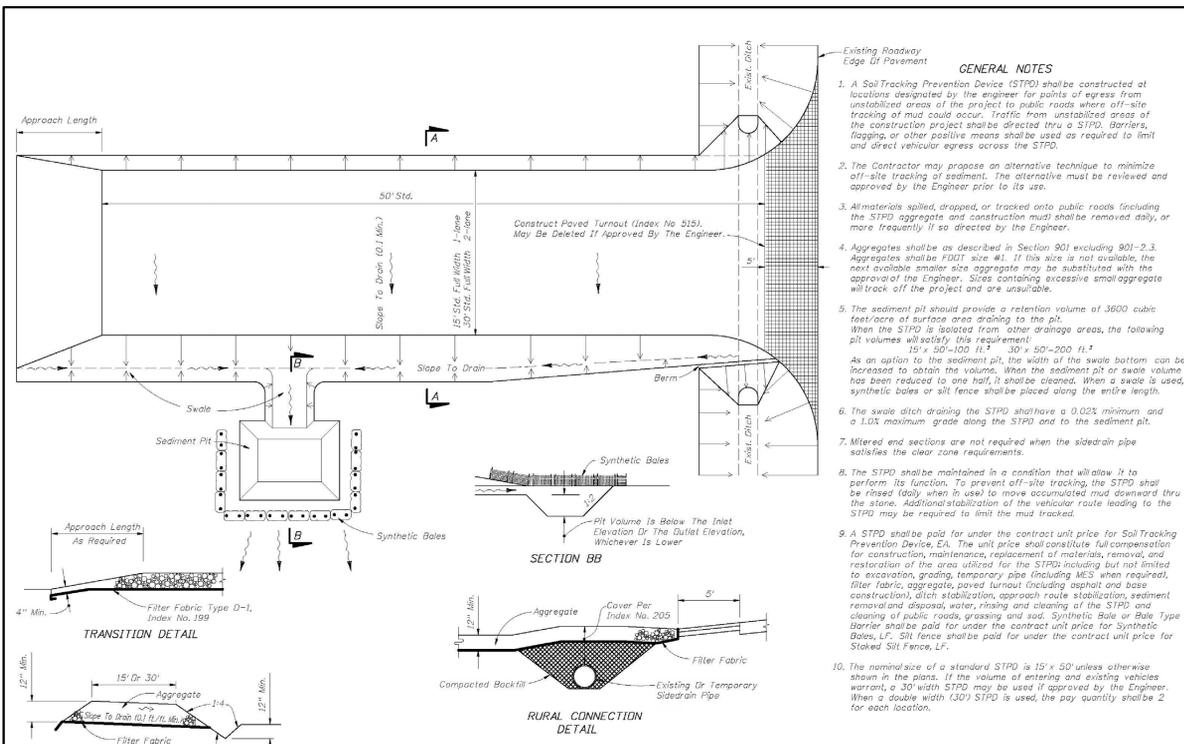
CONTRACTOR SUPERVISOR, TITLE: DAVID WILLIAMS, PRESIDENT
CONTRACTOR COMPANY: WILLIAMS AUTOMOTIVE GROUP

STANDARD PERMIT CONDITIONS:
I, CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

RYAN KING, P.E., P.S.M.
SPRING ENGINEERING, INC.



| | | | |
|---|--|---------------|-----------|
| 2010 FDOT Design Standards | | Let. Revision | Sheet No. |
| | | 07/01/09 | 2 of 3 |
| TEMPORARY EROSION AND SEDIMENT CONTROL | | 102 | |



| | | | |
|--|--|---------------|-----------|
| 2010 FDOT Design Standards | | Let. Revision | Sheet No. |
| | | 07/01/09 | 1 of 1 |
| SOIL TRACKING PREVENTION DEVICE | | TYPE A | |
| | | 106 | |

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF SPRING ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED, PUBLISHED, OR USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT. THEY ARE TO BE USED ONLY FOR THE SITE AND PROJECT IDENTIFIED AND SHALL BE RETURNED UPON REQUEST.

100%
CONSTRUCTION DOCS.
ISSUE DATE: 10.18.13

| REV. | DATE | DESCRIPTION |
|------|------|-------------|
| | | |
| | | |
| | | |

RYAN J. KING, P.E.
P.L. NO. 64619

WESLEY CHAPEL PRE-OWNED
AUTO SUPER CENTER
WESLEY CHAPEL, FL

WESLEY CHAPEL BOULEVARD & OLD PASCO ROAD

WESLEY CHAPEL, FL

SPRING ENGINEERING, INC.
ENGINEERING • LAND PLANNING • ARCHITECTURE

3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516

FL COA NO. 00005158 & LICENSE NO. AA-C001747

NPDES NOTES AND DETAILS

DESIGNED BY: RJK

DRAWN BY: RJK

CHECKED BY: RPD

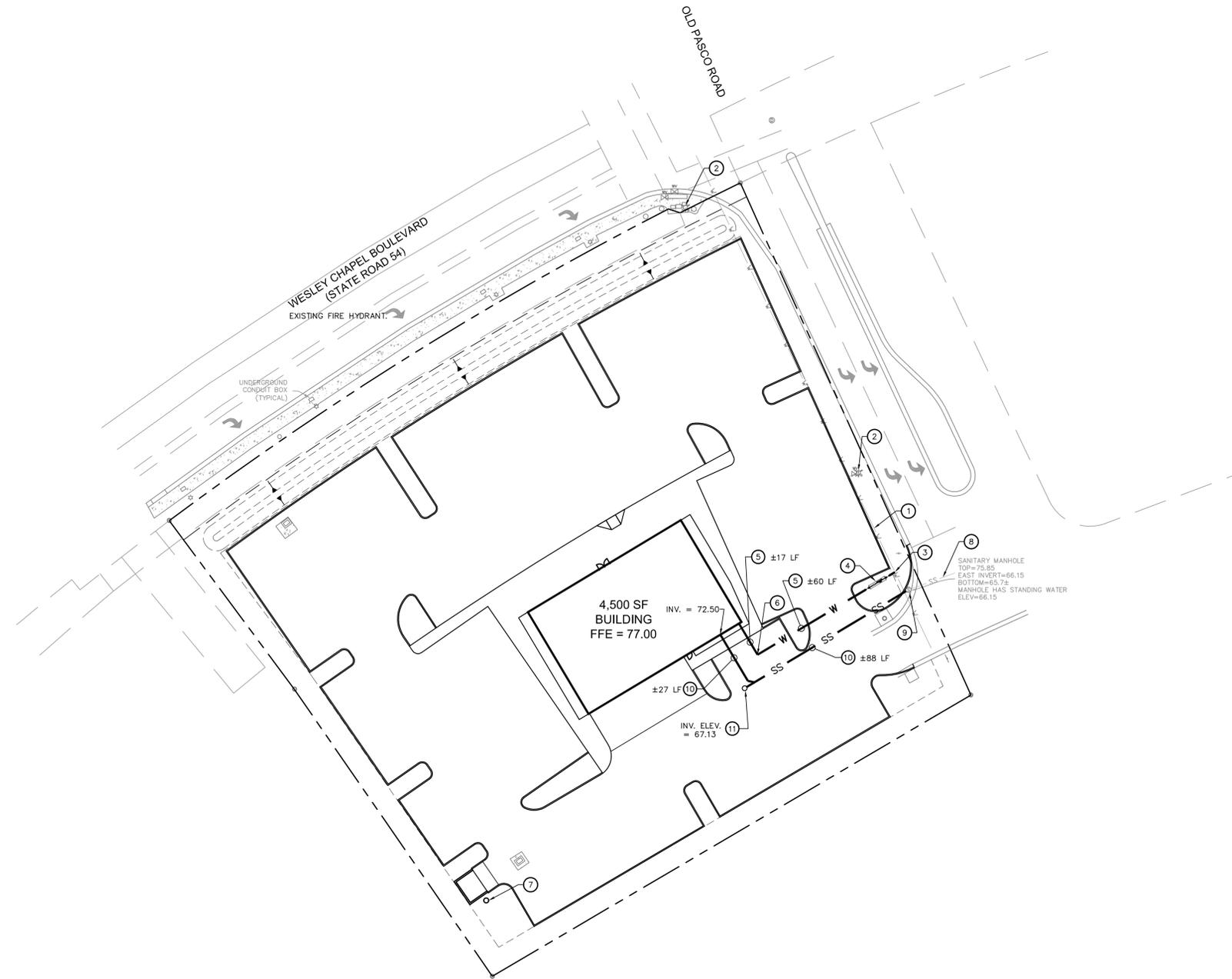
JOB NO.

2013-41

SHEET NO.

C3.2

SECTION 12, TOWNSHIP 26 SOUTH, RANGE 19 EAST
PASCO COUNTY, FLORIDA



UTILITY CONTACTS

| | |
|------------------|--|
| POTABLE WATER: | PASCO COUNTY UTILITIES 7530 LITTLE ROAD NEW PORT RICHEY, FL 34654 (727) 847-8145 |
| ELECTRICAL: | DUKE ENERGY 4121 ST. LAWRENCE DRIVE NEW PORT RICHEY, FL 34653 BOB GUSKEY (727) 372-5167 |
| TELEPHONE: | VERIZON 610 ZACK ST 9th FLOOR TAMPA, FL 33602 JACKIE (800) 483-5000 Ext. 25652 |
| FIRE PROTECTION: | PASCO COUNTY FIRE RESCUE 4111 LAND O'LAKES BOULEVARD LAND O'LAKES, FL 34639 SCOTT CASSIN (813) 929-2750 |

- UTILITY NOTES**
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TESTING.
 - CONTRACTOR SHALL COORDINATE WITH COUNTY PRIOR TO SUBMITTING BID.
 - CONTRACTOR IS TO FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND CONTACT THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
 - ALL DISTURBED RIGHT-OF-WAY SHALL BE SODED. CONTRACTOR TO NOTIFY PUBLIC WORKS 24 HOURS PRIOR TO BEGINNING ANY WORK IN THE COUNTY RIGHT-OF-WAY AND PRIOR TO PLACEMENT OF CONCRETE, ASPHALT OR SOD FOR GRADE VERIFICATIONS.
 - ANY TRENCHES THAT PASS WITHIN 20' OF THE TRUNK OF AN EXISTING TREE MUST BE HAND DUG AND ANY ROOTS OVER 1" IN DIAMETER MUST BE TRENCHED UNDER TO ALLOW THE ROOT TO REMAIN IN TACK.
 - ALL FIRE HYDRANTS MUST BE FLOW TESTED AND COLOR CODED BASED ON FLOW RESULTS.
 - ALL UTILITY SYSTEM-DESIGN MATERIALS AND WORKMANSHIP MUST COMPLY WITH STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER AND RECLAIMED WATER FACILITIES SPECS. LATEST EDITION.
 - CONNECTIONS INTO EXISTING COUNTY-OWNED SYSTEM SHALL BE VIA WET TAP. WET TAPS SHALL BE PERFORMED BY PASCO COUNTY UTILITIES SERVICES BRANCH AT THE DEVELOPER'S EXPENSE. EXCAVATION, BACK FILL, AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MATERIAL FOR WET TAPS LARGER THAN TWO INCHES SHALL BE PROVIDED AND INSTALLED BY THE PROJECT CONTRACTOR.
 - THE PASCO COUNTY UTILITIES SERVICES BRANCH SHALL NOT OWN OR MAINTAIN WATER AND SEWER LINES OR FACILITIES ON-SITE.
 - ALL PROJECTS MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE No. 46-51.
 - FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.
 - PER THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA-1, 16.4.3.1.3: WHERE UNDERGROUND WATER MAINS AN HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
 - PER NFPA-1, 18.3.4.1: CLEARANCES OF 7 1/2 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4 FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.
 - GATED ENTRIES REQUIRE A SIREN OPERATING SYSTEM OR A 3M OPTICOM SYSTEM FOR EMERGENCY ACCESS.
 - FIRE PROTECTION SHALL MEET THE REQUIREMENTS OF THE PASCO COUNTY CODE OF ORDINANCES, CHAPTER 46, FIRE PREVENTION AND PROTECTION, AND PLANS SHALL COMPLY WITH REFERENCED REQUIREMENTS.
 - THE SUBJECT PROPERTY IS LOCATED WITHIN THE 5 YEAR AND 10 YEAR WELLHEAD PROTECTION AREA AND SHALL COMPLY WITH GROUNDWATER PROTECTION ORDINANCE No. 02-27.
 - IN CONSIDERATION OF PASCO COUNTY'S AGREEMENT TO PROVIDE POTABLE WATER AND/OR RECLAIMED WATER TO THE SUBJECT PROPERTY, DEVELOPER/OWNER, AND ITS SUCCESSORS AND ASSIGNS, AGREE TO THE FOLLOWING:
 - (A) IN THE EVENT OF PRODUCTION FAILURE OR SHORTFALL BY TAMPA BAY WATER, AS SET FORTH IN SECTION 3.19 OF THE INTERLOCAL AGREEMENT CREATED BY TAMPA BAY WATER, DEVELOPER/OWNER SHALL TRANSFER TO PASCO COUNTY ANY AND ALL WATER USE PERMITS OR WATER USE RIGHTS THE DEVELOPER/OWNER MAY HAVE TO USE OR CONSUME SURFACE OR GROUND WATER WITHIN PASCO COUNTY.
 - (B) PRIOR TO DEVELOPER/OWNER SELLING WATER OR WATER USE PERMITS OR WATER USE RIGHTS, DEVELOPER/OWNER SHALL NOTIFY PASCO COUNTY, AND PASCO COUNTY SHALL HAVE A RIGHT OF FIRST REFUSAL TO PURCHASE SUCH WATER OR WATER USE PERMITS OR WATER USE RIGHTS.

- UTILITY KEY NOTES**
- EXISTING 8" PVC WATERMAIN.
 - EXISTING FIRE HYDRANT.
 - CONTRACTOR TO TAP EXISTING 8" PVC WATERMAIN WITH TAPPING SLEEVE AND VALVE PER DETAIL ON SHEET C4.1.
 - CONTRACTOR TO INSTALL NEW DOUBLE DETECTOR CHECK VALVE ASSEMBLY/BACKFLOW PREVENTER WITH METER.
 - CONTRACTOR TO INSTALL NEW 2" PVC WATER SERVICE FROM NEW BUILDING TO PROPOSED METER, SEE PLAN FOR PIPE LENGTH.
 - CONTRACTOR TO INSTALL 90° BEND.
 - CONTRACTOR TO DRILL NEW WELL FOR IRRIGATION USE.
 - EXISTING 8" SANITARY SEWER.
 - EXISTING SANITARY SEWER MANHOLE, ADJUST RIM ELEVATION PER SHEET C3.0.
 - CONTRACTOR TO INSTALL NEW 6" PVC SANITARY SEWER LINE W/ MIN. SLOPE OF 1%, SEE PLAN FOR LENGTH AND INVERT ELEVATIONS.
 - CONTRACTOR TO INSTALL NEW CLEAN OUT PER DETAIL ON SHEET C4.1.

100%
CONSTRUCTION DOCS.
ISSUE DATE: 10.18.13

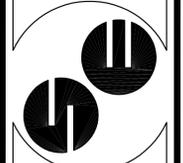
REVISIONS

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |

NOTED BY: W. THORNTON
DATE: 10.18.13
SIGNATURE: RYAN J. KING, P.E.
P.E. NO. 64619
DATE: 10.18.13

WESLEY CHAPEL PRE-OWNED
AUTO SUPER CENTER
WESLEY CHAPEL BOULEVARD & OLD PASCO ROAD
WESLEY CHAPEL, FL

SPRING ENGINEERING, INC.
ENGINEERING • LAND PLANNING • ARCHITECTURE
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516
FL COA NO. 00005158 & LICENSE NO. AIA-C001747



UTILITY PLAN
DESIGNED BY: RJK
DRAWN BY: RJK
CHECKED BY: RPD
JOB NO.

2013-41
SHEET NO.
C4.0

INVESTIGATE BEFORE YOU EXCAVATE
CALL SUNSHINE STATE ONE
1-800-432-4770
FL STATE REG. REG. (12/99) REGULATORY DIVISION
REG. NO. 2005 AND 1999 ON 2/20/05
NOTICE BEFORE YOU EXCAVATE



UTILITY PLAN
SCALE: 1" = 30'

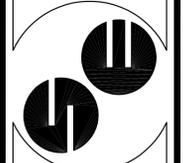
CONTRACTOR SHALL CONTACT ALL UTILITY PROVIDERS PRIOR TO ANY DEMOLITION WORK.

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF SPRING ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED, PUBLISHED, OR USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT. THEY ARE TO BE USED ONLY FOR THE SITE AND PROJECT IDENTIFIED AND SHALL BE RETURNED UPON REQUEST.

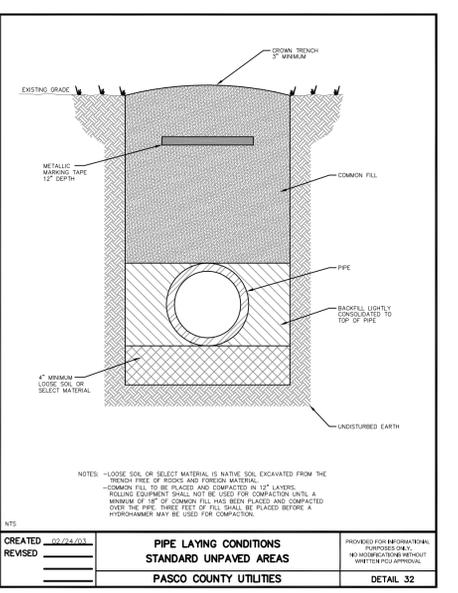
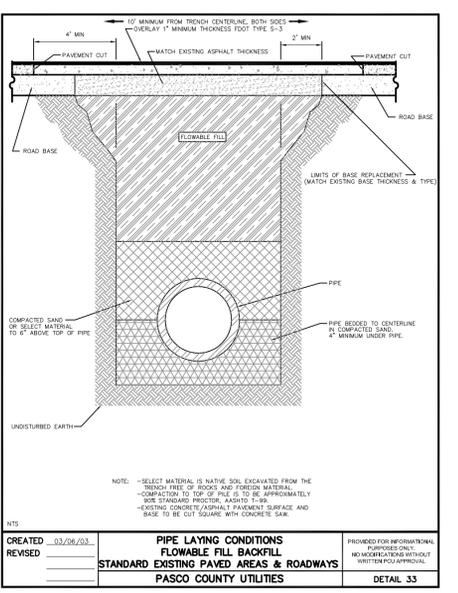
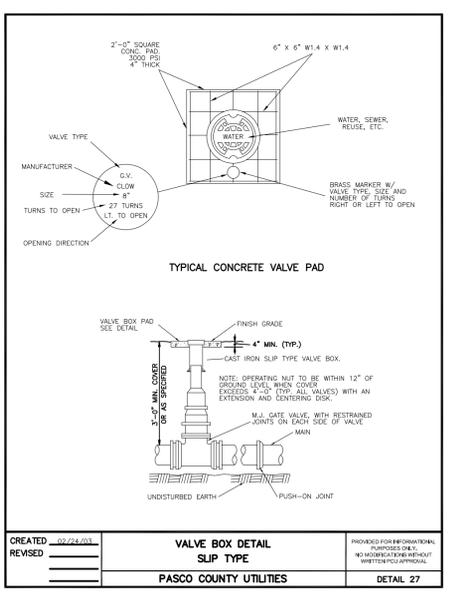
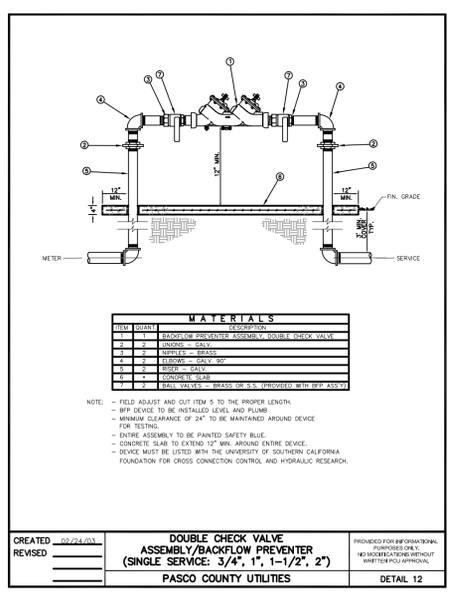
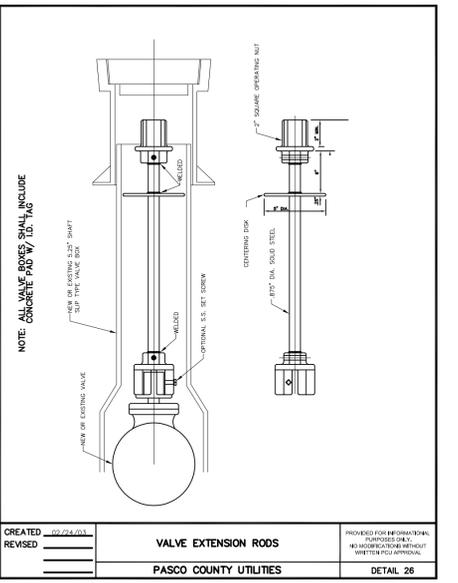
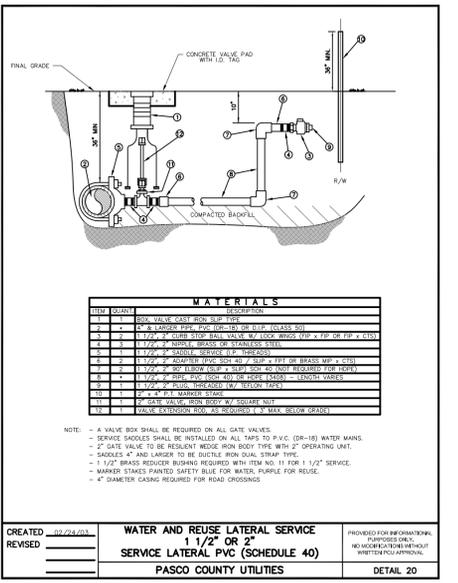
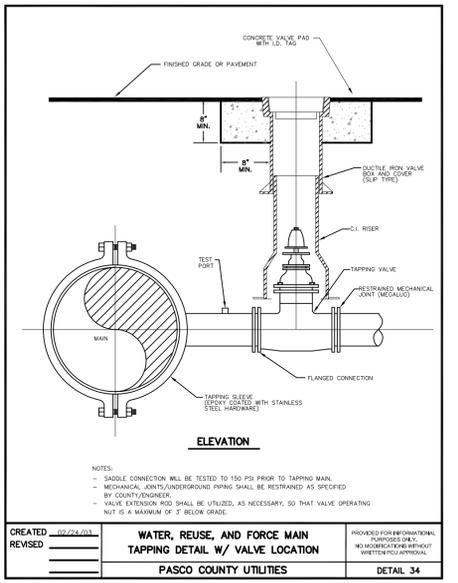
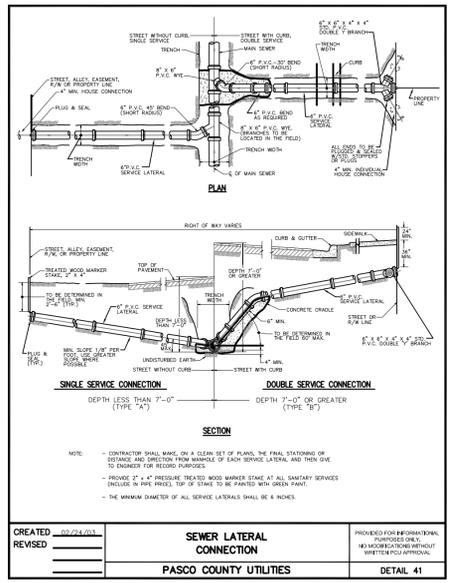
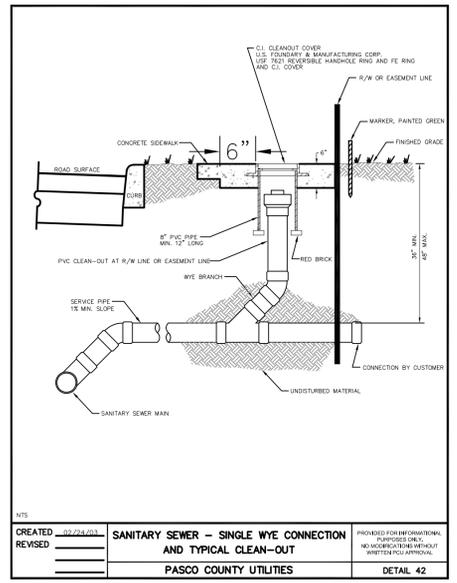
| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

WESLEY CHAPEL PRE-OWNED
AUTO SUPER CENTER
WESLEY CHAPEL BOULEVARD & OLD PASCO ROAD
WESLEY CHAPEL, FL

SPRING ENGINEERING, INC.
ENGINEERING • LAND PLANNING • ARCHITECTURE
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516
FL COA NO. 00005158 & LICENSE NO. AIA-C001747



UTILITY DETAILS
DESIGNED BY: RJK
DRAWN BY: RJK
CHECKED BY: RPD
JOB NO.
2013-41
SHEET NO.
C4.1



THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF SPRING ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED, PUBLISHED, OR USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT. THEY ARE TO BE USED ONLY FOR THE SITE AND PROJECT IDENTIFIED AND SHALL BE RETURNED UPON REQUEST.

SECTION 12, TOWNSHIP 26 SOUTH, RANGE 19 EAST
PASCO COUNTY, FLORIDA

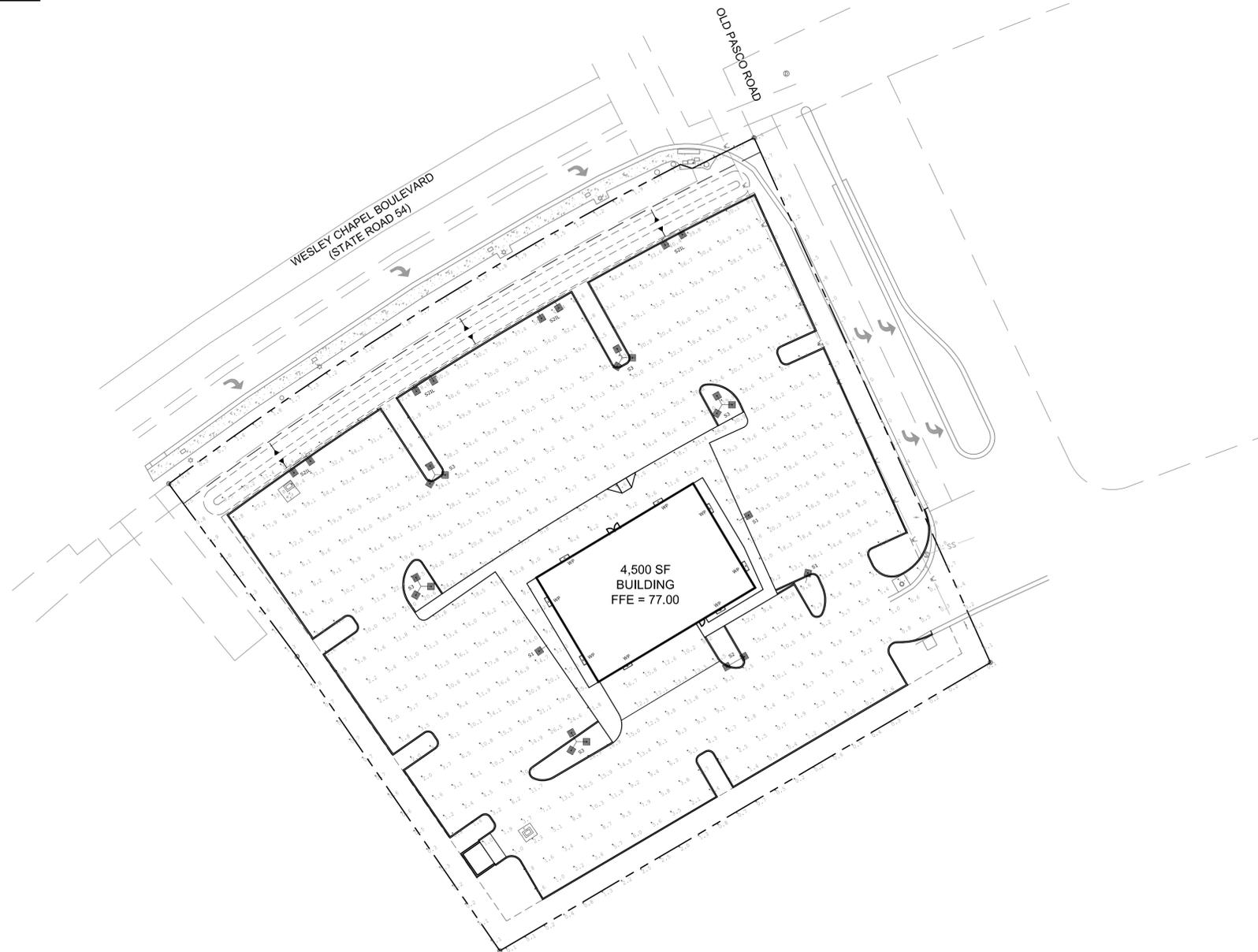
LUMINAIRE SCHEDULE

| Symbol | Qty | Label | Arrangement | Description | Total Lamp Lumens | LLF | Lum. Watts |
|--------|-----|-------|-----------------|-----------------------------------|-------------------|-------|------------|
| | 3 | S1 | SINGLE | LSI GFR-FP-750-PSMV-F-3HSS-24' MH | 82000 | 0.720 | 812 |
| | 1 | S2 | BACK-BACK | LSI GFR-FP-750-PSMV-F-3HSS-24' MH | 82000 | 0.720 | 812 |
| | 4 | S2IL | ROTATED OPTICS | LSI GFR-AFT-750-PSMV-F-HSS-24' MH | 82000 | 0.720 | 812 |
| | 5 | S3 | 3 @ 120 DEGREES | LSI GFR-3-750-PSMV-F-24' MH | 82000 | 0.720 | 812 |
| | 8 | WP | SINGLE | LSI GBWS-3-150-CMH-F-16' MH | 13000 | 0.720 | 185 |

CALCULATION SUMMARY

| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
|-----------------------|-------------|-------|-------|------|-----|---------|---------|
| Front Row | Illuminance | Fc | 38.51 | 64.4 | 3.5 | 11.00 | 18.40 |
| General Merchandising | Illuminance | Fc | 13.24 | 38.3 | 1.2 | 11.03 | 31.92 |
| Parking and Entrances | Illuminance | Fc | 5.94 | 28.9 | 0.3 | 19.80 | 96.33 |
| Property Line | Illuminance | Fc | 0.98 | 2.5 | 0.1 | 9.80 | 25.00 |

FIXTURES ARE GREENBRIAR FULL CUTOFF
AND MEET IESNA FULL CUTOFF GUIDELINES



PHOTOMETRIC PLAN

SCALE: 1" = 30'



CONTRACTOR SHALL CONTACT ALL UTILITY PROVIDERS PRIOR TO ANY DEMOLITION WORK.

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF SPRING ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED, PUBLISHED, OR USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT. THEY ARE TO BE USED ONLY FOR THE SITE AND PROJECT IDENTIFIED AND SHALL BE RETURNED UPON REQUEST.

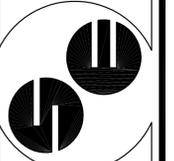
100%
CONSTRUCTION DOCS.
ISSUE DATE: 10.18.13

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

NOT FOR CONSTRUCTION WITHOUT SIGNATURE
RYAN J. KING, P.E.
P.E. NO. 64619
DATE

WESLEY CHAPEL PRE-OWNED
AUTO SUPER CENTER
WESLEY CHAPEL BOULEVARD & OLD PASCO ROAD
WESLEY CHAPEL, FL

SPRING ENGINEERING, INC.
ENGINEERING • LAND PLANNING • ARCHITECTURE
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516
FL COA NO. 00005158 & LICENSE NO. AIA-C001747

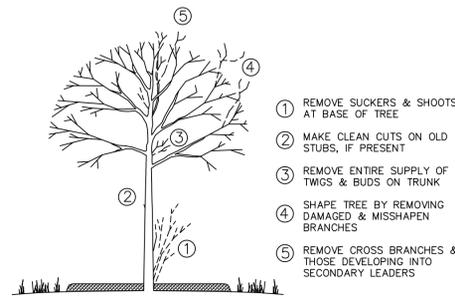


PHOTOMETRIC PLAN
DESIGNED BY: RJK
DRAWN BY: RJK
CHECKED BY: RPD
JOB NO.

2013-41
SHEET NO.

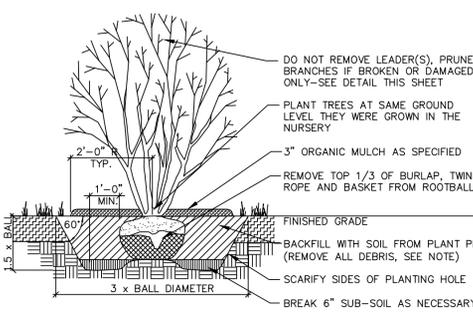
C4.2

DASHED LINES ILLUSTRATE BRANCHES AND STUMPS THAT ARE TO BE REMOVED. DO NOT REMOVE THE LEADER.



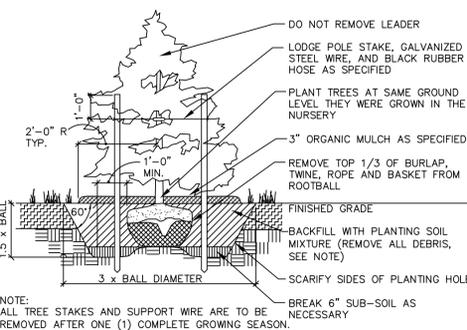
1 DECIDUOUS TREE PRUNING

IF ROOTBALL IS WRAPPED IN NON-BIODEGRADABLE BURLAP, REMOVE ENTIRE WRAP AFTER IT IS PLACED IN PIT. WHEN BACKFILLING, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND REPEAT. CONTINUE TO PUDDLE AND FILL AS NECESSARY.



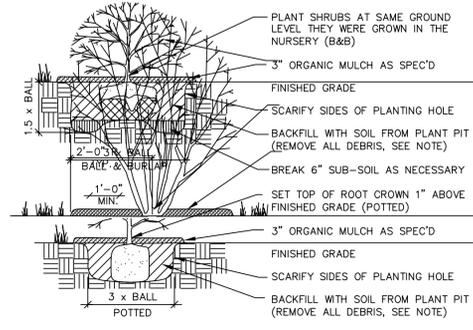
5 MULTI-STEMMED TREE DETAIL

IF ROOTBALL IS WRAPPED IN NON-BIODEGRADABLE BURLAP, REMOVE ENTIRE WRAP AFTER IT IS PLACED IN PIT. WHEN BACKFILLING, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND REPEAT. CONTINUE TO PUDDLE AND FILL AS NECESSARY.



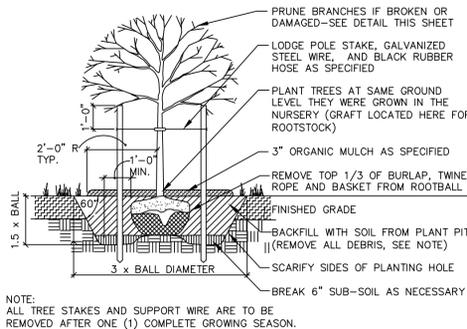
2 EVERGREEN TREE PLANTING DETAIL

IF ROOTBALL IS WRAPPED IN NON-BIODEGRADABLE BURLAP, REMOVE ENTIRE WRAP AFTER IT IS PLACED IN PIT. WHEN BACKFILLING, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND REPEAT. CONTINUE TO PUDDLE AND FILL AS NECESSARY.



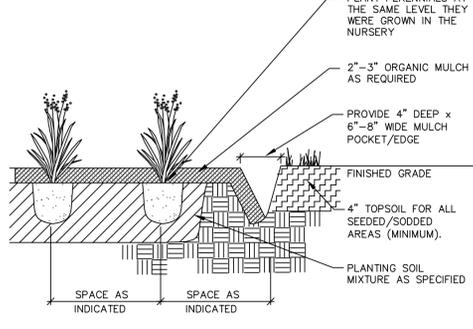
6 SHRUB PLANTING DETAIL

IF ROOTBALL IS WRAPPED IN NON-BIODEGRADABLE BURLAP, REMOVE ENTIRE WRAP AFTER IT IS PLACED IN PIT. WHEN BACKFILLING, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND REPEAT. CONTINUE TO PUDDLE AND FILL AS NECESSARY.



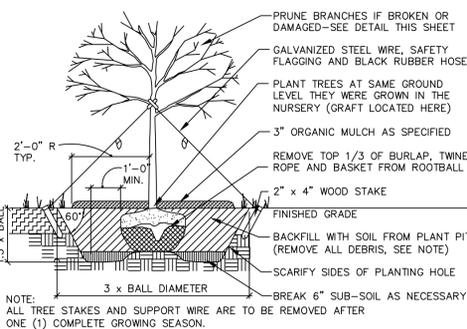
3 CANOPY TREE (2" or less) DETAIL

IF ROOTBALL IS WRAPPED IN NON-BIODEGRADABLE BURLAP, REMOVE ENTIRE WRAP AFTER IT IS PLACED IN PIT. WHEN BACKFILLING, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND REPEAT. CONTINUE TO PUDDLE AND FILL AS NECESSARY.



7 GROUNDCOVER PLANTING DETAIL

IF ROOTBALL IS WRAPPED IN NON-BIODEGRADABLE BURLAP, REMOVE ENTIRE WRAP AFTER IT IS PLACED IN PIT. WHEN BACKFILLING, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND REPEAT. CONTINUE TO PUDDLE AND FILL AS NECESSARY.



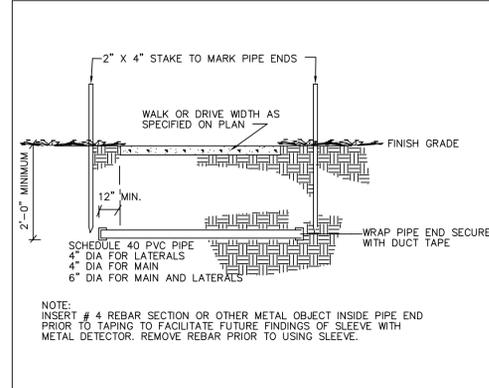
4 CANOPY TREE (2"+ cal.) DETAIL

IRRIGATION GENERAL NOTES

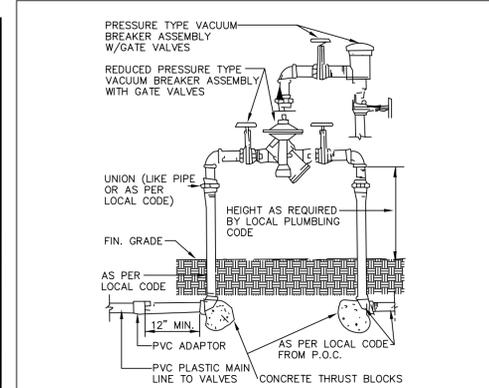
11. PLAN IS DIAGRAMMATIC ONLY. FINAL LOCATION OF LINES AND HEADS SHALL BE DETERMINED IN THE FIELD AND APPROVED BY THE ARCHITECT. LINES SHALL BE IN A COMMON TRENCH WHEREVER POSSIBLE. THE POINT OF CONNECTION SHALL BE AS INDICATED ON THE PLANS.
12. THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND ENSURE THAT ALL LOCAL CODES ARE MET.
13. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS REQUIRED FOR INSTALLATION OF THE IRRIGATION SYSTEM AS DEPICTED IN THESE PLANS.
14. CONTRACTOR SHALL VERIFY AVAILABLE FLOW AND PRESSURE DOWNSTREAM FROM THE POINT-OF-CONNECTION PRIOR TO SYSTEM INSTALLATION. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF AVAILABLE FLOW IS LESS THAN REQUIRED TO RUN THE LARGEST ZONE. CONTRACTOR SHALL NOT PROCEED ANY FURTHER WITH INSTALLATION OF THE SYSTEM UNTIL NECESSARY REVISIONS HAVE BEEN DETERMINED BY THE ARCHITECT.
15. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS OR DIFFERENCES IN DIMENSIONS EXIST THAT MIGHT HAVE BEEN UNKNOWN DURING ENGINEERING. SUCH OBSTRUCTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY AT NO COST TO THE OWNER.
16. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
17. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SPRINKLER MATERIALS, INCLUDING PIPE, WITH THE LANDSCAPE DRAWINGS TO AVOID INTERFERING WITH THE PLANTING OF TREES, SHRUBS OR OTHER PLANTS.
18. IT IS THE INTENT OF THESE DRAWINGS TO INDICATE A COMPLETE IRRIGATION SYSTEM INSTALLED AND READY FOR USE WITHOUT FURTHER COST TO THE OWNER.
19. ALL VALVES ARE TO BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE AND IN LOCKABLE VALVE BOXES.
20. ALL ELECTRICAL WIRE FROM CONTROLLER TO VALVES SHALL BE 12 GAUGE UL DIRECT BURIAL OR LARGER AS REQUIRED BY LENGTH PER MANUFACTURER'S SPECIFICATIONS.
21. BACKFILL FOR TRENCHING SHALL BE COMPACTED TO A DRY DENSITY EQUAL TO THE UNDISTURBED ADJACENT SOIL AND SHALL CONFORM TO ADJACENT GRADES WITHOUT DIPS, HUMPS, OR OTHER IRREGULARITIES.
22. A MINIMUM OF TWO WORKING DAYS PRIOR TO PERFORMING ANY DIGGING, CALL SUNSHINE AT 1-800-432-4770 FOR INFORMATION ON THE LOCATION OF NATURAL GAS LINES, ELECTRICAL CABLES, TELEPHONE CABLES, ETC.
23. CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
24. INSTALL PIPE AND CONTROL WIRES IN LANDSCAPE BEDS AND COMMON TRENCHES WHERE POSSIBLE.
25. INSTALL ALL PIPE AND CONTROL WIRE, WHICH RUNS UNDER PAVING, WITHIN SCH. 40 PVC SLEEVES 2" DIA. MINIMUM SIZE AS REQUIRED TO ALLOW INSTALLATION WITHOUT BINDING. PROVIDE (1) SLEEVE PER PIPE. PROVIDE SEPARATE SLEEVES FOR CONTROL WIRE.
26. SCHEDULE 40 PVC IS REQUIRED FOR ALL PRESSURE LINES AND UNDER ALL PAVED AREAS. PIPING MUST BE INSTALLED A MIN. OF 12" UNDERGROUND FOR NON PRESSURE IRRIGATION LINES AND 18" UNDERGROUND FOR CONSTANT PRESSURE IRRIGATION LINES.
27. ALL IRRIGATION MATERIALS AND INSTALLATION SHALL COMPLY WITH THE UNIFORM PLUMBING CODE.

- FLUSHING AND TESTING
28. PIPING SHALL BE COMPLETELY FLUSHED OF FOREIGN PARTICLES BEFORE ATTACHING IRRIGATION COMPONENTS AND DRAIN VALVES.
 29. AFTER FLUSHING, AND WHEN ALL VALVES AND QUICK COUPLERS ARE IN PLACE, ALL MAIN SUPPLY LINES SHALL BE TESTED AT 100 POUNDS PER SQUARE INCH (100 PSI) WITH VALVES CLOSED. MAINTAIN PRESSURE FOR A PERIOD OF NOT LESS THAN (4) CONSECUTIVE HOURS. ALL JOINTS SHOWING LEAKS SHALL BE CLEANED, REMADE AND TESTED.
 30. AFTER FLUSHING, LATERAL PIPES SHALL BE TESTED WITH RISERS CAPPED AND DRAIN VALVES CLOSED. THE TEST SHALL BE MADE AT MAXIMUM OPERATING PRESSURE FOR A PERIOD OF NOT LESS THAN (1) HOUR. ALL JOINTS SHOWING LEAKS SHALL BE CLEANED, REMADE, AND TESTED. ALL TESTING SHALL BE DONE IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE PRIOR TO BACKFILLING OVER PIPING.
 31. OPERATIONAL TESTING: PERFORM OPERATIONAL TESTING AFTER HYDROSTATIC TESTING IS COMPLETED. DEMONSTRATE TO THE ARCHITECT THAT THE SYSTEM MEETS COVERAGE REQUIREMENTS (100%) AND THAT AUTOMATIC CONTROLS FUNCTION PROPERLY.
 32. COMPLETE WARRANTY CARDS FOR AUTOMATIC CONTROLLER AND OTHER IRRIGATION MATERIAL (CONTROLLER KEYS, ETC.) SHALL BE DELIVERED TO OWNER.
 33. CONTRACTOR SHALL PREPARE AND ISSUE TO THE OWNER (AT COMPLETION OF THE INSTALLATION) AN ANNUAL CHART INDICATING LOCATION, OPERATING DATES, CYCLES, AND TIME FOR EACH ZONE.

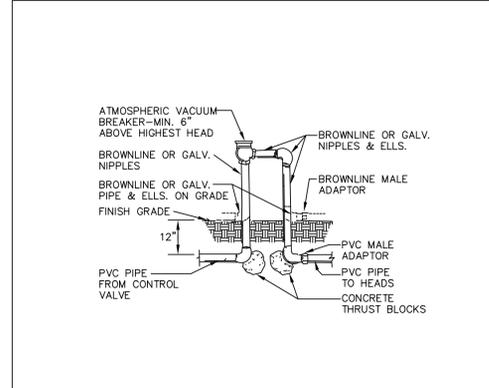
- GUARANTEE/FINAL ACCEPTANCE
34. CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE THE IRRIGATION SYSTEM FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. MANUFACTURER WARRANTIES SHALL ONLY EXCEED THIS GUARANTEE AND CONTRACTOR SHALL BE LIABLE FOR REPAIRS/REPLACEMENT OF FAILED MATERIAL/WORKMANSHIP.



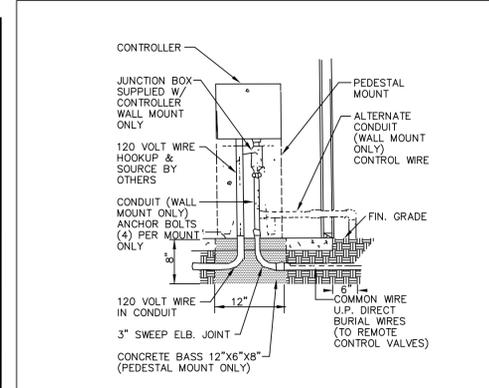
8 SLEEVE UNDER WALK OR ROAD



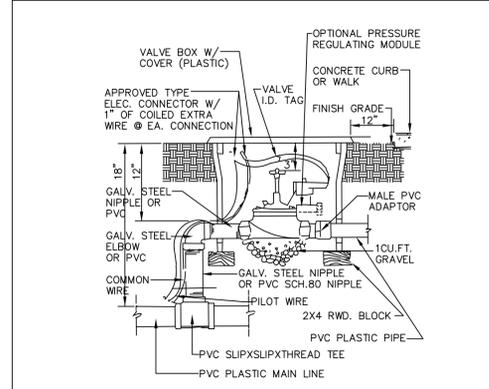
12 RP/PRESSURE TYPE VAC. BREAKER



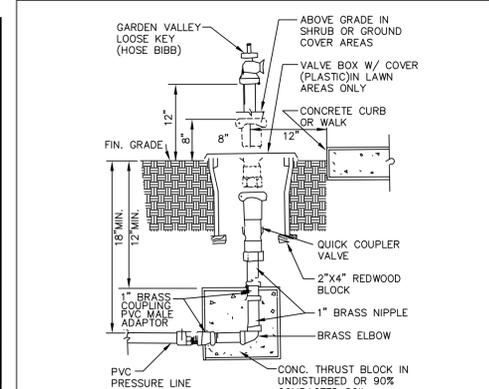
9 ATMOSPHERIC VACUUM BREAKER



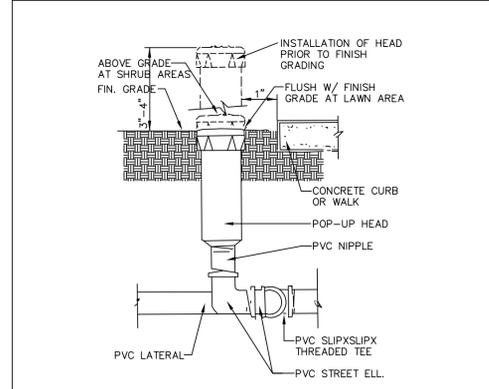
13 CONTROLLER DETAIL



10 REMOTE CONTROL VALVE DETAIL



14 QUICK COUPLER /HOSE BIBB DETAIL



11 4" & 6" POP-UP LAWN/SHRUB HEAD

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF SPRING ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED, PUBLISHED, OR USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT. THEY ARE TO BE USED ONLY FOR THE SITE AND PROJECT IDENTIFIED AND SHALL BE RETURNED UPON REQUEST.

100% CONSTRUCTION DOCS. ISSUE DATE: 10.18.13

| REV. | DATE | DESCRIPTION |
|------|------|-------------|
| | | |
| | | |
| | | |

RYAN J. KING, P.E. P.L. NO. 64619

WESLEY CHAPEL PRE-OWNED AUTO SUPER CENTER

WESLEY CHAPEL BOULEVARD & OLD PASCO ROAD WESLEY CHAPEL, FL

SPRING ENGINEERING, INC. ENGINEERING • LAND PLANNING • ARCHITECTURE

3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516 FL COA NO. 00005158 & LICENSE NO. AIA-C001747

LANDSCAPE & IRRIGATION DETAILS

DESIGNED BY: RJK
DRAWN BY: RJK
CHECKED BY: RPD
JOB NO. 2013-41
SHEET NO. C5.2

TESTING SCHEDULE GUIDE

| ITEM | TEST TYPE | TEST I.D. | REQUIREMENTS | FREQUENCY |
|---|---|--|--|--|
| EMBANKMENT | MAXIMUM DENSITY OPTIMUM MOISTURE FIELD DENSITY | AASHTO T180 ASTM D1557 | N/A | PER SOIL TYPE |
| | | AASHTO T191, T204, T238 ASTM D1556, D2937, D2922 | 95% OF MAXIMUM DENSITY | ONE PER 2,500 S.F. HORIZONTALLY ** ALTERNATING LIFTS (12") |
| UTILITY TRENCH BACKFILL UNDER ROADWAYS AND STRUCTURES | MAXIMUM DENSITY OPTIMUM MOISTURE FIELD DENSITY | AASHTO T180 ASTM D1557 | N/A | PER SOIL TYPE |
| | | AASHTO T191, T204, T238 ASTM D1556, D2937, D2922 | 95% OF MAXIMUM DENSITY | ONE PER 2,500 S.F. HORIZONTALLY ** EVERY 2' VERTICALLY D2922 - AT LEAST ONE FOR EACH PIPE RUN |
| BACKFILL OF STRUCTURES | MAXIMUM DENSITY OPTIMUM MOISTURE FIELD DENSITY | AASHTO T180 ASTM D1557 | N/A | PER SOIL TYPE |
| | | AASHTO T191, T204, T238 ASTM D1556, D2937, D2922 | 95% OF MAXIMUM DENSITY | ONE PER 2,500 S.F. HORIZONTALLY ** EVERY 2' VERTICALLY |
| SUBGRADE | BEARING VALUES | LBR - FLA. D.O.T. | LBR = 40 MIN. | ONE PER SOIL TYPE CHECK POINT LBR AT 500 L.F. HORIZONTALLY |
| | MAXIMUM DENSITY OPTIMUM MOISTURE FIELD DENSITY & THICKNESS | AASHTO T180 ASTM D1557 AASHTO T191, T238 ASTM D1556, D2922 | N/A | ONE PER SOIL TYPE ONE PER 2,500 S.F. HORIZONTALLY |
| BASE | BEARING VALUES | LBR - FLA. D.O.T. | LBR = 100 MIN. | ONE PER SOURCE OR AS MATERIAL CHANGES CHECK POINT LBR AT 500 L.F. HORIZONTALLY |
| | MAXIMUM DENSITY OPTIMUM MOISTURE FIELD DENSITY GRADATION ATTERBURG LIMITS | AASHTO T180 ASTM D1557 AASHTO T191, T238 ASTM D1556, D2922 AASHTO T27, T98 ASTM T190 | N/A 98% OF MAXIMUM DENSITY PER SPECIFICATIONS | ONE PER SOURCE HORIZONTALLY ONE PER SOURCE |
| SOIL CEMENT BASE MIX DESIGN (TO BE USED IF SEPARATION BETWEEN SHWT AND BOTTOM OF BASE IS < 1.5") | PORTLAND CEMENT ASSOC. SPECIFICATIONS | | PER SPECIFICATIONS | ONE PER SOIL TYPE |
| | MAXIMUM DENSITY OPTIMUM MOISTURE COMPRESSIVE STRENGTH TEST CORES FIELD DENSITY & THICKNESS | AASHTO T134 (STANDARD) PORTLAND CEMENT ASSOC. SPECIFICATIONS PORTLAND CEMENT ASSOC. SPECIFICATIONS AASHTO T191, T238 ASTM D1556, D2922 | N/A 300 PSI AT 7-DAYS TYPE DAILY ** 450 PSI AT 21-DAYS SET OF COMPRESSIVE ** 95% OF MAXIMUM DENSITY | ONE PER SOIL TYPE DAILY ONE SET OF 3 PER SOIL TYPE ONE SET OF 3 PER SOIL TYPE ONE PER 2,500 S.F. HORIZONTALLY |
| ASPHALTIC CONCRETE | MATERIALS QUALITY BITUMEN CONTENT GRADATION FIELD DENSITY | AASHTO T164 ASTM D2172 ASTM D2950-81 | PER SPECIFICATIONS 95% OF LAB DENSITY | ONE PER DAY ONE PER 2,500 S.F. HORIZONTALLY |
| | COMPACTION LOS ANGELES ABRASION THICKNESS | AASHTO T96-77 ASTM C131-81 N/A | 95% OF MARSHALL MAXIMUM UNIT PER SPECIFICATIONS | ONE PER SOURCE ONE PER 2,500 S.F. |

NOTES:

- * THE CONTRACTOR SHALL NOT PAVE OVER SOIL CEMENT BASE UNTIL A 30-DAY CURING HAS ELAPSED.
- ** MAXIMUM STRENGTH LIMITS, AS ESTABLISHED BY SOILS TESTING COMPANY, SHALL NOT BE EXCEEDED.
- *** SHOULD ANY OF THE INFORMATION PROVIDED HEREIN CONFLICT WITH EITHER THE RECOMMENDATION OF THE GEOTECHNICAL ENGINEER, AND/OR THE GEOTECHNICAL REPORT BY UNIVERSAL ENGINEERING SCIENCES DATED SEPTEMBER 26, 2013, THEN THE AFOREMENTED RECOMMENDATIONS WILL SUPERCEDE THIS "TESTING SCHEDULE GUIDE".

GENERAL NOTES

- THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS. BUT DO NOT PURPORT TO BE ABSOLUTELY CORRECT. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING HIS WORK PRIOR TO BIDDING AND DETERMINE THE EXACT LOCATION OF ANY UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY SUNSHINE @ (800)432-4770 AND THE UTILITY COMPANIES IN THE AREA AT LEAST 48 HOURS BEFORE COMMENCING WORK. REPAIR AND REPLACEMENT OF ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED BEFORE COMMENCING CONSTRUCTION UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. COST TO BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION TO BE ALLOWED.
- ALL WORK SHALL BE LEFT IN SUCH A MANNER THAT IT IS SAFE TO THE PUBLIC. THE CONTRACTOR SHALL MAINTAIN TRAFFIC AT ALL TIMES. SIGNS AND BARRICADES TO BE ACCORDING TO F.D.O.T. MANUAL OF SAFE PRACTICES; REFERENCE F.D.O.T. INDEXES 600 THROUGH 650 AND 17349 PER ROADWAY AND TRAFFIC DESIGN STANDARDS LATEST EDITION OF D.C. INDEXES 100 THROUGH 116. THERE WILL BE NO ON-SITE BURNING.
- ADDITIONAL CONTROL AND SCOPE OF WORK: THE CONTRACTOR SHALL PROVIDE SPRING ENGINEERING, INC. WITH AS-BUILT DRAWINGS AND SURVEYS UPON COMPLETION OF ALL WORK.
- A SURVEYOR SHALL DO ALL BUILDING LAYOUT, CURB & ROADWAY, AND GRADE STAKING. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING ANY WORK. THE CONTRACTOR SHALL CONTACT THE ENGINEER'S OFFICE IMMEDIATELY ON ANY CONFLICTS ARISING DURING CONSTRUCTION OF ANY IMPROVEMENTS SHOWN ON THESE DRAWINGS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONSULT WITH THE ENGINEER FOR MAKING ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS; HOWEVER THIS IN NO WAY RELIEVES THE CONTRACTOR OF HIS RESPONSIBILITY FOR CONSTRUCTING THE PROJECT TO ACCOMPLISH THE INTENT OF THE PLANS. ALL ELEVATIONS REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929. MEAN SEA LEVEL = 0.00.
- PERMITS: NO CONSTRUCTION SHALL COMMENCE UNTIL ALL APPLICABLE PERMITS HAVE BEEN APPROVED. A RIGHT-OF-WAY USE PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY WITHIN THE RIGHT-OF-WAY, AND NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY PUBLIC RIGHT-OF-WAY WITHOUT ISSUANCE OF APPROPRIATE PERMIT. ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY APPROVED SITE PLAN; APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGN.
- STRIPING: HANDICAPPED PARKING SPACES WILL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR OTHER APPLICABLE STANDARDS. ALL ON-SITE PARKING SPACES SHALL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. PARKING SPACES, DIRECTIONAL ARROWS, AND STOP BARS SHALL BE STRIPED IN WHITE. IT SHALL BE THE OWNER/DEVELOPER'S RESPONSIBILITY TO PROPERLY SIGN AND STRIPE THE SITE IN ACCORDANCE WITH APPLICABLE STANDARDS.
- CONCRETE: CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS. PORTLAND CEMENT SHALL CONFORM TO ASTM C150. AGGREGATE SHALL CONFORM TO ASTM C33. WIRE FABRIC SHALL CONFORM TO ASTM A185. READY MIXED CONCRETE SHALL CONFORM TO ASTM C-94. SIX INCH MESH, 10 GAUGE WIRE FABRIC SHALL BE USED IN SLABS THICKER THAN FOUR INCHES. THICKNESS SHALL BE FOUR INCHES, EXCEPT AT DRIVEWAYS WHERE THE THICKNESS SHALL BE SIX INCHES. SURFACES SHALL BE FREE FROM TROWEL OR MACHINE MARKS. SURFACE VARIATIONS SHALL NOT EXCEED 1/4 INCH UNDER A 10 FOOT STRAIGHTEDGE. EDGE OF SLABS SHALL HAVE A SMOOTH FINISH. SIDEWALKS SHALL HAVE A BROOM FINISH.
- UTILITIES: ALL UNDERGROUND UTILITIES MUST BE INSTALLED BEFORE BASE AND SURFACE COURSES ARE CONSTRUCTED. SITE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL UTILITIES IN ACCORDANCE WITH LOCAL CODES, WHETHER INDICATED ON THE PLANS OR NOT. CHECK WITH THE LOCAL GOVERNMENT PRIOR TO SUBMISSION. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MINIMIZE INTERRUPTIONS OF EXISTING UTILITY SERVICE DURING CONSTRUCTION AND CONNECTION OF PROPOSED SERVICE LINES. CONFLICTS BETWEEN WATER LINES AND STORM/SANITARY SEWER SYSTEMS ARE TO BE RESOLVED BY ADJUSTING WATER LINES AS NECESSARY. CONTRACTOR SHALL MAINTAIN A MINIMUM OF TEN FOOT (10') HORIZONTAL SEPARATION OR 18" VERTICAL SEPARATION WHERE UNDERGROUND SERVICES CONFLICT. PIPE MEASUREMENTS ARE TO CENTER OF STRUCTURES AND ALL LENGTHS ARE PLUS OR MINUS.
- WATERMANS: ALL NEW WATERMANS, PIPES, FITTINGS, VALVES, PACKING AND JOINTING MATERIALS SHALL CONFORM WITH ALL APPLICABLE AWWA STANDARDS AND THE STATE PLUMBING CODE AND SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE AWWA STANDARDS AND/OR THE MANUFACTURER'S RECOMMENDED PROCEDURES. ALL WATER MAIN PIPES AND FITTINGS SHALL CONTAIN NO MORE THAN EIGHT PERCENT LEAD. ALL STONES FOUND IN WATER MAIN TRENCHES SHALL BE REMOVED TO A DEPTH OF AT LEAST SIX INCHES BELOW THE BOTTOM OF THE PIPE. CONTINUOUS AND UNIFORM BEDDING TO BE PROVIDED AND BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND THE PIPE AND FITTINGS AND TWELVE INCHES (12") ABOVE THE TOP OF THE PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE. ALL NEW WATER MAINS SHALL BE PRESSURE AND LEAK TESTED PER AWWA STANDARD C600 AND DISINFECTED PER AWWA STANDARD C651 AND RULE 62.555.345.F.A.C. ALL FOUR INCH (4") AND LARGER WATER MAINS TO BE C-900 P.V.C. AND ALL WATER MAINS SMALLER THAN 4" TO BE SCHEDULE 40 P.V.C. WATER MAIN TO BE 2.5" (MIN.) BELOW PROPOSED GRADE.
- SANITARY SEWERS: ALL SANITARY SEWER MAINS TO BE SDR-35 PVC.
- TREE BARRICADES AND EROSION CONTROL: ALL EROSION CONTROL MEASURES (SILT BARRIERS) AND TREE BARRICADES MUST BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND REMAIN IN PLACE THROUGHOUT CONSTRUCTION. ENCROACHMENT OR FAILURE TO MAINTAIN THESE BARRICADES COULD RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS AND/OR PERMIT REVOCATION. SILTATION BARRIERS SHALL BE MAINTAINED AND REPAIRED AT THE END OF EACH WORKING DAY. HAY BALES SHALL BE INSTALLED ONCE PERIMETER GRADING IS COMPLETED. STORMWATER FACILITIES SHALL HAVE HAY BALES PLACED AROUND THEIR ENTRANCES TO PREVENT SEDIMENT FROM BEING TRANSPORTED INTO THE STORMWATER SYSTEM. HAY BALES SHALL BE PLACED ALONG THE PERIMETER OF ALL DOWNSTREAM BOUNDARIES TO PROVIDE FILTRATION OF RUNOFF DURING CONSTRUCTION. THE HAY BALES SHALL REMAIN IN PLACE UNTIL THE ENGINEER HAS APPROVED THE VEGETATIVE COVER ALONG EMBANKMENTS PROVIDING RUNOFF TO THE PERIMETER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN SOIL EROSION CONTROL DEVICES IF AT ANY TIME DRAINAGE STRUCTURES OR EROSION CONTROL DEVICES BECOME DAMAGED OR INOPERABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR THEM. THE CONTRACTOR IS EXPECTED, AT THE END OF EACH DAY, TO HAVE THE SITE GRADED IN SUCH A WAY THAT ADJACENT PROPERTIES ARE NOT ADVERSELY IMPACTED BY EROSION OR SEDIMENT LEAVING THE SITE. CLEARED AREAS SHALL BE STABILIZED EARLY IN THE CONSTRUCTION PROCESS AND IF NATURAL PRECIPITATION DOES NOT PROVIDE PERIODIC WETTING OF THE SITE, THEN THE CONTRACTOR SHALL PROVIDE A METHOD OF SPRAYING THE SITE TO PREVENT WIND EROSION. CONTRACTOR SHALL CLEAR ONLY THAT AREA SHOWN TO BE CLEARED ON THE PLAN. CARE SHALL BE TAKEN TO DISTURB THE EXISTING VEGETATION IN ONLY THOSE AREAS UNDER CONSTRUCTION AT THAT TIME. ALL CLEAR SITE AREAS SHALL BE KEPT FREE OF ANY SIGNAGE, PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND-A-HALF (3 1/2) FEET IN HEIGHT DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES. IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIALS, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIFLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE LOCAL GOVERNMENT. ALL TREE ROOTS EXISTING WITHIN APPROVED IMPROVEMENT AREAS AND ORIGINATING FROM A PROTECTED TREE SHALL BE SEVERED CLEAN AT THE LIMITS OF THE PRESERVED AREA. ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE PRUNED IN ACCORDANCE WITH THE NATIONAL ARBORIST ASSOCIATION (NAA) PRUNING STANDARDS.
- GRADING AND BACKFILL: THE GRADING SHOWN ON THESE PLANS IS INTENDED TO EXPRESS THE GENERAL GRADING INTENT OF THE PROJECT. THE CONTRACTOR IS EXPECTED TO GRADE THE ENTIRE SITE TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS THROUGHOUT THE SITE. SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTOURS OR SPOT ELEVATIONS AS SHOWN ON THE PLANS TO ACCOMPLISH THE GRADING INTENT. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING HAS BEEN COMPLETED. CONTRACTOR TO GRADE PROPERTY SO THAT GRADING MEETS ADJACENT PROPERTY AND RIGHT-OF-WAY ELEVATIONS. CONTRACTOR SHALL NOTIFY THE OWNER AND SET PRIOR TO DEMOBILIZATION OF GRADING EQUIPMENT TO DETERMINE THAT THE GRADING INTENT HAS BEEN ACHIEVED. ALL FILL MATERIAL SHALL BE SOIL OR SOIL-ROCK MIXTURE WHICH IS FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCE. IT SHALL BE PREDOMINATELY GRANULAR WITH A MAXIMUM PARTICLE SIZE OF TWO INCHES AND A PLASTICITY INDEX OF 12 OR LESS. ALL BACKFILL WITHIN THE ROADWAY, OVER ANY PIPE THAT IS TO BE INSTALLED UNDER THE ROADWAY OR WITHIN EMBANKMENTS, ETC. IS TO BE COMPACTED TO 100% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO AND PER F.D.O.T. SPECIFICATIONS, SECTION 125.8.3, LATEST EDITION.
- DRAINAGE: ALL DRAINAGE STRUCTURES MUST BE CONSTRUCTED PER FLORIDA DEPARTMENT OF TRANSPORTATION ROAD DESIGN STANDARDS, MITERED END SECTION AS PER D.O.T. INDEX NO. 272 AND NO. 273. ALL PIPE LENGTHS ARE PLUS OR MINUS AND MEASUREMENTS ARE TO THE CENTER OF STRUCTURES. OWNER SHALL MAINTAIN RETENTION AREAS.
- DRIVES: ALL DRIVES SHALL BE IN ACCORDANCE WITH FDOT REQUIREMENTS.
- PAVING: ALL PAVING SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION SHOWING THE FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTH TRANSITION WITH NO BREAKS IN GRADE AND NO STEEP OR REVERSE CROSS SLOPES. AT APPROACHES TO AND INTERSECTIONS WITH EXISTING GRADES, IT MAY BE NECESSARY AND ADVISABLE TO MAKE LOCAL "FIELD" ADJUSTMENTS TO ACCOMPLISH THE PURPOSES OUTLINED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE POSITIVE DRAINAGE AND SET SHALL BE CONSULTED SO THAT WE MAY MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INSTRUCTIONS TO ACCOMPLISH THE INTENT OF THE PLANS. ASPHALTIC CONCRETE TYPE S-1, SHALL CONFORM TO THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. TEST REPORTS FOR SUBGRADE, BASE, ASPHALT AND BASE CORE AND CONCRETE SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL. SEE SPECIFICATIONS FOR SPECIFIC TESTING REQUIREMENTS.
- LANDSCAPING: ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN GRADES AND STANDARDS FOR NURSERY PLANTS, PART I, 1963 AND PART II, STATE OF FLORIDA DEPT. OF AGRICULTURE, TALLAHASSEE. ALL PLANT MATERIAL WILL BE GUARANTEED FOR ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE BY ARCHITECT. PLANTS AND TREES ARE LOCATED BY SCALING OFF PLANS. INSTALLER SHALL INSPECT SITE PRIOR TO BEGINNING PLANTING OPERATIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. INSTALLER SHALL IMMEDIATELY NOTIFY ARCHITECT IF ANY CONFLICTS OCCUR BETWEEN PROPOSED LOCATION OF TREES CALLED FOR ON THE PLANS AND ANY UNDERGROUND UTILITIES OR SUBSURFACE STRUCTURES. INSTALLER SHALL NOTIFY ARCHITECT OF ANY CONDITION THAT WOULD PREVENT THE HEALTHY GROWTH OF PLANT SPECIES CALLED FOR ON THESE PLANS PRIOR TO CONTRACT AWARD. ALL LANDSCAPE AREAS AND GRADED SWALES ARE TO BE SOODED WITH FLORITAM UNLESS NOTED OTHERWISE. THE GROUND IS TO BE PROPERLY PREPARED AND FERTILIZED PRIOR TO LAYING SO. THERE SHALL BE A CRISP LINE SEPARATING PLANT BEDS FROM ALL SOO AREAS. SOO TO BE STAKED AS NECESSARY TO PREVENT EROSION. CONTRACTOR TO SOO ALL DISTURBED AREAS DUE TO PROPOSED CONSTRUCTION.
- PLANTING SOILS: ALL PLANTING PITS SHALL BE BACKFILLED WITH TOPSOIL MIX CONSISTING OF FIFTY (50) PERCENT SAND, FORTY (40) PERCENT MULCH AND TEN (10) PERCENT HUMUS OR PEAT, BY VOLUME, WELL MIXED WITH APPROPRIATE FERTILIZER ADDED.
- MULCH: ALL EXPOSED AREAS IN PLANTING BEDS, INCLUDING HEDGE ROWS, SHALL BE KEPT WEED FREE AND MULCHED TO A MINIMUM OF THREE (3) INCHES DEPTH, EXCEPT THAT TWO (2) INCHES SHALL BE REQUIRED IN ANNUAL BEDS. MULCH SHALL BE REPLISHED, AS NEEDED, TO MEET THIS REQUIREMENT.

SEPARATION FOR WATER/SEWER CONFLICTS

- SANITARY SEWERS, FORCE MAINS AND STORM SEWERS SHOULD ALWAYS CROSS UNDER WATER MAINS. SANITARY SEWERS, FORCE MAINS AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.

WHERE SANITARY SEWERS, FORCE MAINS AND STORM SEWERS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE LEAK FREE AND MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT THE CROSSING.

WHERE THERE IS NO ALTERNATIVE TO SEWER PIPES CROSSING OVER THE WATER MAIN, THE CRITERIA FOR MINIMUM SEPARATION OF 18 INCHES BETWEEN LINES AND 10 FEET BETWEEN JOINTS SHALL BE REQUIRED.

ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).

WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP AND THE CROSSING SHALL BE ARRANGED TO MEET THE REQUIREMENTS ABOVE.
- A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER & WATER MAIN IN PARALLEL INSTALLATION WHENEVER POSSIBLE.

IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN 10 FOOT HORIZONTAL SEPARATION THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.

WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SEWER OR THE FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- ALL DIP SHALL BE CLASS 50 OR HIGHER. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE AS REQUIRED BY THE PERMITTING UTILITIES DEPARTMENT.

PASCO COUNTY NOTES

- All utility construction shall comply with the Pasco County Standards for Design and Construction of Water and Wastewater Facilities Specifications, latest edition.
- All on-site water and sewer facilities shall be owned and maintained by the owner-developer.
- Installation of fuel storage tanks requires review and approval by the Fire Marshal and the issuance of a separate building permit. Approval of the site plan does not constitute approval of the location of the fuel tanks.
- All proposed signs must be applied for, approved, and permitted on an individual basis apart from any ultimately-approved site plan. Approval of this site plan does not constitute approval of any sign age.
- Handicap parking spaces will be properly signed and striped in accordance with Florida Statute 316, the Manual on Uniform Traffic Control Devices, or other applicable standards.
- The architect-engineer certifies that the site has been designed in accordance with the Americans with Disabilities Act.
- All on-site parking spaces will be striped and signed in accordance with the manual on Uniform Traffic Control Devices, latest edition. Parking spaces, directional arrows, and stop bars shall be striped in white. It shall be the owner/developers' responsibility to properly sign and stripe the site in accordance with applicable standards.
- The owner/developer acknowledges that this approval does not include any work in County right-of-way. All right-of-way work shall be a function of an approved Pasco County Right-of-Way Use Permit.
- All clear-site areas shall be kept free of any sign age, plantings, trees, etc. in excess of three-and-a-half (3 1/2) feet in height.
- No irrigation system or landscaping shall be installed in any County or State right-of-way without issuance of appropriate right-of-way Use Permit.
- The owner/developer acknowledges that the site and its subsequent building permits shall comply with all rezoning/MPUD/PUD conditions.
- All structures, including buffer walls, retaining walls, sign age, etc. require separate building permits.
- All storage areas (those areas not readily available to the public), including vehicles to be serviced shall be located within the rear yard of the principal building and/or its accessory buildings, whichever is furthest from the right(s)-of-way.
- There shall be no outside display or sale of parts or tires.
- Service bay doors shall not face residential districts and must be oriented away from residential districts a minimum of ninety (90) degrees.
- The maximum building front setback of the principal building shall not exceed 150 feet from all front property lines.

THIS DRAWING AND THE DESIGN SHOWN ARE THE PROPERTY OF SPRING ENGINEERING, INC. AND ARE NOT TO BE REPRODUCED, COPIED, PUBLISHED, OR USED IN WHOLE OR PART WITHOUT WRITTEN CONSENT. THEY ARE TO BE USED ONLY FOR THE SITE AND PROJECT IDENTIFIED AND SHALL BE RETURNED UPON REQUEST.

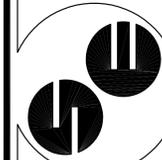
100%
CONSTRUCTION DOCS.
ISSUE DATE: 10.18.13

| REV. | DATE | DESCRIPTION |
|------|------|-------------|
| | | |

RYAN E. KING, P.E.
P.E. NO. 64610
DATE: 10.18.13

WESLEY CHAPEL PRE-OWNED
AUTO SUPER CENTER
WESLEY CHAPEL BOULEVARD & OLD PASCO ROAD
WESLEY CHAPEL, FL

SPRING ENGINEERING, INC.
ENGINEERING • LAND PLANNING • ARCHITECTURE
3014 U.S. HWY 19, HOLIDAY, FL (727) 938-1516
FL COA NO. 00005158 & LICENSE NO. AIA-0001747



GENERAL NOTES
DESIGNED BY: RJK
DRAWN BY: RJK
CHECKED BY: RPD
JOB NO.

2013-41

SHEET NO.

C6.0