

# VERTEX DEVELOPMENT LLC.

405 SOUTH DALE MABRY  
SUITE 244  
TAMPA, FLORIDA 33609

WIRELESS TELECOMMUNICATIONS TOWER  
165' MONOPOLE

WIREGRASS - FL5121  
TBD  
WESLEY CHAPEL, FLORIDA 33544

**VERTEX**  
DEVELOPMENT, LLC  
405 SOUTH DALE MABRY  
SUITE 244  
TAMPA, FLORIDA 33609  
(813) 335-4768

**EXPERT**  
CONSTRUCTION MANAGERS, INC.  
815 S. KINGS AVE.  
BRANDON, FL 33511  
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**EGI**  
ENHANCED GRAPHICS IMAGING, INC.  
ENG. BUS. CA # 28612  
1450 MONTE LAKE DR.  
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02/01/2014  
  
WILLIAM H. ROBERTS  
PE# 42712  
PROFESSIONAL ENGINEER  
1405 MONTE LAKE DRIVE, VALRICO, FL 33596

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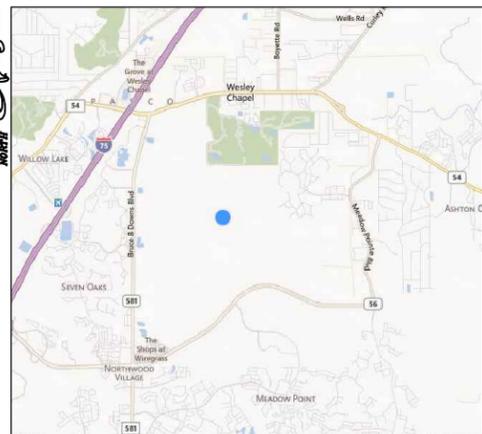
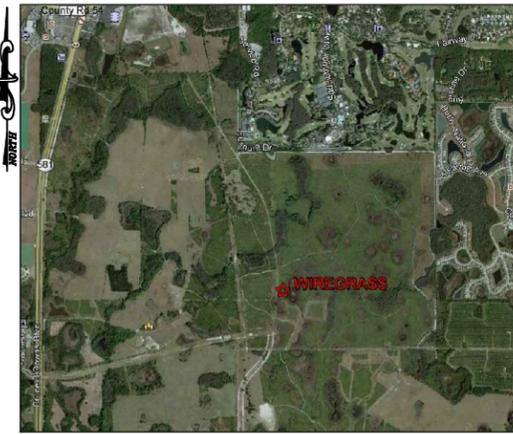
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1-800-432-4770  
  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

REV	DATE	DESCRIPTION
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E	01/31/14	REVISED SURVEY & ELEC.
D	01/29/14	REVISED LANDSCAPING, GRADING, SILT FENCE, & ELECTRICAL
C	12/13/13	REVISED COMPOUND, LANDSCAPING, EASEMENTS, GRADING, & ELECTRICAL
B	10/29/13	REVISED GENERAL NOTES, CONTACTS, & ELECTRICAL
A	10/24/13	ISSUED FOR REVIEW

WIREGRASS  
FL-5121  
TBD  
WESLEY CHAPEL, FL 33544  
PASCO COUNTY

SHEET TITLE  
COVER PAGE

SHEET NUMBER  
T-1

<b>PORTION OF SECTION 17, TOWNSHIP 26 SOUTH, RANGE 20 EAST</b>	
<b>LATITUDE ± 28° 12' 56.42" N</b>	<b>LONGITUDE: ± 82° 19' 58.93" W</b>
<b>TOWER GROUND ELEVATION: 73.0' (NAVD 88) / 73.8' (NAVD 29)</b>	
<b>CONVERSION EQUATION: (NAVD 88)' + (0.833)' = (NGVD 29)'</b>	
<b>LOCATION MAP - NOT TO SCALE</b>	<b>AERIAL MAP - NOT TO SCALE</b>
	
<b>PROJECT DESCRIPTION</b>	<b>DRIVING DIRECTIONS</b>
THIS IS AN APPLICATION FOR:  A NEW WIRELESS COMMUNICATIONS SUPPORT STRUCTURE 165' MONOPOLE AND A 2,500 S.F. FENCED COMPOUND WITHIN A 4,900 S.F. LEASE AREA FOR UNMANNED WIRELESS DATA TELECOMMUNICATION FACILITIES.	FROM THE PASCO COUNTY BUILDING DEPARTMENT AT 8731 CITIZENS DR, SUITE 230, NEW PORT RICHEY, FL 34654: DEPART CITIZEN DR TOWARD LITTLE RD/CR-1 N/ CR-587 E. TURN LEFT ONTO LITTLE RD/CR-1 S/CR-587 W. TURN LEFT ONTO SR-54 E. KEEP STRAIGHT ONTO SR-56 E. TURN LEFT ONTO SR-581 N/ BRUCE B DOWNS BLVD. TURN RIGHT ONTO CHANCEY ROAD (CURRENTLY UNDER CONSTRUCTION). <b>ROUTE A</b> - TURN LEFT ONTO TEMPORARY ACCESS EASEMENT, & FOLLOW TO SITE. (TO BE USED UNTIL WIREGRASS RANCH BLVD IS OPEN FOR USE) <b>ROUTE B</b> - TURN LEFT ONTO WIREGRASS RANCH BLVD (CURRENTLY UNDER CONSTRUCTION), & THEN TURN RIGHT ONTO FINAL ACCESS EASEMENT, & FOLLOW TO SITE.

CODE COMPLIANCE	
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.	
1. 2010 FLORIDA BUILDING CODE 2. 2008 NATIONAL ELECTRIC CODE (NEC) WITH LOCAL AMENDMENTS LATEST ED. 3. ANSI/TIA/EIA APPLICABLE STANDARDS 4. FLORIDA FIRE PREVENTION CODE 2007 5. LIFE SAFETY CODE NFPA-101-2003	6. AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATION (AISC) 7. UNDERWRITERS LABORATORIES (U.L.) APPROVED ELECTRICAL PRODUCTS 8. LOCAL BUILDING CODE 9. CITY/COUNTY ORDINANCES

PROPERTY INFORMATION	
1. VERTEX DEVELOPMENT SITE NAME:	WIREGRASS
2. VERTEX DEVELOPMENT SITE NUMBER:	FL-5121
3. TYPE OF STRUCTURE:	UNMANNED WIRELESS TELECOMMUNICATIONS TOWER 165' MONOPOLE
4. SITE ADDRESS:	TBD WESLEY CHAPEL, FLORIDA 33545
5. PROPERTY OWNER:	FLYCATCHER ENTERPRISES LLC.
6. PARENT TRACT AREA:	±17,012,358 SF / ±390.55 ACRES
7. TOTAL TOWER COMPOUND AREA:	±2,500 SF / ±0.05739 ACRES
8. TOWER COMPOUND AREA / PARENT TRACT:	±0.014695 %
9. PVIOUS AREA OF TOWER COMPOUND:	±2,078 SF / ±0.047704 ACRES
10. PERCENT PVIOUS AREA TOWER COMPOUND / PARENT TRACT:	±0.012215 %
11. IMPVIOUS AREA OF TOWER COMPOUND:	±422.0 SF / ±0.009688 ACRES
12. PERCENT IMPVIOUS AREA TOWER COMPOUND / PARENT TRACT:	±0.002481 %
ZONING DATA	
1. ZONING CLASSIFICATION:	MPUD
2. JURISDICTION:	PASCO COUNTY, FLORIDA
3. LEASE AREA:	± 4,900 S.F.
4. PARCEL I.D.:	17-26-20-0000-00100-0000
5. HANDICAP REQUIREMENTS:	FACILITY WILL BE UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS NOT REQUIRED.
6. EXISTING LAND USE:	GRAZING LAND CLASS V
7. FUTURE LAND USE:	PD / CON
8. ADJACENT PARCEL ZONING:	NORTH: R2 / MPUD SOUTH: MPUD EAST: MPUD WEST: MPUD
9. ACTUAL TOWER SETBACKS:	TRUE NORTH: ±2946'-5" TRUE SOUTH: ±236'-10" TRUE WEST: ±132'-0" TRUE EAST: ±4096'-4"

CONTACT INFORMATION					
APPLICANT/TOWER OWNER	PROPERTY OWNER	CIVIL ENGINEER	SURVEYOR	POWER COMPANY	TELCO COMPANY
VERTEX DEVELOPMENT, LLC. 405 S. DALE MABRY HIGHWAY SUITE 244 TAMPA, FLORIDA 33609 (813) 335-4768	FLYCATCHER ENTERPRISES, LLC. 201 NORTH FRANKLIN STREET SUITE 2000 TAMPA, FLORIDA 33602	WILLIAM H. ROBERTS, P.E. 1450 MONTE LAKE DRIVE VALRICO, FLORIDA 33596 (813) 333-5413	GEOLINE SURVEYING, INC. 13430 N.W. 104TH TERRACE SUITE A ALACHUA, FLORIDA 32615 (386) 418-0500	WITHLACOCHEE RIVER ELECTRIC COOP., INC. 30461 COMMERCE DRIVE SAN ANTONIO, FLORIDA 33576 MR. COREY LITTLEFIELD (352) 588-5115 EXT. 1131	VERIZON COMMUNICATIONS 1909 US HIGHWAY 301 NORTH TAMPA, FLORIDA 33619 MR. KEVIN SHEAROUSE (813) 627-8324

**General Conditions:**

1. These Specifications and Construction Drawings are intended to be fully explanatory and complementary. However, should anything be shown, indicated or specified on one and not the other, it shall be the same as if shown, indicated or specified on both.
2. The intention of the documents is to include all labor and materials reasonably necessary for the proper execution and completion of the work as indicated in the documents.
3. Minor deviations from the design layout are anticipated and shall be considered as part of the work; however, no changes that alter the character intent of the design shall be made or permitted by the Subcontractors, without express written Consent from the Construction Manager.
4. The Contractor is solely responsible for all site safety including but not limited to protection of all site personnel and the general public during the entire site construction period. The Contractor shall take all reasonable precautions to place and maintain barricades, lamps, signs, and the like in accordance with OSHA Safety Act and ANSI occupational guidelines.

**Conflicts:**

1. The Contractor and each Subcontractor shall be responsible for verification of all measurements at the site before ordering any materials or performing any work. No Change Order, extra charge or compensation shall be allowed due to difference between actual dimensions and dimensions indicated on the neither Construction Drawings nor Specifications. Any such discrepancy in dimension which may inadvertently occur shall be submitted to the Construction Manager for consideration before the Contractor proceeds with the work in the affected area.
2. The Contractor shall contact a subsurface utility locator for location of existing utilities prior to commencement of any construction activities. For assistance in locating existing utilities call "NO CUTS" at 1-800-432-4770.
3. Damage by the Contractor to utilities or property of others, including existing pavement and other surfaces disturbed by the Contractor during construction shall be repaired to pre-construction conditions by the Contractor. For grassed areas seed and mulch shall be acceptable.

**Inspections:**

1. The Contractor shall be solely responsible for ensuring that all relevant authority inspections are carried out in a timely manner.

**As-Built Drawings:**

1. The Contractor shall prepare a red-lined set of As-Built Drawings.

**Environmental Protection**

1. Noise Level: The Contractor shall ensure that state and local regulations are complied with in regard to noise levels produced by his or his sub-Contractor's equipment or methods of construction.
2. Dust Control: The Contractor shall take all necessary steps to limit the creation of any dust nuisance that might arise during construction to the satisfaction of the local authorities.
3. ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE LAND DEVELOPMENT CODE SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.

**Clean Up:**

1. The Subcontractors shall at all times keep the site free from accumulation of waste materials or rubbish caused by their employees at work, and at the completion of the work, they shall remove all rubbish from and about the building, including all tools, scaffolding and surplus materials, and shall leave the work clean and ready for use.

**Code Compliance:**

1. All materials, design, and workmanship shall be in accordance with all applicable codes (some of which are listed below), ordinances, and authorities having jurisdiction over the work. Where no codes exist, the work shall conform to the 2010 Florida Building Code, and/or the specifications herein, whichever is more stringent.
  - County Building Codes
  - 2010 Florida Building Code
  - EIA/TIA-222 Rev. G
  - Florida Fire Prevention Code 2008
  - Life Safety Code 101
  - National Electric Code 2008
  - American Institute of Steel Construction Specifications
  - American Welding Society
  - American Concrete Institute
  - Federal Aviation Authority Regulations
  - Federal Communications Commission Regulations
  - American National Standards Institute
  - American Society for Testing and Materials
  - National Underwriter's Laboratories
2. It is the Subcontractor's responsibility to verify compliance with the governing codes and to notify the Construction Manager of any discrepancies prior to performing work. Reference to any standard or code of practice in this specification shall be deemed to mean the edition current at the time of award of the contract.

**Site Work:**

1. The Contractor is required to maintain all ditches, pipes, and other drainage structures free from obstruction until work is accepted. The Contractor is responsible for any damages caused by failure to maintain drainage structure in operable condition.

**Structural:**

1. All cast in place concrete shall be mixed and placed in accordance with the requirements of ACI 318 and ACI 301, and shall have a 28 day minimum compressive strength of 4000 PSI. Concrete shall be placed against undisturbed soil unless otherwise noted. Minimum concrete cover shall be 3 inches.
2. Each new communication tower must be designed and constructed so that in the event a tower falls it will collapse only within the property lines of the lot on which the tower is located. All applications for development approval shall provide verification of compliance with this design requirement from an engineer registered by the State of Florida. In addition, the construction of new communication towers shall comply with all county construction codes.
3. All reinforcing steel shall conform to ASTM 615 grade 60, deformed billet steel bars. Welded wire fabric reinforcing shall conform to ASTM A185.
  - 2010 Florida Building Code
  - Structure Class = 2; Exposure = C; Topographic Category 1
  - Wind Loads (ASCE 7-10)
  - 140 mph ultimate design wind speed per FBC 2010, Figure 1609A
  - 116 nominal design wind speed per FBC 2010 Table 1609.3.1 and ANSI/TIA-222-g

**Conditional Use Conditions (CU13-21):**

1. The subject WF (Wireless Facility) shall support the collocation of a minimum of three (3) different communications providers.
2. The subject WF shall be restricted to 165-foot AGL and shall meet all required setbacks for primary structures in the zoning district.
3. The owners/ applicants shall obtain all required permits, if applicable, from the FAA, the FDOT Aviation Office, and the FCC prior to site plan approval.
4. The owners/applicants shall provide a 25 foot buffer from all Category II wetlands. There shall be no storage or parking activities within this buffer.
5. The applicants acknowledge that any provisions of Pasco County ordinances not specifically waived including Wiregrass MPUD/DRI conditions of approval shall be in full force and effect.
6. The WF location shall be in accordance with the site plan submitted with this [CU13-21] application.
7. The owners/applicants shall submit a preliminary site plan for review and approval in accordance with all the requirements of the LDC, Section 403.3 and 1102 prior to development of the property with a WF.
8. The owners/applicants shall obtain all required building permits.
9. This approval is subject to the provisions of the LDC, Section 402.4.I, Revocation of Special Exception and Conditional Use Approvals. In addition, staff may initiate a revocation for violations of the conditions of approval by any of the methods available in the LDC, Section 108, or through revocation of the Conditional Use pursuant to the provisions of the LDC, Section 402.4.I, Revocation of Special Exception and Conditional Use Approvals, or both.
10. In addition to complying with the above conditions, no activity shall commence on site until such time as the acknowledgment portion of the [CU13-21 approval] document is completed, including notarization.

**Site Notes:**

1. Proposed wireless facility ( WF ) is designed at a height of 165 feet AGL, and will be a Monopole design.
2. PID 17-26-20-0000-00100-0000 Acreage: 390.55 acres, MOL
3. Vertex Lease Premises Acreage: 0.11 acres, MOL (4,900 square feet), plus applicable access and utility easements
4. The proposed wireless facility shall be located in an area where the adverse visual impact on the surrounding area is minimized. Being able to see a wireless facility does not necessarily equate to an adverse visual impact. Whether the visual effect of a wireless facility is adverse is based on the existence of relevant negative factors for that facility, the number of those negative factors, and the degree that the facility evidences those negative factors.
5. The location of a proposed wireless facility shall minimize environmental impacts. Ground-mounted wireless facilities should not be located in reservation areas or conservation areas.
6. Lighted towers using guy wires are prohibited in conservation areas as defined by this Code and the Comprehensive Plan.
7. WF, at a height of 165' AGL, shall be designed for at least three (3) different communications providers.
8. Areas sufficient for the temporary off-street parking for one (1) vehicle shall be provided.
9. Vehicular traffic is approximately one trip per month per carrier.
10. WF shall not be artificially lit, except as may be required by the Federal Communication Commission (FCC), Federal Aviation Administration (FAA) or other applicable authority. If such lighting is required, it shall be installed in a manner to minimize impacts on adjacent properties. "Dual lighting" (red at night/strobe during day) shall be utilized unless otherwise recommended by FAA guidelines.
11. All new towers shall comply with zoning district setbacks for a primary structure. All equipment on the tower site shall comply with the zoning district setbacks for an accessory structure.
12. Any WF that is not operated for a continuous period of six (6) months shall be considered abandoned, and the owner of such wireless facility shall remove same within ninety (90) days of notice from the County Administrator or designee that the WF is abandoned. If such WF is not removed within the said ninety (90) days, the County may have the WF removed at the WF owner's expense.
13. All wireless facilities shall comply with the most current FCC rules and guidelines concerning human exposure to radio frequency electromagnetic fields (FCC Guidelines). The County reserves the right to request the FCC to provide information or verification of a wireless facility's compliance with FCC Guidelines. A wireless facility that meets the FCC Guidelines shall not be conditioned or denied on the basis of radio frequency impacts.
14. WF shall meet the design standards in accordance with the requirements of EIA/TIA 222-G standards.
15. WF shall not require any water, wastewater, or solid waste disposal.

**Screening & Landscaping Notes:**

1. Landscaping around the WF site shall be consistent with the landscape buffering and screening requirements of this Code, Section 905.2, with the WF site being treated like commercial districts/uses, but with the following variations from Section 905.2:
2. If the landscaping/screening area is in the lease area or otherwise controlled by the tower or property owner, the easement or separate tract requirement of Section 905.2 shall not apply.
3. The required landscaping/screening shall be placed around the exterior of the WF site fence, unless the County Administrator or designee determines that the equivalent screening would be provided by the presence or use of existing landscaping, buildings, walls, fences, or other screening, in which case the required landscaping/screening may be relocated, reduced, or eliminated.
4. Where the required buffer width exceeds ten (10) feet, the required landscaping/screening may be placed in the ten (10) feet closest to the WF site fence, and the balance of the buffer width shall be treated as a setback and may contain the uses allowed on the remainder of the parcel.
5. Landscaping shall be maintained in accordance with this Code, Section 905.2.E.



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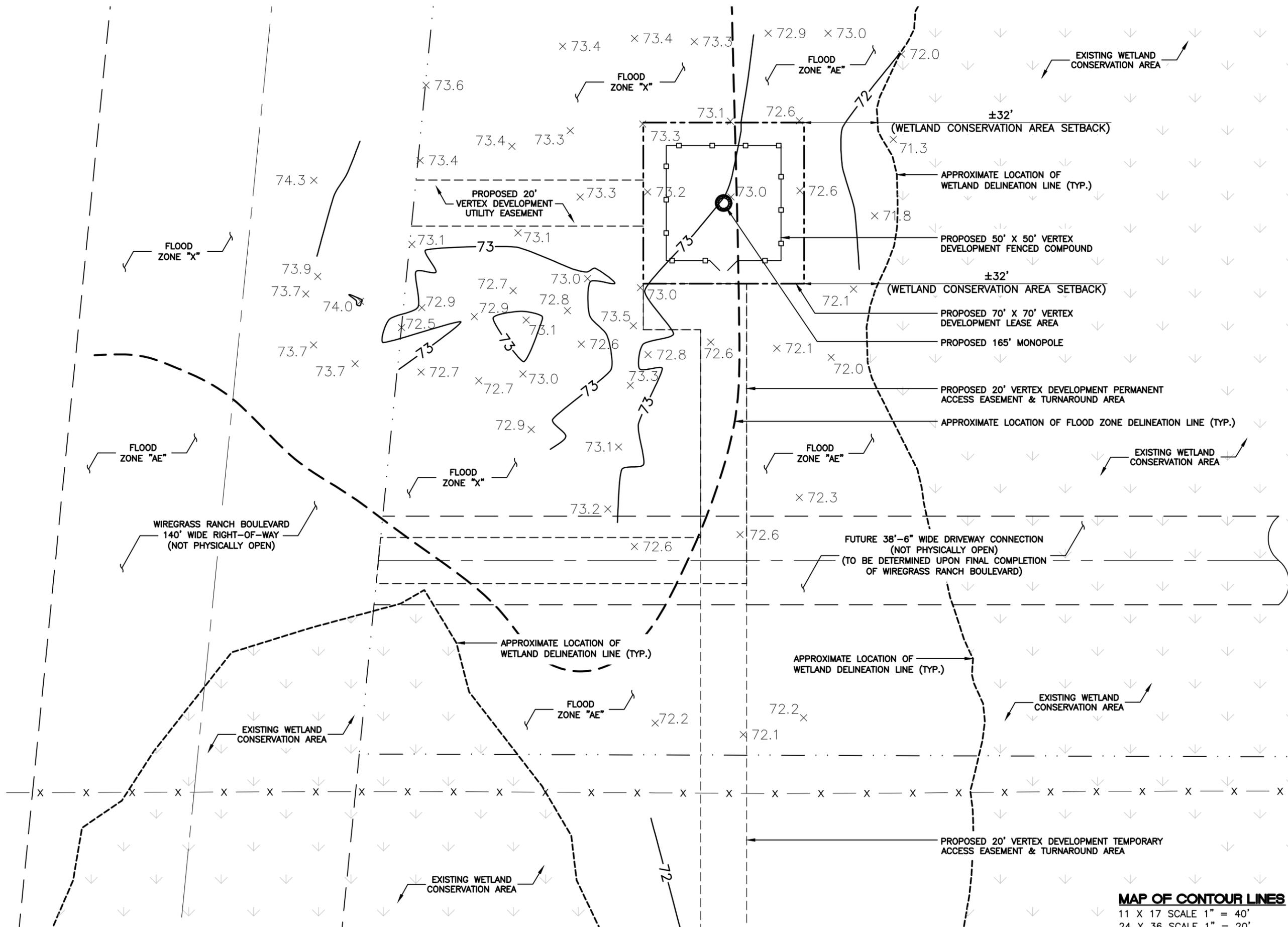
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TBD  
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PASCO COUNTY

SHEET TITLE  
GENERAL  
NOTES

SHEET NUMBER  
**G-1**



**MAP OF CONTOUR LINES**  
 11 X 17 SCALE 1" = 40'  
 24 X 36 SCALE 1" = 20'

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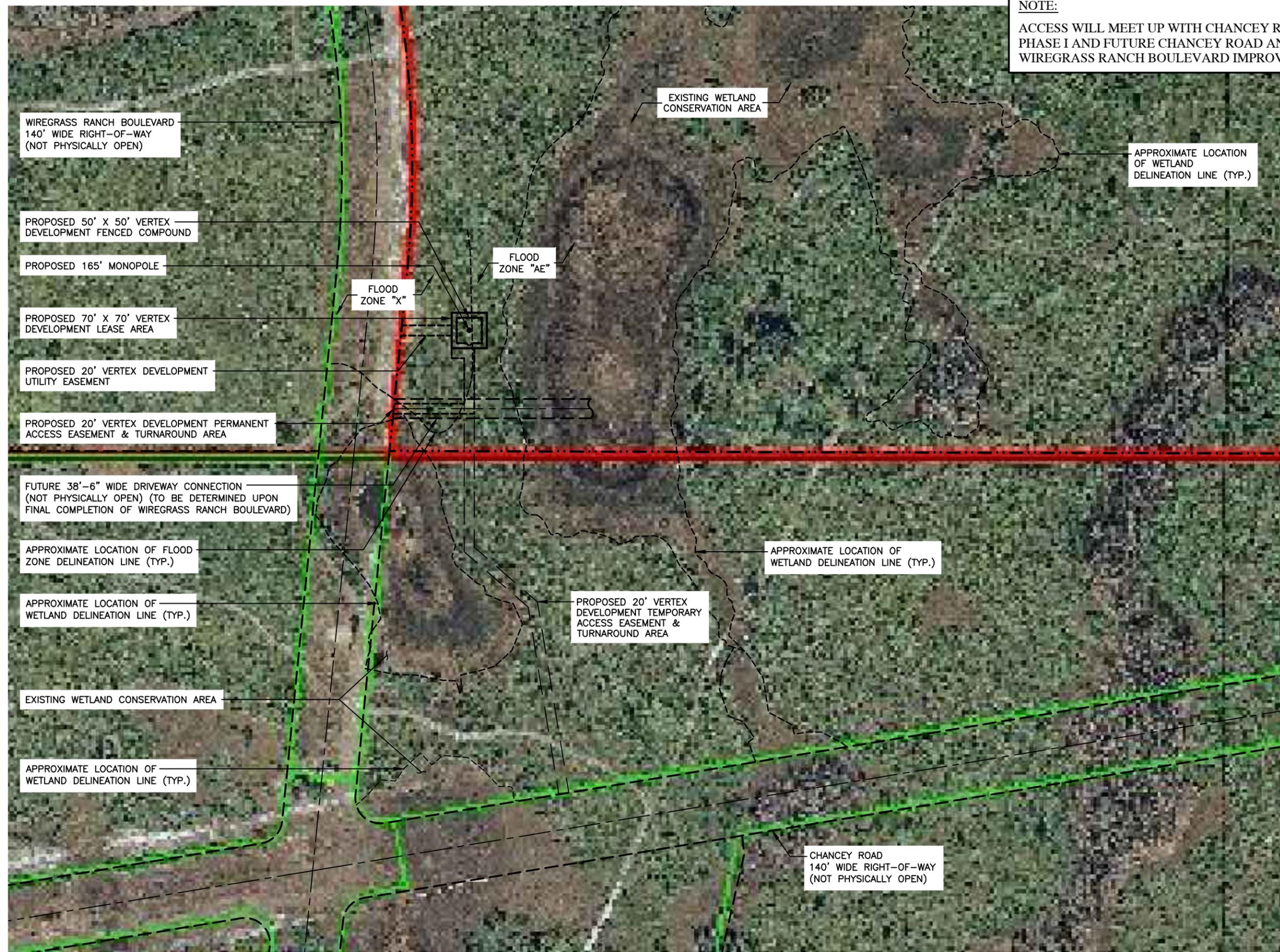
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SHEET TITLE  
 MAP WITH  
 CONTOUR LINES

SHEET NUMBER  
**M-1**



**NOTE:**  
 ACCESS WILL MEET UP WITH CHANCEY ROAD  
 PHASE I AND FUTURE CHANCEY ROAD AND  
 WIREGRASS RANCH BOULEVARD IMPROVEMENTS.

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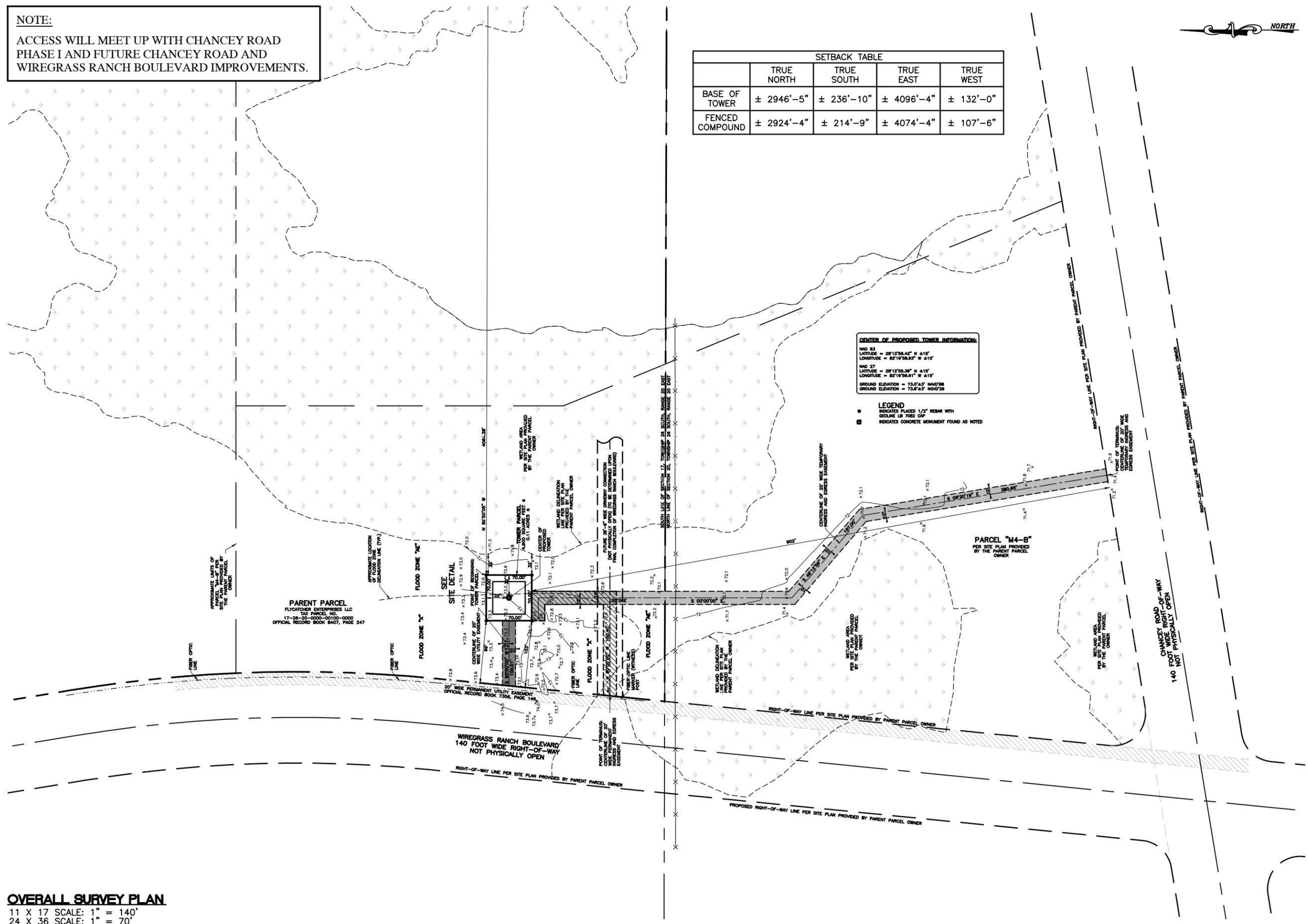
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 ENLARGED  
 AERIAL MAP

SHEET NUMBER  
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**ENLARGED AERIAL MAP**  
 11 X 17 SCALE: 1" = 200'  
 24 X 36 SCALE: 1" = 100'

**NOTE:**  
ACCESS WILL MEET UP WITH CHANCEY ROAD  
PHASE I AND FUTURE CHANCEY ROAD AND  
WIREGRASS RANCH BOULEVARD IMPROVEMENTS.

	SETBACK TABLE			
	TRUE NORTH	TRUE SOUTH	TRUE EAST	TRUE WEST
BASE OF TOWER	± 2946'-5"	± 236'-10"	± 4096'-4"	± 132'-0"
FENCED COMPOUND	± 2924'-4"	± 214'-9"	± 4074'-4"	± 107'-6"



**CENTER OF PROPOSED TOWER INFORMATION:**  
 NAD 83  
 LATITUDE = 28°12'56.42" N ±15"  
 LONGITUDE = 82°19'58.83" W ±15"  
 NAD 27  
 LATITUDE = 28°12'55.39" N ±15"  
 LONGITUDE = 82°19'58.61" W ±15"  
 GROUND ELEVATION = 73.0'±3" NAVD83  
 GROUND ELEVATION = 73.8'±3" NAVD27

**LEGEND**  
 ● INDICATES PLACED 1/2" REBAR WITH  
 REGULINE LB 7082 CAP  
 ■ INDICATES CONCRETE MONUMENT FOUND AS NOTED

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OVERALL SURVEY PLAN

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**OVERALL SURVEY PLAN**  
11 X 17 SCALE: 1" = 140'  
24 X 36 SCALE: 1" = 70'

02/01/2014

**VERTEX**  
DEVELOPMENT, LLC  
405 SOUTH DALE MABRY  
SUITE 244  
TAMPA, FLORIDA 33609  
(813) 335-4768

**EXPERT**  
CONSTRUCTION MANAGERS, INC.  
815 S. KINGS AVE.  
BRANDON, FL 33511  
(813) 657-7810

**EGI**  
ENHANCED GRAPHICS IMAGING, INC.  
ENG. BUS. CA # 28612  
1450 MONTE LAKE DR.  
VALRICO, FLORIDA 33596  
(727) 644-6466

02/01/2014  
**WILLIAM H. ROBERTS**  
PE# 42712  
PROFESSIONAL ENGINEER  
1406 MONTE LAKE DRIVE, VALRICO, FL 33596

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1-800-432-4770  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

REV	DATE	DESCRIPTION
0	02/01/14	ISSUED FOR PERMIT REVIEW
E	01/31/14	REVISED SURVEY & ELEC.
D	01/29/14	REVISED LANDSCAPING, GRADING, SILT FENCE, & ELECTRICAL
C	12/13/13	REVISED COMPOUND, LANDSCAPING, EASEMENTS, GRADING, & ELECTRICAL
B	10/29/13	REVISED GENERAL NOTES, CONTACTS, & ELECTRICAL
A	10/24/13	ISSUED FOR REVIEW

WIREGRASS  
FL-5121  
TBD  
WESLEY CHAPEL, FL 33544  
PASCO COUNTY

SHEET TITLE  
OVERALL SURVEY PLAN  
CONTINUED

SHEET NUMBER  
**S-2**

SOUTH LINE OF THE NORTHEAST 1/4 OF SECTION 17  
NORTH LINE OF THE SOUTHEAST 1/4 OF SECTION 17

NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF CORNER OF SECTION 17, TOWNSHIP 26 SOUTH, RANGE 20 EAST. FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION CERTIFIED CORNER RECORD NO. 086408 FOUND 4" x 4" CONCRETE MONUMENT WITH DISK STAMPED "PRM LB 4515"

**CENTER OF PROPOSED TOWER INFORMATION:**  
NAD 83  
LATITUDE = 28°12'56.42" N ±15'  
LONGITUDE = 82°19'58.93" W ±15'  
NAD 27  
LATITUDE = 28°12'55.39" N ±15'  
LONGITUDE = 82°19'59.61" W ±15'  
GROUND ELEVATION = 73.0'±3' NAVD'88  
GROUND ELEVATION = 73.8'±3' NGVD'29

**PARENT PARCEL**  
FLYCATCHER ENTERPRISES LLC  
TAX PARCEL NO.  
17-26-20-0000-00100-0000  
OFFICIAL RECORD BOOK 8407, PAGE 247

SOUTHEAST 1/4 OF SECTION 17

SOUTHWEST 1/4 OF SECTION 17

SOUTH LINE OF SECTION 17, TOWNSHIP 26 SOUTH, RANGE 20 EAST  
NORTH LINE OF SECTION 20, TOWNSHIP 26 SOUTH, RANGE 20 EAST

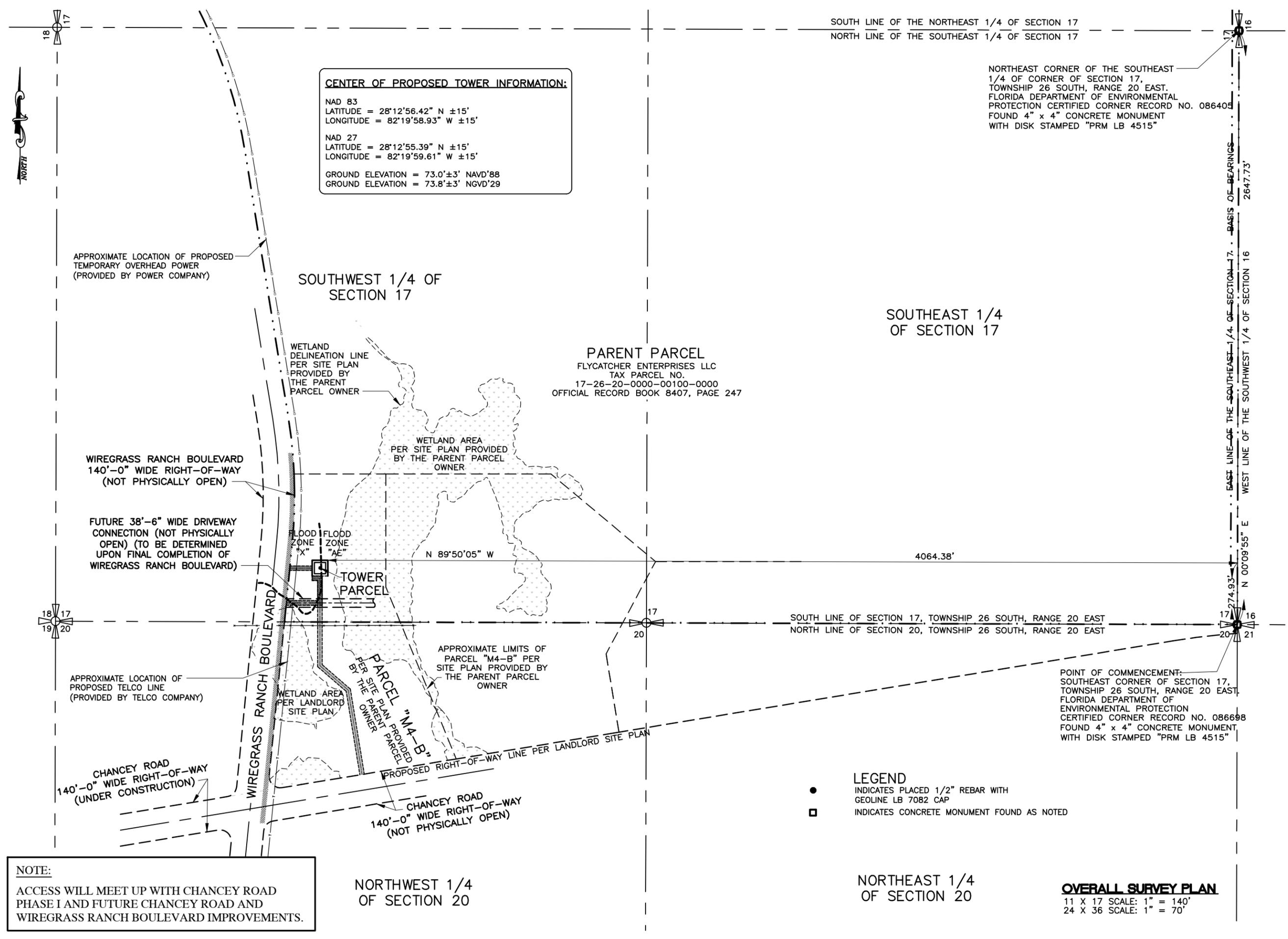
POINT OF COMMENCEMENT:  
SOUTHEAST CORNER OF SECTION 17, TOWNSHIP 26 SOUTH, RANGE 20 EAST, FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION CERTIFIED CORNER RECORD NO. 086698 FOUND 4" x 4" CONCRETE MONUMENT WITH DISK STAMPED "PRM LB 4515"

**LEGEND**  
● INDICATES PLACED 1/2" REBAR WITH GEOLINE LB 7082 CAP  
□ INDICATES CONCRETE MONUMENT FOUND AS NOTED

NORTHEAST 1/4 OF SECTION 20

NORTHWEST 1/4 OF SECTION 20

**OVERALL SURVEY PLAN**  
11 X 17 SCALE: 1" = 140'  
24 X 36 SCALE: 1" = 70'



APPROXIMATE LOCATION OF PROPOSED TEMPORARY OVERHEAD POWER (PROVIDED BY POWER COMPANY)

WIREGRASS RANCH BOULEVARD 140'-0" WIDE RIGHT-OF-WAY (NOT PHYSICALLY OPEN)

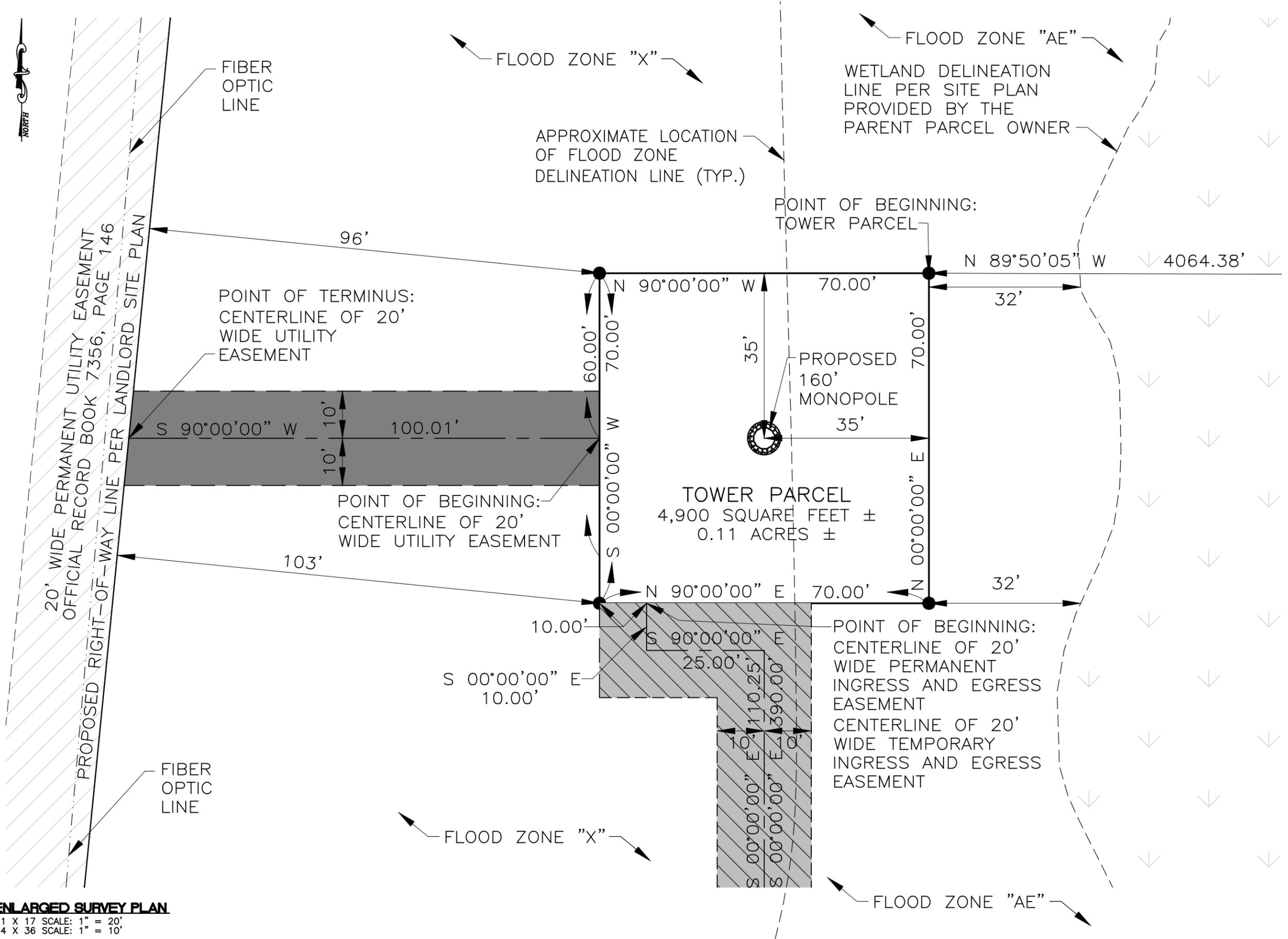
FUTURE 38'-6" WIDE DRIVEWAY CONNECTION (NOT PHYSICALLY OPEN) (TO BE DETERMINED UPON FINAL COMPLETION OF WIREGRASS RANCH BOULEVARD)

APPROXIMATE LOCATION OF PROPOSED TELCO LINE (PROVIDED BY TELCO COMPANY)

CHANCEY ROAD 140'-0" WIDE RIGHT-OF-WAY (UNDER CONSTRUCTION)

CHANCEY ROAD 140'-0" WIDE RIGHT-OF-WAY (NOT PHYSICALLY OPEN)

**NOTE:**  
ACCESS WILL MEET UP WITH CHANCEY ROAD PHASE I AND FUTURE CHANCEY ROAD AND WIREGRASS RANCH BOULEVARD IMPROVEMENTS.



**ENLARGED SURVEY PLAN**  
 11 X 17 SCALE: 1" = 20'  
 24 X 36 SCALE: 1" = 10'

**VERTEX**  
 DEVELOPMENT, LLC  
 405 SOUTH DALE MABRY  
 SUITE 244  
 TAMPA, FLORIDA 33609  
 (813) 335-4768

**EXPERT**  
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REV	DATE	DESCRIPTION
0	02/01/14	ISSUED FOR PERMIT REVIEW
E	01/31/14	REVISED SURVEY & ELEC.
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B	10/29/13	REVISED GENERAL NOTES, CONTACTS, & ELECTRICAL
A	10/24/13	ISSUED FOR REVIEW

WIREGRASS  
 FL-5121  
 TBD  
 WESLEY CHAPEL, FL 33544  
 PASCO COUNTY

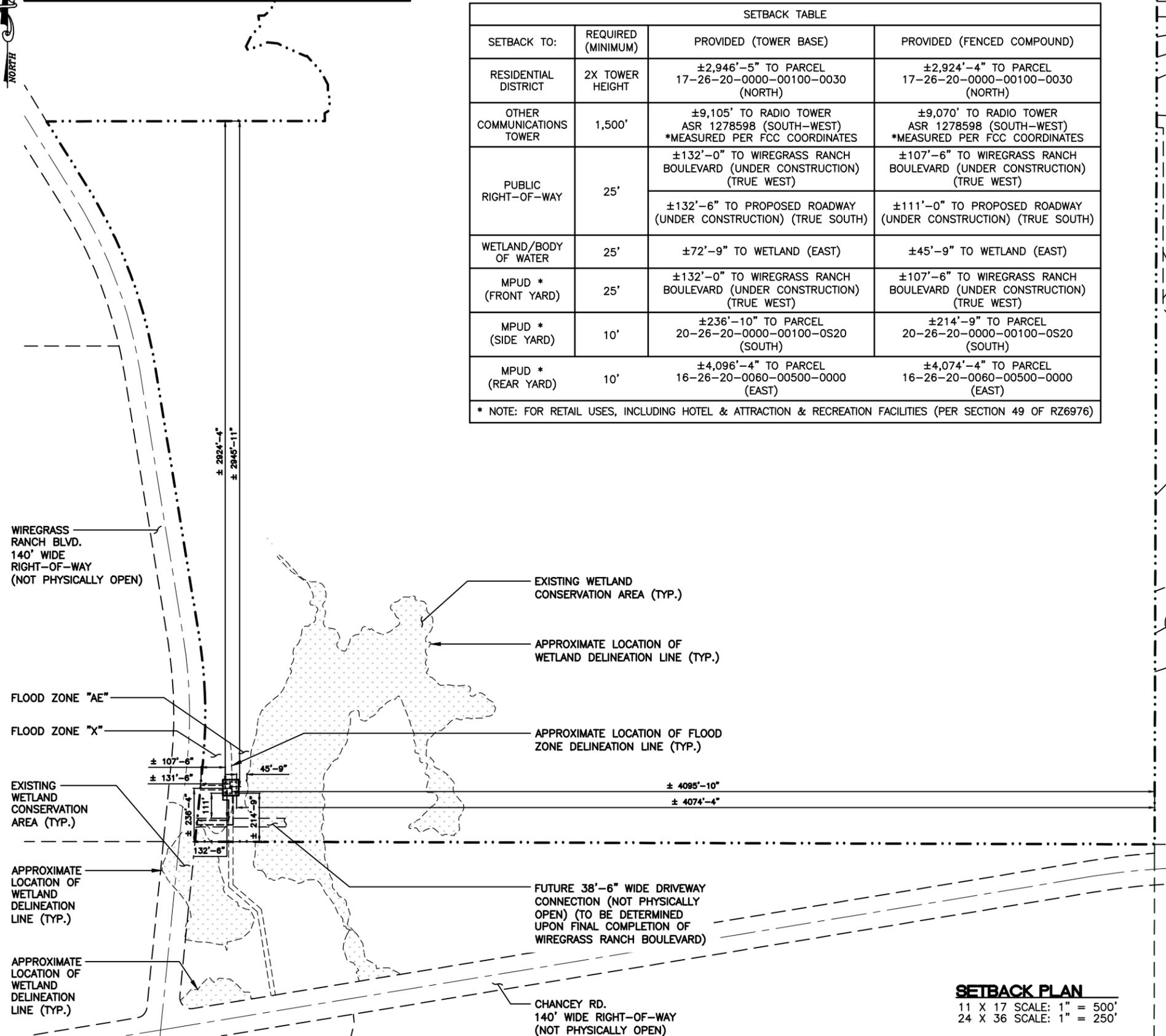
SHEET TITLE  
 ENLARGED SURVEY PLAN

SHEET NUMBER  
**S-3**

**NOTE:**  
ACCESS WILL MEET UP WITH CHANCEY ROAD  
PHASE I AND FUTURE CHANCEY ROAD AND  
WIREGRASS RANCH BOULEVARD IMPROVEMENTS.

SETBACK TABLE			
SETBACK TO:	REQUIRED (MINIMUM)	PROVIDED (TOWER BASE)	PROVIDED (FENCED COMPOUND)
RESIDENTIAL DISTRICT	2X TOWER HEIGHT	±2,946'-5" TO PARCEL 17-26-20-0000-00100-0030 (NORTH)	±2,924'-4" TO PARCEL 17-26-20-0000-00100-0030 (NORTH)
OTHER COMMUNICATIONS TOWER	1,500'	±9,105' TO RADIO TOWER ASR 1278598 (SOUTH-WEST) *MEASURED PER FCC COORDINATES	±9,070' TO RADIO TOWER ASR 1278598 (SOUTH-WEST) *MEASURED PER FCC COORDINATES
PUBLIC RIGHT-OF-WAY	25'	±132'-0" TO WIREGRASS RANCH BOULEVARD (UNDER CONSTRUCTION) (TRUE WEST)	±107'-6" TO WIREGRASS RANCH BOULEVARD (UNDER CONSTRUCTION) (TRUE WEST)
		±132'-6" TO PROPOSED ROADWAY (UNDER CONSTRUCTION) (TRUE SOUTH)	±111'-0" TO PROPOSED ROADWAY (UNDER CONSTRUCTION) (TRUE SOUTH)
WETLAND/BODY OF WATER	25'	±72'-9" TO WETLAND (EAST)	±45'-9" TO WETLAND (EAST)
MPUD * (FRONT YARD)	25'	±132'-0" TO WIREGRASS RANCH BOULEVARD (UNDER CONSTRUCTION) (TRUE WEST)	±107'-6" TO WIREGRASS RANCH BOULEVARD (UNDER CONSTRUCTION) (TRUE WEST)
MPUD * (SIDE YARD)	10'	±236'-10" TO PARCEL 20-26-20-0000-00100-0520 (SOUTH)	±214'-9" TO PARCEL 20-26-20-0000-00100-0520 (SOUTH)
MPUD * (REAR YARD)	10'	±4,096'-4" TO PARCEL 16-26-20-0060-00500-0000 (EAST)	±4,074'-4" TO PARCEL 16-26-20-0060-00500-0000 (EAST)

\* NOTE: FOR RETAIL USES, INCLUDING HOTEL & ATTRACTION & RECREATION FACILITIES (PER SECTION 49 OF RZ6976)



**SETBACK PLAN**  
11 X 17 SCALE: 1" = 500'  
24 X 36 SCALE: 1" = 250'

**DESCRIPTION OF PARENT TRACT**  
THAT PORTION OF PARCEL 'S2' LYING IN SECTION 17 AND DESCRIBED IN OR 8407 PG 247, AND OR 8407 PG 251.

**DESCRIPTION OF VERTEX LEASE PARCEL**  
TOWER PARCEL  
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 26 SOUTH, RANGE 20 EAST, PASCO COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A FOUND 4" X 4" CONCRETE MONUMENT WITH DISK STAMPED "PRM LB 4515" AT THE SOUTHEAST CORNER OF SECTION 17, TOWNSHIP 26 SOUTH, RANGE 20 EAST, PASCO COUNTY, FLORIDA; THENCE NORTH 00°09'55" EAST ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 17 FOR 274.93 FEET; THENCE NORTH 89°50'05" WEST FOR 4064.38 FEET TO THE POINT OF BEGINNING; THENCE NORTH 90°00'00" WEST FOR 70.00 FEET; THENCE SOUTH 00°00'00" WEST FOR 70.00 FEET; THENCE NORTH 90°00'00" EAST FOR 70.00 FEET; THENCE NORTH 00°00'00" EAST FOR 70.00 FEET TO SAID POINT OF BEGINNING.

CONTAINING 4,900 SQUARE FEET (0.11 ACRES), MORE OR LESS.

**DESCRIPTION OF VERTEX UTILITY EASEMENT**  
20 FOOT WIDE UTILITY EASEMENT  
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 26 SOUTH, RANGE 20 EAST, PASCO COUNTY, FLORIDA, LYING WITHIN 10 FEET OF BOTH SIDES OF A CENTERLINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A FOUND 4" X 4" CONCRETE MONUMENT WITH DISK STAMPED "PRM LB 4515" AT THE SOUTHEAST CORNER OF SECTION 17, TOWNSHIP 26 SOUTH, RANGE 20 EAST, PASCO COUNTY, FLORIDA; THENCE NORTH 00°09'55" EAST ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 17 FOR 274.93 FEET; THENCE NORTH 89°50'05" WEST FOR 4064.38 FEET TO THE NORTHEAST CORNER OF AN 70 FOOT BY 70 FOOT TOWER PARCEL; THENCE NORTH 90°00'00" WEST ALONG THE NORTH LINE OF SAID TOWER PARCEL FOR 70.00 FEET TO THE NORTHWEST CORNER OF SAID TOWER PARCEL; THENCE SOUTH 00°00'00" WEST ALONG THE WEST LINE OF SAID TOWER PARCEL FOR 35.00 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF THE HEREIN DESCRIBED 20 FEET WIDE UTILITY EASEMENT; THENCE SOUTH 90°00'00" WEST FOR 100.01 FEET TO AN INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF WIREGRASS RANCH BOULEVARD (140 FOOT WIDE RIGHT-OF-WAY) AND THE POINT OF TERMINUS OF THE HEREIN DESCRIBED CENTERLINE.

CONTAINING 2,000 SQUARE FEET (0.046 ACRES), MORE OR LESS.

**DESCRIPTION OF VERTEX TEMPORARY ACCESS EASEMENT**  
20 FOOT WIDE TEMPORARY INGRESS AND EGRESS EASEMENT  
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 17, AND THAT PART OF THE NORTHWEST 1/4 OF SECTION 20, TOWNSHIP 26 SOUTH, RANGE 20 EAST, PASCO COUNTY, FLORIDA, LYING WITHIN 10 FEET OF BOTH SIDES OF A CENTERLINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A FOUND 4" X 4" CONCRETE MONUMENT WITH DISK STAMPED "PRM LB 4515" AT THE SOUTHEAST CORNER OF SECTION 17, TOWNSHIP 26 SOUTH, RANGE 20 EAST, PASCO COUNTY, FLORIDA; THENCE NORTH 00°09'55" EAST ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 17 FOR 274.93 FEET; THENCE NORTH 89°50'05" WEST FOR 4064.38 FEET TO THE NORTHEAST CORNER OF AN 70 FOOT BY 70 FOOT TOWER PARCEL; THENCE NORTH 90°00'00" WEST ALONG THE NORTH LINE OF SAID TOWER PARCEL FOR 70.00 FEET TO THE NORTHWEST CORNER OF SAID TOWER PARCEL; THENCE SOUTH 00°00'00" WEST ALONG THE WEST LINE OF SAID TOWER PARCEL FOR 70.00 FEET TO THE SOUTHWEST CORNER OF SAID TOWER PARCEL; THENCE NORTH 90°00'00" EAST ALONG THE SOUTH LINE OF SAID TOWER PARCEL FOR 10.00 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF THE HEREIN DESCRIBED 20 FOOT WIDE INGRESS AND EGRESS EASEMENT; THENCE SOUTH 00°00'00" EAST FOR 10.00 FEET; THENCE NORTH 90°00'00" EAST ALONG A LINE PARALLEL WITH SAID SOUTH LINE FOR 25.00 FEET; THENCE SOUTH 00°00'00" EAST FOR 390.00 FEET; THENCE SOUTH 49°12'59" EAST FOR 167.00 FEET; THENCE SOUTH 09°20'19" EAST FOR 380.65 TO AN INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF CHANCEY ROAD (140 FOOT WIDE RIGHT-OF-WAY) AND THE POINT OF TERMINUS OF THE HEREIN DESCRIBED CENTERLINE.

CONTAINING 19,453 SQUARE FEET (0.447 ACRES), MORE OR LESS.

**DESCRIPTION OF VERTEX PERMANENT ACCESS EASEMENT**  
20 FOOT WIDE PERMANENT INGRESS AND EGRESS EASEMENT  
(PREPARED BY GEOLINE SURVEYING, INC.)

THAT PART OF THE SOUTHWEST 1/4 OF SECTION 17, AND THAT PART OF THE NORTHWEST 1/4 OF SECTION 20, TOWNSHIP 26 SOUTH, RANGE 20 EAST, PASCO COUNTY, FLORIDA, LYING WITHIN 10 FEET OF BOTH SIDES OF A CENTERLINE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A FOUND 4" X 4" CONCRETE MONUMENT WITH DISK STAMPED "PRM LB 4515" AT THE SOUTHEAST CORNER OF SECTION 17, TOWNSHIP 26 SOUTH, RANGE 20 EAST, PASCO COUNTY, FLORIDA; THENCE NORTH 00°09'55" EAST ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 17 FOR 274.93 FEET; THENCE NORTH 89°50'05" WEST FOR 4064.38 FEET TO THE NORTHEAST CORNER OF AN 70 FOOT BY 70 FOOT TOWER PARCEL; THENCE NORTH 90°00'00" WEST ALONG THE NORTH LINE OF SAID TOWER PARCEL FOR 70.00 FEET TO THE NORTHWEST CORNER OF SAID TOWER PARCEL; THENCE SOUTH 00°00'00" WEST ALONG THE WEST LINE OF SAID TOWER PARCEL FOR 70.00 FEET TO THE SOUTHWEST CORNER OF SAID TOWER PARCEL; THENCE NORTH 90°00'00" EAST ALONG THE SOUTH LINE OF SAID TOWER PARCEL FOR 10.00 FEET TO THE POINT OF BEGINNING OF THE CENTERLINE OF THE HEREIN DESCRIBED 20 FOOT WIDE INGRESS AND EGRESS EASEMENT; THENCE SOUTH 00°00'00" EAST FOR 10.00 FEET; THENCE NORTH 90°00'00" EAST ALONG A LINE PARALLEL WITH SAID SOUTH LINE FOR 25.00 FEET; THENCE SOUTH 00°00'00" EAST FOR 110.25 FEET; THENCE NORTH 90°00'00" WEST FOR 150.40 FEET TO AN INTERSECTION WITH THE EASTERLY RIGHT-OF-WAY LINE OF WIREGRASS RANCH BOULEVARD (140 FOOT WIDE RIGHT-OF-WAY) AND THE POINT OF TERMINUS OF THE HEREIN DESCRIBED CENTERLINE.

CONTAINING 5,913 SQUARE FEET (0.136 ACRES), MORE OR LESS.

**FLOOD ZONE NOTE:**  
ACCORDING TO GEOLINE SURVEYING, INC.'S INTERPRETATION OF COMMUNITY PANEL NUMBER 120230 0430 E OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) FOR PASCO COUNTY, FLORIDA, DATED 9/30/1992, THE SUBJECT PROPERTY IS IN FLOOD ZONE "X SHADED", "AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD", AND FLOOD ZONE "AE", "SPECIAL FLOOD HAZARD AREAS INUNDED BY 100-YEAR FLOOD, BASE FLOOD ELEVATIONS DETERMINED".

**SURVEYOR'S NOTE:** THE BASE FLOOD ELEVATION DEPICTED ON THE COMMUNITY PANEL, FOR THE LOCATION OF THE SUBJECT TOWER PARCEL, IS 74 FEET NGVD29, WHICH CORRESPONDS TO AN ELEVATION OF 73.2' NAVD88.

**VERTEX**  
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A	10/24/13	ISSUED FOR REVIEW

WIREGRASS  
FL-5121  
TBD  
WESLEY CHAPEL, FL 33544  
PASCO COUNTY

SHEET TITLE  
SETBACK PLAN &  
LEGAL DESCRIPTION

SHEET NUMBER  
**S-4**

**NOTE:**

ACCESS WILL MEET UP WITH CHANCEY ROAD PHASE I AND FUTURE CHANCEY ROAD AND WIREGRASS RANCH BOULEVARD IMPROVEMENTS.



TAX PARCEL NUMBER:  
18-26-20-0000-00100-0050  
OWNER: FLYCATCHER ENTERPRISES, LLC.  
ZONING: MPUD  
ELU: GRAZING LAND CLASS V  
FLU: PD

TAX PARCEL NUMBER:  
17-26-20-0000-00100-0030  
OWNER: FLYCATCHER ENTERPRISES, LLC.  
ZONING: AC  
ELU: NON-AG  
FLU: R-2

TAX PARCEL NUMBER:  
17-26-20-0000-00200-0000  
OWNER: SADDLEBROOK RESORTS, INC.  
ZONING: MPUD  
ELU: GOLF COURSES  
FLU: RES-6

TAX PARCEL NUMBER:  
17-26-20-0000-00200-0010  
OWNER: SADDLEBROOK RESORTS, INC.  
ZONING: MPUD  
ELU: GOLF COURSES  
FLU: RES-6

TAX PARCEL NUMBER:  
17-26-20-0000-00200-0000  
OWNER: SADDLEBROOK RESORTS, INC.  
ZONING: MPUD  
ELU: GOLF COURSES  
FLU: RES-6

TAX PARCEL NUMBER:  
16-26-20-0110-00000-0500  
OWNER: FRANCISCO GALLETTI  
ZONING: MPUD  
ELU: SINGLE FAMILY  
FLU: RES-3 RESIDENTIAL

TAX PARCEL NUMBER:  
16-26-20-0110-00000-0490  
OWNER: COUNTRY WALK SALES, LLC.  
ZONING: MPUD  
ELU: VACANT RESIDENTIAL  
FLU: RES-3 RESIDENTIAL

TAX PARCEL NUMBER:  
18-26-20-0000-00100-0040  
OWNER: STANDARD PACIFIC OF FLORIDA  
ZONING: MPUD  
ELU: NON-AG  
FLU: PD

TAX PARCEL NUMBER:  
17-26-20-0000-00100-0020  
OWNER: STANDARD PACIFIC OF FLORIDA  
ZONING: MPUD  
ELU: NON-AG  
FLU: PD

WIREGRASS RANCH BLVD.  
140' WIDE RIGHT-OF-WAY  
(NOT PHYSICALLY OPEN)

**PARENT PARCEL**  
TAX PARCEL NUMBER: 17-26-20-0000-00100-0000  
OWNER: FLYCATCHER ENTERPRISES, LLC.  
ZONING: MPUD  
ELU: GRAZING LAND CLASS V  
FLU: PD / CON

TAX PARCEL NUMBER:  
18-26-20-0000-00100-0030  
OWNER: STANDARD PACIFIC OF FLORIDA  
ZONING: MPUD  
ELU: NON-AG  
FLU: PD

TAX PARCEL NUMBER:  
17-26-20-0000-00100-0010  
OWNER: STANDARD PACIFIC OF FLORIDA  
ZONING: MPUD  
ELU: NON-AG  
FLU: PD

FUTURE 38'-6" WIDE DRIVEWAY CONNECTION  
(NOT PHYSICALLY OPEN) (TO BE DETERMINED UPON  
FINAL COMPLETION OF WIREGRASS RANCH BOULEVARD)

TAX PARCEL NUMBER:  
19-26-20-0000-00100-0020  
OWNER: STANDARD PACIFIC OF FLORIDA  
ZONING: MPUD  
ELU: NON-AG  
FLU: PD

TAX PARCEL NUMBER:  
20-26-20-0000-00100-0030  
OWNER: STANDARD PACIFIC OF FLORIDA  
ZONING: MPUD  
ELU: NON-AG  
FLU: PD

TAX PARCEL NUMBER: 20-26-20-0000-00100-0S20  
OWNER: FLYCATCHER ENTERPRISES, LLC.  
ZONING: MPUD  
ELU: GRAZING LAND CLASS V  
FLU: PD

WIREGRASS RANCH BLVD.  
140' WIDE RIGHT-OF-WAY  
(NOT PHYSICALLY OPEN)

CHANCEY RD.  
140' WIDE RIGHT-OF-WAY  
(NOT PHYSICALLY OPEN)

TAX PARCEL NUMBER:  
20-26-20-0000-00100-0000  
OWNER: WIREGRASS RANCH, INC.  
ZONING: MPUD  
ELU: GRAZING LAND CLASS V  
FLU: PD

TAX PARCEL NUMBER: 20-26-20-0000-00100-0100  
OWNER: MAGGIE POND, LLC.  
ZONING: MPUD  
ELU: GRAZING LAND CLASS V  
FLU: D

TAX PARCEL NUMBER:  
16-26-20-0060-00500-0000  
OWNER: COUNTRY WALK COMMUNITY DEVELOPMENT DISTRICT  
ZONING: MPUD  
ELU: SEWAGE DISPOSAL, WASTE LANDS, SWAMP  
FLU: RES-3 RESIDENTIAL

TAX PARCEL NUMBER:  
16-26-20-0050-01900-0000  
OWNER: COUNTRY WALK COMMUNITY DEVELOPMENT DISTRICT  
ZONING: MPUD  
ELU: SEWAGE DISPOSAL, WASTE LANDS, SWAMP  
FLU: RES-3 RESIDENTIAL

TAX PARCEL NUMBER:  
16-26-20-0110-019B0-0000  
OWNER: COUNTRY WALK COMMUNITY DEVELOPMENT DISTRICT  
ZONING: MPUD  
ELU: SEWAGE DISPOSAL, WASTE LANDS, SWAMP  
FLU: RES-3 RESIDENTIAL

TAX PARCEL NUMBER:  
16-26-20-0110-00000-0420  
OWNER: ANTHONY & ANGELA DORIA  
ZONING: MPUD  
ELU: SINGLE FAMILY  
FLU: RES-3 RESIDENTIAL

TAX PARCEL NUMBER:  
16-26-20-0110-00000-0440  
OWNER: SCOTT & DEBORAH A. HEGER  
ZONING: MPUD  
ELU: SINGLE FAMILY  
FLU: RES-3 RESIDENTIAL

TAX PARCEL NUMBER:  
16-26-20-0110-00000-0470  
OWNER: WASTE MANAGEMENT SERVICES, LLC.  
ZONING: MPUD  
ELU: SINGLE FAMILY  
FLU: RES-3 RESIDENTIAL

TAX PARCEL NUMBER:  
16-26-20-0110-00000-0480  
OWNER: COUNTRY WALK SALES, LLC.  
ZONING: MPUD  
ELU: VACANT RESIDENTIAL  
FLU: RES-3 RESIDENTIAL

TAX PARCEL NUMBER:  
16-26-20-0060-00000-1050  
OWNER: BRIAN L. & SHARI S. GAIEFSKY  
ZONING: MPUD  
ELU: SINGLE FAMILY  
FLU: RES-3 RESIDENTIAL

TAX PARCEL NUMBER:  
16-26-20-0110-00000-0390  
OWNER: COUNTRY WALK DEVELOPERS, LLC.  
ZONING: MPUD  
ELU: VACANT RESIDENTIAL  
FLU: RES-3 RESIDENTIAL

TAX PARCEL NUMBER:  
16-26-20-0050-01800-0000  
OWNER: COUNTRY WALK COMMUNITY DEVELOPMENT DISTRICT  
ZONING: MPUD  
ELU: SEWAGE DISPOSAL, WASTE LANDS, SWAMP  
FLU: RES-3 RESIDENTIAL

TAX PARCEL NUMBER:  
16-26-20-0110-00000-0450  
OWNER: EDWARD N. & JENNIFER C. HERNANDEZ  
ZONING: MPUD  
ELU: SINGLE FAMILY  
FLU: RES-3 RESIDENTIAL

TAX PARCEL NUMBER:  
16-26-20-0110-00000-0460  
OWNER: ROBERT & VICTORIA PICCIRILLI  
ZONING: MPUD  
ELU: SINGLE FAMILY  
FLU: RES-3 RESIDENTIAL

CHANCEY RD.  
140' WIDE RIGHT-OF-WAY  
(NOT PHYSICALLY OPEN)

TAX PARCEL NUMBER:  
21-26-20-0000-00100-1050  
OWNER: MAGGIE POND, LLC.  
ZONING: MPUD  
ELU: ORCHARD GROVES  
FLU: PD

**LANDUSE PLAN**  
11 X 17 SCALE: 1" = 550'  
24 X 36 SCALE: 1" = 275'

**VERTEX**  
DEVELOPMENT, LLC  
405 SOUTH DALE MABRY SUITE 244  
TAMPA, FLORIDA 33609  
(813) 335-4768

**EXPERT**  
CONSTRUCTION MANAGERS, INC.  
815 S. KINGS AVE.  
BRANDON, FL 33511  
(813) 657-7810

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ENHANCED GRAPHICS IMAGING, INC.  
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1450 MONTE LAKE DR.  
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(727) 644-6466

WILLIAM H. ROBERTS  
PE# 42712  
PROFESSIONAL ENGINEER  
1405 MONTE LAKE DRIVE, VALRICO, FL 33598

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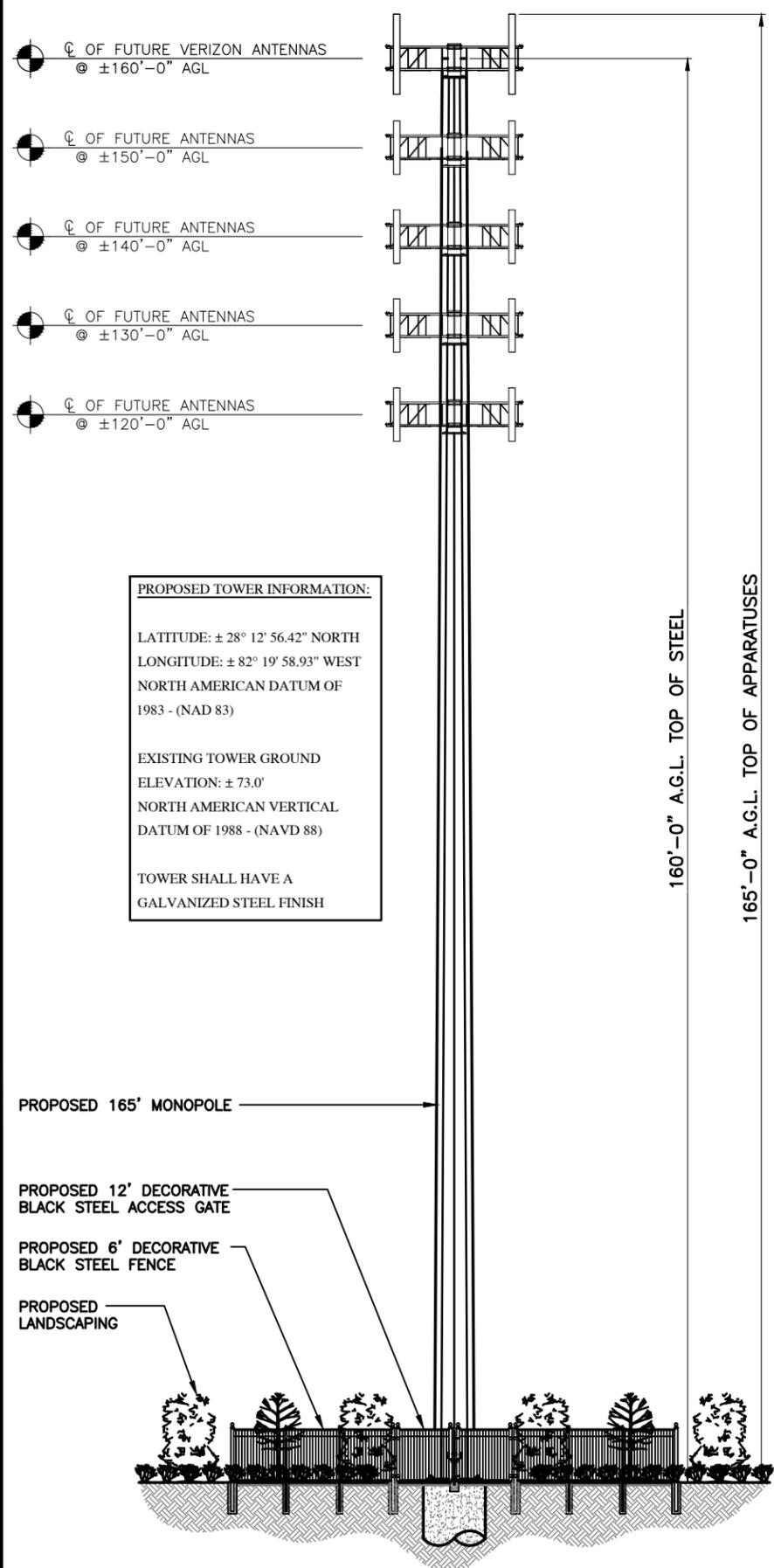
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D	01/29/14	REVISED LANDSCAPING, GRADING, SILT FENCE, & ELECTRICAL
C	12/13/13	REVISED COMPOUND, LANDSCAPING, EASEMENTS, GRADING, & ELECTRICAL
B	10/29/13	REVISED GENERAL NOTES, CONTACTS, & ELECTRICAL
A	10/24/13	ISSUED FOR REVIEW

WIREGRASS FL-5121  
TBD  
WESLEY CHAPEL, FL 33544  
PASCO COUNTY

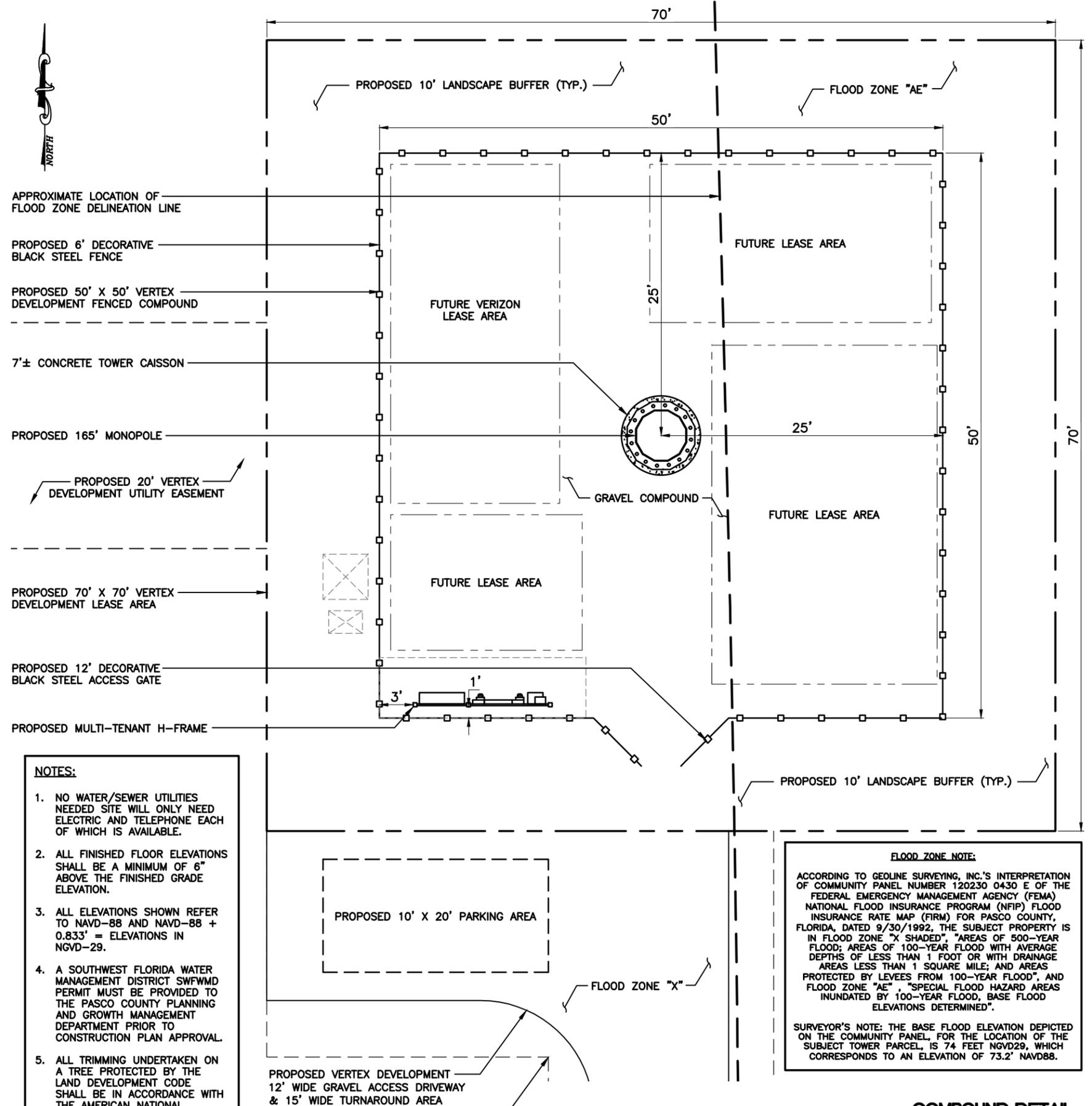
SHEET TITLE  
LAND USE PLAN

SHEET NUMBER  
**LU-1**

02/01/2014



**TOWER ELEVATION**  
 11 X 17 SCALE: 1" = 18'  
 24 X 36 SCALE: 1" = 9'



- NOTES:**
1. NO WATER/SEWER UTILITIES NEEDED SITE WILL ONLY NEED ELECTRIC AND TELEPHONE EACH OF WHICH IS AVAILABLE.
  2. ALL FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF 6" ABOVE THE FINISHED GRADE ELEVATION.
  3. ALL ELEVATIONS SHOWN REFER TO NAVD-88 AND NAVD-88 + 0.833' = ELEVATIONS IN NGVD-29.
  4. A SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT SWFWMD PERMIT MUST BE PROVIDED TO THE PASCO COUNTY PLANNING AND GROWTH MANAGEMENT DEPARTMENT PRIOR TO CONSTRUCTION PLAN APPROVAL.
  5. ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE LAND DEVELOPMENT CODE SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.

**FLOOD\_ZONE NOTE:**  
 ACCORDING TO GEOLINE SURVEYING, INC.'S INTERPRETATION OF COMMUNITY PANEL NUMBER 120230 0430 E OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) FOR PASCO COUNTY, FLORIDA, DATED 9/30/1992, THE SUBJECT PROPERTY IS IN FLOOD\_ZONE "X SHADED", "AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD", AND FLOOD\_ZONE "AE", "SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD, BASE FLOOD ELEVATIONS DETERMINED".  
 SURVEYOR'S NOTE: THE BASE FLOOD ELEVATION DEPICTED ON THE COMMUNITY PANEL, FOR THE LOCATION OF THE SUBJECT TOWER PARCEL, IS 74 FEET NGVD29, WHICH CORRESPONDS TO AN ELEVATION OF 73.2' NAVD88.

**COMPOUND DETAIL**  
 11 X 17 SCALE: 1" = 10'  
 24 X 36 SCALE: 1" = 5'

**VERTEX**  
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 405 SOUTH DALE MABRY SUITE 244  
 TAMPA, FLORIDA 33609  
 (813) 335-4768

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 (727) 644-6466

WILLIAM H. ROBERTS  
 PE# 42712  
 PROFESSIONAL ENGINEER  
 1405 MONTE LAKE DRIVE, VALRICO, FL 33596

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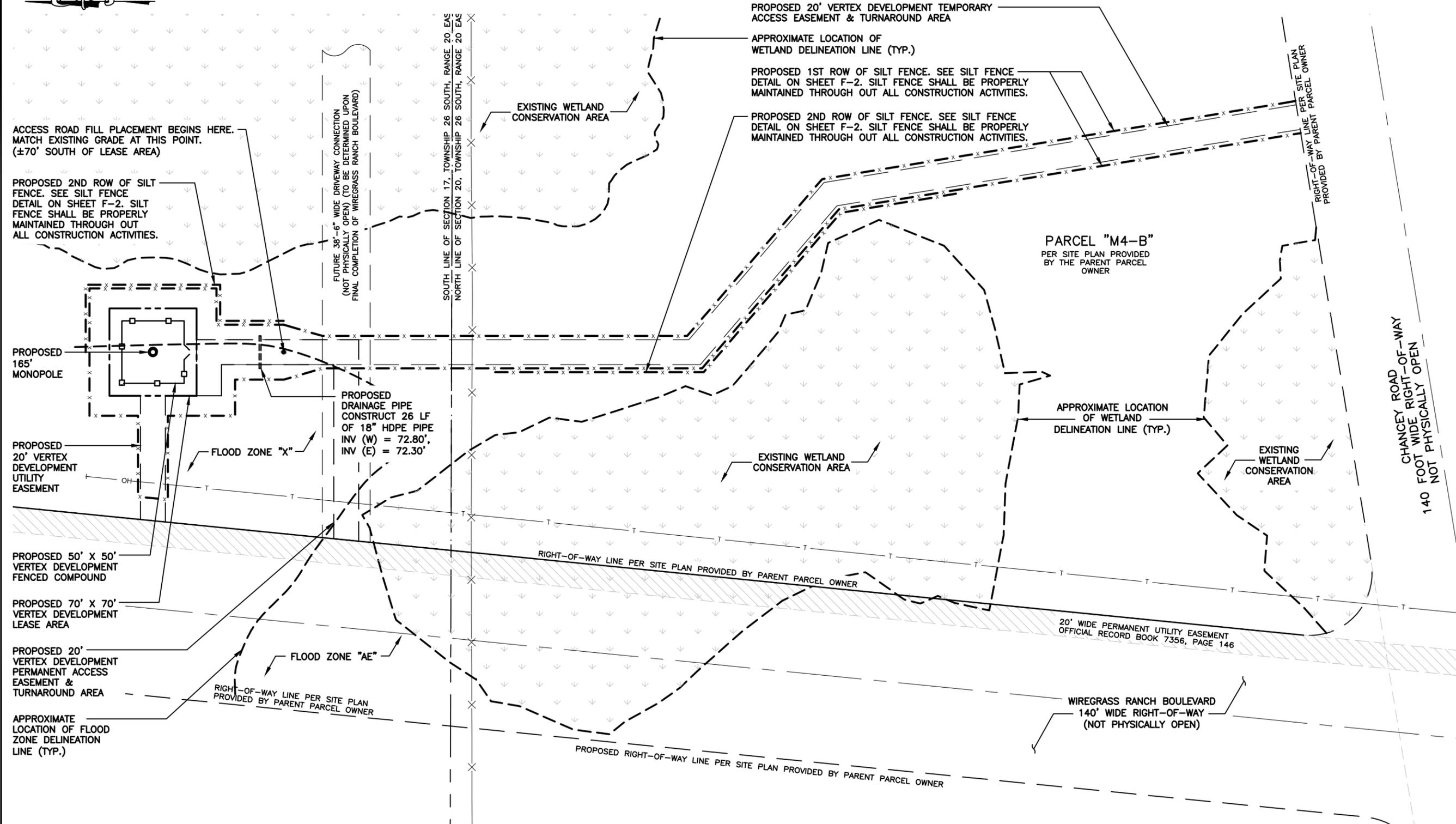
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WIREGRASS  
 FL-5121  
 TBD  
 WESLEY CHAPEL, FL 33544  
 PASCO COUNTY

SHEET TITLE  
 COMPOUND DETAIL  
 &  
 TOWER ELEVATION

SHEET NUMBER  
**C-1**

02/01/2014



**GENERAL PROTECTION BARRIER NOTES:**

1. NO LAND ALTERATION ACTIVITIES SHALL OCCUR OUTSIDE OF THE SILT FENCE BARRIER.
2. ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE LAND DEVELOPMENT CODE SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.
3. WITHIN THE DRIP LINE OF A TREE NO REMOVAL OF VEGETATION SHALL OCCUR NOR SHALL THERE BE PLACED ANY SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIALS, MACHINERY OR ANY OTHER EQUIPMENT.
4. AT THE COMPLETION OF CONSTRUCTION PRIOR TO REMOVAL OF THE SILT FENCE, HAY BALES AND TREE BARRICADES, THE CONSTRUCTION STAGING AREA SHALL BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL BY SODDING, SPRIGGING, PLUGGING OR SEEDING.
5. THERE IS LANDSCAPING REQUIRED FOR THIS PROJECT, SEE SHEET L-1.
6. IN ORDER TO MINIMIZE SOIL EROSION AT THIS SITE THE PROPOSED LAND ALTERATION ACTIVITIES SHALL NOT UNNECESSARILY REMOVE EXISTING VEGETATION AND ALTER EXISTING TOPOGRAPHY. ADEQUATE PROTECTION MEASURES (I.E., HAY BALES, BAFFLES, SODDING AND SANDBAGGING) SHALL BE PROVIDED, AS NECESSARY, TO MINIMIZE EROSION AND DOWNSTREAM SEDIMENTATION CAUSED BY SURFACE WATER RUN-OFF ON EXPOSED LAND SURFACES.
7. ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE. SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1. VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.

**NOTE:**  
ACCESS WILL MEET UP WITH CHANCEY ROAD PHASE I AND FUTURE CHANCEY ROAD AND WIREGRASS RANCH BOULEVARD IMPROVEMENTS.

**PROTECTIVE BARRIER LAYOUT**  
11 X 17 SCALE: 1" = 40'  
24 X 36 SCALE: 1" = 20'

**VERTEX**  
DEVELOPMENT, LLC  
405 SOUTH DALE MABRY  
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(727) 644-6466

02/01/2014  
  
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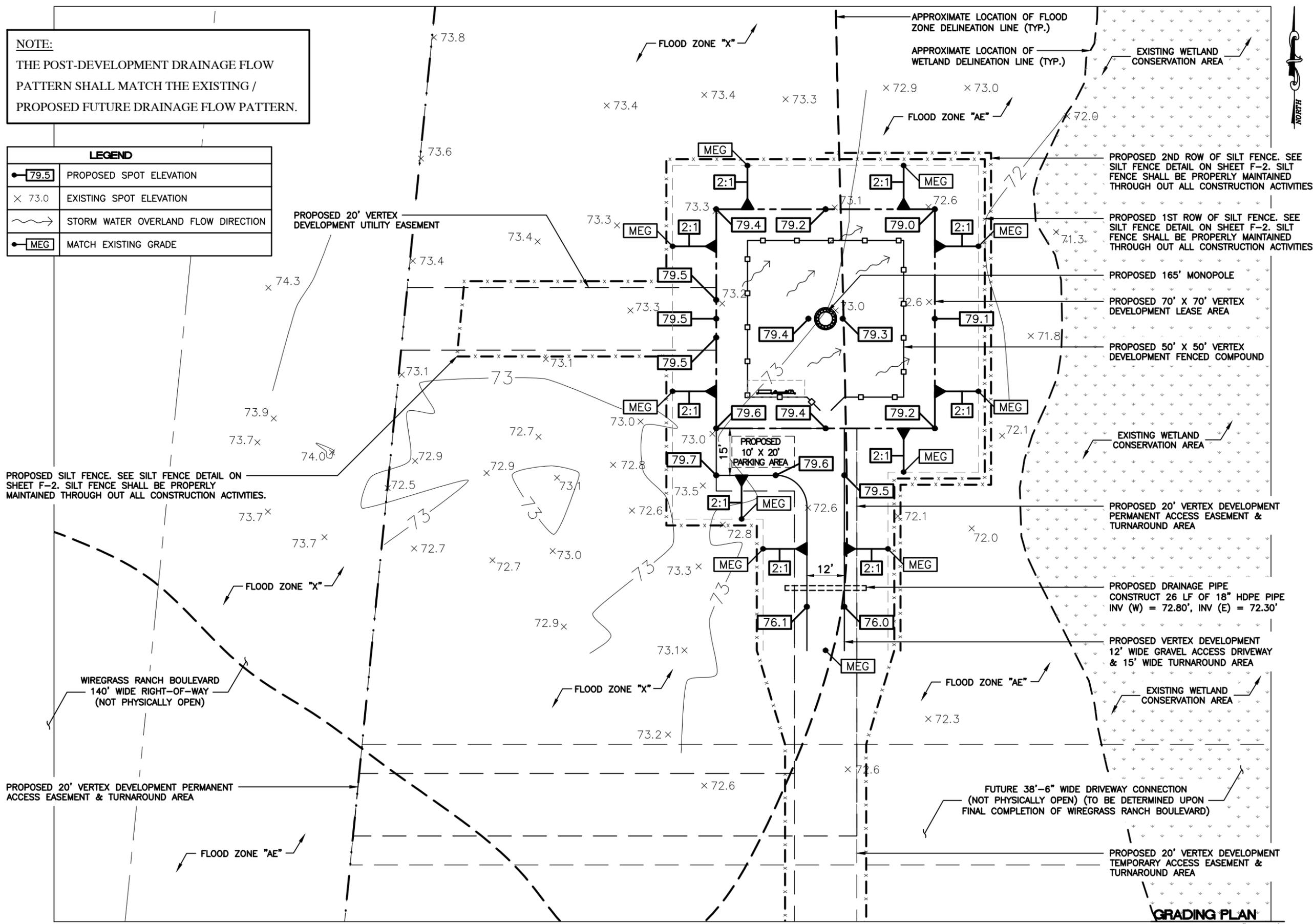
WIREGRASS  
FL-5121  
TBD  
WESLEY CHAPEL, FL 33544  
PASCO COUNTY

SHEET TITLE  
SITE LAYOUT FOR  
PROTECTIVE BARRIERS

SHEET NUMBER  
**C-2**

**NOTE:**  
THE POST-DEVELOPMENT DRAINAGE FLOW PATTERN SHALL MATCH THE EXISTING / PROPOSED FUTURE DRAINAGE FLOW PATTERN.

LEGEND	
● 79.5	PROPOSED SPOT ELEVATION
× 73.0	EXISTING SPOT ELEVATION
→	STORM WATER OVERLAND FLOW DIRECTION
MEG	MATCH EXISTING GRADE



PROPOSED 2ND ROW OF SILT FENCE. SEE SILT FENCE DETAIL ON SHEET F-2. SILT FENCE SHALL BE PROPERLY MAINTAINED THROUGH OUT ALL CONSTRUCTION ACTIVITIES.

PROPOSED 1ST ROW OF SILT FENCE. SEE SILT FENCE DETAIL ON SHEET F-2. SILT FENCE SHALL BE PROPERLY MAINTAINED THROUGH OUT ALL CONSTRUCTION ACTIVITIES.

PROPOSED 165' MONOPOLE

PROPOSED 70' X 70' VERTEX DEVELOPMENT LEASE AREA

PROPOSED 50' X 50' VERTEX DEVELOPMENT FENCED COMPOUND

EXISTING WETLAND CONSERVATION AREA

PROPOSED 20' VERTEX DEVELOPMENT PERMANENT ACCESS EASEMENT & TURNAROUND AREA

PROPOSED DRAINAGE PIPE CONSTRUCT 26 LF OF 18" HDPE PIPE INV (W) = 72.80', INV (E) = 72.30'

PROPOSED VERTEX DEVELOPMENT 12' WIDE GRAVEL ACCESS DRIVEWAY & 15' WIDE TURNAROUND AREA

EXISTING WETLAND CONSERVATION AREA

FUTURE 38'-6" WIDE DRIVEWAY CONNECTION (NOT PHYSICALLY OPEN) (TO BE DETERMINED UPON FINAL COMPLETION OF WIREGRASS RANCH BOULEVARD)

PROPOSED 20' VERTEX DEVELOPMENT TEMPORARY ACCESS EASEMENT & TURNAROUND AREA

**GRADING PLAN**

11 X 17 SCALE: 1" = 30'  
24 X 36 SCALE: 1" = 15'

**VERTEX**  
DEVELOPMENT, LLC  
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TAMPA, FLORIDA 33609  
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WIREGRASS  
FL-5121  
TBD  
WESLEY CHAPEL, FL 33544  
PASCO COUNTY

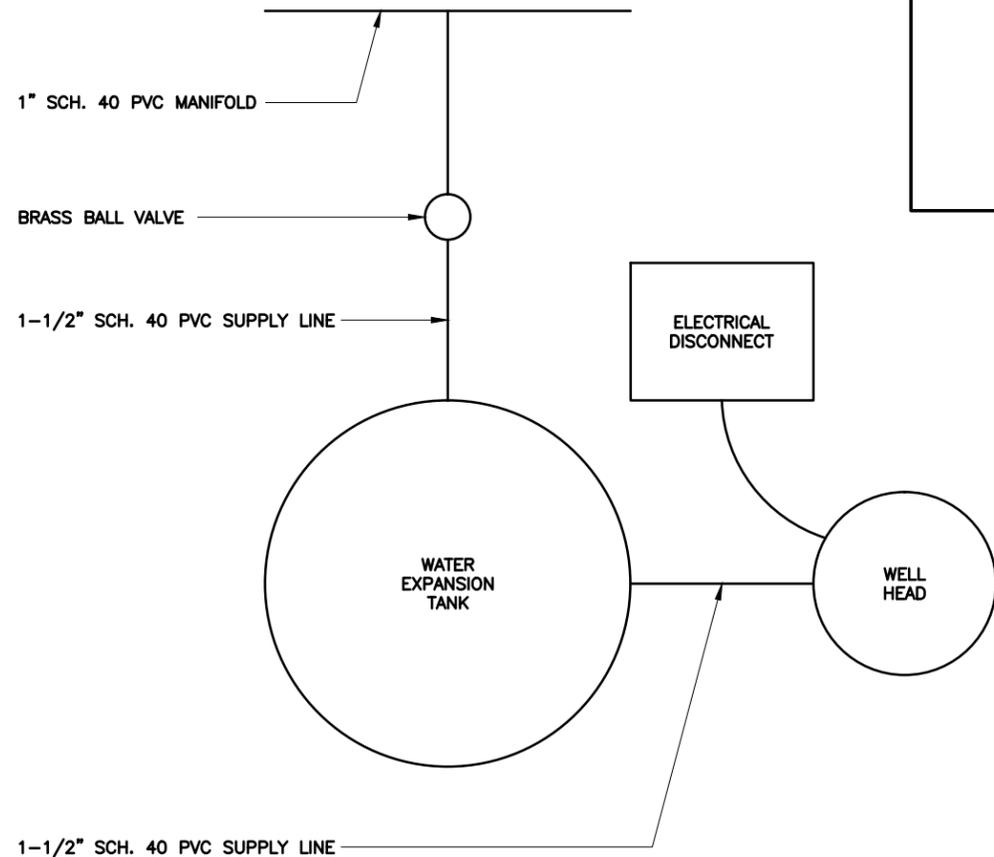
SHEET TITLE  
GRADING PLAN

SHEET NUMBER  
**C-3**

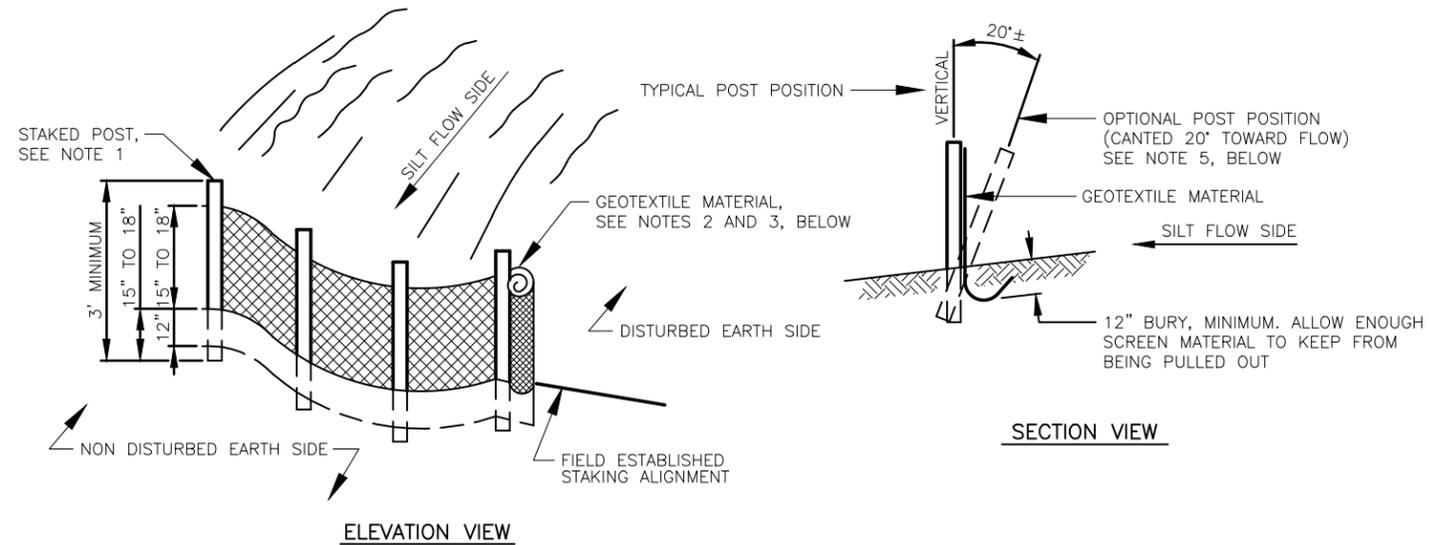


**IRRIGATION NOTES:**

1. AT TIME OF PLANTING TREES WILL REQUIRE WATERING AT A RATE OF 12 GAL A DAY. AT THE TIME OF PLANTING THE SHRUBS WILL REQUIRE WATERING AT A RATE OF 2 GAL PER DAY. CONTRACTOR WILL VERIFY THAT THIS IS OCCURRING.
2. IRRIGATION FOR PROPOSED LANDSCAPING WILL BE TIED INTO EXISTING GRAND ISLAND BAPTIST CHURCH'S IRRIGATION SYSTEM.



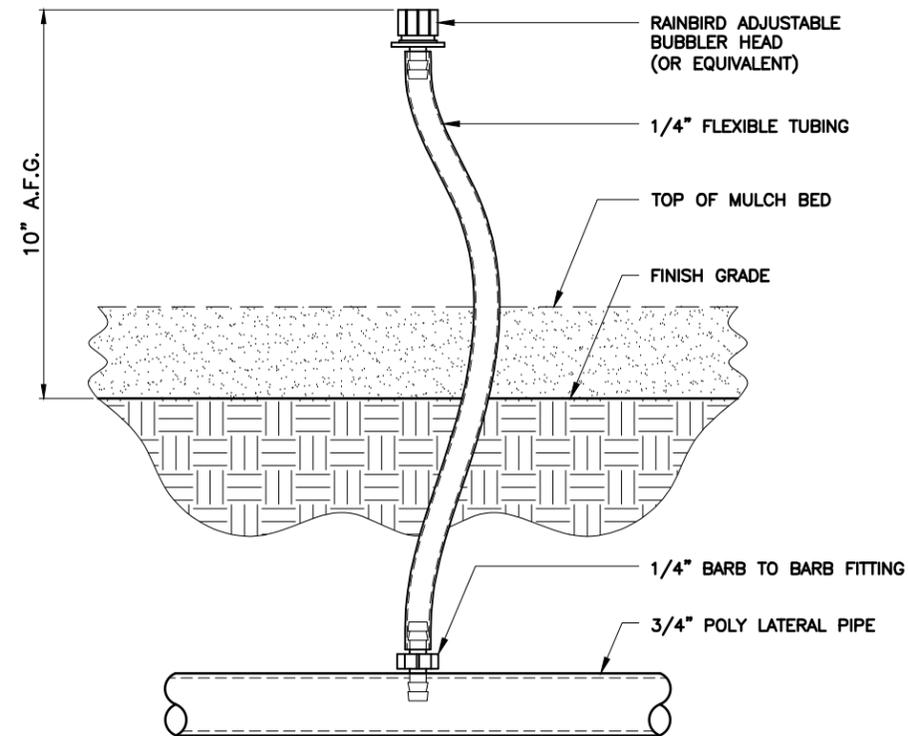
**IRRIGATION DETAIL**  
NOT TO SCALE



**SILT FENCE DETAIL**  
NOT TO SCALE

**SILT FENCE NOTES:**

1. POST; 2" X 2" WOOD, P.T. OR 2-1/2" Ø STEEL AT 6' O.C., MAXIMUM.
2. GEOTEXTILE: GRAB TENSILE AT 90 LBS., TRAPEZOIDAL TEAR AT 35 LBS., MULLEN BURST AT 180 PSI.
3. GEOTEXTILE MATERIAL SHALL BE BURIED IN THE GROUND A MINIMUM OF 12" AND BACK FILLED.
4. ALL SEE FDOT INDEX 199, "GEOTEXTILE CRITERIA", EROSION CLASS.
5. OPTIONAL POST POSITION REQUIRED WHEN SLOPE IS GREATER THAN 1:2.



**BUBBLER DETAIL**  
NOT TO SCALE

**VERTEX**  
DEVELOPMENT, LLC  
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WIREGRASS  
FL-5121  
TBD  
WESLEY CHAPEL, FL 33544  
PASCO COUNTY

SHEET TITLE  
IRRIGATION & PROTECTIVE BARRIERS DETAILS

SHEET NUMBER  
**F-2**



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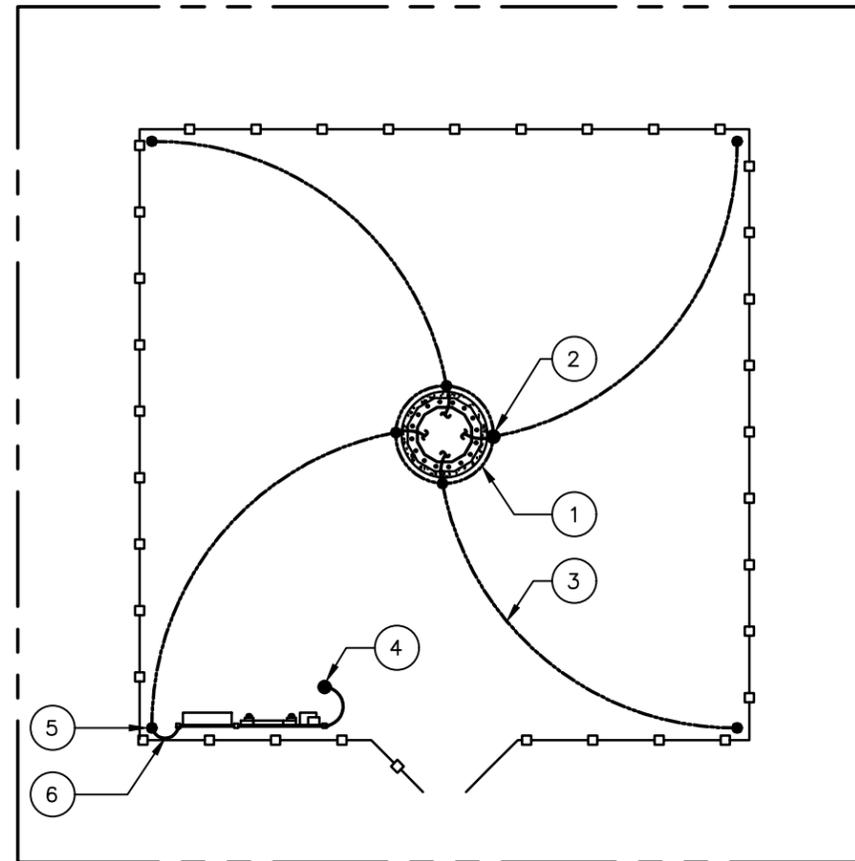
SHEET TITLE  
SITE GROUNDING PLAN,  
NOTES, & DETAILS

SHEET NUMBER

E-1

### GROUNDING KEY

- ① TOWER GROUND RING #2 AWG BARE TINNED. GROUND RING TO BE INSTALLED WITH NO KINKS OR BENDS AND AT A DEPTH OF 30"
- ② GROUND ROD WITH INSPECTION WELL (TYP. 1 AT TOWER)
- ③ TOWER GROUND RING #2 AWG BARE, TINNED TO BE BONDED TO COMPOUND GROUND RODS
- ④ SERVICE ENTRANCE GROUND ROD WITH INSPECTION WELL
- ⑤ TYPICAL GROUND ROD
- ⑥ #2 AWG GROUND FROM H-FRAME POST TO GROUND ROD

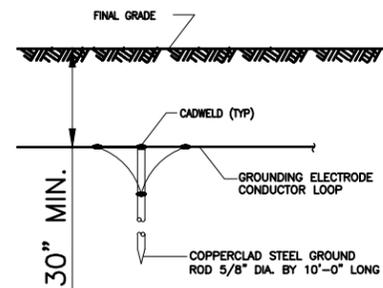


### SITE GROUNDING PLAN

11 X 17 SCALE: 1" = 15'  
24 X 36 SCALE: 1" = 7.5'

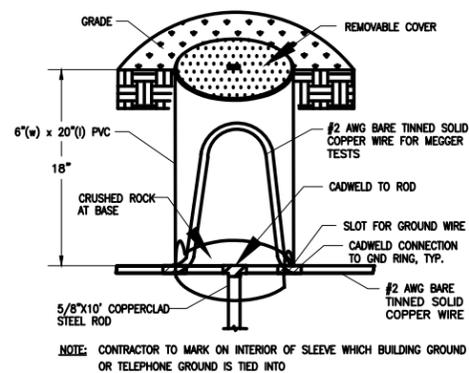
### GROUNDING PROTECTION SYSTEM NOTES:

1. PROVIDE A GND RING BURIED A MINIMUM OF 30" BELOW GRADE PER N.E.C. ARTICLE 250.53, PARAGRAPH F. THE GND RING SHALL BE INSTALLED A MIN. OF 2'-0" AWAY FROM THE FOUNDATION UNLESS SHOWN ON DRAWING.
2. BOND DISCONNECT SWITCH, METER, TELEPHONE CABINET AND SERVICE CONDUITS TO BURIED GND RING AS THEY CROSS.
3. PROVIDE INSPECTION SLEEVE AT MAIN SERVICE GROUNDS. EXOTHERMIC CONNECTIONS. (AS NOTED IN ABOVE LOCATIONS)
4. EXOTHERMICALLY WELD BONDING CONDUCTOR TO COMMUNICATION STRUCTURE LEG AT 1'-0" ABOVE PAD AND BOND TO BURIED GND RING. PROVIDE A 3/4" PVC SLEEVE WITH A GRADUAL BEND IN THE CONCRETE FOUNDATION.
5. 5/8"x10'-0" LONG COPPER CLAD GND ROD. 15' SPACING BETWEEN RODS (NON-LINEAR). TYPICAL FOR ALL GND RODS SHOWN. USE STAINLESS STEEL HARDWARE WHERE APPLICABLE.
6. ELECTRICAL CONTRACTOR SHALL TAKE MEGGER READINGS OF GND. THE RESULTS SHALL NOT BE GREATER THAN 5 OHMS.
7. ALL CONNECTIONS TO GND SYSTEM SHALL BE MADE IN LINE WITH BENDS NOMINAL 12" RADIUS IN THE DIRECTION OF CURRENT FLOW. T-CONNECTIONS WILL NOT BE ALLOWED. ALL BENDS IN GND WIRES SHALL BE NOMINAL 12" RADIUS.
8. CONTRACTOR SHALL PROVIDE EXOTHERMIC BONDING AT ALL BURIED GROUND RING CONNECTIONS, STRUCTURAL EQUIPMENT FRAME, SERVICE RACK(S), TOWER.
9. CONTRACTOR SHALL COAT WITH NOX-OX ALL POINTS OF CONTACT BETWEEN DISSIMILAR METALS.



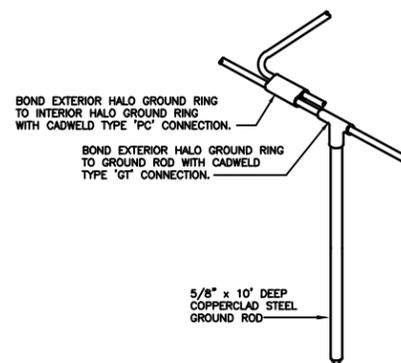
### TYPICAL GROUND ROD

NOT TO SCALE



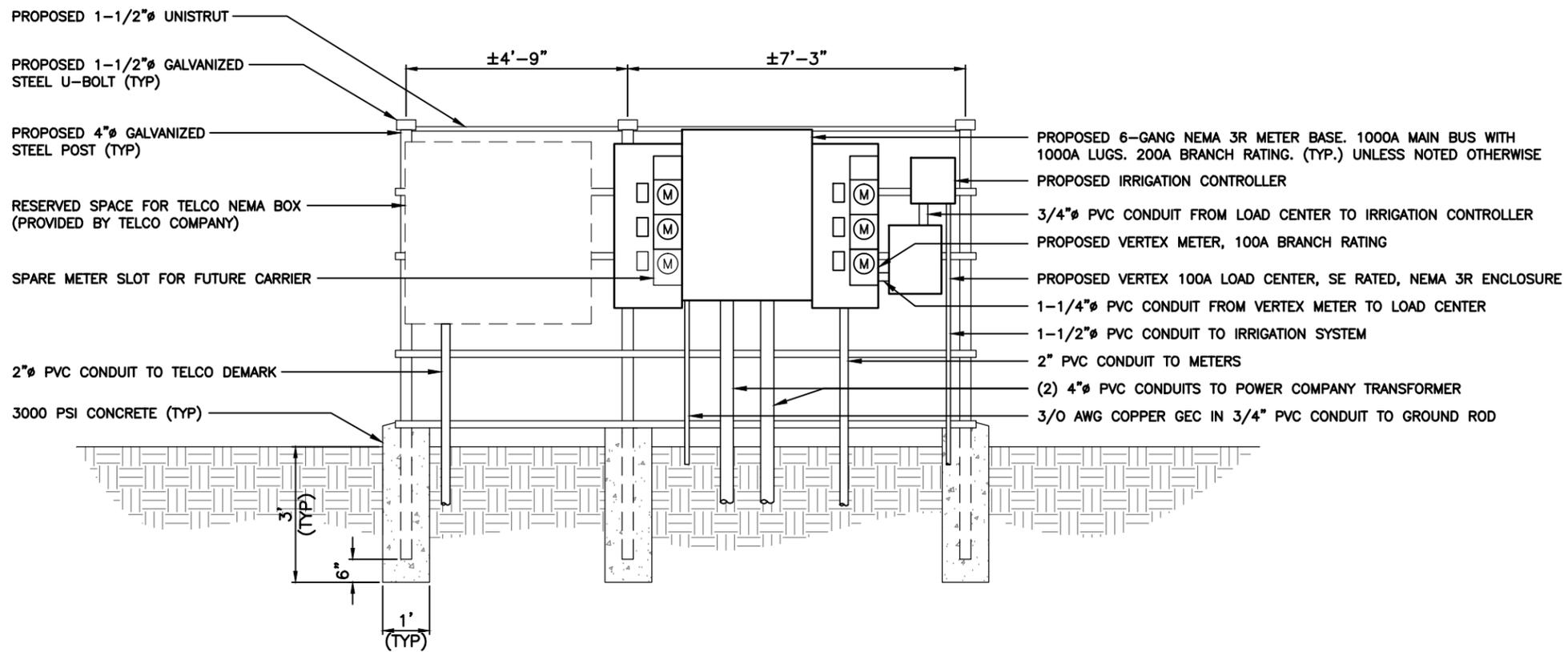
### INSPECTION WELL DETAIL

NOT TO SCALE

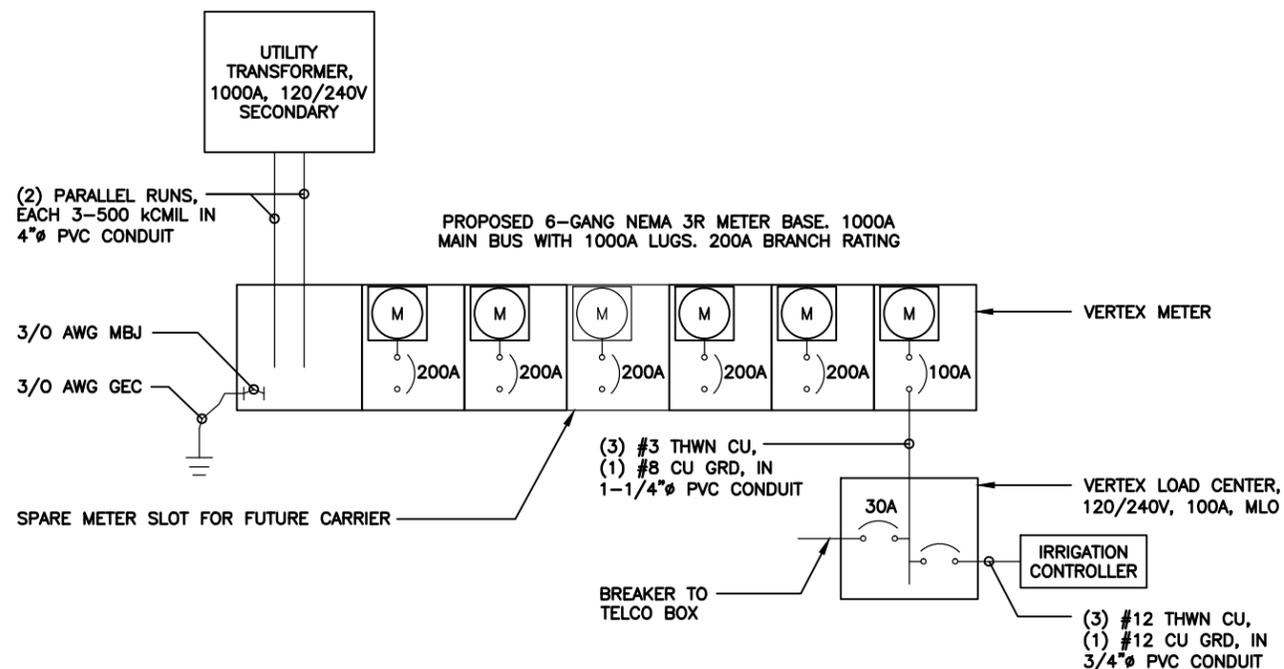


### GROUNDING CONNECTION DETAIL

NOT TO SCALE



**H-FRAME DETAIL**  
NOT TO SCALE



**ONE-LINE DIAGRAM**  
NOT TO SCALE

**VERTEX**  
DEVELOPMENT, LLC  
405 SOUTH DALE MABRY  
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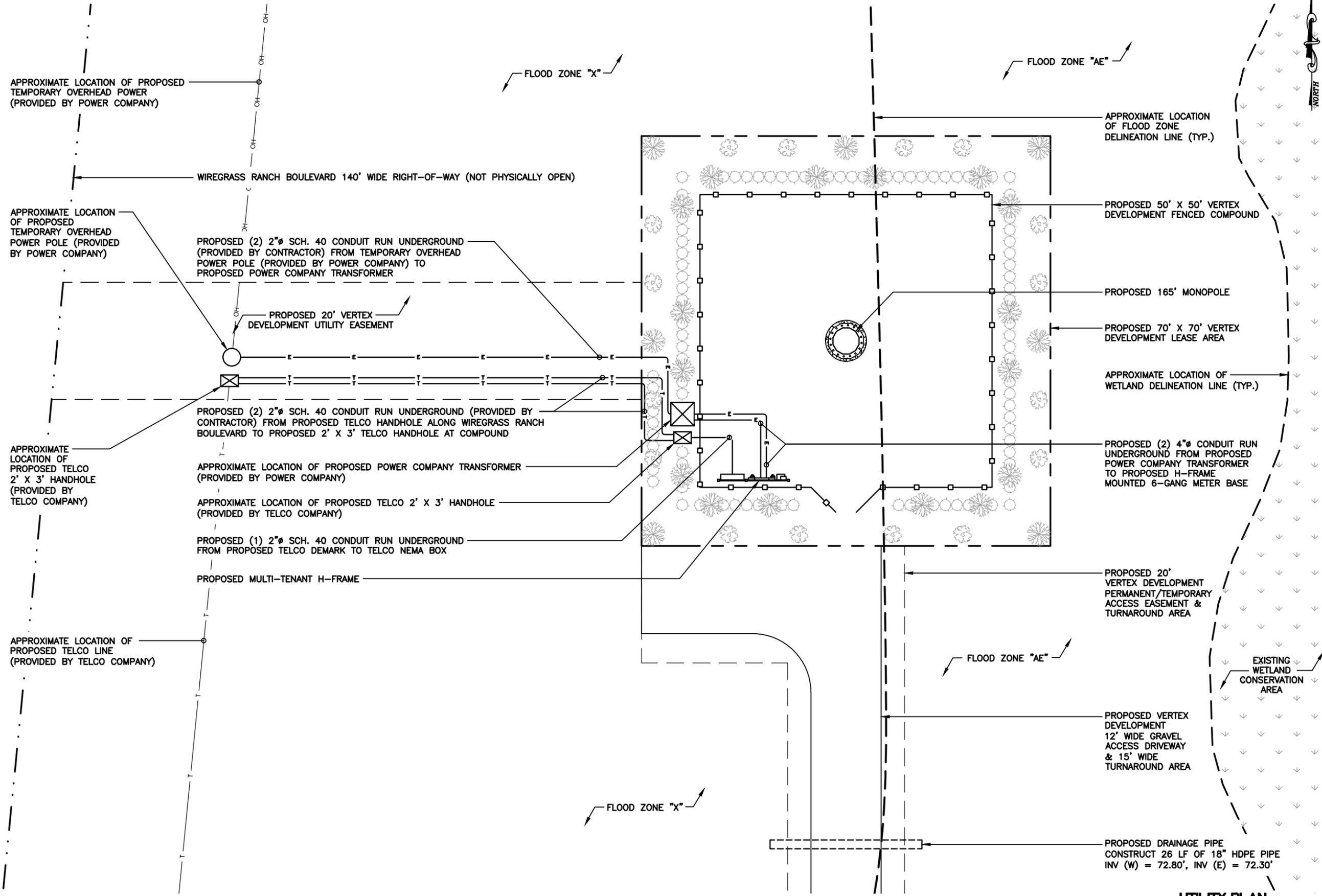
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IT'S THE LAW!  
1-800-432-4770  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

REV	DATE	DESCRIPTION
0	02/01/14	ISSUED FOR PERMIT REVIEW
E	01/31/14	REVISED SURVEY & ELEC.
D	01/29/14	REVISED LANDSCAPING, GRADING, SILT FENCE, & ELECTRICAL
C	12/13/13	REVISED COMPOUND, LANDSCAPING, EASEMENTS, GRADING, & ELECTRICAL
B	10/29/13	REVISED GENERAL NOTES, CONTACTS, & ELECTRICAL
A	10/24/13	ISSUED FOR REVIEW

WIREGRASS  
FL-5121  
TBD  
WESLEY CHAPEL, FL 33544  
PASCO COUNTY

SHEET TITLE  
H-FRAME DETAIL  
& ONE-LINE DIAGRAM

SHEET NUMBER  
**E-2**



**VERTEX**  
DEVELOPMENT, LLC  
405 SOUTH DALE MABRY  
SUITE 244  
TAMPA, FLORIDA 33609  
(813) 335-4768

**EXPERT**  
CONSTRUCTION MANAGERS, INC.  
815 S. KINGS AVE.  
BRANDON, FL 33511  
(813) 657-7810

**EGI**  
ENHANCED GRAPHICS IMAGING, INC.  
ENG. BUS. CA # 28612  
1450 MONTE LAKE DR.  
VALRICO, FLORIDA 33596  
(727) 644-6466

02/01/2014  
WILLIAM H. ROBERTS  
PE# 42712  
PROFESSIONAL ENGINEER  
1405 MONTE LAKE DRIVE, VALRICO, FL 33596

ALL DRAWINGS, SPECIFICATIONS, OR WRITTEN MATERIAL APPEARING HEREIN CONSTITUTES WORK OF THE ENGINEER AND MAY NOT BE DUPLICATED TO OTHERS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

CALL 48 HOURS BEFORE YOU DIG  
IT'S THE LAW!  
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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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WIREGRASS  
FL-5121  
TBD  
WESLEY CHAPEL, FL 33544  
PASCO COUNTY

SHEET TITLE  
UTILITY PLAN

SHEET NUMBER  
**E-3**

**UTILITY PLAN**  
11 X 17 SCALE: 1/16" = 1'  
24 X 36 SCALE: 1/8" = 1'