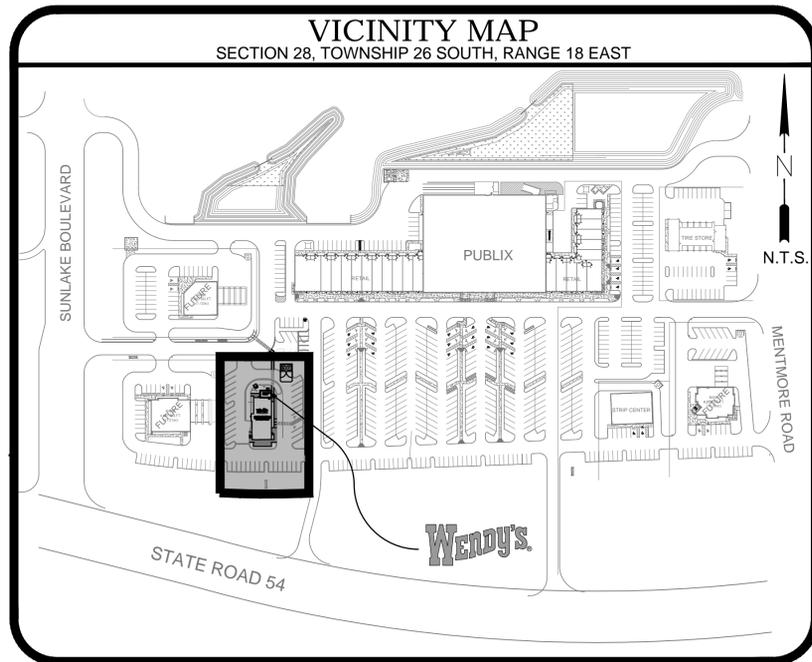


CONSTRUCTION SITE PLAN FOR: WENDY'S



SR 54 & SUNLAKE BLVD.
(OUTPARCEL TO SUNLAKE COMMERCIAL CENTER)
ADDRESS: 18811 SR 54, LUTZ, FL 33558
SECTION 28, TOWNSHIP 26 SOUTH, RANGE 18 EAST
PASCO COUNTY, FLORIDA

Prepared For:

WENDY'S INTERNATIONAL
1165 SANCTUARY PARKWAY, SUITE 300
ALPHARETTA, GA 30009
Ph. (770) 283-3765
CONTACT: GARY BOGO

Prepared By:

LMA
Landon, Moree & Associates, Inc.
Civil & Environmental Engineers - Planners - Surveyors
31622 U.S. 19 NORTH PALM HARBOR, FLORIDA 34684
Phone: (727)789-5010, Fax: (727)787-4394, Toll Free: 1-800-262-7960
WWW.LMAENGR.COM
EB #4096

STANDARD SITE PLAN NOTES:
1. All utility construction shall comply with the Pasco County Utility Standards for Design and Construction of Water and Wastewater Facilities Specifications, latest edition.
2. All on-site water and sewer facilities shall be owned and maintained by the Owner-Developer.
3. Installation of fuel storage tanks requires review and approval by the Fire Marshall and the issuance of a separate building permit. Approval of the site plan does not constitute approval of the location of the fuel tanks.
4. All proposed signs must be applied for, approved and permitted on an individual basis apart from any ultimately-approved site plan. Approval of this site plan does not constitute approval of any signage.
5. Handicap parking spaces will be properly signed and striped in accordance with Florida Statute 316, the Manual on Uniform Traffic Control Devices, or other applicable standards.
6. The architect/engineer certifies that the site has been designed in accordance with the Americans with Disabilities Act.
7. All on-site parking spaces will be striped and signed in accordance with the Manual on Uniform Traffic Control Devices, latest edition. Parking spaces, directional arrows and stop bars shall be striped in WHITE. It shall be the Owner/Developers' responsibility to properly sign and stripe the site in accordance with applicable standards.
8. The Owner/Developer acknowledges that this approval does not include any work in County right-of-way. All right-of-way work shall be a function of an approved Pasco County right-of-way Use Permit.
9. All clear site areas shall be kept free of any signage, plantings, trees, etc. in excess of three and a half (3½) feet in height.
10. No irrigation system or landscaping shall be installed in any County or State right-of-way without issuance of appropriate Right-of-Way Use Permit.
11. The Owner/Developer acknowledges that the site and its subsequent building permits shall comply with all rezoning/MPUD/PUD conditions.
12. All structures, including buffer walls, retaining walls, signage, etc. require separate building permits.

STANDARD FIRE PROTECTION NOTES:
1. ALL PROJECTS MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE NO. 46-51.
2. FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.
3. PER THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA-1, 16.4.3.1.3: WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
4. PER NFPA-1, 18.3.4.1: CLEARANCE OF 7-1/2 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4-FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.

PERMITS

PERMIT TYPE	NUMBER	APPROVED
PASCO COUNTY		
SWFWMD		
FDEP NPDES		

NOTE TO CONTRACTOR/OWNER

CONSTRUCTION IS NOT AUTHORIZED UNTIL PLANS HAVE BEEN ISSUED BY LANDON, MOREE & ASSOCIATES, INC. STAMPED "ISSUED FOR CONSTRUCTION". ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET FORTH IN THE PASCO COUNTY LAND DEVELOPMENT, ZONING, AND/OR RELATED ORDINANCES AND SPECIFICATIONS AS APPLICABLE.

TREE BARRICADES & EROSION CONTROL MEASURES NOTE

REQUIRED TREE BARRICADES AND EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. ENCROACHMENT INTO OR FAILURE TO MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS AND/OR PERMIT REVOCATION AS PROVIDED BY THE PASCO COUNTY LAND DEVELOPMENT CODE.

UTILITY WARNING NOTE

ABOVE-GROUND OR UNDER-GROUND UTILITIES MAY BE IN THE AREA OF THIS PROJECT - PROCEED WITH CAUTION - CALL "SUNSHINE STATE ONE CALL" (1-800-432-4770) AND THE UTILITY OWNER(S) BEFORE BEGINNING WORK. PROVIDE OWNER WITH CODE NUMBER OF PROJECT.

DATUM NOTE:

NOTE: ALL ELEVATIONS ARE IN NAVD 1988 DATUM. REFER TO SURVEY.

PLAN INDEX

- COVER SHEET
 - EXISTING CONDITIONS/DEMOLITION PLAN
 - SITE PLAN
 - PAVING, GRADING, DRAINAGE PLAN
 - UTILITY PLAN
 - DETAILS
- LANDSCAPE PLAN (BY TERRA TECTONICS)
 - SURVEY (BY SHIMP)

SITE DATA

PARCEL ID #: 28-26-18-0000-00200-0070
ZONING: MPUD REZONING: RZ 6563, 6-27-06 MPUD AMENDMENT: GM10-190, 4-21-10
LAND USE: ROR
MASTER PLAN CONSTRUCTION PLAN APPROVAL: IIPR07-025, 6-23-08
PROPERTY AREA: 27.8 ACRES
NOTE: WENDY'S IS LEASING A PORTION OF THE PROPERTY
LEASABLE AREA: 40,749 SF (0.94 ACRES)
EXISTING USE: VACANT
PROPOSED USE: WENDY'S RESTAURANT
MAX. ALLOWABLE BUILDING HEIGHT: 60 FT
PROPOSED BUILDING HEIGHT: 24 FT (1-STORY)
PROPOSED BUILDING AREA: 3,499 SF (INCLUDES 324 SF COOLER/FREEZER AREA)
PROPOSED OUTDOOR SEATING AREA: 260 SF
PROPOSED TOTAL IMPERVIOUS AREA: 30,808 (76%)
PROPOSED TOTAL OPEN SPACE: 9,941 SF (24%)
REQUIRED BUILDING SETBACKS: FRONT - 30', SIDES - 0', REAR - 0'
METHOD OF FIRE PROTECTION SHALL BE BY THE EXISTING FIRE HYDRANTS
IT IS ANTICIPATED ONLY A MINOR AMOUNT OF FILL WE BE BROUGHT ON-SITE.
PARKING REQUIREMENTS:
1 SPACE PER 150 SF OF GROSS FLOOR AREA
25 SPACES REQUIRED (3,759 / 150) (OUTDOOR SEATING INCLUDED IN CALCULATION)
36 SPACES PROVIDED, INCLUDES 2 HANDICAP
BIKE SPACES REQUIRED: 0.02 SPACES PER PARKING SPACE = 1
BIKE SPACES PROVIDED: 4
UTILITIES:
WATER & SEWER - PASCO COUNTY UTILITIES (727) 847-8145
ELECTRIC - DUKE ENERGY (727) 372-5114
TELEPHONE - VERIZON (813) 627-8361
GAS - TECO / PEOPLES GAS (877) 832-6747
DRAINAGE CALCULATIONS:
THE APPROVED SWFWMD PLANS (PERMIT # 43023781.012) ALLOWS A CN OF 95 FOR THIS PARCEL. THE PROPOSED CN IS 94, THEREFORE THE PARCEL IS IN CONFORMANCE WITH THE MASTER PLANS DESIGN. THE PROPOSED CN CALCULATION IS AS FOLLOWS:
CN = (98 x 76%) + (80 x 24%) = 94.
FLOOD ZONE:
THE ABOVE DESCRIBED PROPERTY IS LOCATED IN ZONE X, IN ACCORDANCE WITH THE FIRM MAP OF PASCO COUNTY, COMMUNITY NUMBER 120230 (MAP NUMBER 120230-0400-D), MAP DATED SEPTEMBER 30, 1992.

REVISIONS

REVISION DATE	COMMENTS

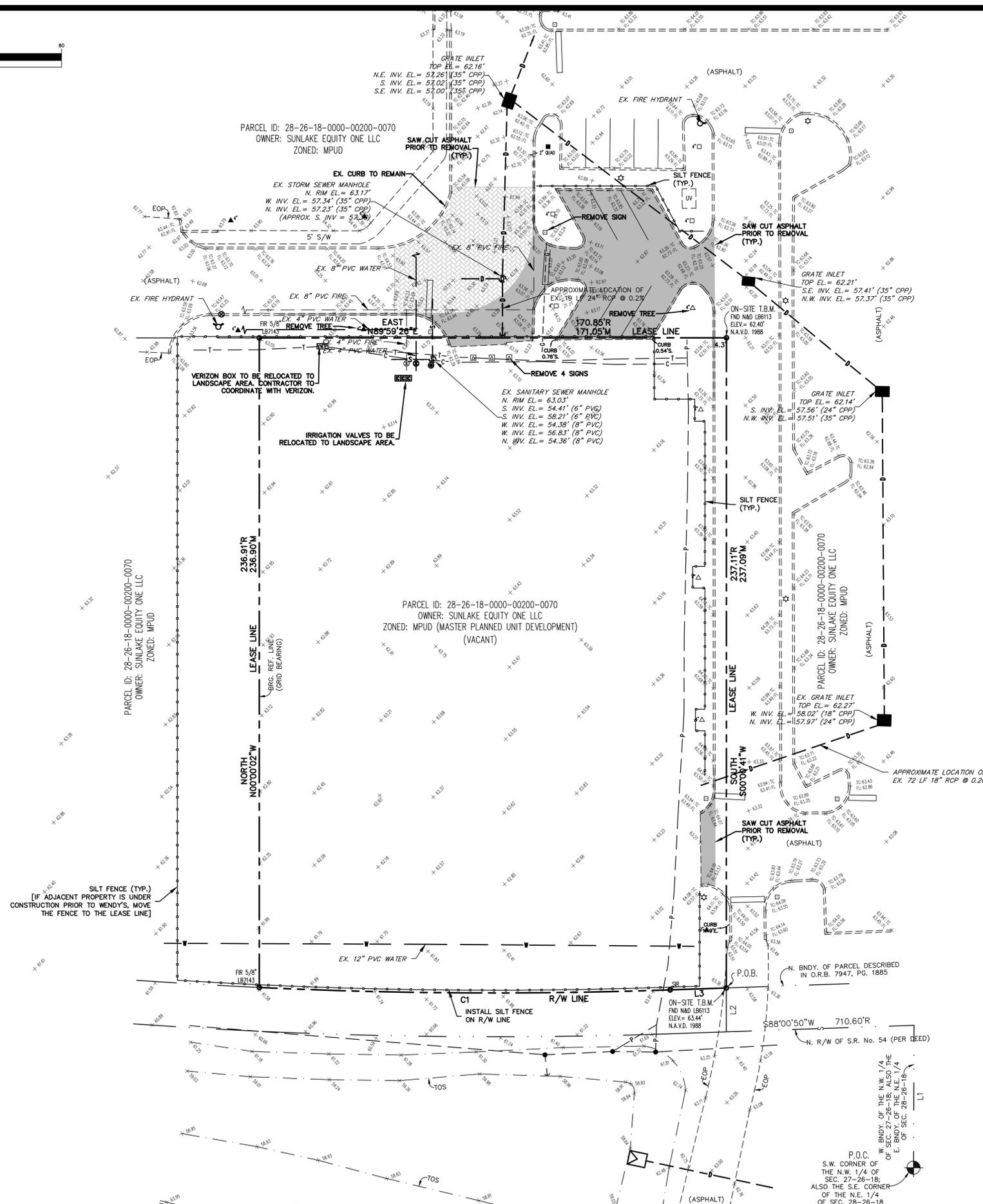
MARCH 31, 2014
JOB# 300-05

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GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



DEMOLITION LEGEND

- CONTRACTOR TO DEMOLISH AND REMOVE THE CURBING, ASPHALT BASE AND SUBBASE WITHIN THIS AREA AND REPLACE WITH CLEAN FILL FOR NEW LANDSCAPE AREA.
- CONTRACTOR TO REMOVE THE ASPHALT ONLY WITHIN THIS AREA. THIS AREA SHALL BE REPAVED IN ACCORDANCE WITH THE GRADING PLAN.

AT THE CONTRACTOR'S OPTION, A PORTION OF THIS ASPHALT MAY REMAIN WHERE THE GRADING PLAN WOULD ALLOW AT LEAST A 1" OVERLAY OVER THIS EXISTING ASPHALT. THE CONTRACTOR SHALL ENSURE THE DURATION OF THIS WORK ALONG WITH THE PAVING IS ALL COMPLETED WITHIN A 24 HOUR PERIOD TO MINIMIZE DISRUPTION TO THE SHOPPING CENTER TRAFFIC. TRAFFIC CONES ARE TO BE UTILIZED TO TEMPORARILY BLOCK TRAFFIC ON THE DRIVE AISLE.

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL SAW CUT THE EXISTING EDGE OF PAVEMENT PRIOR TO REMOVAL OF ANY CURB OR PAVEMENT.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO REMOVING ANY ABOVE OR BELOW GROUND UTILITIES.
- THE EXISTING PARKING LOT, LANDSCAPING, AND SIGNAGE TO REMAIN AS-IS EXCEPT WHERE OTHERWISE NOTED. THE CONTRACTOR SHALL USE CAUTION NOT TO DAMAGE THIS EXISTING INFRASTRUCTURE DURING THE DEMOLITION WORK.
- ALL EXISTING BELOW GROUND UTILITIES TO BE REMOVED INCLUDING THE STORM PIPING, STORM INLETS, LIFT STATION, GREASE TRAP, SANITARY SEWER LINES, WATER LINES, ELECTRICAL LINES, ETC.

SURVEY INFORMATION PROVIDED BY:

GEORGE A. SHIMP II AND ASSOCIATES, INCORPORATED
 LAND SURVEYORS LAND PLANNERS
 3001 INDIAN BOULEVAR, SUITE D
 PALM HARBOR, FLORIDA 34681
 PHONE (727) 784-5486 FAX (727) 786-1256

LINE L3
 S88°00'50"W - 20.58'R
 S88°01'31"W - 20.58'M

CURVE C1
 RADIUS = 1843.86'R
 ARC = 150.337'
 CHORD = 150.287'; 150.44'M
 CHD. BRG. = N89°39'03"W R
 DELTA = 04°40'16" R

LEGEND

- BACKFLOW PREVENTER
- BOLLARD
- ELEVATION
- FIRE HYDRANT
- FLAG POLE
- GRATE INLET
- GREASE TRAP
- LIGHT POLE
- INTERED END SECTION
- POWER POLE
- SEWER CLEAN OUT
- SEWER VALVE
- SIGN
- SPEAKER BOX
- STORM SEWER MANHOLE
- WATER VALVE
- GUY WIRE
- OVERHEAD WIRES
- U.G. GAS LINE
- U.G. SANITARY SEWER LINE
- U.G. STORM SEWER LINE
- U.G. WATER LINE
- CAMPHOR
- CRAPE MYRTLE
- CYPRESS
- ELM
- OAK
- PALM
- PINE

DESIGN	ELM	SCALE	1"=20'
DRAWN	JDC	DATE	03-31-2014
CHECKED	ELM	JOB NO.	300-005
TITLES		DATE	
REVISIONS		DATE	

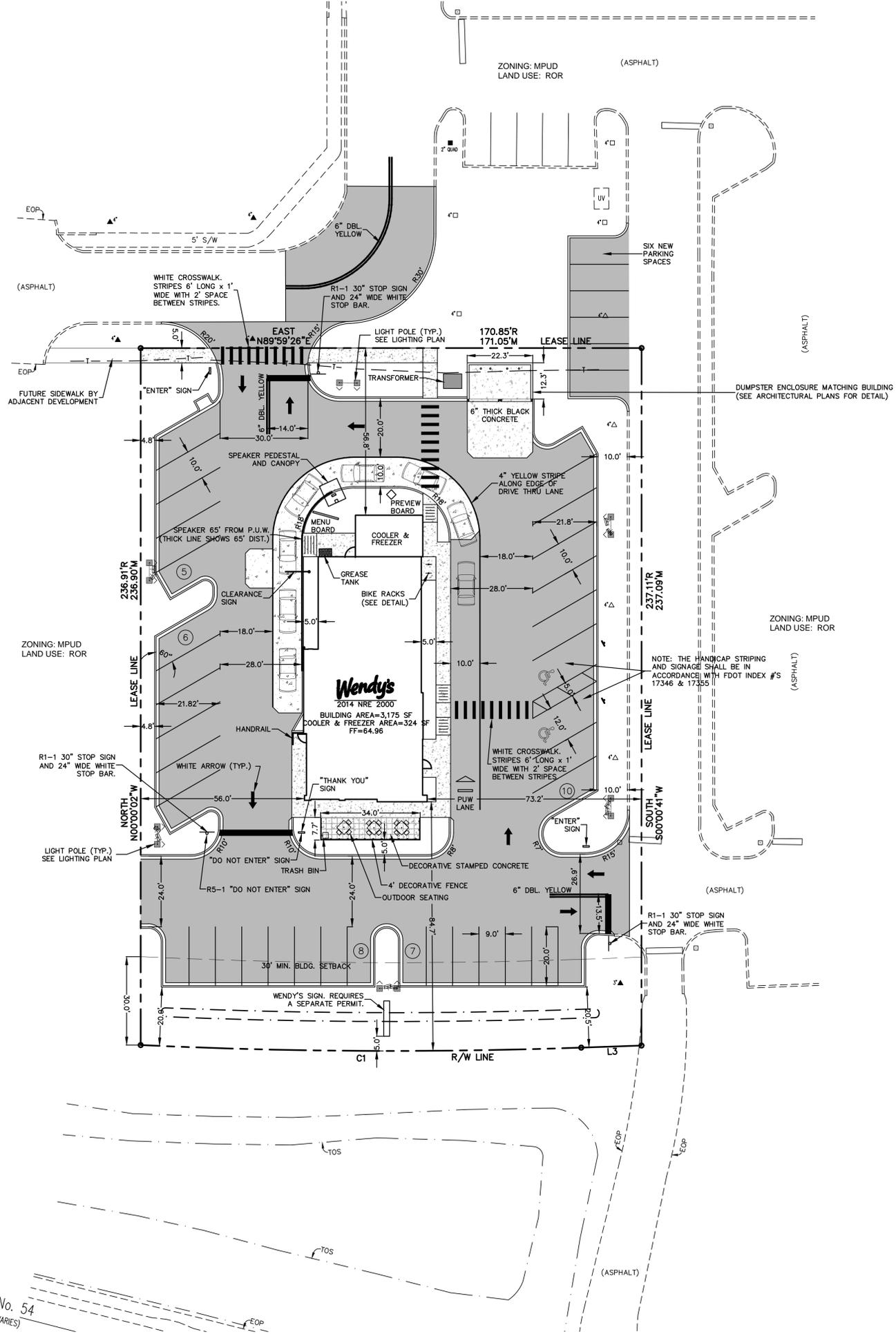
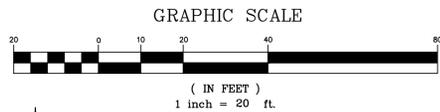
WENDY'S
 SR 54 & SUNLAKE BLVD.
WENDY'S INTERNATIONAL, INC.
 1165 SANCTUARY PARKWAY, SUITE 300
 ALPHARETTA, GA 30009

LMA
 Landon, Moree & Associates, Inc.
 Civil & Environmental Engineers - Planners - Surveyors
 31022 U.S. 10 NORTH PALM HARBOR, FLORIDA 34684
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STATE ROAD No. 54
 PUBLIC R/W (WIDTH VARIES)

EXISTING CONDITIONS/DEMOLITION PLAN



LEASE NOTE:

1. THE BOUNDARY LINES SHOWN FOR WENDY'S ARE LEASE LINES. THE SHOPPING CENTER PROPERTY OWNER WILL BE LEASING THE PROPERTY TO WENDY'S. A SEPARATE PARCEL IS NOT BEING CREATED FOR WENDY'S.

LINE L3
 S88°00'50"W - 20.58'R
 S88°01'31"W - 20.58'M
 CURVE C1
 RADIUS = 1843.86'R
 ARC = 150.33°
 CHORD = 150.28'R; 150.44'M
 CHD. BRG. = N89°39'03"W R
 N89°40'06"W M
 DELTA = 04°40'16"R

LEGEND

- BACKFLOW PREVENTER
- BOLLARD
- ELEVATION
- FIRE HYDRANT
- FLAG POLE
- GRATE INLET
- GREASE TRAP
- LIGHT POLE
- MITERED END SECTION
- POWER POLE
- SEWER CLEAN OUT
- SEWER VALVE
- SIGN
- SPEAKER BOX
- STORM SEWER MANHOLE
- WATER VALVE
- WUY WIRE
- OVERHEAD WIRES
- U.G. GAS LINE
- U.G. SANITARY SEWER LINE
- U.G. STORM SEWER LINE
- U.G. WATER LINE
- CAMPHOR
- CRAPE MYRTLE
- CYPRESS
- ELM
- OAK
- PALM
- PINE

NOTICE TO CONTRACTOR/OWNER CONSTRUCTION IS NOT AUTHORIZED UNTIL PLANS HAVE BEEN ISSUED BY LONDON, MOREE & ASSOCIATES, INC. STAMPED/ISSUED FOR CONSTRUCTION			
Scale:	1"=20'	Date:	03-31-2014
Design:	ELM	Drawn:	JDC
Checked:	ELM	Job No.:	300-005
Web: WWW.LMAENGR.COM			

R E V I S I O N S			
Scale:	1"=20'	Date:	03-31-2014
Design:	ELM	Drawn:	JDC
Checked:	ELM	Job No.:	300-005
Web: WWW.LMAENGR.COM			

WENDY'S
 SR 54 & SUNLAKE BLVD.
WENDY'S INTERNATIONAL, INC.
 1165 SANCTUARY PARKWAY, SUITE 300
 ALPHARETTA, GA 30009

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 31022 U.S. 10 NORTH PALM HARBOR, FLORIDA 34684
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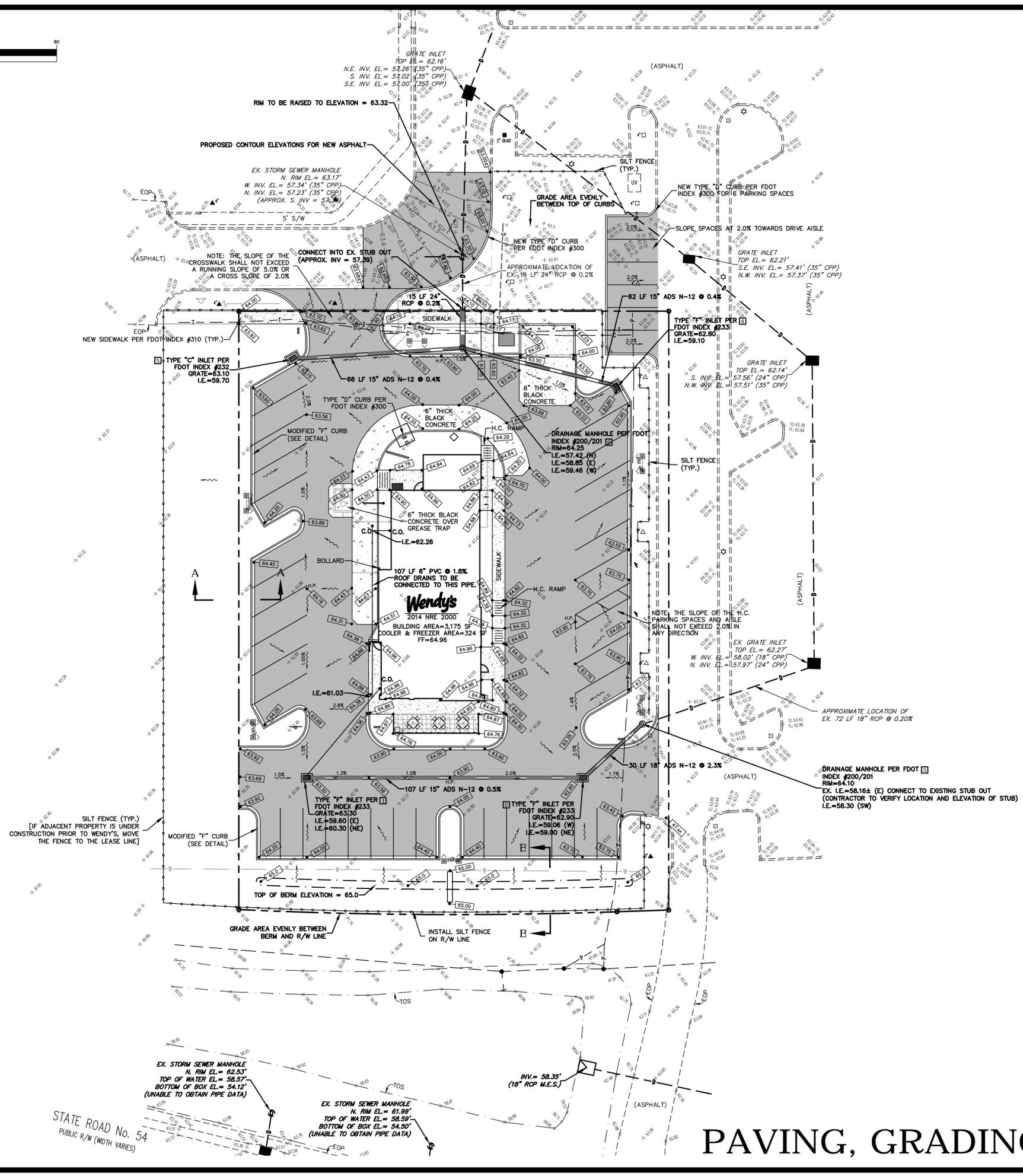
STATE ROAD No. 54
 PUBLIC R/W (WIDTH VARIES)

SITE PLAN

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

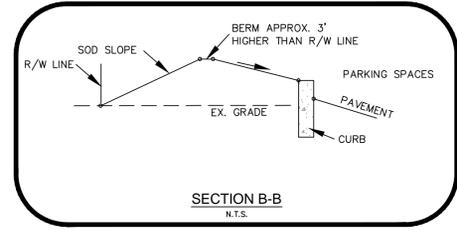
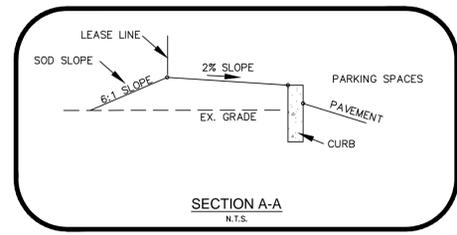


LEGEND

EXISTING	PROPOSED
x	SPOT ELEVATION
~	DRAINAGE FLOW
—	SANITARY CLEANOUT
—	LIGHT POLE
■	NEW ASPHALT

LEGEND

- ELEVATION
- FIRE HYDRANT
- GRATE INLET
- IRRIGATION CONTROL VALVE
- LIGHT POLE
- MITERED END SECTION
- POWER POLE
- REFLECTOR
- SANITARY SEWER MANHOLE
- SEWER CLEAN OUT
- SIGN
- STORM SEWER MANHOLE
- TELEPHONE PEDESTAL
- UNKNOWN VAULT
- VERIZON VAULT
- WATER VALVE
- GUY WIRE
- TOP OF BANK
- OVERHEAD WIRES
- U.G. CABLE LINE
- U.G. GAS LINE
- U.G. POWER LINE
- U.G. SANITARY SEWER LINE
- U.G. STORM SEWER LINE
- U.G. TELEPHONE LINE
- U.G. WATER LINE
- 0.68' UPRIGHT CURB
- 2.10' MEDIAN CURB
- HOLLY
- MAGNOLIA
- OAK



DATUM NOTE:
NOTE: ALL ELEVATIONS
ARE IN NAVD 1988 DATUM.
REFER TO SURVEY.

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STATE ROAD No. 54
PUBLIC R/W (WIDTH VARIES)

PAVING, GRADING, DRAINAGE PLAN

REVISIONS

NO.	DATE	DESCRIPTION

Scale: 1"=20'
Design: ELM
Drawn: JDC
Checked: ELM
Title: PAVING, GRADING, DRAINAGE PLAN
Job No.: 300-005
Web: WWW.LMAENGR.COM

WENDY'S
SR 54 & SUNLAKE BLVD.
WENDY'S INTERNATIONAL, INC.
1165 SANCTUARY PARKWAY, SUITE 300
ALPHARETTA, GA 30009

EB #4006
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Toll Free: 1-800-205-7900, WWW.LMAENGR.COM

NOTICE TO CONTRACTOR/OWNER
CONSTRUCTION IS NOT AUTHORIZED UNTIL PLANS HAVE BEEN ISSUED BY
LANDON, MOREE & ASSOCIATES, INC. STAMPED/ISSUED FOR CONSTRUCTION

CONSTRUCTION TECHNICAL SPECIFICATIONS

- All construction shall conform to the minimum standards set down in the Pasco County land development code, zoning, and/or related ordinances as applicable.
- Prior to construction commencement, the Contractor shall obtain from the Engineer and/or Developer copies of all pertinent permits and approvals related to this project. It is the contractor's responsibility to properly post all permits on-site and to assure all construction activities are in compliance with the conditions of all permits and approvals.
- All utility construction shall conform to the minimum standards set forth by Pasco County.

CONSTRUCTION NOTES

- All elevations are based on NAVD 88 datum. The contractor shall obtain a copy of the survey to verify this datum and also for determining Benchmark locations and elevations.
- All existing information as provided by George A. Shimp, II & Associates, Inc.
- Any discrepancies between the engineering plans, architectural plans, or Pasco County Codes shall be brought to the engineer's attention prior to construction.
- All practicable and necessary effort shall be taken during construction to control and prevent erosion and transport of sediment to surface drains and to lakes and to conform with permit conditions.
- Plans are not valid for construction unless signed and sealed by a Professional Engineer Registered in Florida.
- Required tree barricades must remain intact throughout construction. Encroachment into or failure to maintain tree barricades will result in enforcement action which may include citations and/or permit revocation.
- Silt fence to be installed around all areas of proposed construction. (FDOT Index No. 102 Type III)
- The contractor shall adhere to the Minimum Testing Frequency requirements of the agencies having jurisdiction over the project.
- The contractor shall coordinate with the Geotechnical Engineer for any testing that may be required including, but not limited to, materials testing, asphalt, base and sub-base testing, concrete testing, building pad testing, and utility trench testing. Copies of these tests shall be given to the Engineer for review. A final Signed and Sealed report containing all testing shall be given to the Engineer after all testing has been completed.
- The contractor shall coordinate with the agencies/inspectors having jurisdiction over the project to determine what inspections will be required throughout the project. The contractor shall coordinate required inspections with the Developer and Engineer.
- The contractor shall saw cut the existing edge of pavement prior to the removal of any curb or pavement and also prior to pavement tie-in.
- Special care is to be taken so trees remain unharmed during construction.
- Contractor shall furnish Landon, Moree & Associates, Inc. with one complete set of As-Built plans signed and sealed by a surveyor upon completion of construction.
- Safe pedestrian traffic is to be maintained at all times.
- No stockpiling of material in roadway or on sidewalk. All dirt and debris shall be removed from job site daily. Roads and sidewalk to be swept daily as part of daily clean up.
- All subsurface construction shall comply with the "Trench Safety Act". It shall be the Contractor's responsibility to insure that all construction is in compliance with the Occupational Safety and Health Administration (OSHA) Regulations.
- The soil and sediment control devices shall be installed prior to construction, maintained throughout construction, and until the site is permanently stabilized.
- All sodded slopes over 4:1, shall be installed with sod pegs.
- Contractors shall test slopes steeper than 4:1 for stability. If it is determined that slope will need to be stabilized beyond sod secured with pegs, the contractor shall submit a stabilization plan utilizing geoweb or equivalent submitted to engineer for approval. Material shall be installed per manufacturer's guidelines.
- All sidewalks to be a minimum 3000 psi concrete and 4" thick except at driveway crossings where they shall be 6" reinforced w/ 6"x6" No. 10 w.w.f. Place expansion joints where 4" and 6" concrete abut.
- Minimum pavement slope shall be 0.5%. Any areas of ponding shall be repaired at the Contractor's expense.
- Disturbed area within the right-of-way will be compacted to 100% of maximum density and sodded. Type of sod used to restore the right-of-way shall be coordinated with the right-of-way owner.
- Signs, pavement markings and barricades shall be accordance with the US Dept. of Transportation's "Manual on Uniform Traffic Control Devices" and the Florida Dept. of Transportation's Roadways and Traffic Design Standards" indexes 600 through 670 (latest edition).
- All right-of-way installations shall comply with the State of Florida Utilities Accommodations Guide.
- The location & elevation of existing utilities are approximate as shown and it is the contractor's responsibility to determine the exact location and elevation of the utilities prior to construction in their vicinity. Prior to utility construction, Engineer shall be notified of any discrepancies in utility elevations or locations. Deviations from the approved plan without the Engineer's approval will be subject to relocation at the Contractor's expense.
- The Contractor shall be responsible for verifying the location of all utilities whether or not they are indicated on these plans and shall notify all utility owners a minimum of 48 hours in advance of construction commencement.
- All underground utilities must be installed before base & surface course are constructed.
- All pipe lengths are plus or minus and are measured to center of structures.
- Conflicts between water, storm and underdrain systems to be resolved by adjusting water lines as necessary.
- The contractor shall use extreme caution when connecting proposed storm sewer, sanitary sewer and water mains to existing mains or structures. Any damages caused shall be the contractor's responsibility.
- Property owner shall maintain water and/or sewer lines on-site.
- The contractor shall remove all abandoned utility lines, pipes, structures and other subterranean objects to a minimum depth of four (4) feet below grade, or as otherwise directed by the engineer.
- All drainage structures must be constructed per Florida Department of Transportation Road Design Standards. All drainage structures must have a minimum interior floor space area of 10 square feet (except underdrain inspection boxes).
- All backfill over any pipe (storm sewer, water line, sanitary sewer) that is to be installed under roadways or within the embankment, etc. of the roadway is to be compacted per Florida Department of Transportation Specifications.
- All waterlines 4" and larger shall be AWWA C-900, DR 18. All waterlines less than 4" shall be ASTM D2241-05, SDR 21. Water lines shall be blue in color.
- All sanitary sewer manhole rim elevations to match asphalt pavement.
- Contractor to verify the elevation of existing pavement and structures before beginning any construction activity. Notify Engineer of any discrepancies in elevation.
- All sanitary sewer mains, laterals and force mains shall have a minimum of 36 inches of cover.
- All gravity sanitary sewer pipe shall be PVC sewer pipe conforming to ASTM D3034 SDR-26. PVC sewer pipe conforming to ASTM D3034 SDR-35 may be used only where specifically called for in the plans. Sanitary sewer pipe shall be green in color.
- All sanitary sewer force mains 4" and larger shall be AWWA C-900, DR 18. All force mains less than 4" shall be ASTM D2241-05, SDR 21. Sanitary sewer force mains shall be green in color.
- Points of connection for the sanitary sewer lines are to be coordinated with the building plumbing plans. Sanitary service connection locations shown on these plans are approximate.
- If dewatering is conducted during construction, the contractor is responsible for the design, installation, operation, and subsequent removal of dewatering systems and their safety and conformity with local codes and regulations.

STORMWATER POLLUTION PREVENTION NOTES

- The contractor shall at a minimum implement the stormwater pollution prevention measures as shown in this plan set. These measures may include, but not limited to, the construction of retention/detention ponds, control structures, tree barricades, and silt fences.
- In addition to the measures shown in this plan set, the contractor shall take all necessary and practical measures in order to reduce erosion and sedimentation to both on-site and off-site surface waters, lakes, and wetlands. These measures may include, but not limited to, hay bales at stormwater inlets, floating turbidity barriers, hay bale dikes, stabilization of steep grades with sodding or seeding/mulching, site entrance/exit control stabilization with gravel, temporary sediment basins and berms.
- In addition to the measures shown in this plan set, the contractor shall take all necessary and practical measures in order to reduce airborne transportation of sediments. These measures may include, but not limited to, site watering and additional silt fence installation.
- The contractor shall at a minimum inspect the above referenced measures at least once a week or within 24 hours after 0.25 inches of rainfall. An inspection report shall be completed for each inspection. Any permit violation shall be noted and corrective measures taken shall be noted. This report shall be given to Landon, Moree & Assoc., Inc. after construction completion.
- The cost of implementing the above measures are to be included within the contractors contract with the developer.

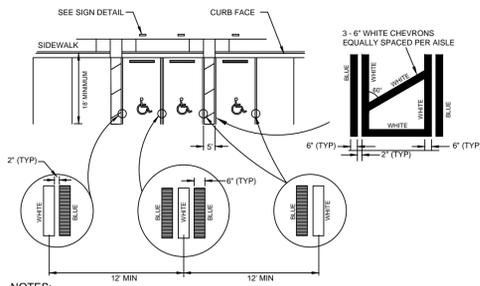
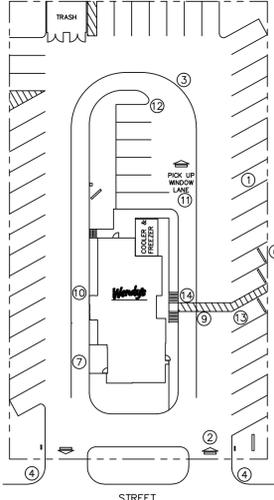
MISCELLANEOUS NOTES

- Remove all vegetation refuse or existing structures in confines of building construction and paving area prior to commencement of work.
- Excavate as required to provide sufficient working room for the laying of foundation walls, excavation for all footings to be down to undisturbed earth with a minimum depth as shown on drawings unless otherwise governed by local codes.
- In the event that a rock is encountered in the foundation excavation, and if this rock must be removed by dynamite or compressor, the owner will reimburse the contractor for the predetermined cost of these operations.
- Backfilling of walls in interior areas where concrete slab will bear on grade shall be grits or bank run gravel, well compacted, brought to a subgrade of 8" below finish floor line.
- Backfilling of exterior foundation walls shall be clean gravel well compacted, brought to a subgrade of 8" below finish sidewalk paving.
- Backfilling over utilities running under paved areas shall be of grids. Remainder of site shall be graded to assure drainage of surface water from building.
- Remove excess soils from the site.
- Grades not otherwise indicated on the plans shall be uniform levels or slopes between points where elevations are given. Abrupt changes in slopes shall be well-rounded. The contractor is responsible for positive site drainage.
- Soils test shall be performed by Universal Engineering Sciences to ensure soil meets 3,000 psf design strength. Contractor shall notify Wendy's immediately if excavation on any part of the site reveals fill or ground water.
- Site fill should be non organic soils compacted in 6" lifts to a minimum 98% standard proctor density.
- All paving shall be installed in areas as indicated on site plan. Pavement design shall meet soil conditions, Wendy's construction engineer requirements, and details on site plan.
- Refer to Wendy's construction building plans for additional construction information.
- All utility and electric lines will be located to adequately serve the light poles as necessary.
- Refer to additional plans for signage, lighting, and landscaping by others.
- All sidewalks to be a minimum 3500 psi concrete and 4" thick, refer to Wendy's specifications.
- No stockpiling of material in roadway or on sidewalk; all dirt and debris will be removed from job site daily. Roads and sidewalk to be swept daily as part of daily clean-up.
- Contractor to provide weep holes in face of curbing where necessary to prevent trapped water in landscape areas.
- Contractor to provide 2" conduit to building from phone company point of service.
- The finished grade in landscape areas shall be 2" below the top of curb. The landscaper to backfill for sod/planting.

SAFETY AND HAZARD IDENTIFICATION FOR PARKING LOT AND SIDEWALK

Florida State Statute 316.0745 requires that all traffic control signing and markings on private property open to the general public be in conformance with the Manual on Uniform Traffic Control Devices and Florida Department of Transportation Standards. Therefore the contractor shall be required to conform with these standards. All hazards should be identified in "safety" yellow point. The following areas should be properly identified:

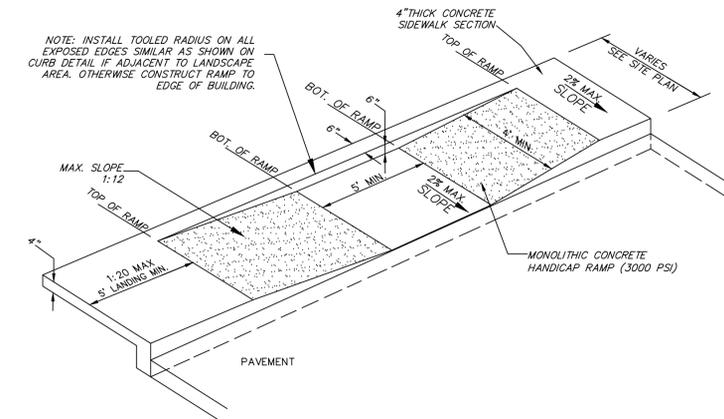
- Vehicle parking area identified with the appropriate marking as required by local municipal codes. Color-white.
- Direction traffic flow arrows painted on the lot should identify the route of travel into and out of the parking lot from all public or private access roads. Color-white.
- Outline the outside of the pick-up window traffic lane with four inch solid stripe. Color-yellow.
- All curbs that extend from the parking lot entrance to any public or private roadway should be painted. Color-yellow.
- Speed bumps should be identified with striping. It is not necessary to paint the entire area. Color-yellow.
- Parking stops or blocks located next to the building or in the middle of the parking lot should be painted on top. Color-yellow.
- Sidewalk curbing directly in the travel path of the building entrances or exits should be identified with two inch stripe on the top edge of the curb for a length of three feet.
- If site conditions warrant, any steps should be identified with a two inch line painted on the top and front edge of each step. Color-yellow.
- If the site conditions warrant, crosswalks across the drive-thru lane for entrances/exits which are perpendicular to the drive-thru traffic pattern should be identified with striping. Color-white.
- All posts, poles and their supports or guide wires that may be exposed to vehicle traffic should be painted at least sixty (60) inches in height from the base. Color-yellow.
- Stencil "Pick-Up Window" lane behind directional arrow. Color-white.
- Any curb that represents a possible hazard to vehicles should be identified by painting a two (2) inch line on the top and side of the curb. Color-yellow.
- Handicap parking spaces should be signed and marked in accordance with the Florida Department of Transportation standards. 14) Handicap sidewalk ramps should have the outside curbing that is changing in elevation identified with a two (2) inch line painted on the top and side edge of curb for the first three (3) feet of inch line starting from the lower surface level. Color-yellow.



- NOTES:**
- EACH SUCH PARKING SPACE SHALL BE CONSPICUOUSLY STRIPED IN BLUE PAINT TO MATCH SHADE 15193 OF FEDERAL STANDARDS 892A, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT ABOVE-GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, AND THE CAPTION "PARKING BY DISABLED PERMIT ONLY" AND "FINE \$200 MAX." ALL DISABLED PARKING SPACES MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION.
 - FOR ADDITIONAL REQUIREMENTS, THE CONTRACTOR SHALL REFER TO INDEX # 17346 OF THE FDOT "DESIGN STANDARDS" BOOKLET (LATEST EDITION) AVAILABLE FOR FREE DOWNLOAD ON THE FDOT'S WEBSITE.
 - PARKING SPACE WIDTH SHALL BE MEASURED FROM CENTER OF WHITE STRIPE TO CENTER OF WHITE STRIPE.
 - TYPE "F" CURB SHOWN FOR REFERENCE. IF TYPE "D" CURB OR SIDEWALK IS ADJACENT TO THE SPACES, EXTEND THE STRIPING TO THE FACE OF CURB OR FACE OF SIDEWALK.

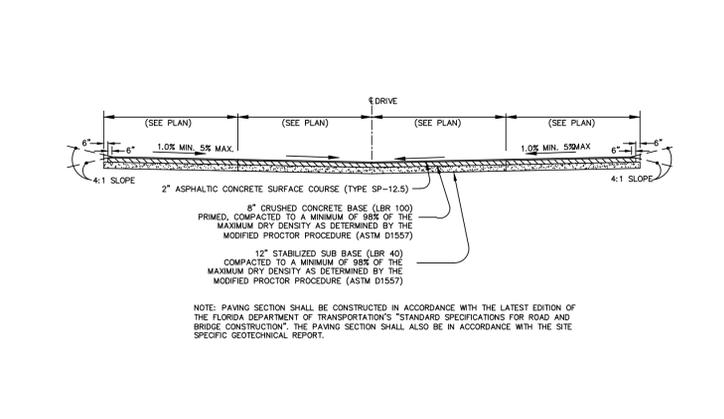
HANDICAPPED PARKING DETAIL

N.T.S.



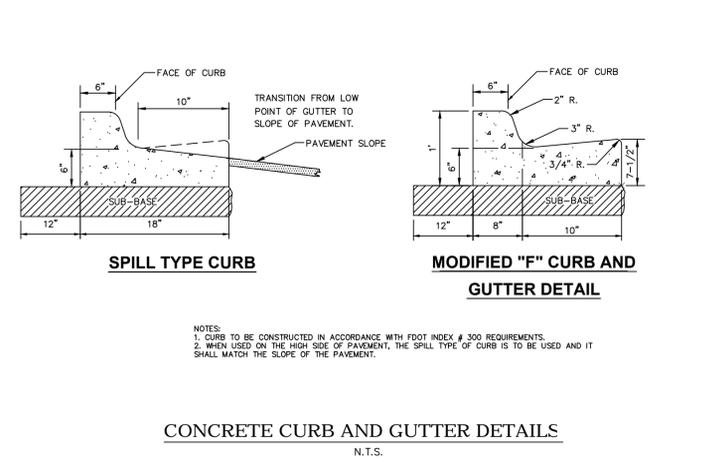
SIDEWALK HANDICAP RAMP DETAIL

N.T.S.



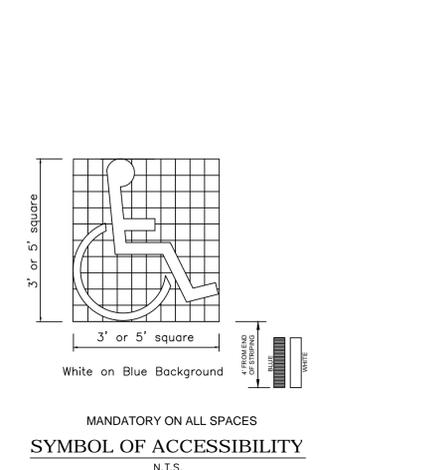
INTERIOR DRIVES & PARKING APRONS

N.T.S.



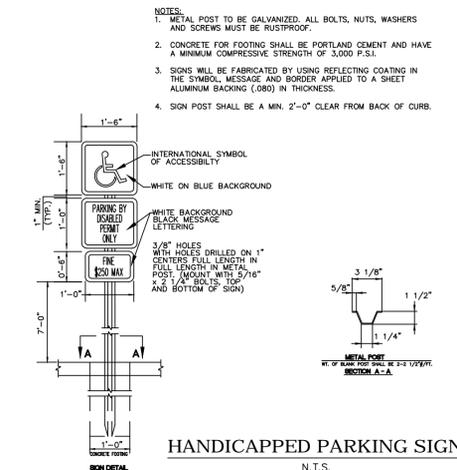
CONCRETE CURB AND GUTTER DETAILS

N.T.S.



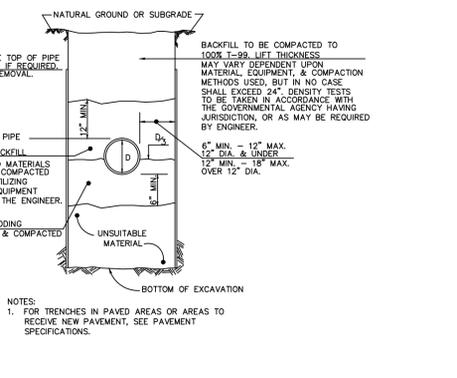
MANDATORY ON ALL SPACES SYMBOL OF ACCESSIBILITY

N.T.S.



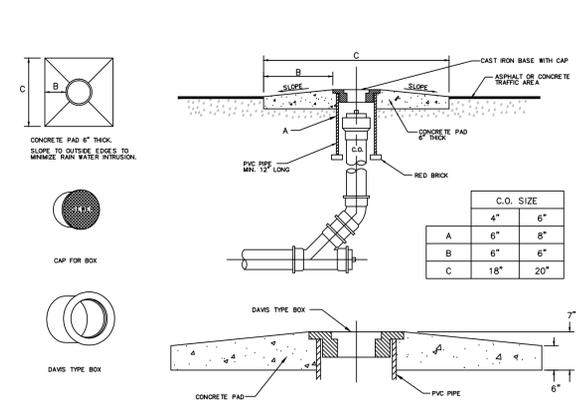
HANDICAPPED PARKING SIGN

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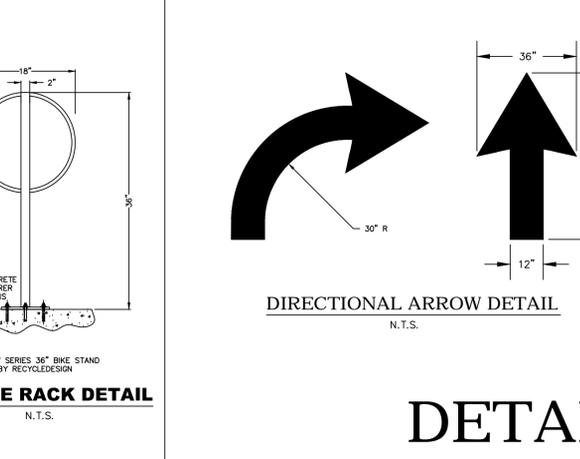
TYPICAL TRENCH SECTION

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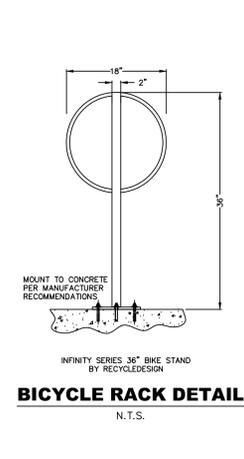
CLEANOUT DETAIL

N.T.S.



DIRECTIONAL ARROW DETAIL

N.T.S.



BICYCLE RACK DETAIL

N.T.S.

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CONSTRUCTION IS NOT AUTHORIZED UNTIL PLANS HAVE BEEN ISSUED BY LANDON, MOREE & ASSOCIATES, INC. STAMPED/ISSUED FOR CONSTRUCTION

Scale: 1"=20'
Design: ELM
Drawn: JDC
Checked: ELM
Title: SR 54 & SUNLAKE BLVD
Web: WWW.LMAENGR.COM

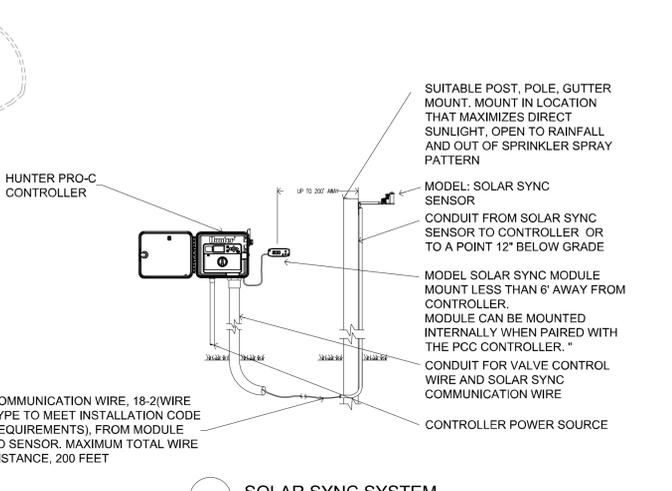
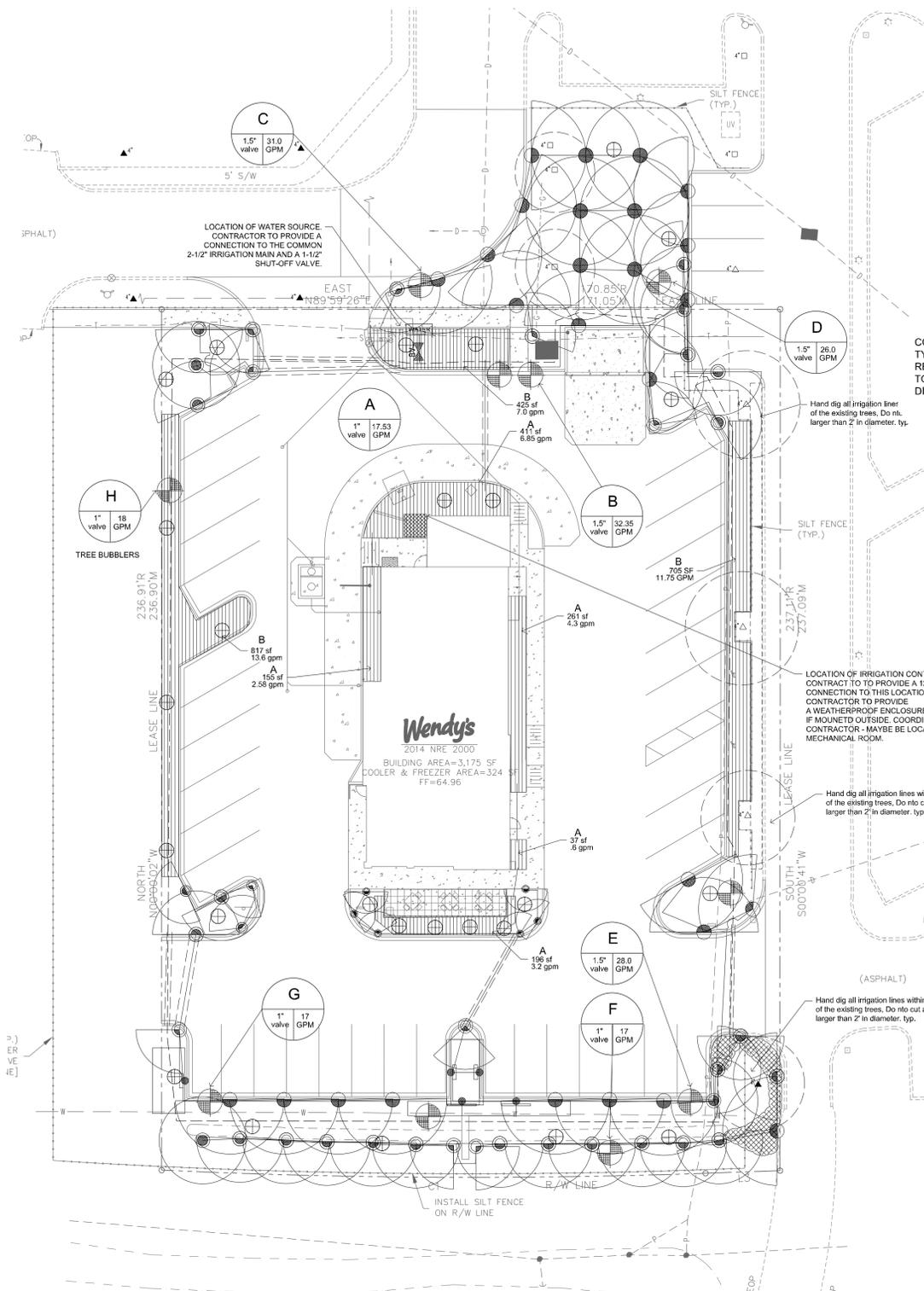
Date: 03-31-2014
Job No.: 300-005

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SR 54 & SUNLAKE BLVD.
WENDY'S INTERNATIONAL, INC.
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OF 6

DETAILS



- ### IRRIGATION LEGEND
- CONTROLLER: HUNTER PRO-C 8-STATION CONTROLLER PROVIDE A HUNTER SOLAR SYNC AND WIRELESS "RAIN SWITCH & BYPASS SWITCH" FOR AUTOMATIC RAIN SHUTOFF. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. GENERAL CONTRACTOR TO PROVIDE 117 V. AC POWER SUPPLY DISCONNECT TO CONTROLLER LOCATION. COORDINATE LOCATION WITH OWNER'S CONSTRUCTION REPRESENTATIVE - MAY BE MOUNTED INSIDE OF MECHANICAL ROOM, OR MOUNTED ON WALL OUTSIDE NEAR WELL.
 - REMOTE CONTROL VALVES: HUNTER ICV, 1" & 1 1/2" PRESSURE REGULATING ELECTRIC REMOTE CONTROL VALVES, IN LOCATIONS AS SHOWN ON PLAN. ALL VALVES SHALL BE INSTALLED IN AMETEK VP-10 VALVE BOXES WITH MATCHING COVERS. PLACE VALVE BOX ON BRICKS AND INSTALL ONE CUBIC FOOT OF PEA GRAVEL AT BASE OF VALVE FOR DRAINAGE. LOCATE VALVES MIN 2" FROM ALL SIDEWALKS EDGES OR BUILDING EDGES. VALVE BOXES SHALL BE MOUNTED FLUSH WITH FINAL GRADE.
 - SPRAY SPRINKLERS: HUNTER PRO-SPRAY SERIES SPRINKLERS. REFER TO NOZZLE SELECTION CHART AS A GUIDE FOR PROPER NOZZLE PATTERN PER FIELD REQUIREMENTS. NOZZLE SELECTIONS SHOWN ON PLANS ARE TO BE USED AS A GUIDE ONLY. INSTALL BODY TYPES AS FOLLOWS:
 - 6" POP-UP FOR TURF AREAS. (6P)
 - 12" POP-UP FOR SHRUB & GROUND COVER BEDS ADJACENT TO WALKS AND ADJACENT TO CURBS AND SIDEWALKS. (12P)
 - RISERS WITH NOZZLES FOR SHRUB & GROUND COVER BEDS ADJACENT TO BUILDINGS.
 - NETAFIM DRI IRRIGATION TUBING, 12" ON CENTER SPACING OF TUBING WITH EMITTERS 12" ON CENTER. INSTALL AS PER DIAGRAMS PROVIDED ON PLANS. USE FILTERS AND AIR RELIEF VALVES AS INDICATED.
 - TREE BUBBLERS: HUNTER PRO-SPRAY WITH MSBN NOZZLE; 1 GPM INSTALL AT PERIMETER OF ROOFTOP.
 - INDICATES PVC SCH 40 SLEEVE SIZED TWO PIPE SIZES LARGER (INSIDE DIAMETER) THAN LATERAL LINE "WET PIPE" INDICATED ON PLAN.
 - SCH 40 PVC MAINLINE-2" (LOCATE IN PLANTING AREAS NOT UNDER PAVEMENT EXCEPT IN SLEEVES, AS SHOWN ON PLAN)
 - INDICATES PVC LATERAL LINE: CLASS 200 = 3/4" LINE OR SMALLER CLASS 160 = 1" LINE
 - P.O.C.: LANDSCAPE CONTRACTOR TO PROVIDE CONNECTION TO COMMON 2-1/2" IRRIGATION MAIN COORDINATE WATERING TIMES TO BLEND WITH OTHER USERS ON WATER SOURCE. IRRIGATION CONTRACTOR TO VERIFY THAT PSI AND GPM ARE ADEQUATE FOR SYSTEM. CONTACT LANDSCAPE ARCHITECT IF THERE IS A DISCREPANCY BETWEEN THE PLAN AND SYSTEM AS INSTALLED. IRRIGATION CONTRACTOR TO PROVIDE ENTIRE SYSTEM DOWNSTREAM OF COMMON MAIN, INCLUDING A BALL VALVE SHUT-OFF.
 - NOTE: ALL MAINLINE AND LATERAL LINES SHALL BE INSTALLED IN PLANTING AREAS AND SLEEVED UNDER PAVING AREAS AND ARE ONLY DIAGRAMMATICALLY LOCATED ON THIS PLAN.
 - NOTE: WHEN DIGGING NEAR EXISTING TREES, FIELD ADJUST HEADS, LINES AND TRENCHES TO AVOID CUTTING ROOTS 1/2" AND GREATER IN DIAMETER.
 - NOTE: IRRIGATION CONTRACTOR SHALL SIZE PIPE SIZES NOT TO EXCEED 5 FPS FEET-PER-SECOND OF FLOW RATE. PSI AND GPM AT ALL HEADS SHALL MATCH MANUFACTURERS DESIGN SPECIFICATIONS AS CALLED FOR ON PLANS DETERMINED BY HEAD TYPE ON CHART.

NOZZLE SELECTION CHART FOR SPRINKLERS

SYMBOL	SPEC/NOZZLE	PSI	GPM	RADIUS	PATTERN
15F	15F	30	4	15'	FULL
15A	15A	30	3	15'	THREE QUARTER
15B	15B	30	2.6	15'	TWO THIRD
15H	15H	30	2	15'	HALF
15A	15A	30	1.4	15'	ONE THIRD
15Q	15Q	30	1	15'	QUARTER
15EST	15EST	30	0.6	4' x 15'	END STRIP
15CST	15CST	30	1.2	4' x 30'	CENTER STRIP
9SST	9SST	30	1.2	9' x 18'	SIDE STRIP
15SST	15SST	30	1.45	4' x 30'	SIDE STRIP
12F	12F	30	2.1	12'	FULL
12A	12A	30	1.5	12'	THREE QUARTER
12B	12B	30	1.3	12'	TWO THIRD
12H	12H	30	1.1	12'	HALF
12A	12A	30	0.9	12'	ONE THIRD
12Q	12Q	30	0.8	12'	QUARTER
MSBN10F	MSBN10F	30	1	1'	FULL STREAM BUBBLER
MSBN50H	MSBN50H	30	0.5	1'	HALF STREAM BUBBLER
MSBN25Q	MSBN25Q	30	0.25	1'	QTR. STREAM BUBBLER

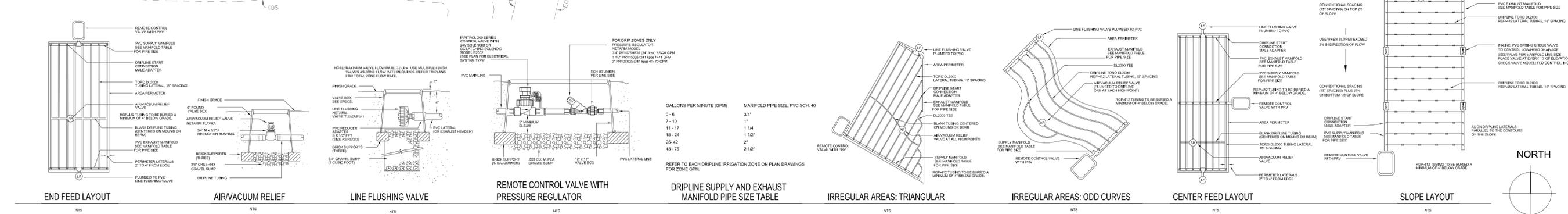
TURF ROTORS	SYMBOL	PSI	GPM	RADIUS	PATTERN
AA	PGP-ADJ-LA-7	40	3.1	32'	ADJ. FULL
BB	PGP-ADJ-LA-8	40	3.9	34'	ADJ. FULL
CC	PGP-ADJ-LA-9	40	5	37'	ADJ. FULL
DD	I-25-ADS-4	40	3.8	40'	ADJ. FULL
EE	1-25-ADS-7	40	6.6	45'	ADJ. FULL
FF	1-25-ADS-8	40	7.7	47'	ADJ. FULL
GG	I-40-ADS-40	50	8	46'	ADJ. FULL
HH	I-40-ADS-41	50	10.2	52'	ADJ. FULL
II	I-40-ADS-43	50	14.2	58'	ADJ. FULL
JJ	I-60-ADS-7	40	6.5	50'	ADJ. FULL
KK	I-60-ADS-13	40	10	56'	ADJ. FULL
LL	I-60-ADS-18	40	15	59'	ADJ. FULL

TREE BUBBLER NOTES:

- LARGER TREES REQUIRE MULTIPLE BUBBLERS USE THE FOLLOWING CHART TO DETERMINE THE NUMBER OF BUBBLERS. BUBBLER SIZES INDICATED ON PLANS.

CONTAINER SIZE	BUBBLERS
15 GAL	1
30 GAL	2
45 GAL	3
60 GAL	4
B&B	4
PALM	2

- TREE BUBBLER WILL BE INSTALLED ON SEPARATE ZONES. DO NOT INCLUDE BUBBLERS ON ROTOR OR SPRAY SYSTEMS. SYSTEM IS DESIGNED FOR BUBBLERS ON SEPARATE ZONES.
- BUBBLER PRINTS NOT INDICATED IN ALL INSTANCES FOR GRAPHIC CLARITY.



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LAND PLANNERS
URBAN DESIGNERS

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727-441-4504 ph.

IRRIGATION CONSTRUCTION DOCUMENTS

WENDY'S SR 54
PASCO, FLORIDA

SEAL

JONATHAN H. TONER FL 0001123

Date: 4-2-2014
Scale: 1"=20'
Revision:
No. Date: Description:

Job No.

Drawn by: BAM Checked by: JT

Sheet **L2**
Of 3 Sheets

