

# PRELIMINARY SITE / CONSTRUCTION PLANS

## FOR

# LITTLE OWL LEARNING ACADEMY

PARCEL ID: 31-26-17-0220-000000-0040

## PASCO COUNTY, FLORIDA

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LEGAL DESCRIPTION:

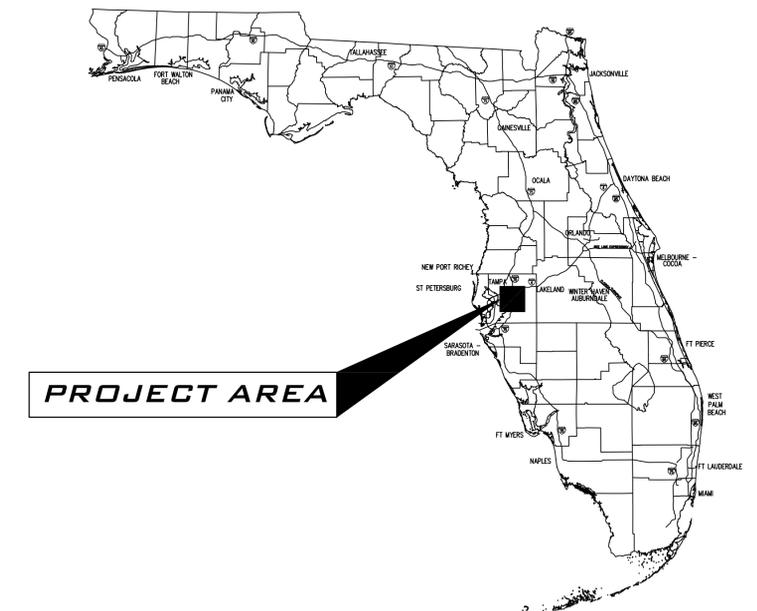
LOT 4, FOX WOOD COMMERCE PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 66, PAGES 132 THROUGH 137, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, LESS THE FOLLOWING DESCRIBED PORTION: COMMENCE AT THE NORTHEAST CORNER OF SAID LOT 4 AND RUN ALONG THE NORTHERLY BOUNDARY LINE OF SAID LOT 4, SOUTH 72°39'07" WEST, A DISTANCE OF 25.31 FEET TO A POINT ON THE WESTERLY LINE OF AN ACCESS, UTILITY, AND DRAINAGE EASEMENT ALSO BEING THE POINT OF BEGINNING; THENCE CONTINUE TO RUN ALONG THE NORTHERLY BOUNDARY LINE OF SAID LOT 4, SOUTH 72°39'07" WEST, A DISTANCE OF 50.00 FEET; THENCE RUN SOUTH 17°20'53" EAST, A DISTANCE OF 15.00 FEET; THENCE RUN SOUTH 62°20'53" EAST, A DISTANCE OF 11.31 FEET; THENCE RUN NORTH 72°39'07" EAST, A DISTANCE OF 39.27 FEET TO A POINT ON THE WESTERLY LINE OF SAID ACCESS, UTILITY, AND DRAINAGE EASEMENT, ALSO BEING A POINT OF CURVATURE OF A CURVE TO THE RIGHT; THENCE RUN ALONG THE WESTERLY LINE OF SAID ACCESS, UTILITY, AND DRAINAGE EASEMENT 23.17 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT BEING NON-TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 350.00 FEET, A CENTRAL ANGLE OF 03°47'32", AND A CHORD OF 23.16 FEET WHICH BEARS NORTH 10°35'05" WEST TO THE POINT OF BEGINNING.

### VICINITY MAP



SECTION 32, TOWNSHIP 26 S, RANGE 17 E

### LOCATION MAP



PROJECT AREA

PREPARED BY



610 E. Morgan Street Brandon, FL 33510 (813)643-9907

PREPARED FOR

**RMW CONSULTANTS, INC.**  
 64 CALLE SEGUNDA  
 ENSENADA, PR 00647

MAY 2, 2014

LITTLE OWL LEARNING ACADEMY



610 E. Morgan Street Brandon, FL 33510 (813)643-9907

PROJECT #13-187

I. MISCELLANEOUS

A. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES, THE ENGINEER, AND THE ARCHITECT. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, AND SCHEDULE ANY NECESSARY INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS.

B. ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO IN THESE PLANS SHALL BE OF THE LATEST REVISION.

C. ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.

D. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO THE OWNER'S ENGINEER FOR APPROVALS. FAILURE TO OBTAIN APPROVALS BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.

E. WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES.

F. THE WATER, SANITARY SEWER, AND STORM DRAINAGE FACILITIES ARE SUBJECT TO THE REVIEW AND APPROVAL OF PASCO COUNTY AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE REQUIRED PERMITS TO PERFORM WORK IN THE PUBLIC RIGHTS-OF-WAYS.

G. IT WILL BE NECESSARY TO EXAMINE, COORDINATE AND ADJUST ACCORDING TO THE PROPOSED LOCATIONS OF THE VARIOUS COMPONENTS OF THE SITE UTILITIES. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT COORDINATION DRAWINGS SHOWING PIPE SIZES, STRUCTURES, AND ELEVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING AND COORDINATION OF ALL THE UNDERGROUND WORK ASSOCIATED WITH THIS PROJECT.

H. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW, WHEN POSSIBLE.

II. SAFETY

A. DURING THE CONSTRUCTION AND MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL.

B. THE CONTRACTOR'S MAINTENANCE OF TRAFFIC PLAN MUST BE SUBMITTED TO AND APPROVED BY PASCO COUNTY PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.

C. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA.

D. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ITS OWN SAFETY EQUIPMENT IN ACCORDANCE WITH ITS HEALTH AND SAFETY PROGRAM REQUIREMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROMOTING ITS EMPLOYEES AND SUB CONTRACTORS WITH ADEQUATE INFORMATION AND TRAINING TO ENSURE THAT ALL EMPLOYEES, SUB CONTRACTORS, AND SUB CONTRACTORS EMPLOYEES COMPLY WITH ALL APPLICABLE REQUIREMENTS. THE CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH ALL OSHA OR OCCUPATIONAL REGULATIONS AS WELL AS THE ENVIRONMENTAL PROTECTION LAWS.

THE FOLLOWING IS NOT TO BE PERCEIVED AS THE ENTIRE SAFETY PROGRAM BUT JUST AS BASIC REQUIREMENTS.

E. ALL EXCAVATIONS BY THE THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF LABOR'S OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION RULES AND REGULATIONS. PARTICULAR ATTENTION MUST BE PAID TO THE CONSTRUCTION STANDARDS FOR EXCAVATIONS, 29 CFR PART 1926, SUBPART P.

F. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF "THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS" SHALL BE DESIGN APPLICABLE TO ALL INSTALLATIONS. THE CONTRACTOR SHALL MAINTAIN AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.

G. ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.

H. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

I. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE UTILITY COMPANIES PRIOR TO CONSTRUCTION TO OBTAIN FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES. CALL SUNSHINE ONE AT (800)-432-4770.

J. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THIS CONTRACT.

K. ALL UNDERGROUND UTILITIES MUST BE IN PLACE AND TESTED OR INSPECTED AS REQUIRED PRIOR TO BASE AND PAVEMENT CONSTRUCTION.

III. SITE PLAN AND COORDINATE CONTROL

A. ARCHITECTURAL BUILDING PLANS PREPARED BY: KEENER ARCHITECTURE

B. SITE PLAN PREPARED BY: AURORA CIVIL BASED ON CONCEPTUAL LAYOUT FURNISHED BY THE ARCHITECT.

C. STRUCTURAL AND MECHANICAL PLANS PREPARED BY: JENKINS MAAG ASSOCIATES, LLC.

D. ELECTRICAL PLANS PREPARED BY: JENKINS MAAG ASSOCIATES, LLC.

E. SUBSURFACE INVESTIGATION PREPARED BY: ---

F. SURVEYS PREPARED BY: DLB SURVEYING, INC.

G. LANDSCAPE PLANS PREPARED BY: ANDERSON LESNIAK LIMITED, INC.

H. ALL POINTS AND MONUMENTS SHALL BE SURVEYED UPON MOBILIZATION TO VERIFY THEIR ACCURACY. ANY DISCREPANCIES DISCOVERED MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING.

I. MONUMENTS AND OTHER SURVEY CONTROL POINTS SHALL BE PROTECTED FROM DAMAGE AND DISTURBANCE. IF ANY CONTROL POINTS ARE DAMAGED OR DISTURBED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND REPLACE THE CONTROL POINTS TO THEIR ORIGINAL CONDITION AT HIS OWN EXPENSE.

J. REFER TO THE GRADING SHEET AND/OR THE TOPOGRAPHIC SURVEYS FOR NOTES REGARDING THE BASIS OF VERTICAL DATUM.

K. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.

L. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL FURNISH THE OWNER'S ENGINEER WITH COMPLETE "AS-BUILT" INFORMATION CERTIFIED BY A REGISTERED LAND SURVEYOR. THE "AS-BUILT" INFORMATION SHALL BE FURNISHED TO THE ENGINEER IN A LEGIBLE FORMAT MARKED ON FULL SIZE PRINTS OF THE APPROPRIATE PLAN SHEETS, OR IN A LEGIBLE FORMAT ON LETTER OR LEGAL SIZE SKETCHES. THE ENGINEER MUST BE ABLE TO COMPLETE THIS INFORMATION ONTO THE ORIGINAL PLAN DOCUMENTS FOR SUBMITTAL TO THE APPROPRIATE AGENCIES FOR FINAL APPROVALS.

THE "AS-BUILT" INFORMATION SHALL CLEARLY AND ACCURATELY REPRESENT ALL CONSTRUCTED ITEMS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:

1. ELEVATIONS OF ALL STORM SEWER AND SANITARY SEWER STRUCTURE BOTTOMS, TOPS, AND INVERTS.

2. FIELD MEASURED LENGTHS OF PIPES FOR ALL INSTALLED UTILITIES, CONDUITS, SLEEVES, ETC.

3. LOCATIONS OF ALL STRUCTURES, PIPES, CONDUITS, SLEEVES, ETC.

4. CALCULATED SLOPE OF ALL SANITARY SEWER AND STORM SEWER LINES.

5. HORIZONTAL AND VERTICAL CONTROL OF ALL WATER MAIN FITTINGS AND APPURTENANCES, AND HORIZONTAL AND VERTICAL CONTROL OF THE TOPS OF WATER MAINS AT ALL CROSSINGS, AND A MINIMUM OF EVERY 200 LINEAL FEET OF PIPE.

6. HORIZONTAL AND VERTICAL CONTROL OF ALL TOP OF BANKS, TOE OF SLOPES, ALL GRADE BREAKS, BUILDINGS, PONDS, DITCHES, BRIDGES, LITTORAL ZONES, ETC.

7. HORIZONTAL AND VERTICAL CONTROL ELEVATIONS OF ALL ELEMENTS OF SANITARY SEWER LIFT STATIONS INCLUDING TOP AND BOTTOM SLABS, INVERTS, ELEVATIONS AT WHICH THE FLOAT SWITCHES ENGAGE, ALL VALVES AND ASSOCIATED APPURTENANCES.

NO ENGINEER'S CERTIFICATE CAN BE SUBMITTED TO OBTAIN A CERTIFICATE OF OCCUPANCY UNTIL THE "AS-BUILT" INFORMATION IS RECEIVED, REVIEWED, AND APPROVED BY THE ENGINEER AND THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL ALLOW THE ENGINEER A MINIMUM OF FOUR WEEKS UPON RECEIPT TO COMPLETE THE REVIEW OF THE "AS-BUILT" INFORMATION AND COMPLETE THE NECESSARY DRAWINGS FOR SUBMITTAL TO THE APPROPRIATE AGENCIES.

M. ALL DIMENSIONS SHOWN ON THE PLANS ARE TO FACE OF BUILDING, FACE OF CURBING, OR CENTERLINES OF STRUCTURES, UNLESS OTHERWISE NOTED ON THE PLANS.

IV. CLEARING / DEMOLITION

A. PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN AS INDICATED ON THE CONSTRUCTION AND LANDSCAPE PLANS SHALL BE PROTECTED IN ACCORDANCE WITH LOCAL TREE ORDINANCES AS WELL AS DETAILS AND NOTES PROVIDED IN THIS PLAN SET. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREE SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM PASCO COUNTY.

B. THE CONTRACTOR IS TO PREPARE THE SITE PRIOR TO BEGINNING ACTUAL CONSTRUCTION IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. COPIES OF THE SOILS REPORT ARE AVAILABLE THROUGH THE OWNER. QUESTIONS REGARDING SITE PREPARATION REQUIREMENTS DESCRIBED IN THE SOILS REPORT ARE TO BE DIRECTED TO THE SOILS TESTING COMPANY.

C. THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, SODDED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIALS IMMEDIATELY FOLLOWING CONSTRUCTION.

D. ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS, OR AS DIRECTED BY THE OWNER.

V. PAVING AND GRADING

A. ALL DELETERIOUS SUBSURFACE MATERIAL, (I.E. MUCK, PEAT, BURIED DEBRIS), IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER. THE OWNER'S ENGINEER, OR THE OWNER'S SOIL TESTING COMPANY, DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY OWNER. EXCAVATED AREAS TO BE BACKFILLED WITH APPROPRIATE MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.

B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.

C. ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOIL TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS OR THE REFERENCED SOIL REPORT.

D. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADES UNLESS OTHERWISE NOTED ON PLANS. FINISHED GRIMES OR CONTOURS IN SODDED AREAS REPRESENT FINISH GRADES AFTER PLACEMENT OF SOD.

E. THE CONTRACTOR SHALL TRIM, TACK AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.

F. CURBING WILL BE PLACED AT THE EDGE OF ALL PAVEMENT, WHERE SHOWN ON THE PLANS.

G. REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL F.D.O.T. CURBING AND GUTTERS CALLED FOR IN THESE PLANS. REFER TO DETAILS IN THESE PLANS FOR MODIFIED CURB DETAILS.

H. CONTRACTOR TO PROVIDE 1/2" TO 1" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENT OF CONCRETE AND OTHER MATERIALS, (BUILDINGS, OTHER PLACED CONCRETE, ETC.).

I. ALL PAVEMENT MARKINGS WITHIN RIGHT-OF-WAY SHALL BE MADE WITH PERMANENT THERMOPLASTIC AND SHALL CONFORM TO F.D.O.T. STANDARD INDEX NO. 17346, SHEETS 1-7. PARKING STALL STRIPING TO BE 4" WIDE PAINTED STRIPES. ON-SITE STRIPING COLORS AS SHOWN ON THESE PLANS.

J. CONTRACTOR IS TO PROVIDE EROSION CONTROL AND SEDIMENT BARRIERS, (HAY SALES AND/OR SILTATION CURTAIN), TO PREVENT SILTATION OF ADJACENT PROPERTIES, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION, CONTRACTOR SHALL PLACE STRAW, MULCH, OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT THE SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.

K. IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREAS USING SPRINKLING, IRRIGATION OR OTHER ACCEPTABLE METHODS.

L. THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOD OR OTHER APPROVED METHODS WITHIN ONE WEEK FOLLOWING COMPLETION OF CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. THE CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER.

M. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE SOILS TESTING. TESTS WILL BE REQUIRED PURSUANT WITH THE TESTING SCHEDULE LOCATED ON TABLE SC-1 ON THIS SHEET. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.

N. A QUALIFIED TESTING LABORATORY SELECTED BY THE OWNER SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN PLACE MATERIALS AS REQUIRED BY THESE PLANS AND THE VARIOUS AGENCIES. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING ALL TESTING.

O. MIXING IN PLACE OF SOIL CEMENT WILL NOT BE ALLOWED.

VI. DRAINAGE

A. STANDARD INDEXES REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS".

B. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III, (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAIN STRUCTURES SHALL BE IN ACCORDANCE WITH F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS UNLESS OTHERWISE NOTED ON PLANS.

C. PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO THE CENTER OF DRAINAGE STRUCTURES WITH THE EXCEPTION OF MITERED AND FLARED END SECTIONS WHICH ARE NOT INCLUDED IN LENGTHS. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES SUBMITTED FOR BID.

D. ALL DRAINAGE STRUCTURE GRATES AND COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.

E. ALL STORM DRAINAGE PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND PASCO COUNTY 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS.

F. THE CONTRACTOR SHALL MAINTAIN AND PROTECT THE STORM DRAINAGE SYSTEM FROM MUD, DIRT, DEBRIS, ETC., UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR MAY BE REQUIRED TO RECLEAN PIPES AND INLETS FOR THESE PURPOSES.

VII. SANITARY SEWER

A. SANITARY SEWERS, FORCE MAINS, AND STORM SEWERS SHOULD ALWAYS CROSS UNDER WATER MAINS. SANITARY SEWERS, FORCE MAINS, AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.

WHERE SANITARY SEWERS, FORCE MAINS, AND STORM SEWERS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. (DIP IS NOT REQUIRED FOR STORM SEWERS IF IT IS NOT AVAILABLE IN THE SIZE PROPOSED). SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE LEAK FREE AND MECHANICALLY RESTRAINED.

ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).

WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP AND THE CROSSING SHALL BE ARRANGED TO MEET THE REQUIREMENTS ABOVE.

B. A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.

IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.

WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP (IF AVAILABLE IN THE SIZE PROPOSED) WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM THE JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).

C. ALL SANITARY SEWER MAINS, LATERALS, AND FORCE MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.

D. ALL ON SITE PVC GRAVITY SANITARY SEWER PIPE SHALL BE MADE OF MATERIAL HAVING A CELL CLASSIFICATION OF 12454 B, 12454 C, OR 13354 B AS DEFINED IN ASTM-1784 AND CONFORM TO THE REQUIREMENTS OF SDR 26. ELASTOMERIC GASKET JOINTS SHALL BE UTILIZED.

E. ALL ON SITE DUCTILE IRON PIPE SHALL BE CLASS 52 AND SHALL RECEIVE INTERIOR AND EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI 216, A 21.8, OR A 21.51.

F. POINTS OF CONNECTION FOR THE SANITARY SEWER LINES ARE TO BE COORDINATED WITH THE BUILDING PLUMBING PLANS. SANITARY SEWER CONNECTION LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE.

G. ALL SANITARY SEWER WORK SHALL CONFORM WITH APPLICABLE STANDARDS AND SPECIFICATIONS FOR PASCO COUNTY.

H. PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW SANITARY SEWER LINES TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES NEAR THE POINT OF CONNECTION AND NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES WITH DESIGN INFORMATION SHOWN IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND PASCO COUNTY AT LEAST 48 HOURS IN ADVANCE OF SCHEDULED WORK.

I. ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VIDEO AND VISUAL INSPECTION BY THE OWNER'S ENGINEER AND PASCO COUNTY PRIOR TO PLACEMENT OF BASE AND PAVING AND AGAIN PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS.

J. THE CONTRACTOR SHALL PERFORM AT HIS OWN EXPENSE AN INFILTRATION OR EXFILTRATION TEST, A TELEVISION INSPECTION, AND A MANDREL (GO, NO GO) TEST ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE ENGINEER'S REQUIREMENTS AND THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION OF TESTING AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.

VIII. WATER DISTRIBUTION

A. SANITARY SEWERS, FORCE MAINS, AND STORM SEWERS SHOULD ALWAYS CROSS UNDER WATER MAINS. SANITARY SEWERS, FORCE MAINS, AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.

WHERE SANITARY SEWERS, FORCE MAINS, AND STORM SEWERS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. (DIP IS NOT REQUIRED FOR STORM SEWERS IF IT IS NOT AVAILABLE IN THE SIZE PROPOSED). SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE LEAK FREE AND MECHANICALLY RESTRAINED.

ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).

WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP AND THE CROSSING SHALL BE ARRANGED TO MEET THE REQUIREMENTS ABOVE.

B. A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.

IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.

WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP (IF AVAILABLE IN THE SIZE PROPOSED) WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM THE JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).

C. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.

D. ALL WATER SYSTEM WORK SHALL CONFORM WITH PASCO COUNTY STANDARDS AND SPECIFICATIONS & FLORIDA GOVERNMENT UTILITY AUTHORITY (F.G.U.A.) REQUIREMENTS

E. CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER ARE TO BE RESOLVED BY ADJUSTING THE WATER LINES AS NECESSARY.

F. ALL ON SITE PVC WATER MAINS 4 INCHES THROUGH 12 INCHES SHALL BE IN ACCORDANCE WITH AWWA C-900 AND SHALL BE CLASS 200 DR 14. ALL ON SITE PVC WATER MAINS 2 INCHES TO 3 INCHES SHALL BE CLASS 200 AND MEET REQUIREMENTS OF SDR 21 IN ACCORDANCE WITH ASTM D-2241.

G. ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI STANDARD A21.51. JOINTS FOR DUCTILE IRON PIPE SHALL BE MECHANICAL OR PUSH-ON JOINTS. PIPE SHALL HAVE AN EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A21.51. PIPE INTERIOR SHALL HAVE A CEMENT MORTAR LINING WITH AN ASPHALTIC SEAL COAT CONFORMING TO AWWA /ANSI C104/A21.4. THE WEIGHT AND CLASS DESIGNATION SHALL BE PAINTED IN WHITE ON THE EXTERIOR SURFACE OF ALL PIPES AND FITTINGS. MANUFACTURER'S CODE OR SERIAL NUMBER SHALL BE PROVIDED ON THE BELL OF EACH PIPE JOINT.

H. ALL DUCTILE FITTINGS SHALL BE MECHANICAL JOINT WITH A MINIMUM PRESSURE RATING OF 250 PSI AND SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA A21-10/C110. ALL FITTINGS SHALL BE COATED AND LINED AS SPECIFIED ABOVE FOR DUCTILE IRON PIPE.

I. THE CONTRACTOR IS TO INSTALL TEMPORARY BLOWOFFS AT THE END OF WATER SERVICE LATERALS TO BUILDINGS TO ASSURE ADEQUATE FLUSHING AND DISINFECTION.

J. THRUST BLOCKING SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS AS SHOWN ON DETAILS. ALL JOINTS SHALL BE RESTRAINT JOINT FITTINGS.

K. POINTS OF CONNECTION OF THE EXTERNAL WATER LINES ARE TO COINCIDE WITH THE BUILDING PLUMBING AS SHOWN ON THE BUILDING PLUMBING PLANS. CONNECTION LOCATIONS SHOWN ARE APPROXIMATE.

L. FIRE LINES TO BUILDINGS WITH FIRE SPRINKLER SYSTEMS SHALL BE INSTALLED BY A CONTRACTOR DULY LICENSED BY THE STATE FIRE MARSHAL'S OFFICE. THE CONTRACTOR SHALL VERIFY REQUIREMENTS PRIOR TO CONSTRUCTION.

M. ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS, CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY INSPECTED AND ACCEPTED BY THE OWNER'S ENGINEER AND PASCO COUNTY UTILITY DEPARTMENT SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER AND PASCO COUNTY INSPECTORS 72 HOURS IN ADVANCE OF PERFORMING TESTS.

N. THE CONTRACTOR SHALL CONTRACT WITH A QUALIFIED LABORATORY TO PERFORM CHLORINATION AND BACTERIOLOGICAL SAMPLING. COPIES OF ALL BACTERIOLOGICAL TESTS TO BE SUBMITTED TO THE OWNER'S ENGINEER.

O. WATER MAIN SHALL HAVE SUITABLE MAGNETIC LOCATOR TAPE BURIED UNDER THE WATER MAIN.

IX. EROSION/TURBIDITY CONTROL

A. THE INSTALLATION OF TEMPORARY EROSION CONTROL BARRIERS SHALL BE COORDINATED WITH THE CONSTRUCTION OF THE PERMANENT EROSION CONTROL FEATURES TO THE EXTENT NECESSARY TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL OF EROSION AND WATER POLLUTION THROUGHOUT THE LIFE OF THE CONSTRUCTION PHASE.

B. THE TYPE OF EROSION CONTROL BARRIERS USED SHALL BE GOVERNED BY THE NATURE OF THE CONSTRUCTION OPERATION AND SOIL TYPE THAT WILL BE EXPOSED. SILTY AND CLAYEY MATERIAL USUALLY REQUIRE SOLID SEDIMENT BARRIERS TO PREVENT TURBID WATER DISCHARGE, WHILE SANDY MATERIAL MAY NEED ONLY SILT SCREENS OR HAY BALES TO PREVENT EROSION. FLOATING TURBIDITY CURTAINS SHALL BE USED IN OPEN WATER SITUATIONS. DIVERSION DITCHES OR SWALES MAY BE REQUIRED TO PREVENT TURBID STORMWATER RUNOFF FROM BEING DISCHARGED INTO WETLAND OR OTHER WATER BODIES. IT MAY BE NECESSARY TO EMPLOY A COMBINATION OF BARRIERS, DITCHES AND OTHER EROSION/TURBIDITY CONTROL MEASURES IF CONDITIONS WARRANT.

C. CONSTRUCTION OPERATIONS IN OR ADJACENT TO WETLANDS SHALL BE RESTRICTED TO THOSE AREAS IDENTIFIED IN THE PLANS AND IN THE SPECIFICATIONS.

SC-1 TESTING SCHEDULE

Table with 3 columns: ITEM, TEST, TEST FREQUENCY. Rows include BUILDING PADS, EMBANKMENT, UTILITY TRENCH BACKFILL OVER PIPELINES AND AROUND STRUCTURES WITHIN THE RIGHT-OF-WAY AND IN STRUCTURAL AREAS, UTILITY TRENCH BACKFILL OVER PIPELINES OUTSIDE THE RIGHT-OF-WAY AND IN NON-STRUCTURAL AREAS, STABILIZED SUBGRADE, BASE (OTHER THAN SOIL CEMENT), CONCRETE, SOIL CEMENT BASE (NO IN-PLACE MIXING ALLOWED) (TO BE USED IF SEPARATION BETWEEN SHWT & BOTTOM OF BASE IS < 1.5'), ASPHALTIC CONCRETE.

\*\* TESTS SHALL BE LOCATED NO MORE THAN 500 FEET APART. TESTS SHALL BE PERFORMED ON EACH LIFT, EXCEPT THAT TESTS SHALL NOT BE FURTHER APART THAN ONE (1) FOOT VERTICALLY. FIELD DENSITIES SHALL BE TAKEN OVER ALL ROAD CROSSINGS. FIELD DENSITIES FOR SANITARY LINES SHALL BE STAGGERED TO INCLUDE RESULTS OVER SERVICE LATERALS. THERE SHALL BE A MINIMUM OF ONE (1) TEST SERIES FOR EACH 12 INCHES OF LIFT OVER PIPELINE BETWEEN MANHOLES. TESTS AROUND STRUCTURES SHALL BE SPIRALED IN 12 INCH LIFTS.

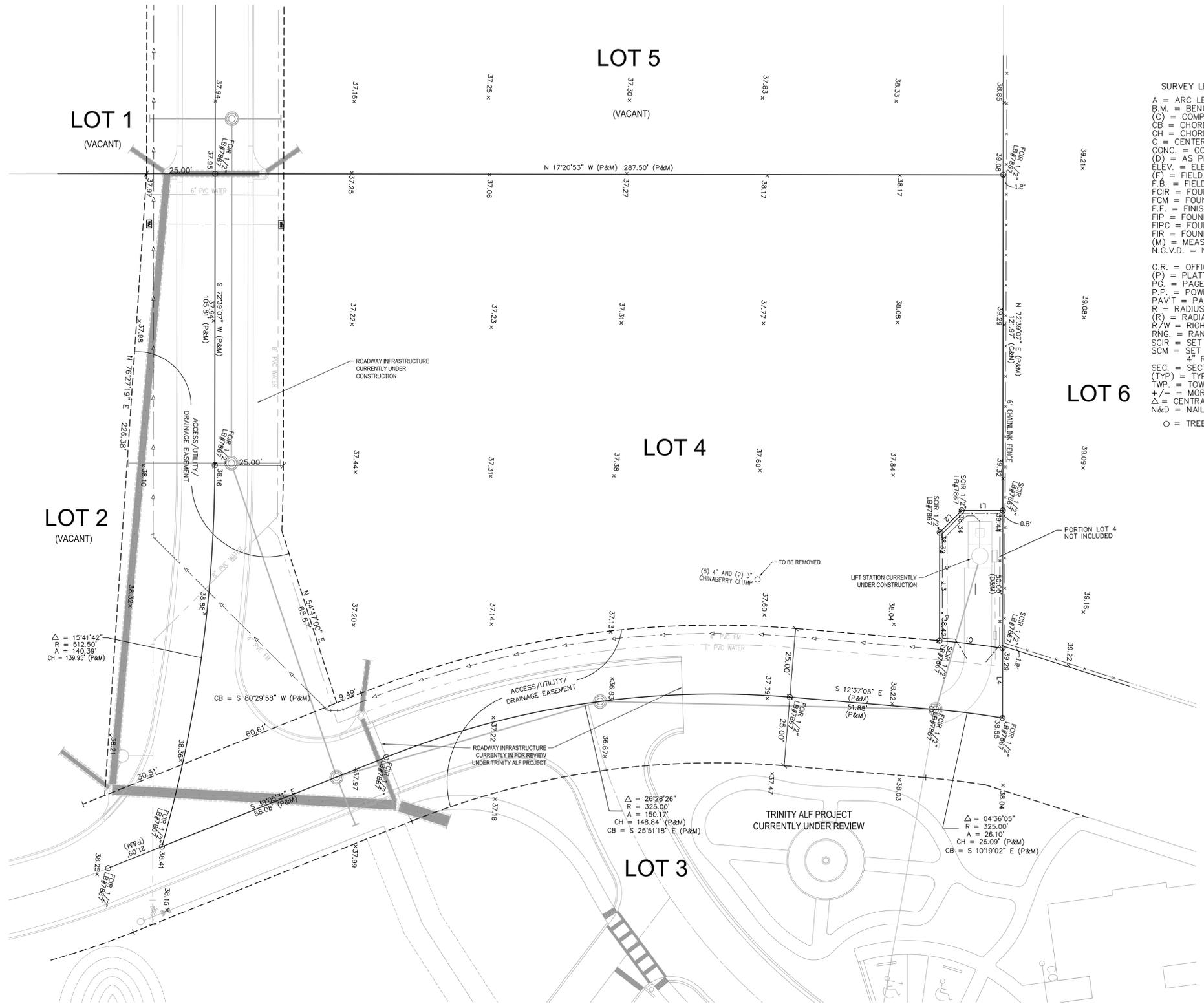
\*\* FOR FLEXIBLE PIPE, (CORRUGATED STEEL OR ALUMINUM), 95% OF MAXIMUM DENSITY (AASHTO-199) PER F.D.O.T. SUPPLEMENTAL SPECIFICATIONS SUBARTICLE 125-8.3.2 MODIFIED. \*\*\* TESTS SHALL BE LOCATED NO MORE THAN 500 FEET APART. THERE SHALL BE NO LESS THAN ONE (1) TEST PER STREET. \*\*\*\* MAXIMUM STRENGTH LIMITS, AS ESTABLISHED BY THE SOILS TESTING COMPANY, SHALL NOT BE EXCEEDED.

Revision table with columns: NO., BY, DATE, DESCRIPTION. Entries include MICHAEL KNIGHT and CHRIS WEDZALE.

CONSTRUCTION NOTES AND TESTING SCHEDULE

LITTLE OWL LEARNING CENTER RMW CONSULTANTS, INC. 64 CALLE SEGUNDA ENSENADA, PR 00647

AURORA CIVIL ENGINEERING, INC. 610 E. Morgan Street Brandon, FL 33510 (813)643-9907



**SURVEY LEGEND**

A = ARC LENGTH  
 B.M. = BENCHMARK  
 (C) = COMPUTED  
 CB = CHORD BEARING  
 CH = CHORD LENGTH  
 C = CENTERLINE  
 CONC. = CONCRETE  
 (D) = AS PER DEED  
 ELEV. = ELEVATION  
 (F) = FIELD  
 F.B. = FIELD BOOK  
 F.C.I.R. = FOUND CAPPED IRON ROD #  
 F.C.M. = FOUND CONCRETE MONUMENT  
 F.F. = FINISHED FLOOR  
 F.I.P. = FOUND IRON PIPE  
 F.I.P.C. = FOUND IRON PIPE CRIMPED  
 F.I.R. = FOUND IRON ROD  
 (M) = MEASURED  
 N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM  
 O.R. = OFFICIAL RECORD BOOK  
 (P) = PLATTED  
 P.C. = PAGE  
 P.P. = POWERPOLE  
 P.A.V.T. = PAVEMENT  
 R = RADIUS  
 (R) = RADIAL  
 R/W = RIGHT OF WAY  
 R.N.G. = RANGE  
 S.C.I.R. = SET CAPPED IRON ROD 1/2" "LB7867"  
 S.C.M. = SET CONCRETE MONUMENT  
 4" ROUND "PRM LS4048"  
 SEC. = SECTION  
 (TYP) = TYPICAL  
 TWP. = TOWNSHIP  
 +/- = MORE OR LESS  
 Δ = CENTRAL ANGLE  
 N&D = NAIL AND DISK  
 ○ = TREE

**LEGAL DESCRIPTION:**

LOT 4, FOX WOOD COMMERCE PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 66, PAGES 132 THROUGH 137, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, LESS THE FOLLOWING DESCRIBED PORTION: COMMENCE AT THE NORTHEAST CORNER OF SAID LOT 4 AND RUN ALONG THE NORTHERLY BOUNDARY LINE OF SAID LOT 4, SOUTH 72°39'07" WEST, A DISTANCE OF 25.31 FEET TO A POINT ON THE WESTERLY LINE OF AN ACCESS, UTILITY, AND DRAINAGE EASEMENT ALSO BEING THE POINT OF BEGINNING; THENCE CONTINUE TO RUN ALONG THE NORTHERLY BOUNDARY LINE OF SAID LOT 4, SOUTH 72°39'07" WEST, A DISTANCE OF 50.00 FEET; THENCE RUN SOUTH 17°20'53" EAST, A DISTANCE OF 15.00 FEET; THENCE RUN SOUTH 62°20'53" EAST, A DISTANCE OF 11.31 FEET; THENCE RUN NORTH 72°39'07" EAST, A DISTANCE OF 39.27 FEET TO A POINT ON THE WESTERLY LINE OF SAID ACCESS, UTILITY, AND DRAINAGE EASEMENT, ALSO BEING A POINT OF CURVATURE OF A CURVE TO THE RIGHT; THENCE RUN ALONG THE WESTERLY LINE OF SAID ACCESS, UTILITY, AND DRAINAGE EASEMENT 23.17 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT BEING NON-TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 350.00 FEET, A CENTRAL ANGLE OF 03°47'32", AND A CHORD OF 23.16 FEET WHICH BEARS NORTH 10°35'05" WEST TO THE POINT OF BEGINNING.

**SURVEYOR'S NOTES:**

- THE BEARINGS ARE BASED UPON THE NORTHERLY BOUNDARY LINE OF LOT 4 BEING N 72°39'07" E PER PLAT.
- THE DESCRIBED PROPERTY APPEARS TO LIE WITHIN FLOOD ZONES "X" AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 120230 0370 D PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DATED SEPTEMBER 30, 1992.
- ELEVATIONS SHOWN HEREON ARE REFERENCED TO FLDPE BM#J668, FOUND DISK IN CONCRETE RETAINING WALL, ELEVATION 40.67 NAVD88 (41.51' NGVD29) AND FLDPE BM#V688, FOUND DISK IN CONCRETE MONUMENT ELEVATION 54.64' NAVD88 (55.48' NGVD29). USING VERTCON CONVERSION, BENCHMARKS WERE ADJUSTED PLUS 0.84' TO NGVD29 DATUM. ALL ELEVATIONS SHOWN ARE IN FEET USING THE NGVD29 DATUM.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAY BE SUBJECT TO EASEMENTS, AGREEMENTS, AND OTHER MATTERS OF RECORD NOT SHOWN HEREON. NO INFORMATION REGARDING SUCH EASEMENTS OR AGREEMENTS WAS SUPPLIED EXCEPT AS MAY BE SHOWN.

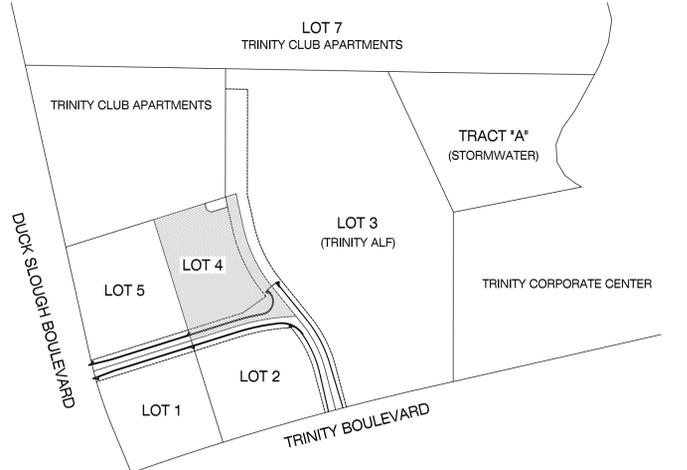
**CURVE TABLE**

RADIUS	DELTA	ARC	CHORD	CHORD BEARING
350.00'	03°47'32"	23.17'	23.16'	(D&M) N 10°35'05" W (D&M)

**LINE TABLE**

NO.	DIRECTION	DISTANCE
1	S 17°20'53"E (D&M)	15.00' (D&M)
2	S 62°20'53"E (D&M)	11.31' (D&M)
3	N 72°39'07"E (D&M)	39.27' (D&M)
4	N 72°39'07" E (D&M)	25.31' (D&M)



NO.	BY	DATE	DESCRIPTION
1	MICHAEL KNIGHT	5-2-14	DESIGN
2	MICHAEL KNIGHT	5-2-14	APPROVED
3	CHRIS WEDDLE	13-187	APPROVED

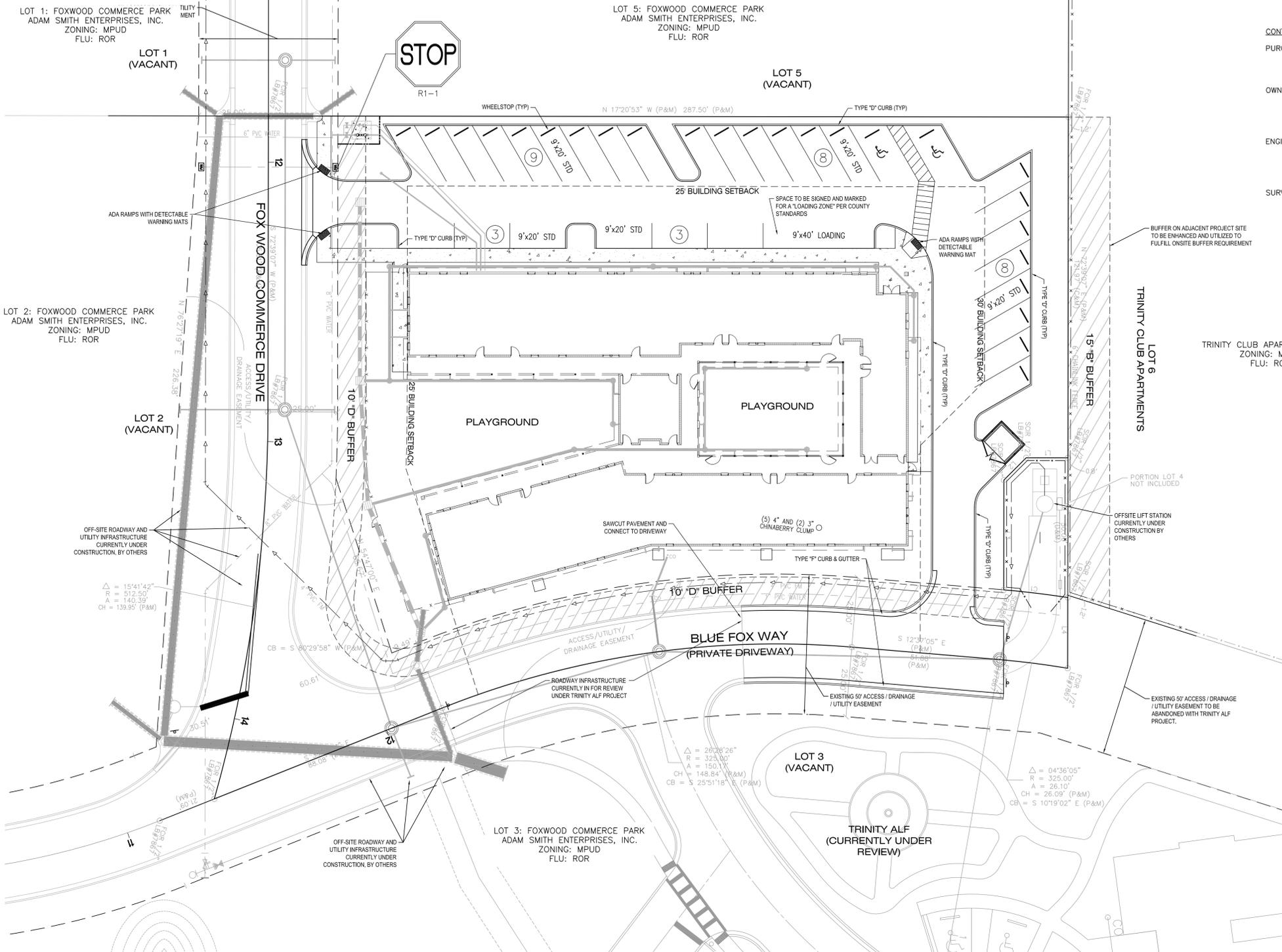
**EXISTING CONDITIONS PLAN**

**LITTLE OWL LEARNING CENTER**  
 RMW CONSULTANTS, INC.  
 64 CALLE SEGUNDA  
 ENSENADA, PR 00647

**AUTRORA**  
 CIVIL ENGINEERING, INC.  
 610 E. Morgan Street Brandon, FL 33510 (813)643-9907

CHRISTOPHER E. WEDDLE, P.E.  
 FLORIDA P.E. NO. 33416  
 STATE OF FLORIDA  
 CERTIFICATE OF AUTHORIZATION NO. 00008999

SURVEY LEGEND



**CONTACTS:**  
**PURCHASER:** RMW CONSULTANTS, INC.  
 64 CALLE SEGUNDA  
 ENSENADA, PR 00647  
 CONTACT: ROBERT MEJILL TELLADO

**OWNER:** ADAM SMITH ENTERPRISES, INC.  
 43309 US HIGHWAY 19 N.  
 TARPON SPRINGS, FL 34688  
 CONTACT: DAN ALDRIDGE  
 (727) 942-2591

**ENGINEER:** AURORA CIVIL ENGINEERING, INC.  
 610 E. MORGAN STREET  
 BRANDON, FL 33510  
 CONTACT: CHRIS WEDDLE, PE  
 (813) 643-9907

**SURVEYOR:** BERRY LAND SURVEYING, INC.  
 3822 LAKE PADGETT DRIVE  
 LAND O LAKES, FL 34639  
 CONTACT: DAVID BERRY  
 (813) 996-7277

**SITE DATA:**  
 ZONING: MPUD NO. 157, ORIGINAL APPROVAL DATE: 12-28-89  
 NOPC #7 EFFECTIVE SEPTEMBER 2009  
 REZONING: RZ 3759, CONDITION OF APPROVAL MARCH 25, 1997

**PARCEL ACREAGE:** 1.34  
**PARCEL ID:** 31-26-17-0220-0000-0040  
**CLASSIFICATION:** 10-VACANT COMMERCIAL

**OWNER:** ADAM SMITH ENTERPRISES INC  
 PO BOX 1608  
 TARPON SPRINGS, FL 34688-1608

**SECTION 30 / TOWNSHIP 26S / RANGE 20E**  
**PARCEL DEMARCATION:** COUNTY UNINCORPORATED  
**CURRENT ZONING:** MPUD  
**USE:** 1000  
**PROPOSED USE:** DAY CARE  
**FUTURE LAND USE:** ROR  
**EXISTING LAND USE:** VACANT PASTURE, LOT 4 OF FOXWOOD COMMERCE PARK  
**FLOOD ZONE:** X  
**BASE FLOOD ELEVATION:** N/A  
**FEMA FLOOD MAP:** 120230 0400 D, 9-30-1992.  
**DRAFT PASCO COUNTY PANEL 12101C0367F, 7-15-2013**

**TRINITY CLUB APARTMENTS, INC.**  
 ZONING: MPUD  
 FLU: ROR

**BUILDING SUMMARY:**  
**BUILDING HEIGHT:** 20' PROPOSED  
**BUILDING FOOTPRINT:** 10,663 SF  
**BUILDING GROSS FLOOR AREA (GFA):** 10,663 SF  
**FAR:** 0.18 PROPOSED  
**ISR:** 0.69 PROPOSED

**PARKING SUMMARY:**  
**REQUIREMENTS:** PASCO LDC PAGE 907.1-12  
 1 SPACE/STAFF MEMBER, PLUS  
 1 SPACE/15 CLIENTS OF LICENSED CAPACITY.  
**BICYCLE SPACES:** 0 REQUIRED FOR DAY CARE  
**COMPACT SPACES:** 25% MAX  
**PARKING REQUIRED:** 31 (18 STAFF & 190 KIDS/15 = 12.7)  
**PARKING PROVIDED:** 31 (INCLUDES 2 ADA)

**STANDARD:** 9'x20', COMPACT: 8'x18',  
**SMART CAR (OR LIKE VEHICLE):** 8'x16', MOTORCYCLE: 4'x12'  
**ADA 12'x20' WITH 5' ACCESS AISLE**  
**MINIMUM DRIVE AISLE WIDTH FOR ONE-WAY OPERATION:** 15'

**DEVELOPMENT SUMMARY:**  
**BUILDING AREA (FOOTPRINT):** 0.245 AC. (18.3%)  
**PAVEMENT/SIDEWALK:** 0.677 AC. (50.5%)  
**WETLAND & POND:** 0.000 AC. (0%)  
**GREEN AREA/OPEN SPACE:** 0.418 AC. (31.2%)  
**TOTAL:** 1.34 AC.

- SITE NOTES:**
1. All internal driveways shall be private.
  2. The owner shall provide for maintenance of all open space, drainage areas, common areas, buffer areas, preservation/conservation areas, recreation areas, wildlife corridor and crossing (unless otherwise approved by Pasco county), and other special purpose areas.
  3. Predominant soils types onsite consist of POMONA and BASINGER FINE SANDS.
  4. All roadway standards shall comply with the MANUAL OF UNIFORM MINIMUM STANDARDS, STATE OF FLORIDA.
  5. This project shall comply with the new Pasco County Tree Protection Ordinance no. 01-017 and Pasco County Landscape and Irrigation Ordinance no. 02-04 and all subsequent amendments.
  6. Fire protection will be provided via fire hydrants spaced in accordance with Pasco county standards and building sprinklers.
  7. All water and wastewater facilities to be installed in compliance with FGUA standards for design and construction of water and wastewater facilities.
  8. All utility lines shall be installed underground.
  9. Elevations shown herein are referenced to FLDPEP BM#U668, found disk in concrete retaining wall, elevation 40.67' NAVD88 (41.51' NGVD29) and FLDPEP BM#V668, found disk in concrete monument elevation 54.64' NAVD88 (55.48' NGVD29), using Verticon conversion, benchmarks were adjusted plus 0.84' to ngvd29 datum. all elevations shown are in feet using the ngvd29 datum.
  10. All construction work, including road, drainage and utilities, shall be constructed in accordance with Pasco County design standards and tested in compliance with the Pasco County Engineering Service Department Testing Specifications for construction of roads, storm drainage & utilities.
  11. If during construction activities any evidence of historic resources, including but not limited to aboriginal or historic pottery, prehistoric stone tools, bone or shell tools, historic trash pits, or historic building foundation, are discovered, work shall come to an immediate stop and the Florida Department of Historic Resources (State Historic Preservation Officer) and Pasco County shall be notified within two working days of the resources found on the site.
  12. If during the construction activities any evidence of the presence of State and Federally protected plant and/or animal species are discovered, work shall come to an immediate stop and Pasco County shall be notified within two working days of the plant and/or animal species found on site.
  13. The Little Owls Learning Center project is located in the Anclote River basin. The proposed drainage system will be offsite and will collect, attenuate and provide treatment for the projected runoff generated by the development. The system of interconnected facilities stormwater drainage pipes, attenuation ponds, with littoral zones for water quality treatment, existing and created wetlands) has been designed to meet the minimum technical standards of Pasco County and the Southwest Florida Management District. Historical drainage basin patterns will be generally adhered to where practical to accommodate off-site stormwater discharges and stages from adjacent properties. The proposed stormwater drainage system will be owned and maintained by the owner.
  14. Maximum building height is 60 feet.
  15. Refuse disposal will be provided via onsite dumpster. The dumpster will be emptied by a private waste disposal service. The dumpster shall be screened with a 6' high masonry wall.
  16. The Lighting Plan shall be designed to have no light spillage or glare beyond the project site. Lighting used to illuminate any parking area shall be so arranged as to direct and/or shield light away from adjoining residential premises and ROW.
  17. All landscape areas will be irrigated with spray and drip irrigation.
  18. This project is a private community that will be maintained and operated by the owner. There will not be a Property Owner's Association (POA / HOA) for this project.
  19. This project is NOT located in a Hurricane Evacuation Zone.

**CURVE TABLE**

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**C-2 STANDARDS**  
**FLOOR-AREA RATIO (FAR):** 0.28  
**MIN. LOT AREA:** 15,000 SF  
**MIN. LOT WIDTH/DEPTH:** 90 FT  
**BUILDING COVERAGE:** 50%  
**BUILDING SETBACKS:**  
 - FRONT = 25 FEET  
 - REAR = 30 FEET  
 - SIDE = 30 FEET  
**BUILDING SEPARATION:** 15' MIN.  
**BUILDING HEIGHT:** 60' MAX.

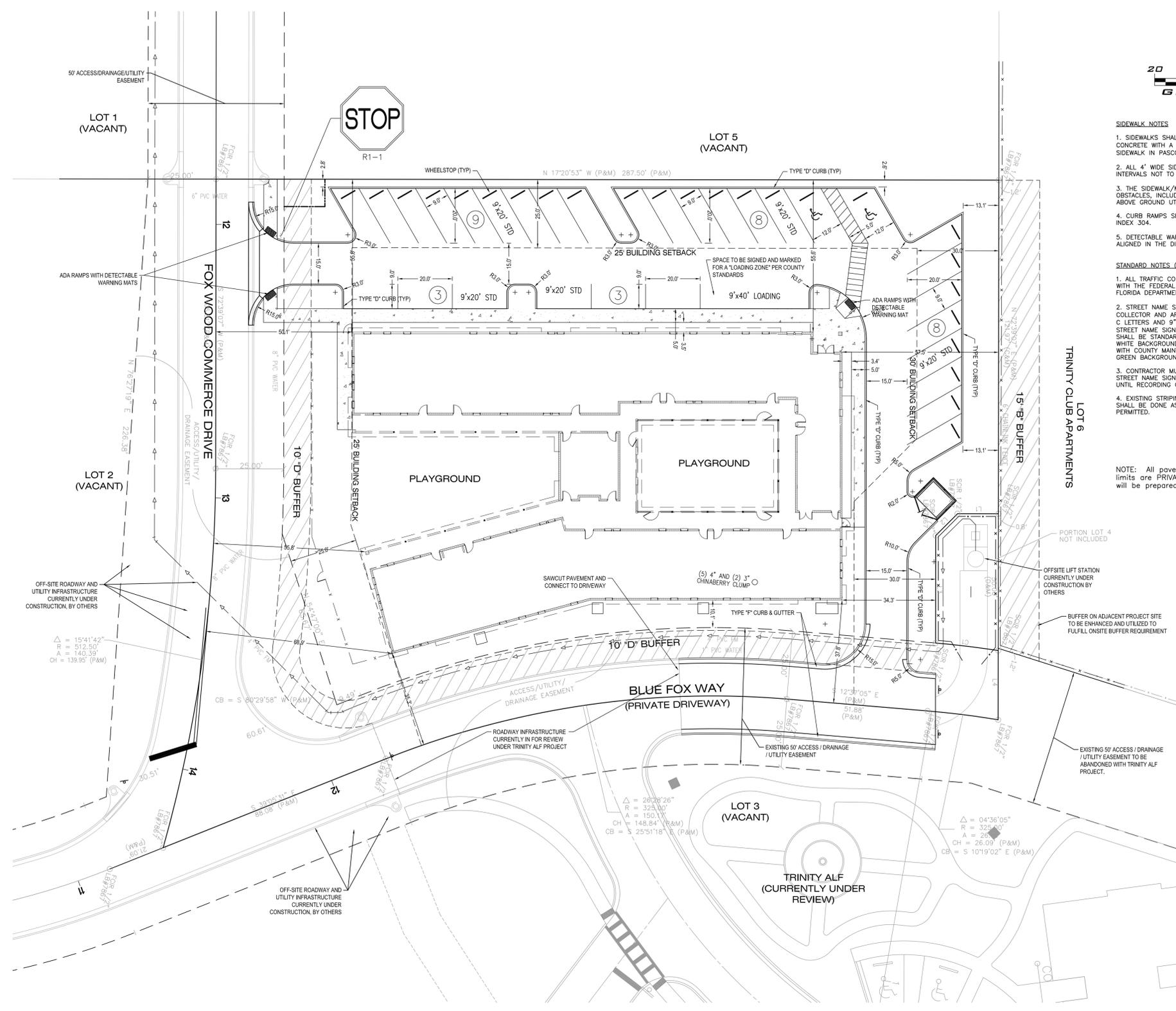
**UTILITY PROVIDERS:**  
**WATER/SEWER -** FLORIDA GOVERNMENTAL UTILITY AUTHORITY (FGUA)  
**FIRE PROTECTION -** PASCO COUNTY FIRE DEPARTMENT  
**POWER -** DUKE ENERGY  
**TELEPHONE -** VERIZON  
**GAS -** CLEARWATER GAS SYSTEMS

THE DEVELOPER SHALL NOTIFY THE APPROPRIATE ELECTRIC FACILITY, IN ADVANCE, OF THEIR INTENT TO REQUEST SERVICE AND PROVIDE CONFIRMATION TO THE COUNTY OF SERVICE AVAILABILITY PRIOR TO PSP APPROVAL, AS REQUIRED BY THE LDC, SECTION 904.

**PRELIMINARY SITE PLAN**

**LITTLE OWL LEARNING CENTER**  
 RMW CONSULTANTS, INC.  
 64 CALLE SEGUNDA  
 ENSENADA, PR 00647

**AURORA CIVIL ENGINEERING, INC.**  
 610 E. Morgan Street Brandon, FL 33510 (813)643-9907



**SIDEWALK NOTES**

- SIDEWALKS SHALL BE CONSTRUCTED OF NATURAL OR COLORED CONCRETE WITH A MINIMUM 3,000 PSI AND 4" MINIMUM THICKNESS. SIDEWALK IN PASCO R/W SHALL BE FIBER-REINFORCED.
- ALL 4' WIDE SIDEWALK SHALL HAVE A 5' X 5' PASSING AREA AT INTERVALS NOT TO EXCEED 200 FEET PER ADA GUIDELINES.
- THE SIDEWALK/MULTI-USE PATH CLEAR ZONE SHALL BE FREE OF OBSTACLES, INCLUDING BUT NOT LIMITED TO SHRUBS, TREES, FENCES, ABOVE GROUND UTILITIES, MAIL BOXES, STREET SIGNS, ETC.
- CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FOOT INDEX 304.
- DETECTABLE WARNING "DOMES" WITHIN HANDICAP RAMPS SHALL BE ALIGNED IN THE DIRECTION OF PEDESTRIAN TRAVEL.

**STANDARD NOTES (PRIVATE ROADSWAYS):**

- ALL TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
- STREET NAME SIGNS SHALL BE 6" ON LOCAL ROADS AND 9" ON COLLECTOR AND ARTERIAL ROADS. SIX-INCH SIGNS SHALL HAVE 4" SERIES C LETTERS AND 9" SIGNS SHALL HAVE 6" SERIES B LETTERS. ALL STREET NAME SIGNS ON PRIVATE STREETS (NON-COUNTY MAINTAINED) SHALL BE STANDARD D3 STREET NAMES WITH THE COLORS REVERSED, WHITE BACKGROUND WITH GREEN LETTERS AND BORDER. AT INTERSECTIONS WITH COUNTY MAINTAINED ROADS, THE COUNTY MAINTAINED ROAD SHALL BE GREEN BACKGROUND WITH WHITE LETTERS.
- CONTRACTOR MUST CONTACT ENGINEER OF RECORD PRIOR TO ORDERING STREET NAME SIGNS. APPROVED STREET NAMES CAN NOT BE DETERMINED UNTIL RECORDING OF THE PLAT.
- EXISTING STRIPING AND OTHER PAVEMENT MARKINGS TO BE REMOVED SHALL BE DONE AS NECESSARY BY HYDROBLASTING. GRINDING IS NOT PERMITTED.

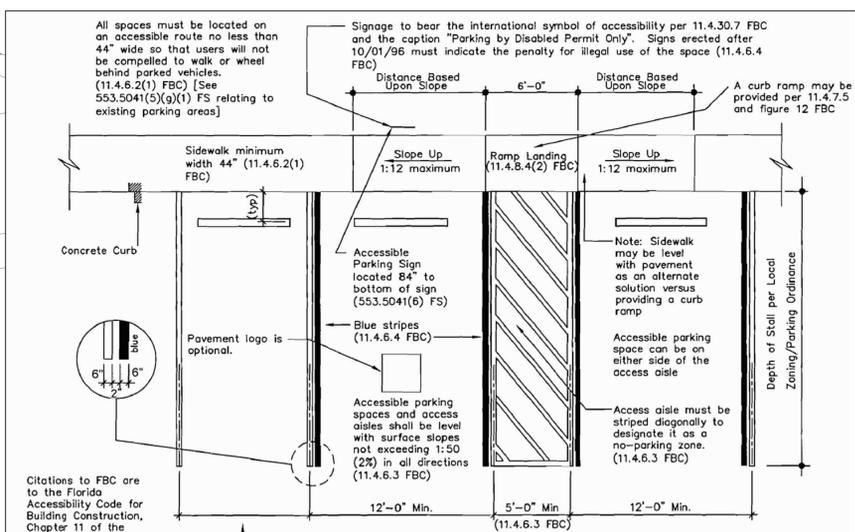
NOTE: All pavement marking and signs inside the project limits are PRIVATE. The architectural design of all signs will be prepared during construction.

- ADDITIONAL NOTES:**
- The owner/ developer shall be responsible to keep the sediment onsite by means of sweeping daily or as necessary.
  - STANDARD NOTES:**
    - Prior to construction, a building permit shall be obtained for all structures that have a footer, regardless of size, through Pasco County Central Permitting. (ie. including but not inclusive buildings, accessories, and retaining walls).
    - All demolition debris shall be removed from the site and legally disposed of.
    - All first floor elevations (FF) shall be a minimum of 1' above the base flood elevation or as required by the LDC1104.
    - The 5' wide internal to external sidewalk (bike path) connection is to be ADA compliant.
    - As applicable, the owner/developer will provide copies of the required permits from the respective governing agencies, prior to issuance of the SDP.
    - Any off site disturbance shall be restored to the pre or better condition.
  - The plan is in substantial conformance with the Manual of Uniform Minimum Standards for Design, Construction, and Maintenance of Streets and Highways, State of Florida, in effect at the time the plans were prepared.
  - GEOTECHNICAL NOTES:**
    - Should any noticeable soil slumping or sinkhole formation become evident, the applicant/developer shall immediately notify the County, Tampa Bay Water (TBW), and SWFWMD, and adopt one or more of the following procedures as determined to be appropriate by the County and SWFWMD:
      - If the slumping or sinkhole formation becomes evident before or during construction activities, stop all work (except for mitigation activities) in the affected area and remain stopped until the County and SWFWMD approve resuming construction activities.
      - Take immediate measures to ensure no surface water drains into the affected areas.
      - Visually inspect the affected area.
      - Excavate and backfill or grout as required to fill the affected area and prevent further subsidence.
      - Use soil reinforcement materials in the backfilling operation, when appropriate.
      - If the affected area is in the vicinity of a water-retention area, maintain a minimum distance of two feet from the bottom of the retention pond to the surface of the lime-rock or karst connection.
      - If the affected area is in the vicinity of a water-retention area and the above methods do not stabilize the collapse, relocate the retention area. Discharge of storm-water into depressions with direct or demonstrated hydrologic connection to the Floridan Aquifer shall be prohibited.

**PASCO COUNTY DEVELOPMENT REVIEW - STANDARD SITE PLAN NOTES**

- All utility construction shall comply with the Pasco County Standards for Design and Construction of Water and Wastewater Facilities Specifications, latest edition.
- All on-site water and sewer facilities shall be owned and maintained by the owner-developer.
- Installation of fuel storage tanks requires review and approval by the Fire Marshal and the issuance of a separate building permit. Approval of the site plan does not constitute approval of the location of the fuel tanks.
- All proposed signs must be applied for, approved, and permitted on an individual basis apart from any ultimately approved site plan. Approval of this site plan does not constitute approval of any signage.
- Handicap parking spaces will be properly signed and striped in accordance with Florida Statute 316, the Manual on Uniform Traffic Control Devices, or other applicable standards.
- The architect/engineer certifies that the site has been designed in accordance with the Americans with Disabilities Act.
- All on-site parking spaces will be striped and signed in accordance with the Manual on Uniform Traffic Control Devices, latest edition. Parking spaces, directional arrows, and stop bars shall be striped in WHITE. It shall be the owner/developer's responsibility to properly sign and stripe in accordance with applicable standards.
- The owner/developer acknowledges that this approval does not include any work in the County right-of-way. All right-of-way work shall be a function of an approved Pasco Right-of-way Use Permit.
- All clear-site areas shall be kept free of any signage plantings, trees, etc. in excess of three-and-a-half (3-1/2) feet in height.
- No irrigation system or landscaping shall be installed in any County or State right-of-way without issuance of appropriate Right-of-Way Use Permit.
- The owner/developer acknowledges that the site and its subsequent building permits shall comply with all zoning/MPUD/PUD conditions.
- All structures, including buffer walls, retaining walls, signage, etc. require building permits.

- GENERAL GEOMETRY NOTES:**
- ALL DISTURBED AREAS WITHIN ANY RIGHT-OF-WAY SHALL BE RESTORED TO EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
  - ANY MATERIALS REMOVED FROM THE SITE DURING CONSTRUCTION SHALL BE PROPERLY DISPOSED OF OFF-SITE OR AS DIRECTED BY THE OWNER.
  - REFER TO GENERAL SITE PLAN SHEET C-1 FOR PROPOSED BUILDING LOCATION AND DIMENSIONS.
  - BUILDING DIMENSIONS AND TIES SHOWN ARE TO THE BUILDING (WITHOUT EXTERIOR FINISH) BASED ON THE INFORMATION PROVIDED BY THE ARCHITECT. COORDINATE AND VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL PLANS.
  - ALL EXISTING SIGNS AND PAVEMENT MARKING TO REMAIN. RELOCATE EXISTING SIGNAGE FOR H/C SPACES AS REQUIRED.
  - OFFSITE SANITARY, WATER AND STORM ARE SHOWN FROM LUNCKS & ASSOCIATES, INC. PLANS FOR FOX WOOD COMMERCE PARK, DATED 1/29/14. OFFSITE UTILITIES AND DRIVES ARE CURRENTLY UNDER CONSTRUCTION. FIELD VERIFY LOCATIONS AND INVERTS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.



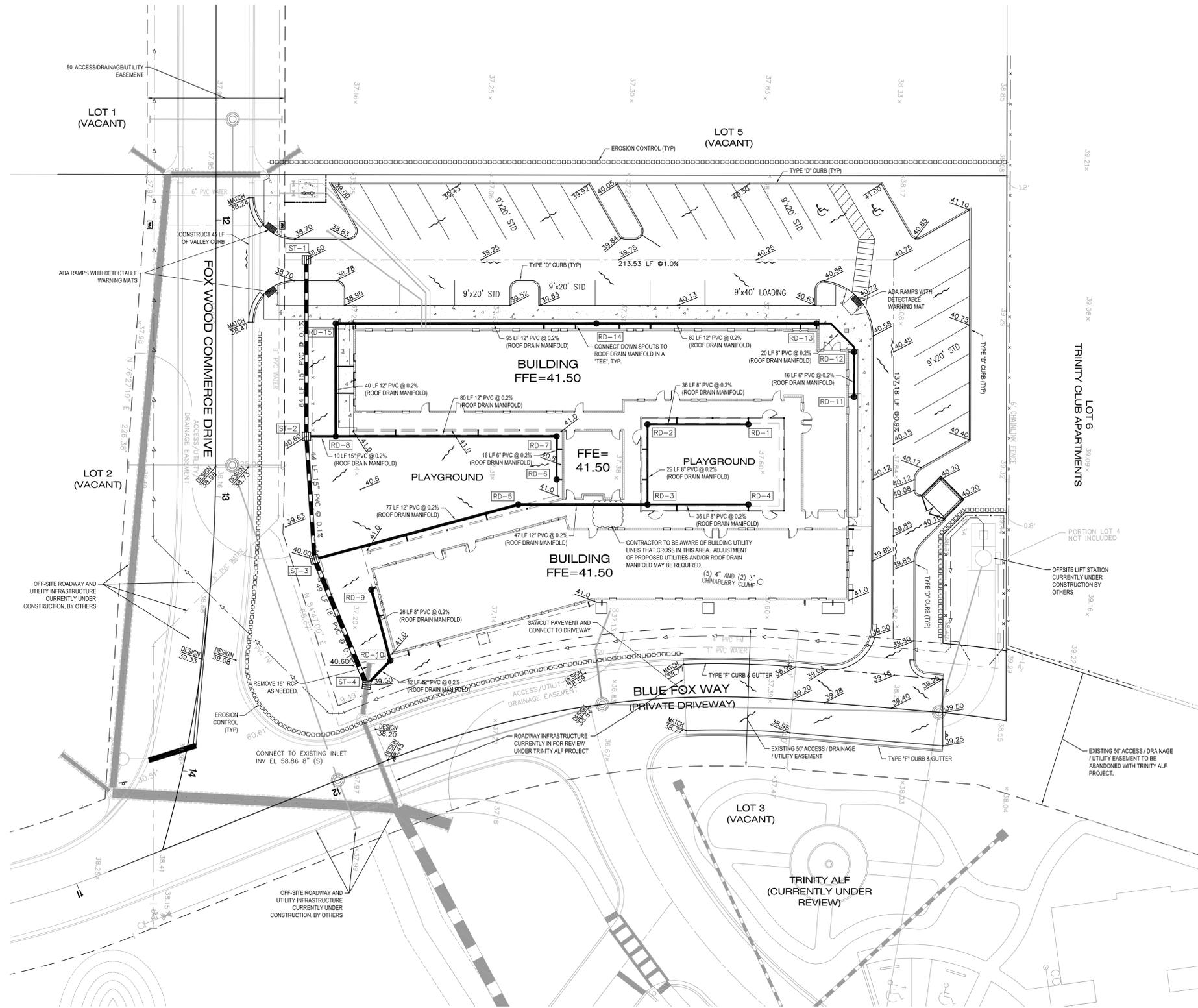
Recommended Accessible Parking Space(s) Design for Single Line Requirements N.T.S.

NO.	DATE	DESCRIPTION	BY	APP. BY
1	12-12-2013	INITIALS/REVISED/NOOF DRAWN SYSTEM		
2	01-14-2014	REVISIONS	MICHAEL KNIGHT	
3	04-30-14	REVISED	MICHAEL KNIGHT	
4	04-30-14	REVISED	MICHAEL KNIGHT	
5	04-30-14	REVISED	MICHAEL KNIGHT	
6	04-30-14	REVISED	MICHAEL KNIGHT	
7	04-30-14	REVISED	MICHAEL KNIGHT	
8	04-30-14	REVISED	MICHAEL KNIGHT	
9	04-30-14	REVISED	MICHAEL KNIGHT	
10	04-30-14	REVISED	MICHAEL KNIGHT	
11	04-30-14	REVISED	MICHAEL KNIGHT	
12	04-30-14	REVISED	MICHAEL KNIGHT	
13	04-30-14	REVISED	MICHAEL KNIGHT	
14	04-30-14	REVISED	MICHAEL KNIGHT	
15	04-30-14	REVISED	MICHAEL KNIGHT	
16	04-30-14	REVISED	MICHAEL KNIGHT	
17	04-30-14	REVISED	MICHAEL KNIGHT	
18	04-30-14	REVISED	MICHAEL KNIGHT	
19	04-30-14	REVISED	MICHAEL KNIGHT	
20	04-30-14	REVISED	MICHAEL KNIGHT	

**HORIZONTAL CONTROL PLAN**

**LITTLE OWL LEARNING CENTER**  
 RMW CONSULTANTS, INC.  
 64 CALLE SEGUNDA  
 ENSENADA, PR 00647

**AUTORA ENGINEERING, INC.**  
 610 E. Morgan Street Brandon, FL 33510 (813)643-9907



**FLOOD ZONE DATA:**  
 THE DESCRIBED PROPERTY APPEARS TO LIE WITHIN FLOOD ZONES "X" AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 120230 0370 D PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DATED SEPTEMBER 30, 1992.

**CONTROL BENCHMARK:**  
 ELEVATIONS SHOWN HEREON ARE REFERENCED TO FDEP BM#U668, FOUND DISK IN CONCRETE RETAINING WALL, ELEVATION 40.67' NAVD88 (41.51' NGVD29) AND FDEP BM#V668, FOUND DISK IN CONCRETE MONUMENT ELEVATION 54.64' NAVD88 (55.48' NGVD29). USING VERTCON CONVERSION, BENCHMARKS WERE ADJUSTED PLUS 0.84' TO NGVD29 DATUM. ALL ELEVATIONS SHOWN ARE IN FEET USING THE NGVD29 DATUM.

**VERTICAL DATUM CONVERSION:**  
 SURVEY VERTICAL DATUM SHOWN IS BASED ON NAVD88 FDEP BM #U668, ELEVATION 40.67'  
 NAVD 88 = (NGVD 1929 - 0.84')

- GENERAL GRADING NOTES:**
1. PAVEMENT SPOT GRADES SHOWN ARE FINISH PAVEMENT GRADES AT THE FACE OF CURB. TOP OF STANDARD CURBING IN THESE AREAS IS 0.5 FEET ABOVE THE EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
  2. SPOT GRADES AND CONTOURS SHOWN IN GRASSED AND LANDSCAPED AREAS REPRESENT FINAL PROPOSED GRADES AFTER PLACEMENT OF SODDING AND/OR BEDDING MATERIALS.
  3. IN AREAS WHERE THE TOP OF CURB OR SIDEWALK VARY FROM THE TYPICAL SECTIONS, THE TOP OF CURB OR SIDEWALK ARE LABELED AS "TC" OR "S/W".
  4. EXISTING PARKING SPACES TO REMAIN. NO ADDITIONAL SPACES OR REVISIONS TO EXISTING SPACES ARE PROPOSED.
  5. ALL ROOF DRAINS AND DOWNSPOUTS SHALL BE TIED DIRECTLY INTO THE ROOF DRAIN MANIFOLD SYSTEM WITH A "TEE".
  6. COORDINATE DRAIN BASIN LOCATIONS WITH ROOF DRAIN LEADERS.

**ROOF DRAIN STRUCTURES**

RD-1	RD-6	RD-11
8" ADS DRAIN BASIN	8" ADS DRAIN BASIN	8" ADS DRAIN BASIN
CAP EL 41.00	CAP EL 41.00	CAP EL 40.90
INV EL 39.50 6" (W)	INV EL 39.50 6" (N)	INV EL 39.40 6" (N)
INV EL 39.50 6" (N)	INV EL 39.50 6" (E)	INV EL 39.40 6" (W)
RD-2	RD-7	RD-12
10" ADS DRAIN BASIN	15" ADS DRAIN BASIN	12" ADS DRAIN BASIN
CAP EL 41.00	CAP EL 41.00	CAP EL 41.00
INV EL 39.25 6" (E)	INV EL 39.00 8" (N)	INV EL 39.00 8" (N)
INV EL 39.00 8" (S)	INV EL 39.25 6" (S)	INV EL 39.25 6" (S)
INV EL 39.00 8" (S)	INV EL 39.00 12" (W)	INV EL 39.25 6" (W)
RD-3	RD-8	RD-13
15" ADS DRAIN BASIN	18" ADS DRAIN BASIN	15" ADS DRAIN BASIN
CAP EL 41.00	CAP EL 41.00	CAP EL 41.10
INV EL 39.25 6" (E)	INV EL 38.75 12" (E)	INV EL 38.60 8" (E)
INV EL 38.75 8" (N)	INV EL 38.75 12" (N)	INV EL 38.60 6" (S)
INV EL 38.75 12" (W)	INV EL 38.75 12" (W)	INV EL 38.60 12" (W)
RD-4	RD-9	RD-14
8" ADS DRAIN BASIN	12" ADS DRAIN BASIN	12" ADS DRAIN BASIN
CAP EL 41.00	CAP EL 41.00	CAP EL 40.35
INV EL 39.50 6" (W)	INV EL 39.50 8" (S)	INV EL 38.10 12" (E)
INV EL 39.50 6" (S)	INV EL 39.50 6" (E)	INV EL 38.10 12" (W)
RD-5	RD-10	RD-15
12" ADS DRAIN BASIN	12" ADS DRAIN BASIN	15" ADS DRAIN BASIN
CAP EL 41.00	CAP EL 41.00	CAP EL 39.40
INV EL 38.50 12" (E)	INV EL 37.15 12" (E)	INV EL 37.15 12" (E)
INV EL 38.50 12" (SW)	INV EL 39.25 8" (N)	INV EL 37.15 12" (W)
INV EL 38.50 12" (SW)	INV EL 39.00 12" (SW)	

**STORM STRUCTURES**

ST-1	ST-3	ST-4
TYPE C INLET	TYPE C INLET	TYPE C INLET
GRATE EL 38.60	GRATE EL 40.60	GRATE EL 39.50
INV EL 35.20 18" (E)	INV EL 34.10 18" (W)	INV EL 33.60 18" (SW)
	INV EL 34.10 18" (NE)	INV EL 33.60 18" (SE)
	INV EL 37.50 12" (N)	INV EL 36.50 12" (NW)
ST-2		
TYPE C INLET		
GRATE EL 40.60		
INV EL 34.55 18" (W)		
INV EL 34.55 18" (E)		
INV EL 36.00 12" (N)		

NO. 101  
 DATE 5-2-14  
 DRAWN BY MICHAEL KNIGHT  
 CHECKED BY MICHAEL KNIGHT  
 APPROVED BY CHRIS WEDDLE  
 JOB NO. 13-187

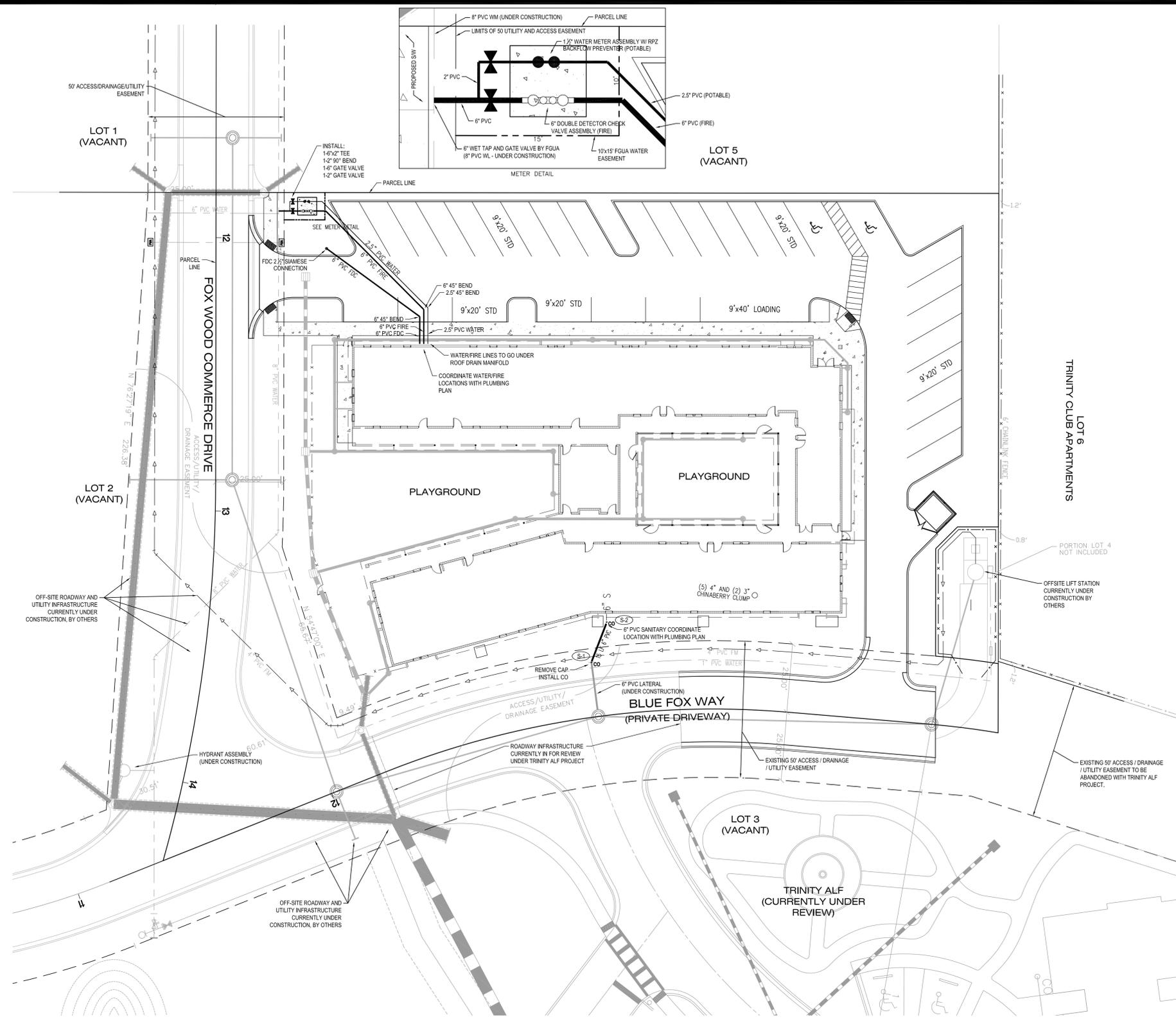
**GRADING PLAN**

**LITTLE OWL LEARNING CENTER**  
 RMW CONSULTANTS, INC.  
 64 CALLE SEGUNDA  
 ENSENADA, PR 00647

**AUTORA ENGINEERING, INC.**  
 610 E. Morgan Street Brandon, FL 33510 (813)643-9907

DRAFT

C-5



**GENERAL UTILITY NOTES:**

- OFFSITE SANITARY, WATER AND STORM ARE SHOWN FROM LINCKS & ASSOCIATES, INC. PLANS FOR FOX WOOD COMMERCE PARK, DATED 1/29/14. OFFSITE UTILITIES AND DRIVES ARE CURRENTLY UNDER CONSTRUCTION.
- FIELD VERIFY LOCATIONS AND INVERTS AND NOTIFY THE ENGINEER OF ANY SIGNIFICANT DIFFERENCES PRIOR TO COORDINATING CONNECTIONS.
- COORDINATE CONNECTION LOCATIONS AND INVERTS WITH THE ARCHITECTURAL PLANS.
- ALL UTILITY SYSTEM-DESIGN MATERIALS AND WORKMANSHIP SHALL COMPLY WITH PASCO COUNTY UTILITY STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER, AND RECLAIMED WATER FACILITIES SPECIFICATIONS, LATEST EDITION.
- CONNECTIONS INTO AN EXISTING COUNTY-OWNED SYSTEM SHALL BE VIA WET TAP. WET TAPS SHALL BE PERFORMED EXCLUSIVELY BY THE UTILITIES SERVICES BRANCH AT THE DEVELOPER'S EXPENSE. EXCAVATION, BACKFILL, AND SURFACE RESTORATION SHALL BE IN THE CONTRACTOR'S RESPONSIBILITY. MATERIAL FOR WET TAPS LARGER THAN TWO INCHES SHALL BE PROVIDED AND INSTALLED BY THE PROJECT CONTRACTOR.
- "CONTRACTOR'S RESPONSIBILITIES" REGARDING WET TAPS TWO INCHES AND LARGER SHALL BE AS FOLLOWS:
  - 2" ONLY - THIS EXCAVATED TRENCH MUST BE DRY OR THE TRENCH WILL REQUIRE ROCK AND A PUMP TO BE IN PLACE. THE MINIMUM DISTANCE FROM THE FACE OF THE VALVE TO THE WALL OF THE TRENCH IS TO BE SIX FEET.
  - 3" AND LARGER- THE CONTRACTOR WILL SUPPLY A TAPPING SADDLE BEING EPOXY COATED, A TAPPING VALVE WITH MECHANICAL JOINT AND THE EQUIPMENT TO PROVIDE, AND CONDUCT A PRESSURE TEST. COUNTY PERSONNEL WILL WITNESS THE PRESSURE TEST WHICH MUST BE AT 150 PSI FOR DURATION OF THIRTY MINUTES.

THE CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION BEFORE ANY COUNTY PERSONNEL WILL ENTER AN EXCAVATED AREA. IF THE TRENCH IS FOUR FEET IN DEPTH OR DEEPER, IT WILL REQUIRE A TRENCH BOX OR SHIELDING, AND A LADDER ACCORDING TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.

THE TAPPING VALVE WILL REQUIRE A BLOCKING DEVICE MADE OF SUITABLE MATERIAL OR DEVICE. THIS BLOCKING DEVICE OR MATERIAL WILL BE PLACED UNDER THE VALVE AND REMAIN IN PLACE UNTIL THE TAP MACHINE IS REMOVED AND THE TAP IS COMPLETED.

NOTE: IF THE CONTRACTOR HAS NOT FULFILLED HIS RESPONSIBILITIES, AS STATED ABOVE, PRIOR TO THE ARRIVAL OF PASCO COUNTY UTILITIES OPERATIONS AND MAINTENANCE TAPPING CREW, THERE WILL BE AN ADDITIONAL CHARGE OF \$95.00.

IF YOU HAVE ANY QUESTIONS REGARDING THIS INFORMATION, CONTACT NELSON D. HOLT, FIELD SUPERVISOR, UTILITIES SERVICES BRANCH, AT (727) 847-8145, OR E-MAIL NHOLT@PASCOCOUNTYFL.NET.

- THE UTILITIES SERVICES BRANCH SHALL NOT OWN OR MAINTAIN ON-SITE WATERLINES, SEWER LINES, OR FACILITIES, UNLESS OTHERWISE APPROVED BY THE UTILITIES SERVICES BRANCH.
- SUE WILL BE PERFORMED PRIOR TO CONSTRUCTION AND ANY REQUIRED ADJUSTMENTS WILL BE MADE ACCORDINGLY PRIOR TO CONSTRUCTION.

**STANDARD FIRE PROTECTION NOTES:**

- ALL PROJECTS MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE No. 46-51.
- FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.
- PER THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA-1, 16.4.3.1.3: WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
- PER NFPA-1, 18.3.4.1: CLEARANCES OF 7½ FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4-FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.

**SANITARY STRUCTURES**

S-1 6" CLEANOUT CAP EL 39.20 INV EL 32.00 6" (NW) INV EL 31.90 6" (E)	S-2 6" CLEANOUT CAP EL 41.00 INV EL 36.50 6" (W) INV EL 36.45 6" (SE)
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**PASCO COUNTY UTILITIES DATA SHEET FOR SIZING WATER METERS**

Customer: Little Owls Learning Center

Type of Occupancy: Day Care

Property Identification No. 31-26-17-0220-00000-0040

Fixture	Fixture Value		No. of Fixtures	Fixture Value
	at 35 psi	x		
Bathtub	8	x		
Bedpan washer	10	x		
Combination Sink & Tray	3	x		
Dental Unit	1	x		
Dental Lavatory	2	x		
Drinking Fountain - Cooler	1	x		
Drinking Fountain - Public	2	x	4	8
Kitchen Sink - 1/2" connection	3	x	1	3
- 3/4" connection	7	x		
Lavatory - 3/8" connection	2	x	3	6
- 1/2" connection	4	x		
Laundry Tray - 1/2" connection	3	x		
- 3/4" connection	7	x		
Shower head (shower only)	4	x		
Service Sink - 1/2" connection	3	x	2	6
- 3/4" connection	7	x		
Urinal - Pedestal Flush Valve	10	x		
- Wall Flush Valve	10	x		
- Trough (2 ft. Unit)	2	x		
Wash Sink (each set of faucets)	4	x	12	48
Water Closet - Flush Valve	10	x		
- Tank Type	3	x	16	48
Dishwasher - 1/2" connection	5	x		
- 3/4" connection	10	x		
- 1" connection	25	x		
Washing Machine - 1/2" connection	5	x	1	5
- 3/4" connection	10	x		
- 1" connection	25	x		
Hose connection - 1/2"	6	x	3	18
- 3/4"	10	x		
Hose (50 ft.) - 1/2"	6	x	4	24
- 3/4"	9	x		
- 1"	12	x		

FIRE FLOW REQUIREMENTS: 1,000 GPM @ 20 PSI RESIDUAL

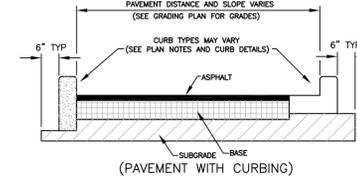
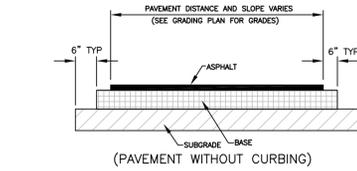
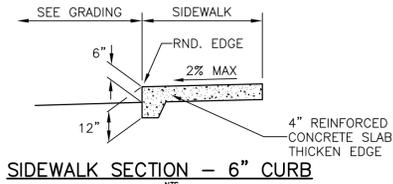
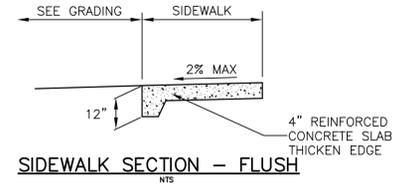
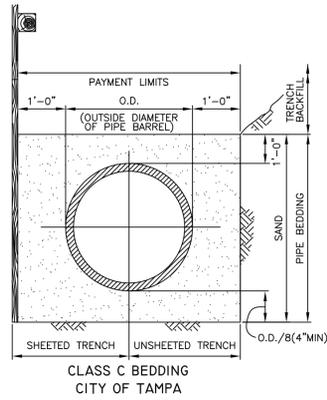
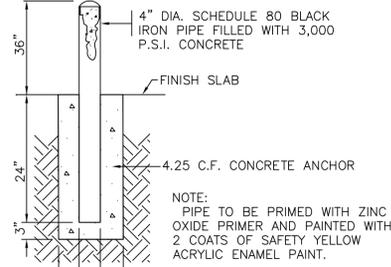
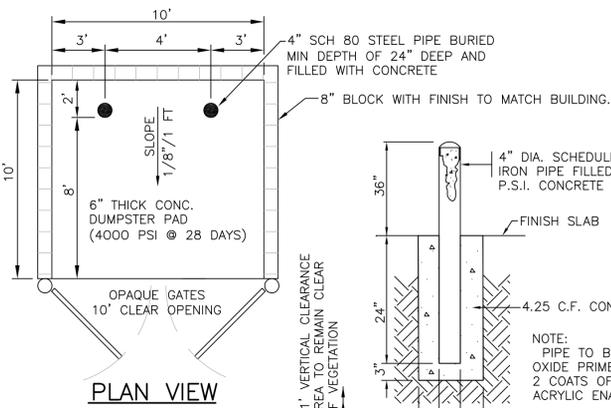
**UTILITY PLAN**

**LITTLE OWL LEARNING CENTER**  
 RMW CONSULTANTS, INC.  
 64 CALLE SEGUNDA  
 ENSENADA, PR 00647

**AUTRORA**  
 CIVIL ENGINEERING, INC.  
 610 E. Morgan Street Brandon, FL 33510 (813)643-9907

NO. 13-187  
 DATE 5-2-14  
 DRAWN BY MICHAEL KNIGHT  
 CHECKED BY CHRIS WEDDLE  
 APPROVED BY MICHAEL KNIGHT

C-6

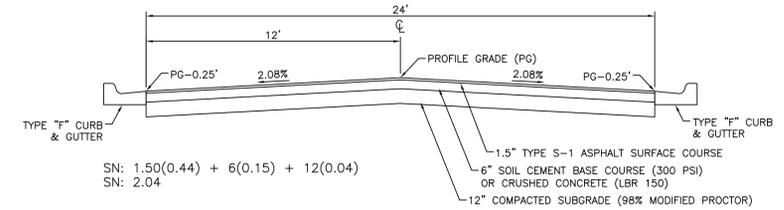
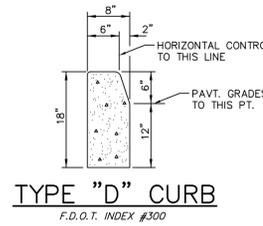
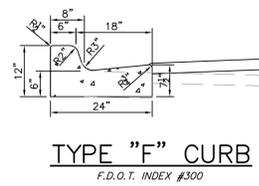
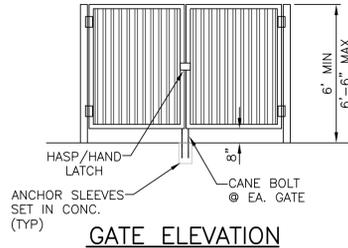
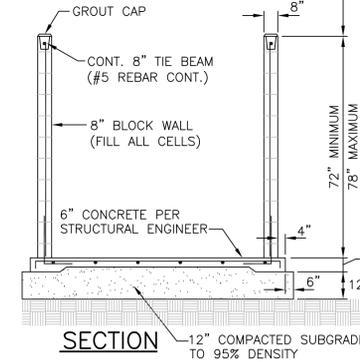


**PARKING AND LIGHT USE AREAS**  
 ASPHALT: 1-1/2" FDOT TYPE S-1 OR S-3 ASPHALTIC CONCRETE. MINIMUM MARSHALL STABILITY OF 1500 LBS. COMPACTED TO AT LEAST 98% OF ITS LABORATORY DENSITY.  
 BASE: 6" CRUSHED CONCRETE BASE, MIN LBR 100, COMPACTED TO AT LEAST 98% OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557).  
 SUBGRADE: 12" STABILIZED SUBGRADE, LBR 40 MINIMUM, COMPACTED TO AT LEAST 98% OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557).

**TRUCK AND HEAVY USE AREAS**  
 ASPHALT: 2" FDOT TYPE S-1 OR S-3 ASPHALTIC CONCRETE. MINIMUM MARSHALL STABILITY OF 1500 LBS. COMPACTED TO AT LEAST 95% OF ITS LABORATORY DENSITY.  
 BASE: 8" CRUSHED CONCRETE BASE, MIN LBR 100, COMPACTED TO AT LEAST 98% OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557).  
 SUBGRADE: 12" STABILIZED SUBGRADE, LBR 40 MINIMUM, COMPACTED TO AT LEAST 98% OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557).

NOTE: FINAL PAVEMENT SECTIONS AND CURBING SELECTED BY OWNER/CONTRACTOR. SECTIONS TO BE VERIFIED BY OWNER'S GEOTECHNICAL ENGINEER.

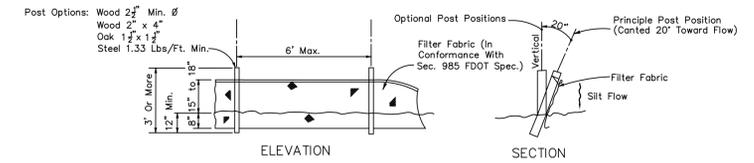
**TYPICAL PAVEMENT SECTIONS**  
 (REFER ALSO TO GEOTECHNICAL REPORT)



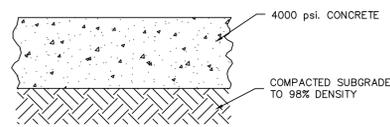
**ENTRANCE DRIVEWAY SECTION**  
 N.T.S.

- NOTES:**
- ALL MATERIALS USED FOR DUMPSTER ENCLOSURES SHALL BE APPROVED BY THE PASCO COUNTY.
  - THE DUMPSTER ENCLOSURE SHALL BE A MINIMUM OF 6' IN HEIGHT AND CONSTRUCTED WITH MATERIALS COMPATIBLE WITH THE WALLS OF THE MAIN BUILDING. THE MINIMUM INTERIOR DIMENSIONS SHALL BE 10'x10' WITH A MINIMUM 10' WIDE OPENING CLEAR FROM ANY OBSTRUCTIONS, INCLUDING GATE HARDWARE.
  - GATES SHALL BE CONSTRUCTED OF SOLID/OPAQUE MATERIALS, AND HAVE LOCKING PINS TO HOLD OPEN DURING SERVICE.
  - CONCRETE SLAB AND WALL REINFORCEMENT TO BE DESIGNED BY A STRUCTURAL ENGINEER. SEE ARCHITECTURAL PLANS.
  - ANY EXISTING OVERHEAD LINES SHALL BE RAISED, IF REQUIRED, TO PROVIDE A MINIMUM OF 21' VERTICAL CLEARANCE ABOVE THE DUMPSTER AND SERVICE VEHICLE.

**DUMPSTER ENCLOSURE DETAILS**

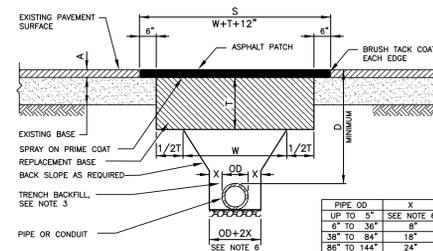


**TYPE III SILT FENCE**  
 FDOT INDEX No. 102



**TYPICAL 6" CONCRETE PAVEMENT**  
 ALSO REFER TO CONCRETE PAVEMENT NOTES

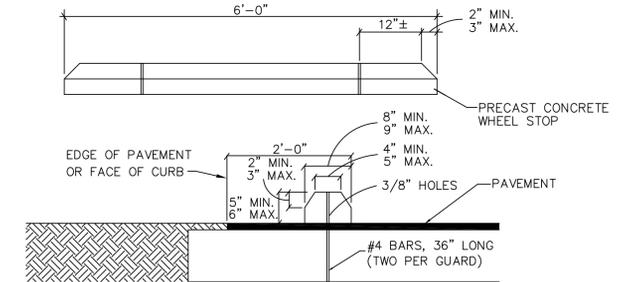
- CONCRETE PAVEMENT NOTES:**
- CONCRETE TO BE PLACED OVER COMPACTED SUBGRADE, (98% T-180, LBR 40 MINIMUM.)
  - CONCRETE TO BE 6" THICK, 4000 PSI, FIBER MESH REINFORCED.
  - CONCRETE TO BE PLACED AT 3" SLUMP (± 1/2")
  - WATER/MIST CURE CONCRETE FOR 7 DAYS AFTER PLACEMENT.
  - PROVIDE SAWCUT JOINTS AT 10 FEET ON CENTER MAXIMUM EACH WAY. SAWCUT JOINT DEPTH TO BE 1/2 THE THICKNESS OF THE CONCRETE. CUT AS SOON AS POSSIBLE AFTER PLACED. PLACE 1/2" EXPANSION JOINTS ADJACENT TO ALL BUILDING STRUCTURES AND CURBING. EXPANSION JOINTS SHALL BE A MAXIMUM OF 75 FEET APART. THE CONTRACTOR SHALL PREPARE AND SUBMIT A JOINT PLAN, INCLUDING EXPANSION JOINTS, TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION OF CONCRETE PAVEMENT.
  - ALL CONCRETE SHALL HAVE A MEDIUM BROOM FINISH TO PROVIDE A NON-SLIP SURFACE UNLESS DIRECTED OTHERWISE BY THE OWNER.



SCHEDULE				
ITEM	ALLEY/DRIVE	STD. ROAD	HEAVY DUTY ROAD	REMARKS
A	1"	1"	2-1/4"	
T	9"	12"	16"	MAY BE SUBSTITUTED WITH ASPHALT
S	24"	36"	36"	
D	30"	30"	36"	

- NOTES:**
- FOR USE WHERE PERMISSION HAS BEEN GRANTED FOR "OPEN CUT" INSTALLATION.
  - ALL PAVING PREPARATION SHALL MEET CITY SPECIFICATIONS.
  - REPLACEMENT BASE AND TRENCH BACKFILL SHALL BE PLACED IN 6" LIFTS, EACH LIFT COMPACTED TO DENSITY AS PER SPECIFICATIONS.
  - PAVEMENT JOINTS SHALL BE MECHANICALLY SAW CUT.
  - BASE MATERIAL SHALL BE LIMEROCK, SHELL, OR CRUSHED (RECLAIMED) CONCRETE TO MATCH BASE MATERIAL, BUT OF THICKNESS SHOWN HERE.
  - FOR PIPES/CONDUITS LESS THAN 8" O.D. DITCH WIDTH MAY BE REDUCED TO WIDTH OF THE MECHANICAL TAMPER IF BACKFILLED WITH DRY 15:1 SAND/CEMENT MIX, OR OTHER APPROVED MATERIAL, TO 4" ABOVE PIPE.

**FLEXIBLE PAVEMENT RESTORATION DETAIL**

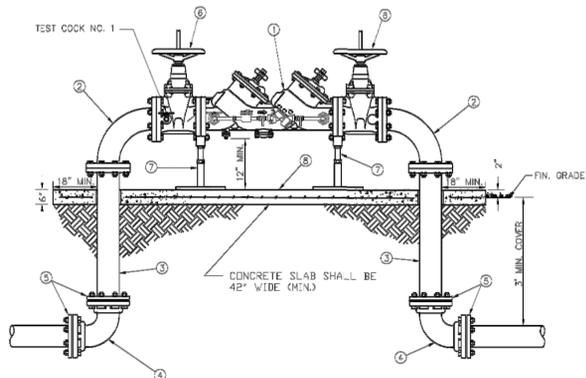


**CONCRETE WHEEL STOP DETAIL**  
 N.T.S.

**DETAILS**

**LITTLE OWL LEARNING CENTER**  
 RMW CONSULTANTS, INC.  
 64 CALLE SEGUNDA  
 ENSENADA, PR 00647

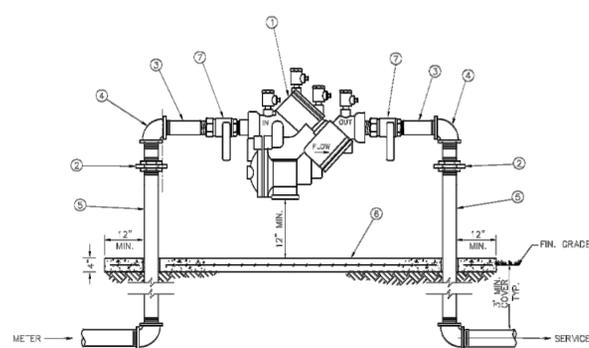
**AUTORA**  
 CIVIL ENGINEERING, INC.  
 610 E. Morgan Street Brandon, FL 33510 (813)643-9807



ITEM	QUANT.	DESCRIPTION
1	1	3", 4", 6", 8" DOUBLE CHECK VALVE/BFP ASSEMBLY WITH DETECTOR ASSEMBLY
2	2	3", 4", 6", 8" BEND, 90° FLANGE x FLANGE
3	2	3", 4", 6", 8" SPOOD. PIECE FLG. x PE. D.I.P.
4	2	3", 4", 6", 8" BEND, 90° M.J. x M.J.
5	4	3", 4", 6", 8" GLAND RESTRAINER M.J. (MEGALUG)
6	2	3", 4", 6", 8" VALVE, GATE FLG. x FLG. RES. JEN. WEDGE O.S. & Y.
7	2	SUPPORT (AS NEEDED)
8	1	CONCRETE SLAB (8" THICK - 42" WIDE MIN.)

- NOTE:
- NO T.E. RODS OR EYE BOLT RESTAINERS PERMITTED ABOVE GROUND.
  - B.F.P. ASSEMBLY TO BE INSTALLED LEVEL & PLUMB.
  - MINIMUM CLEARANCE OF 36" TO BE MAINTAINED AROUND ENTIRE DEVICE FOR TESTING.
  - ENTIRE ASSEMBLY TO BE PAINTED SAFETY BLUE.
  - DETECTOR BY-PASS ASSEMBLY TO BE FACTORY INSTALLED AND CERTIFIED.
  - ALL MECHANICAL JOINTS SHALL BE RESTRAINED WITH MEGALUGS OR APPROVED EQUAL.
  - BELL JOINT RESTRAINERS SHALL BE PROVIDED ON ALL UNDERGROUND PIPING AS SPECIFIED IN JOINT RESTRAINT TABLE DETAIL.
  - ALL ABOVE GROUND PIPING SHALL BE FLANGED DUCTILE IRON PIPE (NO GALVANIZED OR PVC).
  - ITEM 3 SHALL BE FIELD CUT TO PROPER LENGTH TO ACHIEVE DESIGNATED GROUND CLEARANCE.
  - IF SO SPECIFIED, ENTIRE ASSEMBLY TO BE ENCLOSED IN 6" CHAIN LINK FENCE.
  - BFP DEVICE MUST BE LISTED WITH THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH.

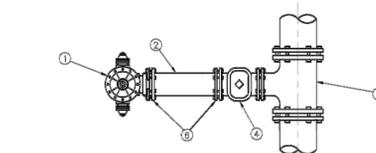
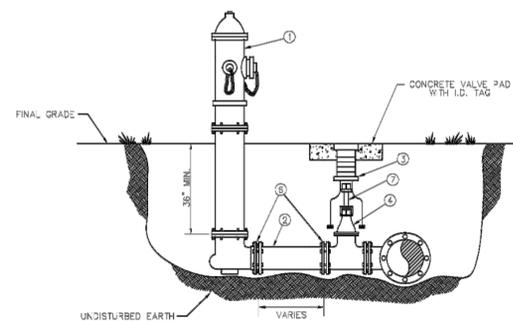
CREATED 02/24/03 DOUBLE DETECTOR CHECK VALVE ASSEMBLY/BACKFLOW PREVENTER (SINGLE SERVICE: 3", 4", 6", 8", 10")  
 REVISED \_\_\_\_\_ PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN POU APPROVAL.  
 PASCO COUNTY UTILITIES DETAIL 10



ITEM	QUANT.	DESCRIPTION
1	1	BACKFLOW PREVENTER ASSEMBLY, REDUCED PRESSURE ZONE
2	2	UNIONS - GALV.
3	2	NIPPLES - BRASS
4	2	E-BOWS - GALV. 90°
5	2	RISER - GALV.
6	*	CONCRETE SLAB
7	2	BALL VALVES - BRASS OR S.S. (PROVIDED WITH BFP ASS'Y)

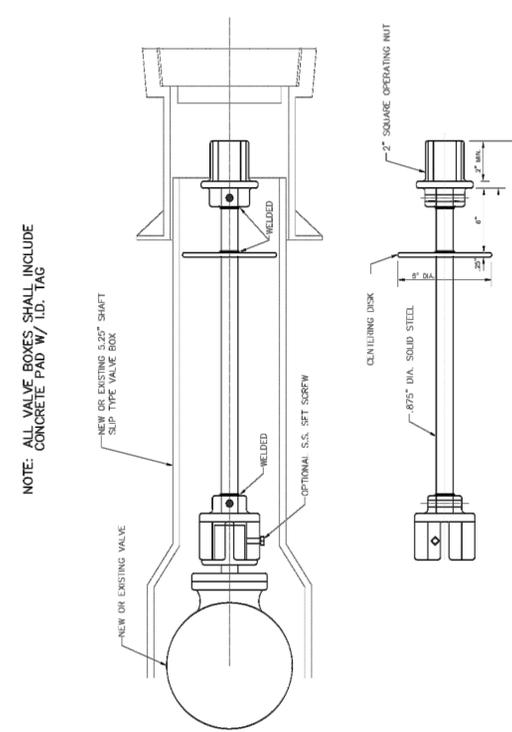
- NOTE:
- FIELD ADJUST AND CUT ITEM 5 TO THE PROPER LENGTH.
  - MINIMUM CLEARANCE OF 24" TO BE MAINTAINED AROUND DEVICE FOR TESTING.
  - ENTIRE ASSEMBLY TO BE PAINTED SAFETY BLUE.
  - CONCRETE SLAB TO EXTEND 12" MIN. AROUND ENTIRE DEVICE.
  - DEVICE MUST BE LISTED WITH THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH.

CREATED 02/24/03 REDUCED PRESSURE BACKFLOW PREVENTER (SINGLE SERVICE: 3/4", 1", 1-1/2", 2")  
 REVISED \_\_\_\_\_ PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN POU APPROVAL.  
 PASCO COUNTY UTILITIES DETAIL 12



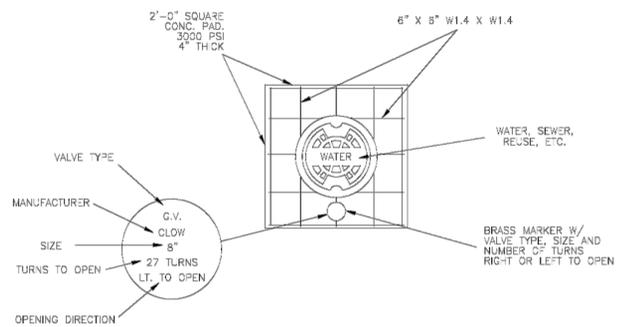
ITEM	QUANT.	DESCRIPTION
1	1	HYDRANT, FIRE (5 1/4" VALVE V.N.), PAINTED YELLOW
2	*	8" PIPE, P.V.C. (DR-18)
3	1	BOZ, VALVE, S.I.P. TYPE
4	1	8" VALVE, GATE, M.J., RES. JEN. WEDGE
5	1	TEE, ANCHORING, M.J.
6	*	8" RESTRAINER GLAND (MEGALUG)
7	*	VALVE EXTENSION ROD, AS NECESSARY (3" MAX. BELOW GRADE)

CREATED 02/24/03 FIRE HYDRANT PERPENDICULAR TO THE MAIN  
 REVISED \_\_\_\_\_ PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN POU APPROVAL.  
 PASCO COUNTY UTILITIES DETAIL 27

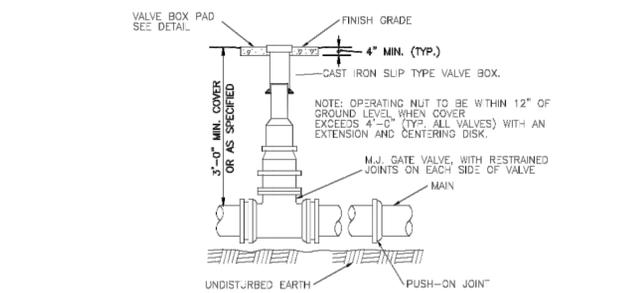


NOTE: ALL VALVE BOXES SHALL INCLUDE CONCRETE PAD W/ I.D. TAG

CREATED 02/24/03 VALVE EXTENSION RODS  
 REVISED \_\_\_\_\_ PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN POU APPROVAL.  
 PASCO COUNTY UTILITIES DETAIL 29



TYPICAL CONCRETE VALVE PAD



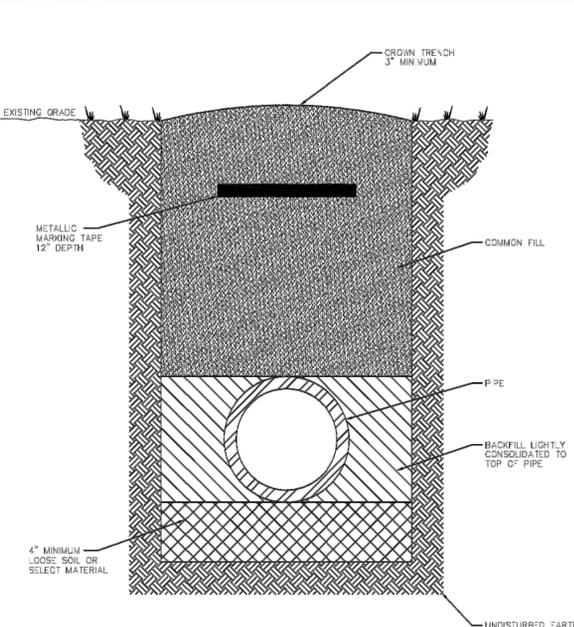
CREATED 02/24/03 VALVE BOX DETAIL SLIP TYPE  
 REVISED \_\_\_\_\_ PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN POU APPROVAL.  
 PASCO COUNTY UTILITIES DETAIL 30

PIPE RESTRAINT LENGTHS IN FEET COMMON FITTINGS

WATER MAINS - TEST PRESSURE 150 PSI						
FITTING TYPE						
	11-1/4°	22-1/2°	45°	90°	DEAD END	
PIPE SIZE	4"	2'	4'	8'	20'	45'
6"	3'	6'	12'	28'	63'	
8"	4'	7'	15'	36'	82'	
10"	4'	9'	18'	43'	98'	
12"	5'	10'	21'	50'	116'	
16"	6'	13'	28'	63'	148'	
20"	7'	15'	31'	76'	179'	
24"	9'	17'	36'	87'	208'	
FORCE MAINS - TEST PRESSURE 100 PSI						
FITTING TYPE						
	11-1/4°	22-1/2°	45°	90°	DEAD END	
PIPE SIZE	4"	1'	3'	6'	13'	30'
6"	2'	4'	8'	19'	42'	
8"	2'	5'	10'	24'	55'	
10"	3'	6'	12'	29'	66'	
12"	3'	7'	14'	34'	77'	
16"	4'	8'	18'	42'	99'	
20"	5'	10'	21'	50'	119'	
24"	6'	11'	24'	58'	139'	

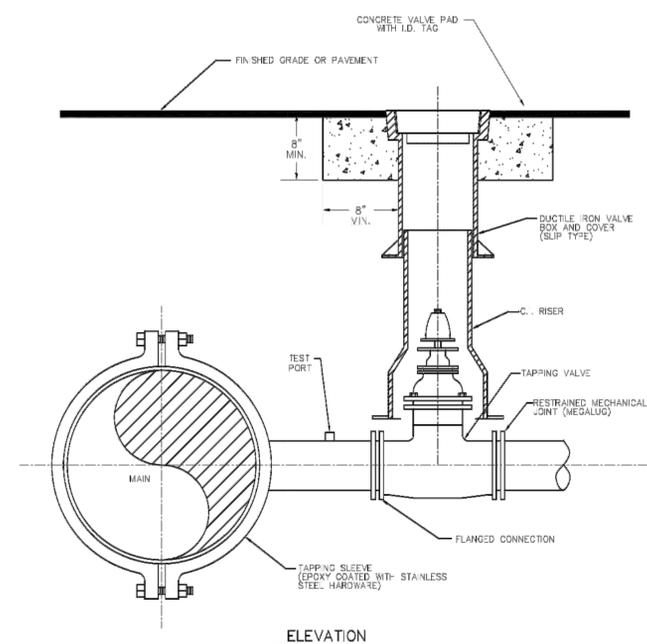
RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE FITTING ALONG THE PIPE IN BOTH DIRECTIONS (EXCEPT DEAD ENDS).

CREATED 02/24/03 RESTRAINED JOINT TABLE COMMON FITTINGS  
 REVISED \_\_\_\_\_ PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN POU APPROVAL.  
 PASCO COUNTY UTILITIES DETAIL 31



- NOTES:
- LOOSE SOIL OR SELECT MATERIAL IS NATIVE SOIL EXCAVATED FROM THE TRENCH FREE OF ROCKS AND FOREIGN MATERIAL.
  - COMMON FILL TO BE PLACED AND COMPACTED IN 12" LAYERS.
  - ROLLING EQUIPMENT SHALL NOT BE USED FOR COMPACTION UNTIL A MINIMUM OF 18" OF COMMON FILL HAS BEEN PLACED AND COMPACTED OVER THE PIPE. THREE FEET OF FILL SHALL BE PLACED BEFORE A HYDRO-AMMER MAY BE USED FOR COMPACTION.

CREATED 02/24/03 PIPE LAYING CONDITIONS STANDARD UNPAVED AREAS  
 REVISED \_\_\_\_\_ PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN POU APPROVAL.  
 PASCO COUNTY UTILITIES DETAIL 35



- NOTES:
- SADDLE CONNECTION WILL BE TESTED TO 150 PSI PRIOR TO TAPPING MAIN.
  - MECHANICAL JOINTS/UNDERGROUND PIPING SHALL BE RESTRAINED AS SPECIFIED BY COUNTY ENGINEER.
  - VALVE EXTENSION ROD SHALL BE UTILIZED, AS NECESSARY, SO THAT VALVE OPERATING NUT IS A MAXIMUM OF 3' BELOW GRADE.

CREATED 02/24/03 WATER, REUSE, AND FORCE MAIN TAPPING DETAIL W/ VALVE LOCATION  
 REVISED \_\_\_\_\_ PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN POU APPROVAL.  
 PASCO COUNTY UTILITIES DETAIL 37

NO.	BY	DATE	DESCRIPTION
1	MICHAEL KNIGHT	02/24/03	5-2-14
2	MICHAEL KNIGHT	02/24/03	
3	CHRIS WEDDLE	02/24/03	
4	CHRIS WEDDLE	02/24/03	

PASCO COUNTY UTILITY DETAILS

LITTLE OWL LEARNING CENTER  
 RMW CONSULTANTS, INC.  
 64 CALLE SEGUNDA  
 ENSENADA, PR 00647

AUTORA CIVIL ENGINEERING, INC.  
 610 E. Morgan Street Brandon, FL 33510 (813)643-9907

**SITE DESCRIPTION**

This Stormwater Pollution Prevention Plan (SWPPP) is for the construction of the Day Care Learning Facility. Construction activities to include clearing, grubbing, excavation, fill, construction of parking areas, buildings, utility and stormwater system.

Little Owl Learning Academy is located at XXXX, Section 31, Township 26, Range 17 in Pasco County, FL.

Latitude: 28.11.11.7 Longitude: 82.38.06.4

Owner: RWM Consultants, Inc.  
64 Calle Segunda  
Ensenada, PR 00647  
Phone: (787) 806-1818  
Attn: Robert Mejill Tellado

Civil Engineer: Aurora Civil Engineering, Inc.  
610 East Morgan Street  
Brandon, FL 33510  
Phone: (813) 643-9907  
Fax: (813) 643-9917  
Attn: Chris Weddle, P.E.

Construction Plans: Little Owl Learning Academy

SWFWMD Permit #: \_\_\_\_\_

General Contractor: To be determined

**SEQUENCE OF CONSTRUCTION EVENTS:**

1. Install staked silt fence and other erosion control features as indicated on construction plans.
2. Clear & grub for ponds to be used as sedimentation basins, (if applicable).
3. Excavate pond for sediment traps for site runoff, (if applicable).
4. Construct perimeter diversion swales to route runoff to ponds as required, (if applicable).
5. Continue clearing & grubbing of remainder of site.
6. Fill building site to grade & begin building construction.
7. Excavate remainder of ponds. Stabilize pond banks with sod or seed and mulch per plans, (if applicable).
8. Fill remainder of site & install stormwater piping system and storm piping system silt controls.
9. Construct underground utility system and parking lot base, curbing & paving.
10. Final grading and landscaping/sod installation.
11. Clean stormwater system and remove sediments from pond as required.
12. Once all site areas stabilized, remove erosion protection devices.

**NAME OF RECEIVING WATERS:**

Anclote River Basin

**EROSION AND SEDIMENT CONTROLS**

**STABILIZATION PRACTICES:**

Denude only portions of the site expected to be graded or altered within 14 days. In no case denude more than one half the site area at a time.

Temporary Stabilization – Denuded areas, soil stockpiles and other areas of the site where construction activity temporarily ceases for at least 21 days will be stabilized with temporary seed and mulch no later than 14 days after the last construction activity in that area. Hydromulch using locally recommended application for quick germinating ground cover. As an alternative, manually apply rye grain at the rate of 150 pounds per acre (or other quick germinating ground cover at recommended rate for area) along with 10–10–10 fertilizer at rate recommended by manufacturer and apply 3,000 pounds per acre of straw (or other fibrous mulch) secured by crimping. Reapply as required until vegetative cover established.

Wind Erosion Stabilization – Manage fugitive dust from bare areas and areas of active construction by applying water spray to saturate surface soils. Apply water spray on a daily basis or as needed to maintain minimal dust transport. Monitor fugitive dust on a continuous basis and use additional measures as required to control off-site transport of unacceptable levels of dust. Stabilize area to be paved by spreading base material.

Permanent Stabilization – Permanently stabilize all disturbed areas with pavement, landscaping & mulch, sod, seed & mulch, etc. per plans. Maintain as required.

**STRUCTURAL PRACTICES:**

Prior to disturbing the site, install staked silt fence barriers and other erosion control measures per plans. Excavate portions of ponds to use as sediment basins and construct diversion swales to route site runoff into sediment basins. Inspect all aspects of the system per the inspection plan and maintain as required. Install additional erosion control measures such as staked hay or straw bales, double row of silt fence, etc. at locations of excessive erosion. Install sediment traps such as geotextile fabric with clean rock cover at sediment pond outfall locations if turbid discharge is noted.

**STORM WATER MANAGEMENT:**

The permanent storm water system will include curbed and paved parking areas with storm inlets. An underground stormwater piping system will convey stormwater to the ponds. Sediments accumulated in the stormwater system and ponds during construction will be removed prior to completion of the project. All pervious areas of the site disturbed during construction will be revegetated with a permanent vegetative cover.

**OTHER CONTROLS**

**WASTE MANAGEMENT:**

Collect and contain all waste materials in a controlled area in accordance with applicable regulations. All trash and construction debris to be removed from site and properly disposed. No construction debris to be buried on-site. The General Contractor for the site is responsible for assuring that all personnel are instructed regarding the correct procedures for waste disposal and will be responsible for implementing these procedures.

**HAZARDOUS WASTE:**

Local and state environmental agencies will be notified if any hazardous materials or waste are encountered on the site. Hazardous waste/materials will be identified, removed from the site and properly disposed per applicable regulations. Hazardous materials/waste generated and/or stored on-site will be handled, stored, transported and disposed per applicable regulations. The General Contractor for the site is responsible for assuring that all personnel are instructed regarding the correct procedures for hazardous waste/materials and will be responsible for implementing these procedures.

**SANITARY WASTE:**

Portable toilet units will be utilized to collect sanitary waste. Waste from portable toilet units to be collected and disposed by licensed sanitary waste hauler in accordance with applicable regulations.

**OFF-SITE VEHICLE TRACKING:**

Stabilized construction entrances will be constructed to minimize off-site vehicle tracking. Paved streets used for haul routes will be cleaned as needed to remove excess mud, dirt and rock tracked from the site. Dump trucks hauling material from and to the site to be covered with a tarpaulin at all times.

**TIMING OF CONTROLS/MEASURES:**

The Sequence of Construction (see above) will be followed as practicable.

**CERTIFICATION OF COMPLIANCE**

This Storm Water Pollution Prevention Plan reflects applicable Federal, State and local regulations for stormwater management and erosion and sediment control.

**MAINTENANCE/INSPECTION PROCEDURES**

**EROSION & SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES**

- \* Less than one half of the site will be denuded at one time.
- \* All control measures will be inspected at least once each week and following any storm event of 0.5 inches or greater.
- \* All measures will be maintained in good working order and; if repair is necessary, will be initiated within 24 hours of the report.
- \* Built up sediment will be removed from silt fences when it has reached one-third the height of the fence.
- \* Silt fence will be inspected for depth of sediment, tears, secure attachment to posts and firm embedment of posts in the ground.
- \* Sediment basin(s) will be inspected for depth of sediment and built up sediment will be removed when it reaches ten percent of the design capacity and at the end of the job.
- \* Other erosion control devices installed and diversion swales will be inspected and any needed repairs made within 24 hours of the report.
- \* Temporary and permanent seed & mulch/sod areas will be inspected for bare spots, washouts and healthy growth. Repairs and reseeded to be initiated within 24 hours of the report.
- \* A maintenance inspection report will be made after each inspection. A copy of the report to be completed by the inspector is attached. Reports to be kept in a bound notebook at the project site office.
- \* The General Contractor for the site will assign the Site Superintendent to be responsible for inspections, maintenance and repair activities. The Site Superintendent is authorized to assign responsibility for inspections and maintenance and repair activities to a designated representative(s). General Contractor to advise Owner and Engineer of the names of the Site Superintendent and designated representative(s) and provide 24 hour contact information for same. General Contractor to provide training for Site Superintendent and designated representative(s) to assure they are aware of the inspection and maintenance practices required by this SWPPP.

**NON-STORM WATER DISCHARGES:**

It is expected that the following non-stormwater discharges will occur from the site during the construction period:

- \* Water from water line flushing(s).
- \* Pavement wash waters (where no spills or leaks of toxic or hazardous materials have occurred).
- \* Uncontaminated groundwater from dewatering operations.

**INVENTORY FOR POLLUTION PREVENTION PLAN:**

The following materials and substances may be present on the site during construction:

- \* Concrete
- \* Detergents
- \* Paints (enamel & latex)
- \* Metal Studs
- \* Tar
- \* Fertilizers
- \* Petroleum Based Products and Fuels
- \* Cleaning Solvents
- \* Wood (including pressure treated)
- \* Masonry Block
- \* Roofing Shingles
- \* Chlorine (for disinfection of water lines)
- \* Asphalt
- \* Glass
- \* Stone

**GOOD HOUSEKEEPING:**

The following good housekeeping practices will be followed at the site during the construction of the project:

- \* An effort will be made to store only enough product required to do the job
- \* All materials stored onsite will be stored in a neat, orderly manner in appropriate containers and, if possible, under a roof or other enclosure.
- \* Products will be kept in their original containers with the original manufacturer's labels.
- \* Substances will not be mixed with one another unless recommended by the manufacturer.
- \* Whenever possible, all of a product will be used up before disposing of the container.
- \* Manufacturer's recommendation for proper use and disposal will be followed.
- \* The Site Superintendent will inspect daily to endure proper use and disposal of materials onsite.

These practices are use to reduce the risks associated with hazardous materials:

- \* Products will be kept in their original containers unless they are not re-sealable.
- \* Original labels and material safety data will be retained since they contain important product information.
- \* If surplus product must be disposed of, manufacturer's as well as local, State and Federal recommended methods for proper handling, transport and disposal will be followed.
- \* Prior to handling hazardous materials, personnel will receive all required training and wear appropriate personal protective equipment.

**PRODUCT SPECIFIC PRACTICES:**

Petroleum Products – All on-site vehicles and mobile equipment will be monitored for leaks and receive regular preventive maintenance to reduce the chance for leakage. Petroleum products will be stored in appropriately labeled approved containers. Any asphalt substances used on-site will be applied according to the manufacturer's recommendations.

Fertilizers – Fertilizers used will be applied only in the minimum amounts recommended by the manufacturer. Once applied, the fertilizer will be worked into the soil to limit exposure to storm water. Storage will be in a covered shed. The contents of any partially used bags of fertilizer will be transferred to a sealable plastic bin to avoid spills.

Paints – All containers will be tightly sealed and stored when not required for use. Excess paint will not be discharged into the storm water system but will be properly disposed of according to

Concrete Trucks – The Site Superintendent will designate an area for concrete trucks to wash out or discharge surplus concrete. A containment berm will be installed around this area to prevent runoff to the remainder of the site. Hard debris will be properly disposed off-site upon completion of the project.

**SPILL CONTROL PRACTICES:**

In addition to the good housekeeping and material management practices discussed in the previous sections of this plan, the following practices will be followed for spill prevention and cleanup:

- \* Manufacturer's recommended methods for spill cleanup will be clearly posted and site personnel will be made aware of the procedures and the location of the information and cleanup supplies.
- \* Material and equipment necessary for spill cleanup will be kept in the material storage area on-site. Equipment and materials will include at a minimum; brooms, dust pans, mops, rags, cloves, goggles, kitty litter, sand sawdust and plastic and metal trash containers specifically designated for this purpose.
- \* All spills will be cleaned up immediately after discovery.
- \* The spill area will be kept well ventilated and personnel will wear appropriate protective clothing & equipment to prevent injury from contact with hazardous substances.
- \* Spills of toxic or hazardous material will be reported to the appropriate local and State government agency, regardless of the size of the spill.
- \* Should a spill occur, the spill prevention plan will be adjusted to include measures to prevent the same type of spill from reoccurring and how to clean up the spill if there is another one. A description of the spill, what caused it, and the cleanup measures implemented will also be included.
- \* The Site Superintendent will be the spill prevention and cleanup coordinator. The Site Superintendent may designate other site personnel who will receive spill prevention and cleanup training. These individuals may be assigned responsibility for a specific phase of prevention and cleanup. The names and 24 hour contact information for the spill personnel will be posted in the material storage area and in the office trailer on-site.

**NOTICE OF TERMINATION:**

A Notice of Termination will be submitted to the Florida Department of Environmental Protection after the construction has been completed and the site has undergone final stabilization.

**POLLUTION PREVENTION PLAN CERTIFICATION BY OWNER:**

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

OWNER

NAME

TITLE

SIGNATURE

DATE

**CONTRACTORS CERTIFICATION:**

I certify under penalty of law that I understand the terms and conditions of the generic National Pollutant Discharge Elimination System (NPDES) permit issued pursuant to Section 403.0885, F.S. that authorizes storm water discharges associated with industrial activity from the construction site identified as part of this certification.

INDIVIDUAL RESPONSIBLE  
COMPANY  
RESPONSIBILITY  
NAME:

General Contractor  
TITLE:

SIGNATURE:

DATE:

NAME:

Site Contractor  
TITLE:

SIGNATURE:

DATE:

NAME:

TITLE:

SIGNATURE:

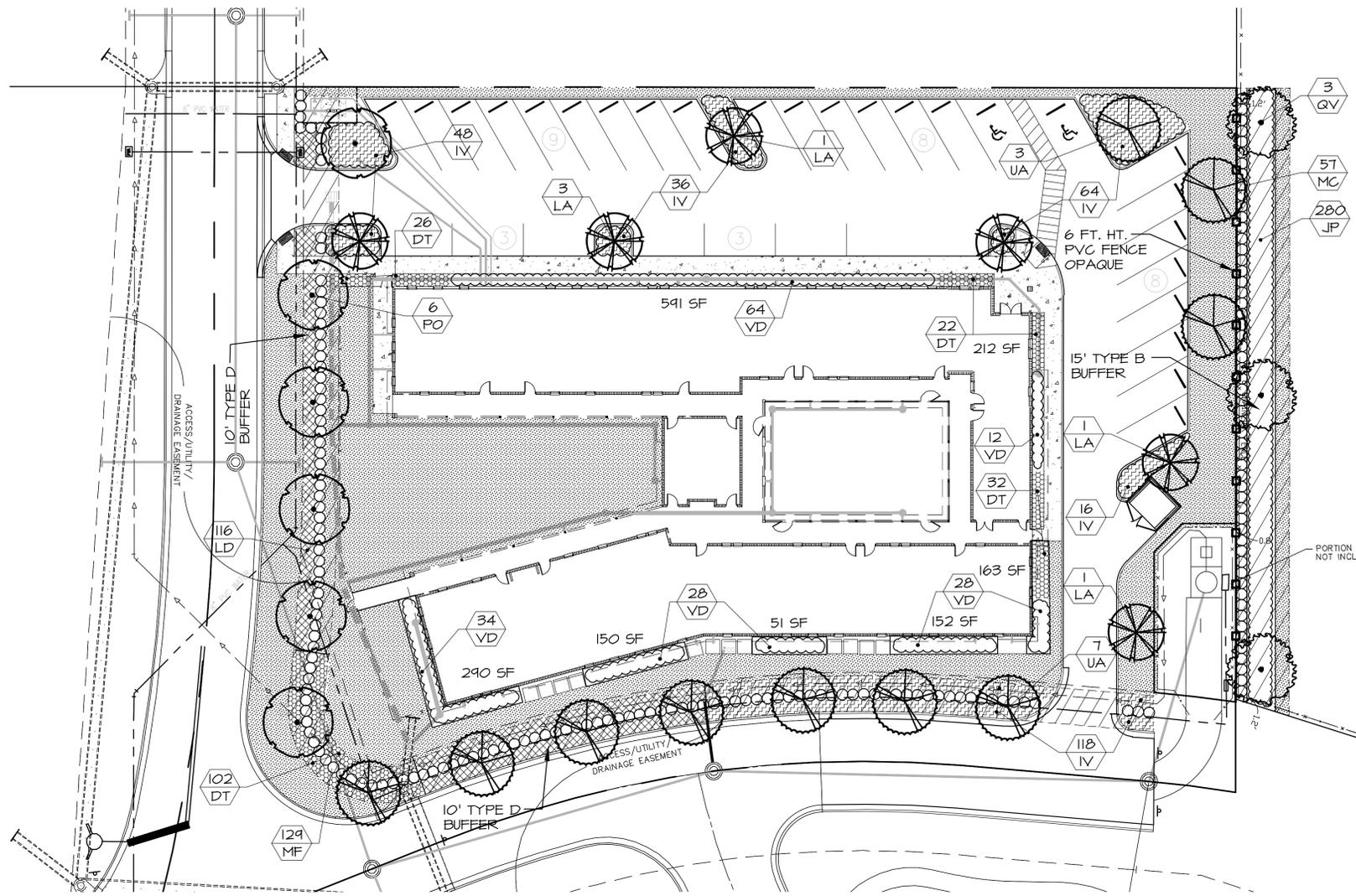
DATE:

NO.	DATE	DESCRIPTION
1	5-2-14	ISSUED
2		BY: MICHAEL KNIGHT
3		APPROVED BY: CHRIS WEDDLE
4		JOB NO.: 13-187

STORMWATER POLLUTION  
PREVENTION PLAN

LITTLE OWL LEARNING CENTER  
RWM CONSULTANTS, INC.  
64 CALLE SEGUNDA  
ENSENADA, PR 00647

AURORA  
CIVIL ENGINEERING, INC.  
610 E. Morgan Street Brandon, FL 33510 (813)643-9907



**PLANT MATERIAL LIST**

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE	DROUGHT TOLERANT
<b>TREES</b> 8 SPECIES MINIMUM WITH 40 REQUIRED TREES PALMS MAY BE SUBSTITUTED, 3 PALMS FOR 1 SHADE TREE, MAXIMUM 30%, CLUSTERS OF 3 - 8' ON CENTER						
QV	3	QUERCUS VIRGINIANA	LIVE OAK	10' HT X 5' SPD, 2' CAL, 30 GALLON	YES	YES
UA	10	ULMUS ALATA	HINGED ELM	10' HT X 5' SPD, 2' CAL, 30 GALLON	YES	YES
PO	6	PLANTANUS OCCIDENTALIS	SYCAMORE	10' HT X 5' SPD, 2' CAL, 30 GALLON	YES	YES
LA	6	LAGERSTROEMIA INDICA	GRAPE MYRTLE	8' HT, 3 STEMS @ 1" EACH, 30 GALLON	NO	YES
<b>SHRUBS</b> NO ONE SPECIES OF SHRUBS OR GROUND COVER SHALL BE MORE THAN 25% COVERAGE OF LANDSCAPE AREA MAXIMUM 30% OF REQUIRED LANDSCAPE AREA MAY BE GRASSES						
MC	57	MYRTICA CERIFERA	WAX MYRTLE	48" 24" HT X 24" SPD, 3 GALLON 36" OC	YES	YES
MF	124	MYRICANTHES FRAGRANS	SIMPSON'S STOPPER	24" HT X 24" SPD, 3 GALLON 36" OC	YES	YES
IV	282	ILEX VOMITORIA	SCHILLINGS DWARF HOLLY	15" HT X 15" SPD, 3 GALLON 30" OC	YES	YES
VD	166	VIBURNUM OBOVATUM MIXED CLASS	COMPACT VIBURNUM	15" HT X 15" SPD, 3 GALLON 30" OC	YES	YES
<b>GROUND COVER</b> GROUND COVER OTHER THAN TURF, SHALL REACH A MAXIMUM MATURE HEIGHT OF 24", SPACED TO PRESENT FINISHED APPEARANCE AND OBTAIN COMPLETE COVERAGE IN ONE YEAR						
DT	182	DIANELLA TASHMANICA 'VARIEGATA'	BLUEBERRY FLAX LILY	14" 10" HT X 10" SPD, 1 GALLON 24" OC	NO	YES
LD	116	LANTANA DEPRESSA	FINELAND LANTANA	9" 10" HT X 10" SPD, 1 GALLON 24" OC	YES	YES
JP	280	JUNIPERUS CHINENSIS 'PARSON'	PARSON JUNIPER	6" HT X 12" SPD, 1 GALLON 24" OC	NO	YES

**LANDSCAPE REQUIREMENTS**

- THERE ARE NO TREES 10' OR GREATER BEING REMOVED FROM THIS SITE.
- SOUTH PERIMETER** - TYPE D BUFFER 10' WIDE BUFFER WITH SHADE TREES A MAXIMUM OF 30' OC. PALMS MAY BE SUBSTITUTED FOR UP TO 30% OF THE REQUIRED TREES AT A RATE OF 3 PALMS PER 1 TREE, CLUSTERED 8' OC AND MINIMUM 10' CLEAR TRUNK HEIGHT. 5 SHRUBS PER TREE WITH MAXIMUM 30% SOD. 210 LF/30 = 7 TREES
- WEST PERIMETER** - NA
- NORTH PERIMETER** - TYPE B BUFFER 15' WIDE BUFFER WITH SHADE TREES A MAXIMUM OF 60' OC. PALMS MAY BE SUBSTITUTED FOR UP TO 30% OF THE REQUIRED TREES AT A RATE OF 3 PALMS PER 1 TREE, CLUSTERED 8' OC AND MINIMUM 10' CLEAR TRUNK HEIGHT. SCREENING A MINIMUM OF SIX FEET IN HEIGHT AT THE TIME OF INSTALLATION. SCREENINGS SHALL INCLUDE ONE OR MORE OF THE FOLLOWING: OPAQUE FENCE, HALL, BERRY, HEDGE. SHRUBS USED TO PROVIDE A VISUAL SCREEN SHALL BE PLACED A MAXIMUM OF FIVE FEET ON CENTER. 171 LF/60 = 3 TREES.
- EAST PERIMETER** - TYPE D BUFFER 10' WIDE BUFFER WITH SHADE TREES A MAXIMUM OF 30' OC. PALMS MAY BE SUBSTITUTED FOR UP TO 30% OF THE REQUIRED TREES AT A RATE OF 3 PALMS PER 1 TREE, CLUSTERED 8' OC AND MINIMUM 10' CLEAR TRUNK HEIGHT. 5 SHRUBS PER TREE WITH MAXIMUM 30% SOD. 210 LF/30 = 7 TREES
- INTERIOR REQUIREMENTS** - TEN PERCENT OF THE VEHICLE USE AREA SHALL BE DEDICATED TO LANDSCAPING WITH ONE TREE PER 200 SQUARE FEET OF VUA 12,524 SF VUA X .1 = 1,252/200 = 6 TREES
- BUILDING PERIMETER** SHALL BE LANDSCAPED WITH AN AREA OF 10% OF THE GROUND FLOOR LEVEL AREA AND MUST BE 5' WIDE AND SHALL INCLUDE SHADE TREES, PALMS, SHRUBS AND GROUND COVER. 30% OF THE BUILDING PERIMETER IS TO BE LANDSCAPED AS ABOVE 10,663 SF (BUILDING SF) X .1 = 1,066 SF PROVIDED 541 + 212 + 163 + 152 + 51 + 150 + 240 = 1,604 SF. 2 TREES REQUIRED PER BUILDING
- TOTAL TREE REQUIREMENTS** - 7 + 3 + 7 + 6 + 2 = 25 TREES, 75% NATIVE
- A MAXIMUM OF FIFTY (50) PERCENT OF THE PLANT MATERIALS USED, OTHER THAN TREES, MAY BE NON-DROUGHT TOLERANT. THE USE OF TURFGRASS VARIETIES WITH EXCELLENT DROUGHT TOLERANCE MAY EXCEED THE FIFTY PERCENT LIMITATION.
- NATIVE SHRUB AND GROUND COVER REQUIREMENT** IS MINIMUM 30% - TOTAL SHRUBS AND GROUND COVER PROVIDED IS 1226 OF WHICH 164 ARE NATIVE, THEREFORE 48% OF THE PROVIDED ARE NATIVE.
- MAXIMUM 30% OF REQUIRED LANDSCAPE AREAS MAY BE SODDED, 70% OF ALL REQUIRED LANDSCAPE AREAS DO NOT HAVE SOD.
- GROUND COVER PLANTS** SHALL BE SPACED TO PRESENT A FINISHED APPEARANCE AND OBTAIN A REASONABLY COMPLETE COVERAGE WITHIN ONE (1) YEAR. NON-LIVING GROUND COVER, SUCH AS MULCH, GRAVEL, ROCKS, ETC., SHALL BE USED IN CONJUNCTION WITH LIVING PLANTS TO SUPPRESS FUGITIVE DUST.

**LANDSCAPE INSTALLATION NOTES**

- ALL PLANT MATERIALS SHALL BE FLORIDA #1 OR BETTER AS GIVEN IN GRADES AND STANDARDS FOR NURSERY PLANTS, FEBRUARY 1998 EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- LOCATION OF PLANTS ON THE PLAN ARE DIAGRAMMATIC- SEE THE LANDSCAPE ARCHITECT FOR QUESTIONS ON EXACT LOCATIONS. THE PLANT MATERIALS LIST IS PROVIDED FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANT LIST AND THE PLAN, THE PLAN SHALL PREVAIL.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL PLANT BED AREAS HAVE PROPER DRAINAGE FOR OPTIMUM GROWTH OF LANDSCAPE MATERIAL BEFORE INSTALLATION BEGINS.
- THE CONTRACTOR SHALL INSURE THAT ALL PLANTING ISLANDS AND OTHER AREAS SHALL BE CLEAN OF TRASH, CONSTRUCTION DEBRIS, OR OTHER WASTE MATERIALS TO A DEPTH OF 24" PRIOR TO LANDSCAPE INSTALLATION.
- ALL PLANT BEDS AND TREE RINGS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE AND THEN TOP-DRESSED WITH 2" DEEP PINE BARK NUGGETS. ALL NEW TREES SHALL BE STAKED.
- NEW SOD SHALL BE 12,000 SQ. FT. OF ARGENTINE BAHIA SOD, IN THE LOCATIONS SHOWN ON THE PLAN. CONTRACTOR SHALL DETERMINE EXACT QUANTITIES IN THE FIELD. SOD AREAS SHALL BE MAINTAINED BY THE CONTRACTOR FROM THE TIME OF INSTALLATION TO THE TIME OF FINAL ACCEPTANCE.
- TREES, SHRUBS, AND GROUND COVER SHALL BE INSTALLED USING THE FOLLOWING PROCEDURE: PLANT PITS SHALL BE EXCAVATED TO TWICE THE DIAMETER OF THE PLANT ROOT BALL. AERATE EXISTING SOIL BEFORE BACKFILLING PIT.
- TREE INSTALLATION:** ALL REQUIRED TREES SHALL BE INSTALLED 1" - 2" ABOVE FINISH GRADE. TREES INSTALLED OR BURIED TOO DEEP SHALL BE RESET TO THIS STANDARD. REMOVE THE TOP 1/3 OF THE WIRE BASKETS ON ALL B & B STOCK.

**IRRIGATION NOTE**

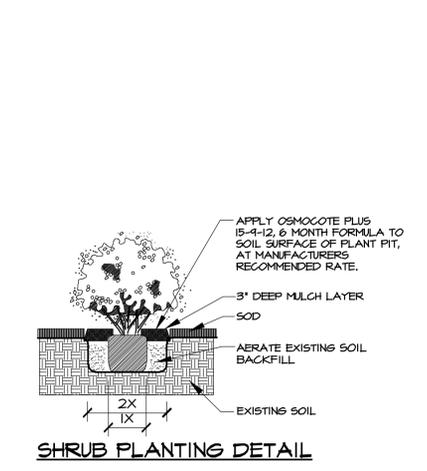
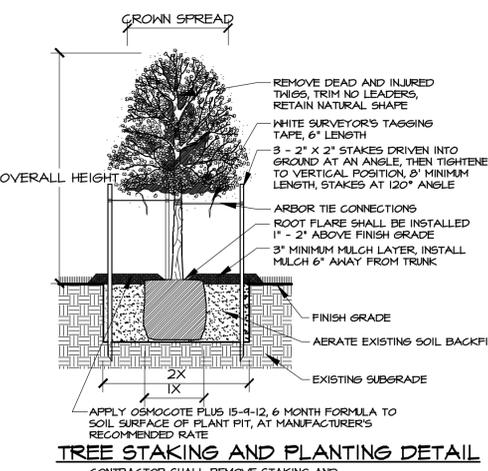
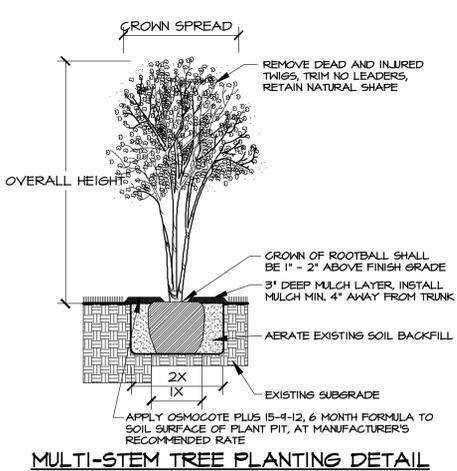
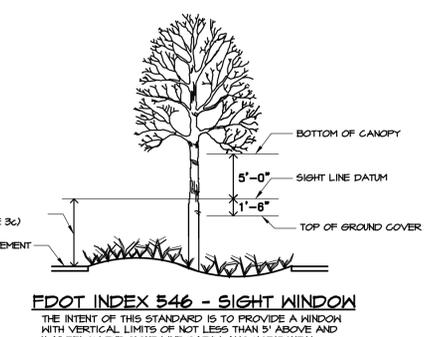
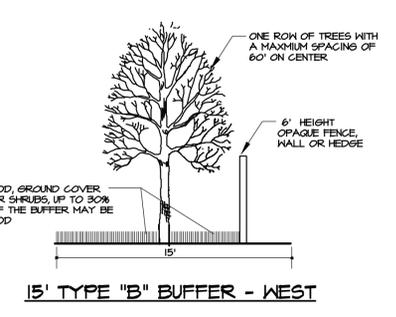
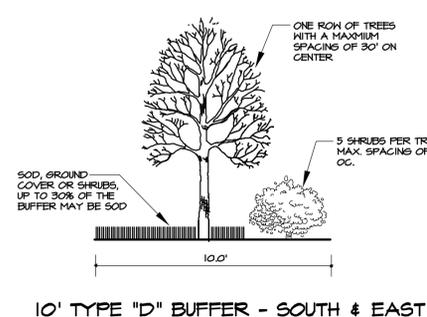
ALL LANDSCAPE AREAS SHALL BE WATERED WITH AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM WITH A RAIN CHECK DEVICE CONNECTED TO THE CONTROLLER. AFTER THE 30-DAY ESTABLISHMENT PERIOD, THE CONTROLLER SHALL BE SET TO OPERATE IN COMPLIANCE WITH LOCAL WATERING RESTRICTIONS. SPRAY AND ROTOR HEAD NOZZLES SHALL BE ADJUSTED TO ELIMINATE OVER SPRAY ON PAVED SURFACES. IRRIGATION SHALL PROVIDE 100% COVERAGE.

**SYMBOL LEGEND**

ARGENTINE BAHIA SOD



10 QUANTITY  
QV SPECIES



**LANDSCAPE PLAN**

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