

CONSTRUCTION PLANS FOR SUN TOYOTA PRE-OWNED VEHICLE DISPLAY PARKING AREA

SITE ADDRESS:
3001 US HIGHWAY 19
HOLIDAY FL 34691-2615

OWNER / DEVELOPER:
SUN AUTOMOTIVE INC
3001 US HIGHWAY 19
HOLIDAY FL 34691-2615

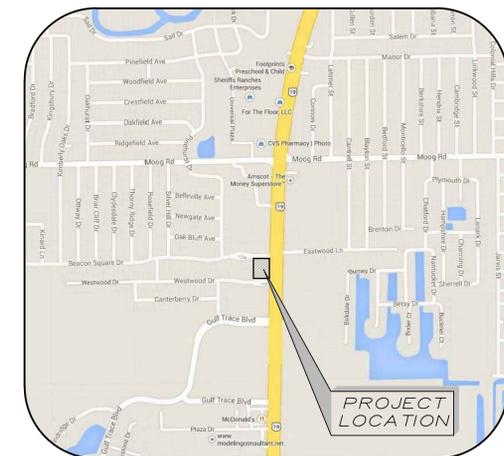
PREPARED BY:



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PROJECT NUMBER: 14013
MAY 6th, 2014

LOCATION MAP



SHEET INDEX

- COVER SHEET
- C1.0 GENERAL NOTES
- C2.0 DEMOLITION & TREE REMOVAL PLAN
- C3.0 PRELIMINARY SITE PLAN
- C4.0 HORIZONTAL CONTROL PLAN
- C5.0 PAVING, GRADING AND DRAINAGE PLAN
- C6.0 CIVIL DETAILS
- D1-2 PRE & POST DEVELOPMENT BASIN PLAN
- D3 STORM WATER POLLUTION PREVENTION PLAN

"THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE CURRENT VERSION OF THE "MANUAL UNIFORM MINIMUM STANDARDS FOR HIGHWAYS, STATE OF FLORIDA" AND ARE IN COMPLIANCE WITH THE STANDARDS THEREIN EXCEPT AS NOTED ON THE PLANS. ANY DEVIATIONS NOTED ON THE PLANS SUBSTANTIALLY COMPLY WITH THE INTENT OF THE STANDARDS."

CONSULTANTS

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6302 BENJAMIN ROAD, SUITE 409
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LANDSCAPE ARCHITECT:
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LANDSCAPE ARCHITECTURAL DESIGN & CONSULTING
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UTILITY SUPPLIERS

<p>BRIGHT HOUSE NETWORKS ATTN: MIKE KIKER 30432 STATE ROAD 54 WESLEY CHAPEL, FL 33543 (813) 862-0522 EXT: 84263</p> <p>PASCO COUNTY TRAFFIC OPERATIONS ATTN: ROBERT RECK 7536 STATE ST # 124 NEW PORT RICHEY, FL 34654-5598 (727) 847-8139</p> <p>DUKE ENERGY ATTN: KENYA MONROE 4121 SAINT LAWRENCE DR NEW PORT RICHEY, FL 34653-6667 (727) 372-5152</p> <p>CLEARWATER GAS SYSTEM ATTN: JORGE HERNANDEZ 400 N. MYRTLE AVE CLEARWATER, FL 33755 (727) 562-4900 X7423</p>	<p>VERIZON FLORIDA, LLC ATTN: DAVID WYNNIS 1909 US HWY 301 NORTH, BUILDING D TAMPA, FL 33619 T (813) 627-8343</p> <p>FLORIDA GOVERNMENTAL UTILITY AUTHORITY ATTN: MIKE BUDIN 6915 PERRINE RANCH ROAD NEW PORT RICHEY, FL 34655 (727) 848-8292</p> <p>PASCO COUNTY UTILITIES SERVICES ATTN: PAUL HAMAR PUBLIC WORKS UTILITIES BUILDING 7536 STATE STREET, SUITE 205 NEW PORT RICHEY, FL 34654-5598 (727) 847-8145</p>
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AGENCY APPROVALS

AGENCY	PERMIT TYPE	DATE SUBM.	DATE APP.	PERMIT NO.	EXP. DATE
S.W.F.W.M.D.	ENVIRONMENTAL RESOURCE PROTECTION PERMIT	11/13/2007	03/24/2008	44017669.002	03/24/2018

REVISIONS

Designed By: H.P.B. Drawn By: A.L.G.			
DATE	REV. BY	REV. NO.	REVISION

ENGINEER : PAUL A. MANUEL, P.E.

PROFESSIONAL ENGINEER FLORIDA REGISTRATION NO. 51424

PAVING, GRADING & DRAINAGE NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. DE-WATERING SHALL BE USED AS REQUIRED.
2. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEMS OF TREES SHOWN TO BE SAVED. THE CONTRACTOR IS TO COORDINATE WITH OWNER'S ENGINEER PRIOR TO ANY ELEVATION CHANGES.
3. THE CONTRACTOR IS TO PROVIDE A 1/2" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER, AT ABUTMENT OF CONCRETE AND ANY STRUCTURE.
4. ALL PAVEMENT MARKINGS SHALL BE MADE WITH THERMOPLASTIC, EXCEPT PARKING STALL DELINEATIONS, WHICH MAY BE TRAFFIC RATED PAINT. PARKING STALL DELINEATION SHALL BE 6" MIN. WIDTH.
5. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (A.S.T.M. C-76) UNLESS OTHERWISE NOTED ON PLANS.
6. P.V.C. STORM PIPE, 12" AND SMALLER SHALL CONFORM TO A.W.W.A. C-900, CLASS 150 STANDARDS UNLESS OTHERWISE NOTED.
7. PIPE LENGTHS SHOWN ARE APPROXIMATE AND TO THE CENTER OF DRAINAGE STRUCTURES. PIPE LENGTHS SHOWN, WHERE MITERED END SECTION OF PIPE, SHALL BE INCLUDED IN THE UNIT COST OF THE MITERED END.
8. ALL DIMENSIONS SHOWN WHERE CURB IS APPLICABLE ARE TO THE EDGE OF PAVEMENT.
9. ALL DRAINAGE STRUCTURE GRATES AND COVERS WITHIN TRAFFIC AREAS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
10. WHEN CONSTRUCTION IS COMPLETED, THE RETENTION/DETENTION AREAS WILL BE RESHAPED, CLEANED OF SILT, MUD AND DEBRIS AND SODDED WITH 419 BERMUDA GRASS IN ACCORDANCE TO THE PLANS.
11. SOD SHALL BE STAKED AS NECESSARY TO PREVENT PREVENT DISPLACEMENT.
12. THE CONTRACTOR SHALL PROVIDE CERTIFIED RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE RECORD DRAWINGS SHALL SHOW FINAL GRADES, INVERTS AND LOCATIONS OF ALL STORMWATER FACILITIES INCLUDING THE STORMWATER POND, DRAINAGE STRUCTURES, BERMS & SWALES. THE CONTRACTOR SHALL PROVIDE TEN COPIES OF THE CERTIFIED RECORD DRAWINGS TO THE ENGINEER FOR THE PURPOSE OF CERTIFYING THE STORMWATER MANAGEMENT SYSTEM.
13. ALL DRAINAGE PIPE SHALL BE CUT FLUSH WITH THE INTERIOR WALLS OF EACH DRAINAGE STRUCTURE AND GROUTED TO A SMOOTH FINISH.

PAVING, GRADING & DRAINAGE TESTING & INSPECTION REQUIREMENTS

- 1. THE STORM DRAINAGE PIPING AND FILTRATION SYSTEM SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. THE CONTRACTOR IS TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE AN INSPECTION.
2. THE CONTRACTOR SHALL MAINTAIN THE STORM DRAINAGE SYSTEMS UNTIL FINAL ACCEPTANCE OF THE PROJECT.
3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE APPLICABLE TESTING WITH THE TESTING COMPANY. UPON COMPLETION OF THE WORK, THE TESTING COMPANY MUST SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER STATING THAT TESTING REQUIREMENTS HAVE BEEN MET.

CLEARING AND GRUBBING NOTES

- 1. CLEARING AND GRUBBING FOR PURPOSES OF THE PROJECT DESCRIBED HEREIN SHALL BE IN ACCORDANCE WITH SECTION 110 OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION." 2013
2. ALL VEGETATION, STRUCTURES, MATERIALS DEBRIS AND FILL UNSUITABLE FOR CONSTRUCTION AND OF NO SALVAGE VALUE TO THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF BY THE CONTRACTOR.
3. EXISTING PAVEMENT SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR AT THIS EXPENSE. THE CONTRACTOR MAY (AT HIS OPTION) USE EXISTING LIMESTOCK BASE MATERIAL AS A STABILIZING ADDITIVE TO THE SUBBASE. AT NO TIME WILL EXISTING BASE MATERIAL BE INCORPORATED WITHIN THE NEW BASE.
4. PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN ON THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY'S TREE ORDINANCE AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREES SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER.
5. ALL DELETERIOUS SUBSTANCE MATERIAL, (I.E. MUCK, PEAT, BURIES DEBRIS), IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS, OR AS DIRECTED BY THE OWNER'S ENGINEER OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE REMOVED FROM THE SITE OR AS OTHERWISE DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS.
6. THE CONTRACTOR SHALL CLEAR AND GRUB, ONLY THOSE PORTIONS OF THE SITE, AS NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SODDED FOLLOWING CONSTRUCTION.
7. THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING SHALL BE STOCKPILED AT A SITE DESIGNATED BY THE OWNER UNLESS OTHERWISE DIRECTED BY THE OWNER.
8. ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
9. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR REMOVING ANY EXISTING STRUCTURES.
10. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE AND WILL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES THAT WILL NOT BE INCORPORATED WITH THE NEW FACILITIES. SHOULD ANY DISCREPANCIES EXIST WITH THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING THE OWNER AND REQUESTING A CLARIFICATION OF THE PLANS PRIOR TO DEMOLITION.
11. NO ON-SITE BURNING SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE LOCAL FIRE MARSHALL.

EROSION CONTROL NOTES

- 1. DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SECURED HAY BALES, SOD, STONE, ETC., WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.
2. ON-SITE DE-WATERING FOR CONSTRUCTION OF FACILITIES SHALL BE CONTAINED ON-SITE; AS REQUIRED USE OF THE PROPOSED DETENTION PONDS AND OR DRAINAGE SYSTEM CAN BE USED AS A DISCHARGE AREA FOR DE-WATERING ACTIVITIES. AT NO TIME SHALL DISCHARGE FROM THE DE-WATERING ACTIVITIES BE DIRECTED IN A MANNER THAT WOULD IMPACT AN EXISTING WETLAND, LAKE OR RIVER.
3. THERE IS TO BE NO DISCHARGE (I.E. PUMPING, SHEET FLOW, SWALE, DITCH, ETC.) INTO AN EXISTING LAKE SYSTEM, WETLAND, OR RIVER WITHOUT THE USE OF SETTLING PONDS. IF THE CONTRACTOR DESIRES TO DISCHARGE INTO AN EXISTING LAKE SYSTEM OR RIVER, A SETTLING POND PLAN MUST BE SUBMITTED AND APPROVED BY THE ENGINEER OF RECORD AND LOCAL REGULATORY AGENCY PRIOR TO CONSTRUCTION.
4. ALL EROSION AND SILTATION CONTROL METHODS SHALL BE IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
5. CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS, WATERWAYS AND EXISTING WETLANDS. IN ADDITION, THE CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON THE GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT THE SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.

DEWATERING PLAN / NOTES

- THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING GUIDELINES WHEN CONSTRUCTION ACTIVITIES REQUIRE DEWATERING:
1. DEWATERING ACTIVITIES SHALL BE CONTAINED WITHIN THE PROJECT AREA.
2. THE PROPOSED DRAINAGE RETENTION AREAS CAN BE USED AS TEMPORARY SETTLING AREAS FOR DEWATERING ACTIVITIES. THE PROPOSED DRAINAGE RETENTION AREA(S) SHALL BE CONSTRUCTED TO A SUFFICIENT SIZE AND DEPTH TO RECEIVE WATER FROM DEWATERING ACTIVITIES. IF AT ANY TIME STAGING OF WATER WITHIN THE RETENTION AREA APPROACHES 6-INCHES OF THE PROPOSED POND TOP-OF-BANK, DEWATERING ACTIVITIES SHALL STOP UNTIL THE RETENTION VOLUME HAS RECOVERED.
3. SHEET PILE WALLS, SLURRY WALLS, OR OTHER MEANS OF LIMITING THE EXTENT OF THE WATER TABLE DRAWDOWN, BEYOND THE PROJECT AREA, SHALL BE IMPLEMENTED.
4. WATER DISCHARGE FROM SETTLING AREAS SHALL BE CLEAN AND FREE OF ANY SILT. SILT BARRIERS (I.E. SILT FENCE, HAY BALES, ROCK BAGS OR ANY COMBINATION NECESSARY TO REMOVE SEDIMENTS PRIOR TO DISCHARGE) SHALL BE INSTALLED AND MAINTAINED UNTIL ALL DEWATERING ACTIVITIES ARE COMPLETE.
5. AT NO TIME SHALL DISCHARGE FROM THE DEWATERING ACTIVITIES BE DIRECTED IN A MANNER THAT WOULD IMPACT AN EXISTING WETLAND, LAKE OR RIVER.
6. DEWATERING ACTIVITIES SHALL BE LIMITED TO TIME PERIODS THAT CONSTRUCTION ACTIVITIES REQUIRED DEWATERING. ALL IMPLEMENTED DEWATERING INFRASTRUCTURE, EQUIPMENT, ETC. SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.

PROTECTIVE TREE BARRIER NOTES

- 1. PROTECTIVE BARRIERS SHALL BE USED DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES TO PROTECT TREES AND NATURAL AREA TO BE RETAINED ON SITE.
2. PROTECTIVE BARRIERS SHALL BE ERCTED AROUND TREES TO BE RETAINED WITHIN AN AREA WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR AS WELL AS ALONG NATURAL AREAS WHERE SUCH AREAS ARE ADJACENT TO PERMITTED LAND ALTERATION OR CONSTRUCTION ACTIVITIES. A PROTECTIVE BARRIER MUST REMAIN IN PLACE UNTIL THE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED OR UNTIL COMMENCEMENT OF GRADE FINISHING AND SODDING. NO GROUND DISTURBANCE MUST OCCUR WITHIN THE BARRICADED AREA.
A. TREES - TO RESTRICT ACCESS INTO THE AREA WITHIN THE DRIPLINE OF A TREE, A PHYSICAL STRUCTURE NOT LESS THAN 3 FEET IN HEIGHT, COMPRISED OF WOOD OR OTHER SUITABLE MATERIAL, SHALL BE PLACED AROUND THE TREE AT THE DRIPLINE, EXCEPT WHERE LAND ALTERATION OR CONSTRUCTION ACTIVITIES ARE APPROVED WITHIN THE DRIPLINE.
B. DRIPLINE - THE DRIPLINE OF A TREE IS THE IMAGINARY, VERTICAL LINE THAT EXTENDS DOWNWARD FROM THE OUTERMOST TIPS OF THE TREE'S BRANCHES TO THE GROUND.
3. TREE BARRIER SPECIFICATIONS:
A. FOUR (4) CORNERS UPRIGHT STAKES OF NO LESS THAN 2" X 2" LUMBER CONNECTED BY HORIZONTAL MEMBERS OF NO LESS THAN 1" X 4" LUMBER; OR UPRIGHT STAKES SPACED AT 4-5' INTERVALS OF NO LESS THAN 2" X 2" LUMBER CONNECTED BY TWINE FLAGGED WITH PLASTIC SURVEYING TAPE AT REGULAR INTERVALS.

TECHNICAL SPECIFICATIONS

ALL SITE AND UTILITY WORK PERFORMED ON THIS PROJECT SHALL BE GOVERNED BY APPLICABLE PROVISIONS OF PASCO COUNTY AND THE PASCO COUNTY UTILITY DEPARTMENT. THE PROJECT SHALL BE CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED CONSTRUCTION DRAWINGS & SPECIFICATIONS DESCRIBED HEREIN, AND WITH THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE OF STREETS AND HIGHWAYS, STATE OF FLORIDA. IN THE EVENT THAT ANY ITEM IS NOT ADDRESSED IN THESE PLANS OR THE SPECIFICATIONS, THEN THE APPLICABLE PROVISIONS OF THE "FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION AND SUPPLEMENTS THERETO SHALL APPLY, EXCEPT AS OTHERWISE SPECIFICALLY APPROVED BY THE OWNER AND / OR THE ENGINEER OF RECORD.

THE FOLLOWING ARE INCORPORATED HEREIN BY REFERENCE:

- 1. PASCO COUNTY ENGINEERING SERVICES DEPARTMENT "TESTING SPECIFICATIONS FOR CONSTRUCTION OF ROADS, STORM DRAINAGE AND UTILITIES" 2006
2. PASCO COUNTY UTILITY DEPARTMENT "STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER AND RECLAIMED WATER FACILITIES." 2006
3. FLORIDA DEPARTMENT OF TRANSPORTATION "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" 2006
4. FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" 2014
5. FLORIDA DEPARTMENT OF TRANSPORTATION "ROADWAY AND TRAFFIC DESIGN STANDARDS" 2014
6. FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)" 2009

GENERAL CONSTRUCTION NOTES

- 7. ELEVATIONS DEPICTED HEREON BASED UPON NATIONAL GEODETIC SURVEY DESIGNATION "PAS 5", ELEVATIONS 30.65 FEET, N.A.V.D. 1988 DATUM. SITE BENCHMARKS ARE AS DEPICTED HEREON. CONVERSION TO N.G.V.D. 1929 DATUM WOULD BE (+)0.84'. ALL SURVEY DATA WAS PROVIDED BY EXTREME SURVEYING OF FLORIDA, INC.
8. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK, PRIOR TO CONSTRUCTION.
9. THE CONTRACTOR SHALL CHECK THE PLANS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
10. THE CONTRACTOR IS CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES, WHETHER OR NOT SHOWN, ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ACTUAL FIELD LOCATIONS FROM THE RESPECTIVE UTILITY COMPANY 48 HOURS BEFORE BEGINNING WORK.
SUNSHINE STATE ONE CALL ----- 1-800-432-4770
11. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS OF THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AND SCHEDULE INSPECTIONS ACCORDING TO AGENCY INSTRUCTION.
13. EARTHWORK CONSTRUCTION:
A. ALL EARTHWORK CONSTRUCTION SHALL BE PAID FOR BY PLAN QUANTITIES.
B. ALL FILL SUITABLE FOR CONSTRUCTION EITHER REQUIRED OR IN EXCESS TO THE PROJECT IS THE PROPERTY OF THE OWNER AND SHALL BE UTILIZED FOR THE PROJECT OR STOCKPILED ON-SITE AS DIRECTED BY THE OWNER AND / OR ENGINEER OF RECORD.
14. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL TO THE OWNER'S ENGINEER, SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS WHICH ARE FOR THIS SITE. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE. ALL SHOP DRAWINGS ARE TO BE REVIEWED AND APPROVED BY THE CONTRACTOR PRIOR TO SUBMITTAL TO THE OWNER'S ENGINEER.
15. AT LEAST FIVE (5) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND APPROPRIATE AGENCIES AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE AND OTHER INFORMATION AS REQUIRED. ANY WORK PERFORMED PRIOR TO NOTIFYING THE ENGINEER, OR WITHOUT AGENCY INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
16. BACKFILL MATERIAL SHALL BE SOLIDLY TAMPED AROUND PIPES IN 6" LAYERS UP TO A LEVEL OF AT LEAST ONE FOOT ABOVE THE TOP OF THE PIPE. IN AREAS TO BE PAVED, BACKFILL SHALL BE COMPACTED TO 100% MAXIMUM DENSITY AS DETERMINED BY A.A.S.H.T.O. T-99.
17. SITE WORK CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 3,000 P.S.I. IN 28 DAYS, UNLESS OTHERWISE NOTED.
18. ALL PRIVATE AND PUBLIC PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. ADDITIONAL COSTS ARE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION IS TO BE ALLOWED.
19. ALL DISTURBED AREAS ARE TO BE SODDED TO FDOT STANDARDS UNLESS OTHERWISE NOTED. AREAS CALLED OUT IN THE PLANS TO BE SEEDDED AND MULCHED, THE FOLLOWING SHALL APPLY:
a) ALL AREAS WITH SLOPES EQUAL TO OR GREATER THAN 4:1 OR WITHIN 2' OF ANY PAVEMENT OR CURB SHALL BE SODDED.
b) ALL AREAS WITHIN 5' OF ANY DRAINAGE STRUCTURE OR WITHIN CITY, COUNTY AND/OR FDOT R.O.W. SHALL BE SODDED.
20. ALL SODDED AND SEEDDED / MULCHED AREAS SHALL BE MAINTAINED UNTIL A SATISFACTORY STAND OF GRASS, ACCEPTABLE TO THE REGULATORY AGENCY AND ENGINEER OF RECORD, ANY WASHOUTS, REGRADING, RESEEDING AND GRASSING WORK, AND OTHER EROSION WORK REQUIRED, WILL BE PERFORMED BY THE CONTRACTOR, UNTIL THE SYSTEM IS ACCEPTED FOR MAINTENANCE BY THE REGULATORY AGENCY AND ENGINEER OF RECORD.
21. ALL SODDING, SEEDING AND MULCHING SHALL INCLUDE WATERING AND FERTILIZATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE AREAS UNTIL THE PROJECT IS COMPLETED AND ACCEPTED BY REGULATORY AGENCIES, THE ENGINEER OF RECORD, AND THE OWNER.
22. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED PLANS AND PERMITS AT THE CONSTRUCTION SITE.
23. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY AT ALL TIMES TO CONTROL FUGITIVE DUST FROM THE CONSTRUCTION SITE. THE CONTRACTOR IS ADVISED THAT THE USE OF A WATER TRUCK OR TRAILER MAY BE REQUIRED FOR THE PURPOSE OF KEEPING THE SOIL MOIST TO CONTROL FUGITIVE DUST.
24. IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATIONS, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORICAL RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND THE LOCAL GOVERNING CITY AND/OR COUNTY DEPARTMENT SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE RESOURCES FOUND ON SITE.
25. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED BY THE CONTRACTOR. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY O.S.H.A. IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
26. ALL REQUIRED TEST REPORTS SHALL BE SUPPLIED BY CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER OF RECORD. THE TESTING COMPANY SHALL SUPPLY THE ENGINEER WITH A COPY OF ALL COMPACTION TESTS AND ASPHALT TESTING RESULTS. THE TESTING COMPANY SHALL CERTIFY TO THE ENGINEER OF RECORD, IN WRITING THAT ALL TESTING REQUIREMENTS REQUIRED BY THE LOCAL REGULATORY AGENCY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.), FOR THE IMPROVEMENTS AS REQUIRED BY THE ENGINEERING CONSTRUCTION DRAWINGS, HAVE BEEN SATISFIED.

GENERAL NOTES

SUN AUTOMOTIVE, INC.
3001 US HIGHWAY 19
HOLIDAY FL 34691-2615

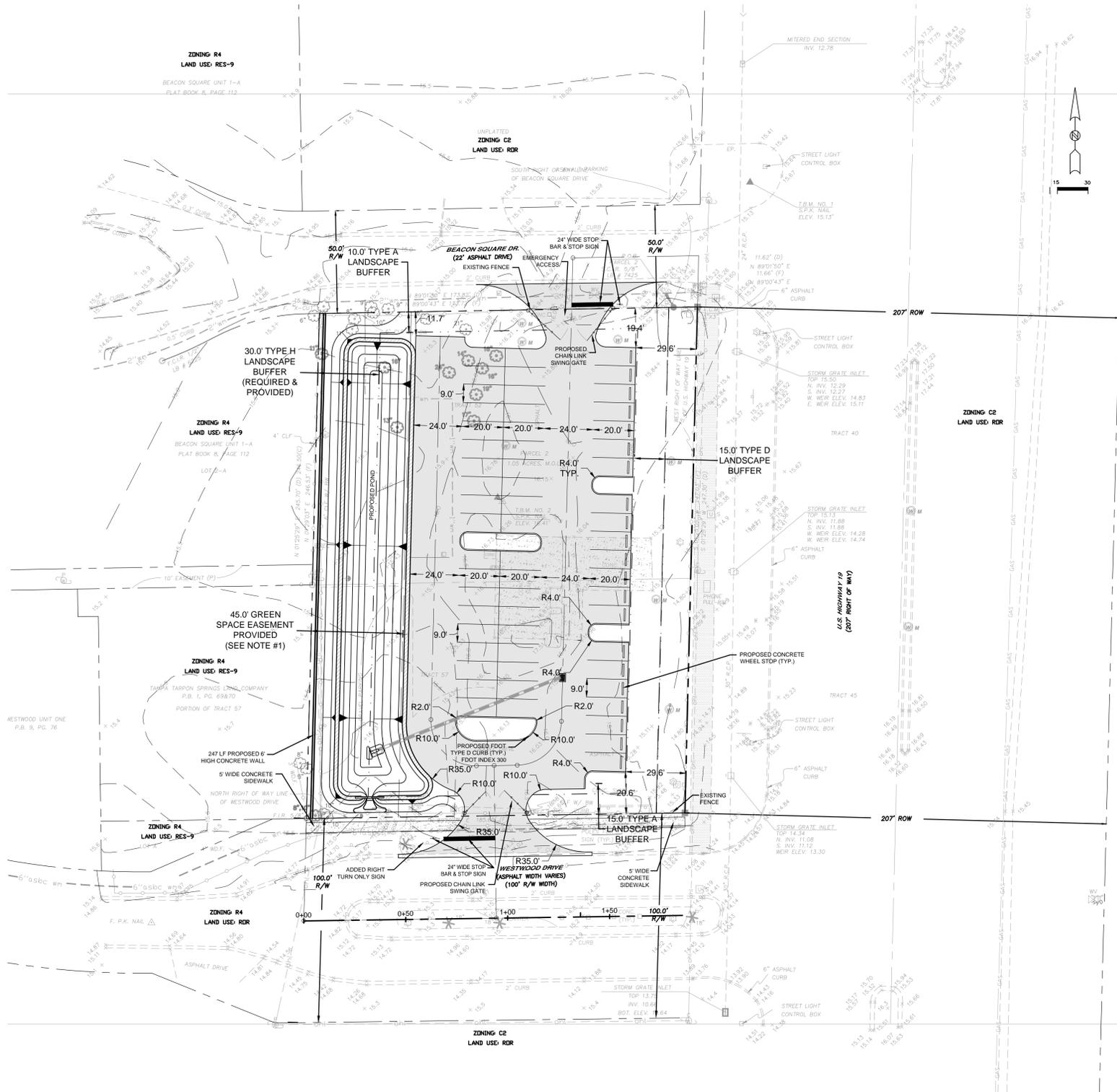
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Table with columns: DATE, REV. BY, REV. NO., REVISION. Includes a date stamp: 05-07-2014

SHEET
C1.0
JOB No.: 14013



PROPOSED LEGEND

- BOUNDARY/RIGHT-OF-WAY
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- ➔ PROPOSED STRIPING
- PROPOSED EASEMENT
- PROPOSED SETBACK LINE
- ▨ PROPOSED CONCRETE PAVEMENT
- ▨ PROPOSED ASPHALT PAVEMENT
- ▨ PROPOSED LANDSCAPE BUFFER
- ▨ PROPOSED GRASS/LANDSCAPE AREA

EXISTING SURVEY LEGEND & ABBREVIATIONS

- CONC. LIGHT POLE
- ⊖ ELECTRIC RECEPTACLE
- ⊙ GUY ANCHOR
- ⊙ MITERED END SECTION
- OAK TREE - DIAMETER
- STORM GRATE INLET
- ⊖ MULTI TRAFFIC SIGN
- ⊖ SINGLE TRAFFIC SIGN
- STEEL LIGHT POLE
- SANITARY MANHOLE
- WOOD COMBO POLE
- WOOD LIGHT POLE
- WATER METER
- WOOD POWER POLE
- WATER VALVE
- WATER MONITORING WELL
- UNDERGROUND SANITARY MARKER
- UNDERGROUND ELECTRIC
- FIRE HYDRANT
- WATER METER
- UNDERGROUND PHONE MARKER
- FOUND CONCRETE MONUMENT
- FOUND IRON ROD
- FIELD MEASUREMENT
- DEED MEASUREMENT
- CALCULATED MEASUREMENT
- CONC. CONCRETE
- EP EDGE OF PAVEMENT
- LB LICENSED BUSINESS
- CLF CHAIN LINK FENCE
- BW BARBED WIRE FENCE
- WD.F. WOOD FENCE
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- TYP. TYPICAL
- M.O.L. MORE OR LESS
- INV. INVERT
- ELEV. ELEVATION
- OHW OVERHEAD WIRE

LEGAL DESCRIPTION: (AS FURNISHED)

PARCEL 2:
 A PORTION OF TRACTS 40,45,52 & 57, TAMPA TARPON SPRINGS LAND COMPANY SUBDIVISION AS RECORDED IN SECTION 19, TOWNSHIP 26 SOUTH, RANGE 16 EAST, AS RECORDED IN PLAT BOOK 1, PAGES 68-70 IN THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF SECTION 19, TOWNSHIP 26 SOUTH, RANGE 16 EAST, FLORIDA; THENCE SOUTH 00°29'30" WEST, ALONG THE EAST BOUNDARY OF THE SOUTHWEST 1/4 OF SECTION 19 A DISTANCE OF 1172.75 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE SOUTH RIGHT OF WAY BOUNDARY OF BEACON SQUARE DRIVE; THENCE NORTH 89°01'50" EAST, ALONG THE AFORESAID SOUTH RIGHT OF WAY BOUNDARY OF BEACON SQUARE DRIVE A DISTANCE OF 11.62 FEET TO THE INTERSECTION OF THE WEST RIGHT OF WAY BOUNDARY OF U.S. HIGHWAY NO. 19; THENCE S. 01°25'29" W., ALONG SAID WEST RIGHT OF WAY BOUNDARY A DISTANCE OF 247.30 FEET TO THE INTERSECTION OF THE NORTH RIGHT OF WAY OF WESTWOOD DRIVE; THENCE SOUTH 89°17'50" WEST, ALONG SAID NORTH RIGHT OF WAY BOUNDARY A DISTANCE OF 185.44 FEET; THENCE NORTH 01°25'29" EAST, A DISTANCE OF 245.70 FEET (246.50 FEET) TO THE AFORESAID SOUTH RIGHT OF WAY BOUNDARY OF BEACON SQUARE DRIVE; THENCE NORTH 89°01'50" EAST, ALONG SAID SOUTH RIGHT OF WAY BOUNDARY A DISTANCE OF 173.82 FEET TO THE POINT OF BEGINNING.

SITE DATA NOTES:

1. A VARIANCE REQUEST WAS APPROVED BY THE PASCO COUNTY DEVELOPMENT REVIEW COMMITTEE ON OCTOBER 11, 2007 TO ALLOW A 30 FOOT GREEN SPACE ENCROACHMENT CONDITIONS UNDER DR-08-002.
2. THERE IS A PROPOSED ALTERNATIVE STANDARD APPLICATION FOR THIS DEVELOPMENT SITE.
3. PROPOSED DEVELOPMENT TO BE COMPLETED IN SINGLE PHASE
4. A 14.0' WIDE SECTION OF THE DEVELOPMENT SHALL BE LOCATED WITHIN THE TRANSPORTATION PRESERVATION CORRIDOR. THE TRANSPORTATION PRESERVATION REQUIREMENT WILL BE MET BY THE DEVELOPER.
5. THERE ARE NO WELLHEAD PROTECTION AREAS (WPA) OR SPECIAL PROTECTION AREA (SPA) WITHIN 1,000 FEET OF THE PROPOSED DEVELOPMENT AREA.
6. EXISTING EASEMENTS ARE SHOWN ON THE CONSTRUCTION PLANS AND THE EXISTING EASEMENT TABLE ON THIS SHEET.
7. THERE ARE NO EXISTING STRUCTURES WITHIN THE PROPOSED DEVELOPMENT SITE.
8. THERE ARE NO KNOWN HISTORICAL RESOURCES IDENTIFIED BY THE PASCO COUNTY COMPREHENSIVE PLAN IN THE PROPOSED DEVELOPMENT SITE.
9. THERE ARE NO CATEGORY 1, 2, OR 3 WETLAND AREAS LOCATED WITHIN THE PROPOSED DEVELOPMENT.
10. THERE ARE NO PROPOSED STREETS IN THE PROPOSED DEVELOPMENT.
11. THERE ARE NO PROPOSED EASEMENTS WITHIN THE PROPOSED DEVELOPMENT SITE.
12. THERE ARE EXISTING TREES WITHIN THE PROPOSED DEVELOPMENT SITE.
13. UPON PRELIMINARY/CONSTRUCTION PLAN APPROVAL BY THE PASCO COUNTY DEVELOPMENT REVIEW COMMITTEE RIGHT-OF-WAY USE APPLICATIONS WILL BE FILED AS NEEDED.
14. THE PROPOSED DEVELOPMENT IS NOT IDENTIFIED AS AN AREA KNOWN ENDANGERED AND THREATENED SPECIES AS SHOWN ON MAPS 3-1a, 3-1b OR 3-1c IN THE PASCO COUNTY COMPREHENSIVE PLAN, THEREFOR AN ENVIRONMENTAL/WILDLIFE HABITAT STUDY WAS NOT PROVIDED.
15. THE PROPOSED DEVELOPMENT IS LOCATED IN THE U.S. 19 CONCURRENCY ZONE.
16. A NEIGHBORHOOD PARK IS NOT REQUIRED OR PROPOSED PER PASCO COUNTY LDC.
17. THE PROPOSAL DEVELOPMENT DOES NOT QUALIFY UNDER THE REQUIREMENTS OF THE LARGE-SCALE COMMERCIAL DESIGN STANDARD PER PASCO COUNTY LDC.
18. THE IRRIGATION WATER WILL BE SUPPLIED BY AN EXISTING POTABLE WATER SERVICE ON THE NORTH PROPERTY LINE.
19. THE FIRE PROTECTION FOR THE PROPOSED DEVELOPMENT WILL BE BY FIRE HYDRANT

SITE DATA

PROPERTY LOCATION: West side of U.S. 19 between Beacon Square Drive (to the north) and Westwood Drive (to the south).
PROPERTY IDENTIFICATION NUMBER(S): 19-26-16-0010-05700-0010
ZONING CLASSIFICATION: C2, General Commercial District
FUTURE LAND USE CLASSIFICATION: ROR, Retail/Office/Residential
EXISTING PROPERTY USE/PROPOSED PROPERTY USE: Vacant/Parking lot for vehicle display
NUMBER OF PROPOSED LOTS: 1
ZONING/CONDITIONAL USE/SPECIAL EXCEPTIONS HISTORY TABLE
 PETITION No. DATE REQUEST ACTION
 ORIGINAL NOVEMBER 1975 N/A N/A
MINIMUM REQUIREMENTS:
 MINIMUM LOT AREA: 15,000 S.F. (0.34 AC.)
 MINIMUM LOT WIDTH: 90 FEET
 MINIMUM FRONT SETBACK 25 FEET
 MINIMUM SIDE SETBACK 20 FEET
 MINIMUM REAR SETBACK 30 FEET
 MAXIMUM LOT COVERAGE 50%
 MAXIMUM BUILDING HEIGHT 60 FEET
PROVIDED:
 LOT AREA: 45,743 S.F. (1.05 AC.)
 LOT WIDTH: 247 FEET
 FRONT SETBACK 25 FEET
 SIDE SETBACK 20 FEET
 REAR SETBACK 30 FEET
 LOT COVERAGE N/A
 BUILDING HEIGHT N/A
PARKING SPACES
 REQUIRED: VEHICLE DISPLAY
 PROVIDED: 9'x20'=59 SPACES

PROJECT INFORMATION:

TOTAL AREA=1.05 Acres
 TOTAL DEVELOPABLE AREA= 1.05 ACRES

EXISTING SITE INFORMATION:

ASPHALT	11,937 S.F.	0.27 AC. (26%)
CONCRETE	3,181 S.F.	0.07 AC. (7%)
GRAVEL/STONE	14,709 S.F.	0.34 AC. (32%)
TOTAL IMPERVIOUS SURFACES	29,827 S.F.	0.68 AC. (65%)
TOTAL POND	0 S.F.	
TOTAL PERVIOUS SURFACES	15,916 S.F.	0.37 AC. (35%)

PROPOSED SITE INFORMATION:

ASPHALT	23,522 S.F.	0.54 AC. (51%)
TOTAL IMPERVIOUS SURFACES	23,522 S.F.	0.54 AC. (51%)
TOTAL POND	3,725 S.F.	0.09 AC. (9%)
TOTAL PERVIOUS SURFACES	18,295 S.F.	0.42 AC. (40%)

EXISTING WETLAND AREA TABLE:

CLASS	SIZE
NONE	

EXISTING VEGETATION - GRASS & TREES

EXISTING SOILS - USDA SOIL SURVEY OF PASCO COUNTY INDICATES:
 #15- Tavares-Urban Land complex: 0 to 5% Slopes
 #38- Urban Land

FIRE DISTRICT M.S.T.U. **FIRE PREVENTION:** Proposed Fire Hydrants

FLOOD ZONE: Zone C & B FEMA Community Panel No. 120230 0353 C
 Revised: March 15, 1984

EXISTING STREET TABLE

STREET NAME	TYPE	R/W WIDTH	PAVEMENT
U.S. 19	Arterial	Varies	Varies
Beacon Square Drive	Type 1	Varies	22'
Westwood Drive	Type 3	Varies	Varies

PROPOSED STREET TABLE

STREET NAME	TYPE	R/W WIDTH	PAVEMENT
Not Applicable			

EXISTING STRUCTURE TABLE

DESCRIPTION	SIZE
None	

EXISTING EASEMENT TABLE

DESCRIPTION	SIZE
Power Corp	N/A
Ingress/Egress	N/A

PROPOSED EASEMENT TABLE

DESCRIPTION	USE	WIDTH	AREA
None			

TRANSPORTATION PRESERVATION CORRIDOR TABLE

STREET NAME	URBAN/RURAL	BUILD UNIT LANES	PROPOSED CORRIDOR WIDTH	EXISTING CORRIDOR WIDTH
U.S Highway	URBAN	6	235	207

PRELIMINARY SITE PLAN
 SUN AUTOMOTIVE, INC.
 3001 US HIGHWAY 19
 HOLIDAY FL 34691-2615

PAUL A. MANUEL, P.E.
 P.E. #15424

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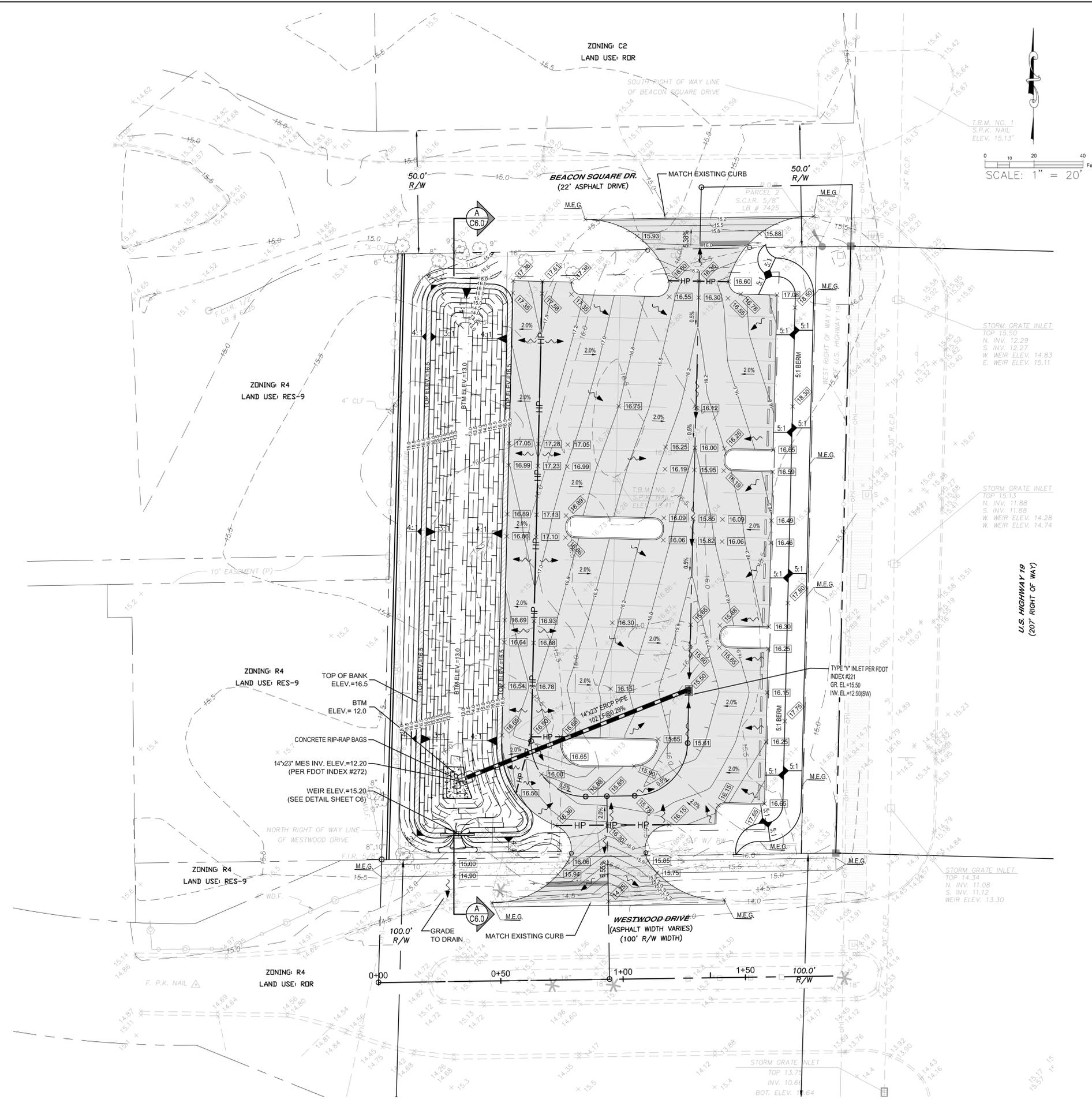
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DATE	REV. BY	REV. NO.	REVISION

DESIGNED BY: P.A.M. | DRAWN BY: A.L.G.
 SHEET
C3.0
 DATE: 05-07-2014
 JOB No.: 14013

Res: C:\CD\Projects\14013 SunTanya Overlaid Parking\Drawings\Construction\14013_C3_Preliminary Site Plan.dwg, Jun 06, 2014 @ 12:05pm - ACivil

P:\GIS\CD\Projects\1013 SunTroya Overhead Paving\Drawings\Construction\1013_C5_Paving Grading & Drainage.dwg - Jun 10, 2014 8:52am - A\dmh



LEGEND

- BOUNDARY/RIGHT-OF-WAY
- PROPOSED EDGE OF PAVEMENT
- PROPOSED CURB
- ➔ PROPOSED STRIPING
- - - PROPOSED EASEMENT
- - - PROPOSED SETBACK LINE
- ▨ PROPOSED ASPHALT PAVEMENT
- ▨ PROPOSED LANDSCAPE BUFFER
- ▨ PROPOSED GRASS AREA
- PROPOSED STORM DRAINAGE STRUCTURES
- + 16.00 PROPOSED GRADE ELEVATION
- + 16.00 T.S. PROPOSED GRADE TOP OF SWALE ELEVATION
- 17.50 / 17.00 PROPOSED GRADE ELEVATION TOP OF CURB
PROPOSED GRADE ELEVATION BOTTOM OF CURB
- HP — HP — PROPOSED HIGH POINT
- MEG MATCH EXISTING GRADE ELEVATION
- ➔ PROPOSED STORMWATER CHANNELIZED FLOW DIRECTION
- ➔ PROPOSED STORMWATER SURFACE RUNOFF DIRECTION

PASCO COUNTY GRADING AND DRAINAGE NOTES:

1. ON-SITE RUNOFF IS DESIGNED TO CONVEY RUNOFF TO THE ON-SITE DRAINAGE RETENTION AREAS.
2. ON-SITE DRAINAGE HAS BEEN DESIGNED TO ATTENUATE THE PRECONDITION RUNOFF FROM THE PROJECT SITE AND SHALL NOT ADVERSELY EFFECT THE ADJACENT PROPERTIES. OFF-SITE DRAINAGE THAT FLOWED ONSITE IN THE PRECONDITION SHALL NOT BE IMPEDED BY THE CONSTRUCTION OF THE ON-SITE IMPROVEMENTS.
3. IT IS THE OWNER OF THE SITE THAT IS RESPONSIBLE TO INSPECT AND MAINTAIN THE STORMWATER MANAGEMENT SYSTEM ON A REGULAR BASIS.
4. NO ON-SITE BURNING IS ALLOWED WITHOUT PRIOR APPROVAL FROM THE PASCO COUNTY FIRE MARSHALL.
5. CUT = 1,382 CY; FILL = 824 CY
6. ALL FIRST FLOOR ELEVATIONS (FF) SHALL BE A MINIMUM OF 1' ABOVE THE BASE FLOOR ELEVATION OR AS REQUIRED BY THE LDC SECTION 701.

PAVING, GRADING & DRAINAGE PLAN

SUN AUTOMOTIVE, INC.
3001 US HIGHWAY 19
HOLIDAY FL 34691-2615

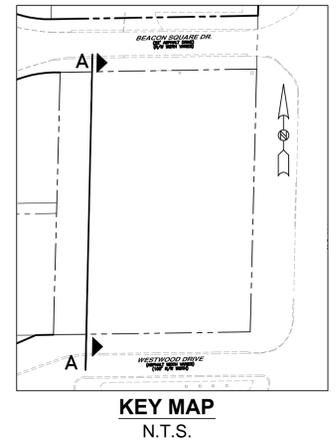
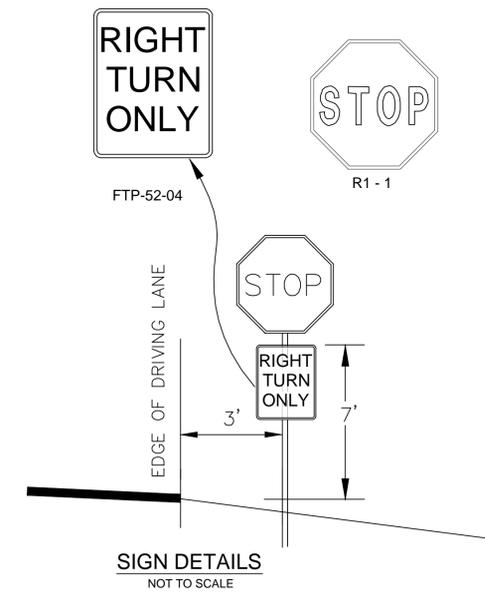
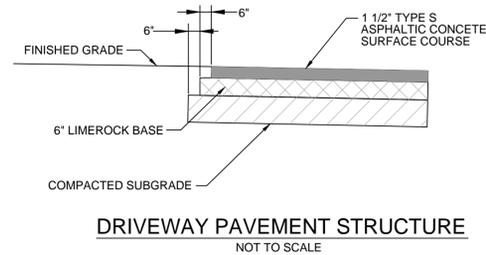
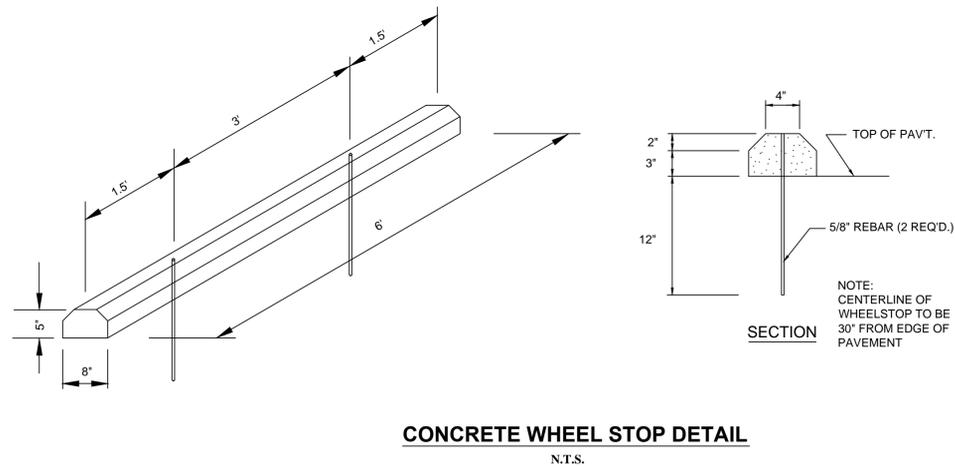
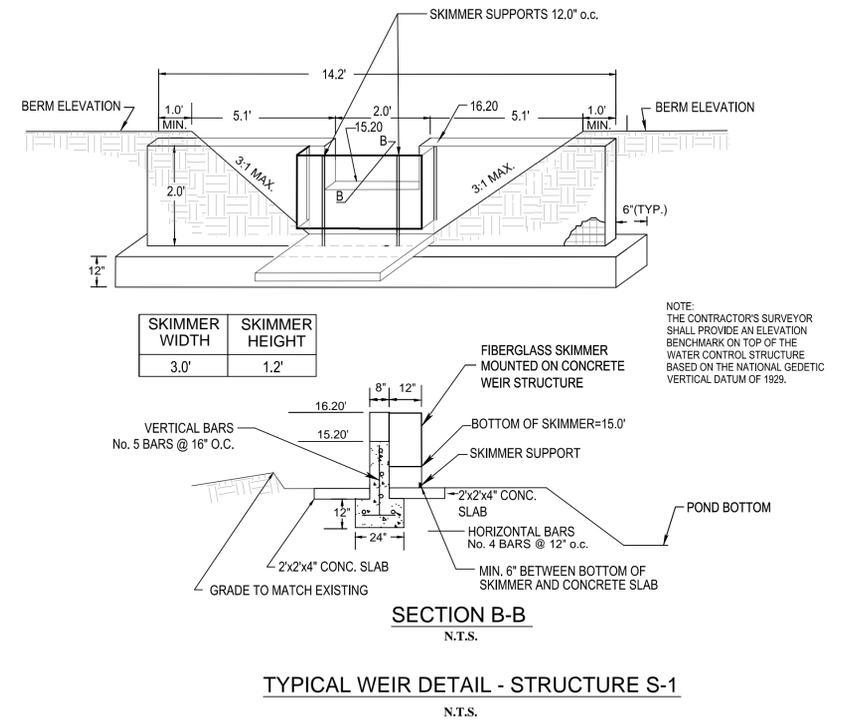
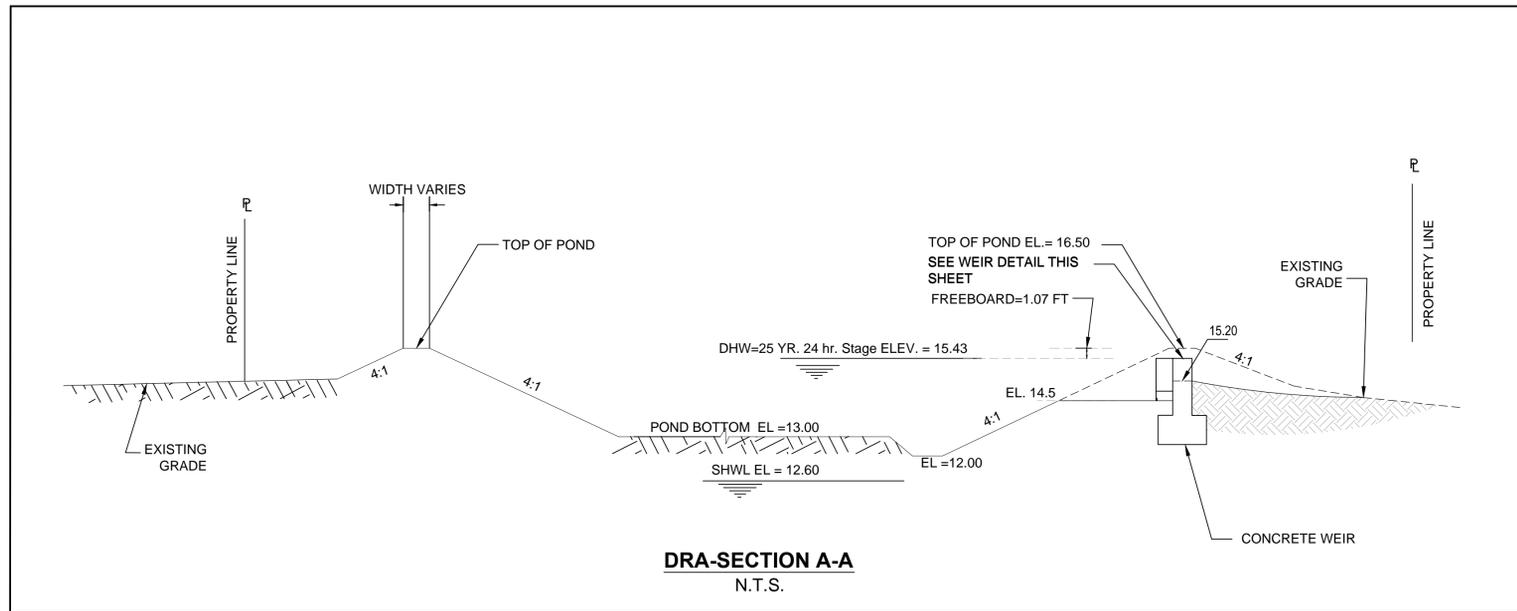
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DATE	REV. BY	REV. NO.	REVISION

Designed By: P.A.M. | Drawn By: A.L.G.
 DATE: 05-07-2014
SHEET
C5.0
 JOB No.: 14013



CIVIL DETAILS

SUN AUTOMOTIVE, INC.
3001 US HIGHWAY 19
HOLIDAY FL 34691-2615

PAUL A. MANUEL, P.E.
P.E. #51424

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Designed By: P.A.M. | Drawn By: A.L.G.
DATE: 05-07-2014

SHEET
C6.0
JOB No.: 14013

STORM WATER POLLUTION PREVENTION PLAN

The SWPPP shall be completed prior to the submittal of the Notice of Intent (NOI) to be covered under the FDEP Generic Permit for Storm water Discharge from Large and Small Construction Activities.

The SWPPP shall be amended whenever there is a change in design, construction, operation, or maintenance, which has a significant effect on the potential for discharge of pollutants to surface waters of the state or Municipal Separate Storm Sewer System (MS4). The SWPPP also shall be amended if it proves to be ineffective in significantly reducing pollutants from sources identified in Part V.D.1. of the permit or to indicate any new contractor and/or subcontractor that will implement any measure of the SWPPP. All amendments shall be signed, dated, and kept as attachments to the original SWPPP. These amendments shall consider, but are not limited to, turbidity control methods by authorized personnel. The contractor may select authorized personnel to control turbidity throughout this project including ponds, by alum treatment, or a recommended alternative.

1. PROJECT NAME AND LOCATION
SUNTOYOTA PREOWNED VEHICLE CENTER; SECTION 19, TOWNSHIP 26 SOUTH, RANGE 19 EAST

2. SITE DESCRIPTION

- a. The proposed project will consist of, a pre-owned vehicle display area that consists of Construction of fifty-nine (59) parking spaces.
- b. The contractor shall follow the recommended sequence of major activities described below, unless the contractor proposed a different sequence that is equal or better at controlling erosion and trapping sediment and is approved by the engineer.
- c. For each construction phase, install perimeter controls after clearing and grubbing necessary for installation of controls but before beginning other work for the construction phase. Remove perimeter controls only after all upstream areas are stabilized.

RECOMMENDED CONSTRUCTION SEQUENCE

1. Install sediment control measures, silt fence and hay bales.
2. Clearing and grubbing & earthwork for drainage retention pond, and offsite sewer construction.
3. Construct and stabilize offsite drainage retention ponds offsite stormsewer connection system for downstream sediment collection.
4. Clearing and grubbing ROW.
5. Storm sewer construction. Construct the storm drain pipe in the upstream direction.
6. Earthwork associated with roadways, and construction of curb and gutter, subgrade, base, pavement and sidewalk.
7. Remove erosion control measures prior to demobilization.

- d. Total area of the site (Acres): 1.05 AC.
- e. Total area of the site to be disturbed (Acres): 1.05 AC.
- f. The soils survey is included in the master drainage report. The results of the soil borings done in the ponds are located in the geotechnical report found within the master drainage report.
Runoff coefficients:
Before: C = 69.0
During: C = (Between 69.0 and 84.0)
After: C = 84.0
- g. Estimated drainage area size for each discharge point (Acres): Basin 1= 1.05 Ac.

h. Site Map:

- The construction plans are being used as the site maps. The location of the required information is described below. The sheet numbers for the plan sheets referenced are identified on the Cover Sheet of the construction plans.
- **Drainage Patterns:**
Pre-Basin 1 of 1.05 Ac has an existing high point that runs north to south down the center of the site from this high point runoff flows west into the existing DOT inlets and northwest to an low point. Post-Basin 1 of 1.05 Ac. has an high point down the center of the site. Run-off from this high point flows west end east. The eastward flow enters a swale which the directs runoff in DRA1 the rainfall that flows westward enters DRA1 directly. During the 25 Yr.-24 HR storm event the pond stages and discharges through a weir on the north en of the DRA.
 - **Areas of soil disturbance:**
The areas to be disturbed are indicated on Sheet C5, the Demolition and Tree Protection plan, any area where permanent features are shown to be constructed above or below ground will be disturbed.
 - **Locations of Temporary Controls:**
Silt fence and tracking construction entrance pad are located on this sheet.
 - **Areas to be stabilized:**
Temporary stabilization practices are shown in the same location as the temporary control mentioned above. Permanent stabilization is shown on sheet C6 Details.
 - **Surface Waters and Wetland Impacts:**
There are no surface waters or wetlands within these project limits.
 - **Areas not to be disturbed:**
All areas off-site and any area onsite about outside the approximate limits of construction shown on sheet C5 Demolition and Tree Protection plan shall not be disturbed.

3. CONTROLS

Description of appropriate controls, BMPs, and measures for each activity listed in Item 2b as well as time frames in which controls will be implemented:

Shall be installed prior to clearing and grubbing. Permanent control shall be installed at the beginning of construction and completed no later than the initial certificate of occupancy.

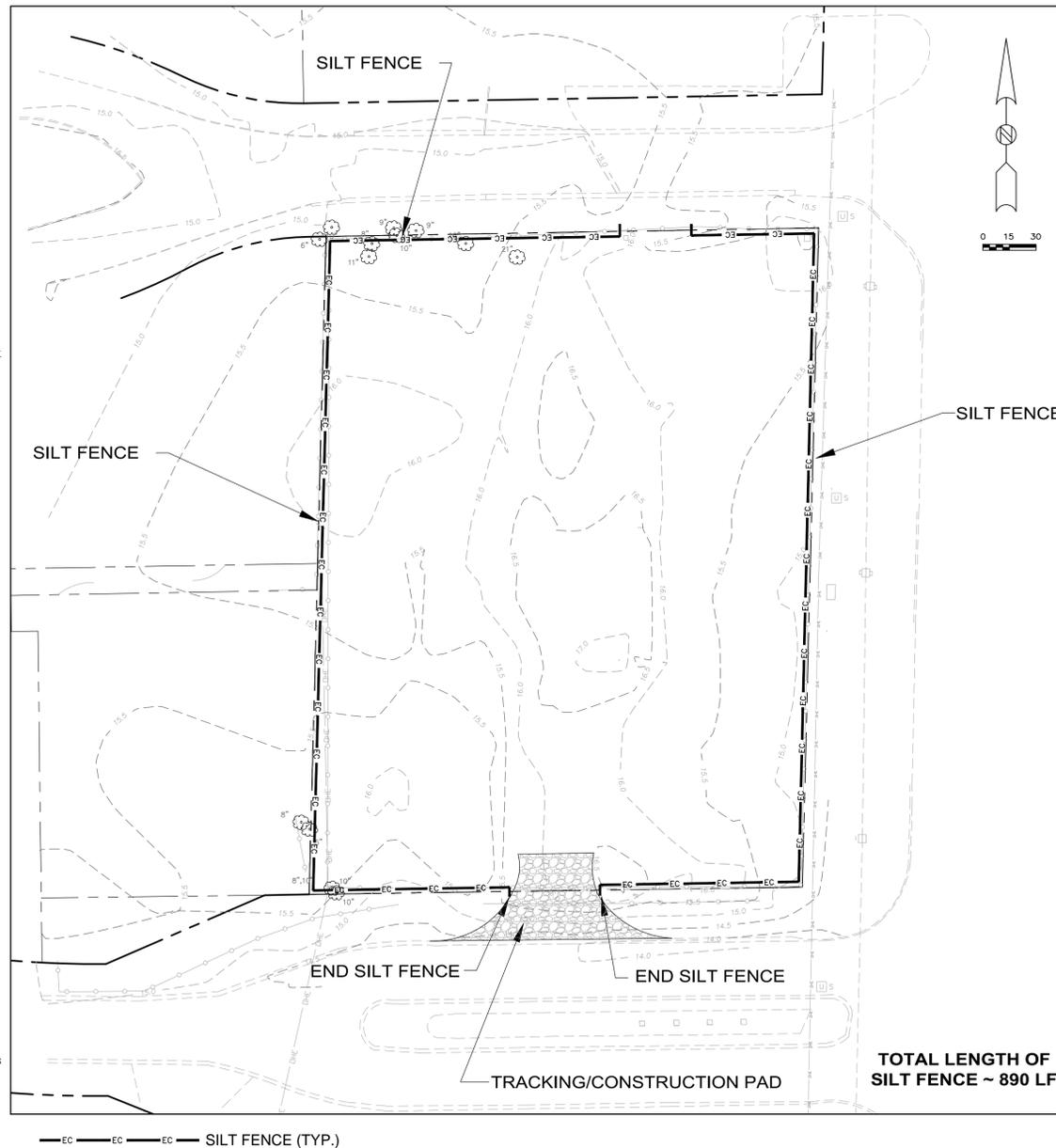
The following discussion defines general guidelines for the sequence of construction and the use of stabilization and structural practices. The contractor is also responsible for maintaining field records of their SWPPP activities.

- a. Temporary and permanent stabilization practices: During construction, the contractor will provide temporary stabilization as soon as practical, but in no case shall the time be greater than seven calendar days after the construction activity has temporarily or permanently ceased, for areas which have been cleared and not reworked. The entire disturbed portion of the project will be stabilized upon completion.
Stabilization practices to be implemented are included in the Construction Plans and include:
 - Temporary sodding: Graded areas on slopes where potential runoff will occur.
 - Temporary grassing: All open areas which are not sodded.
 - Permanent planting, sodding and seeding: As shown & described within construction plans.
- b. Structural controls intended to divert, store, retain or otherwise limit storm water flow: Structural controls shall be installed prior to any earthwork or construction activity. Controls to be implemented are noted in the Construction Plans and include:
 - Silt Fence: Silt fence shall be used along the length of the project as well as around wetlands or other surface waters where the existing ground slopes away from the project or where there is potential for sediment to be directed offsite. Stockpile areas shall include silt fence around the perimeter. Silt fence locations are shown in the Construction Plans and shall be installed in accordance with F.D.O.T. Index 102.
 - Hay Bales: Hay bales shall be placed along the downstream portion of any critical runoff area where flow velocity and sediment build up is increased. Hay bale locations are shown in the Construction Plans and shall be installed in accordance with F.D.O.T. Index 102.

- c. Temporary or permanent sediment basins for areas disturbing 10 acres or more at one time:
N/A
- d. Permanent storm water management controls to be installed during construction process:
Concrete Flume and Weir.
- e. Potential pollutant controls:
 - 1) Waste disposal: The contractor is responsible for maintaining field records of their SWPPP activities.
The contractor will provide litter control and collection within the project boundaries during construction activities. All fertilizer, hydrocarbon, or other chemical containers shall be disposed of by the contractor according to EPA's standard practices as detailed by the manufacturer. No solid materials including building and construction materials shall be discharged to wetlands or buried on site.
 - 2) Offsite vehicle tracking: The contractor is responsible for maintaining field records of their SWPPP activities.
The Contractor may, at their sole discretion, select a control by the following methods:
 - Loaded haul trucks to be covered by a tarpaulin
 - Excess dirt on road shall be removed daily. The contractor will provide pollution control by implementing dust control with water application during the dust generating activities such as excavation and milling operations.
 - 3) Application rates of herbicides/pesticides used at construction site: The contractor is responsible for maintaining field records of their SWPPP activities.
 - 4) Storage, application, generation, migration of all toxic substances: The contractor is responsible for maintaining field records of their SWPPP activities.
 - 5) Other: The contractor is responsible for maintaining field records of their SWPPP activities.
- f. Sources of non-stormwater discharges: The contractor is responsible for maintaining field records of their SWPPP activities. All dewatering discharges shall have some form of sediment removal prior to offsite discharge; gravel, grass, haybales, filter fabric, etc...

4. MAINTENANCE PLAN FOR ALL CONTROLS:

The contractor is responsible for maintaining field records of their SWPPP activities.
The contractor will be responsible for daily inspection and maintenance of all erosion control devices throughout the construction phase of the project as well as removal of erosion and sediment control devices when no longer necessary.
The following practices will be used to maintain erosion and sediment controls:
The contractor shall maintain rain gauges on the project site and record daily rainfall.



All control measures will be maintained daily by the contractor. All devices will be maintained in good working order. If a repair is necessary, it will be initiated within a 24 hours of the inspection.
Structural Practices Controls: Built-up sediment will be removed from silt fence when it has reached 1/3 the height of the fence. A proposed replacement interval is 1 year.
Temporary and permanent seeding will be inspected for bare spots, washouts, and healthy growth.
Hay bales shall be replaced when they have served their usefulness so as not to block or impede storm flow or drainage. A proposed replacement interval is 3 months.

5. INSPECTION AND DOCUMENTATION PROCEDURES:

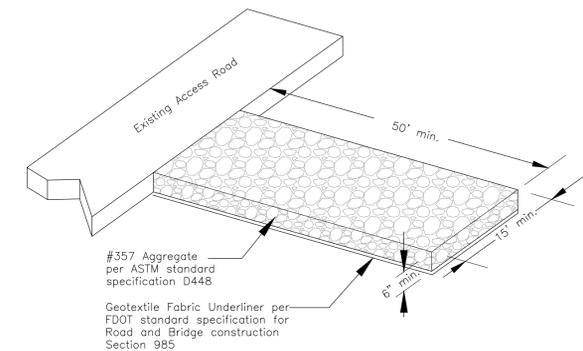
The Contractor shall be responsible for completing the weekly inspection report forms during the project period prior to final stabilization
Additional inspection and documentation must be completed within 24 hours after any 0.25-inch rainfall event. It is the Contractor's responsibility to maintain rain gauges on the project site and record daily rainfall.
The contractor shall submit copies of these reports to the owner or authorized representatives prior to final payment for work shown within these plans.
The permittee shall retain a copy of the stormwater pollution prevention plan and all reports, records and documentation required by this permit at the construction site, or an appropriate alternative location as specified in the NOI, from the date of project initiation to the date of final stabilization. The permittee shall retain a copies of the stormwater pollution prevention plans and all reports required by this permit, and records of all data used to complete the Notice of Intent to be covered by this for a period of at least three years from the date that the site is finally stabilized.
The following items need to be inspected:
- points of discharge to waters of the United States.
- points of discharge to municipal separate storm sewer systems.
- disturbed areas of the site that have not been stabilized.
- areas used for storage of materials that are exposed to precipitation.
- structural controls.
- storm water management controls.
- locations where vehicles enter and exit the site.

The Contractor shall initiate repairs within 24 hours of inspections that indicate items are not in good working order. If inspections indicate that the installed stabilization and structural practices are not sufficient to minimize erosion, retain sediment, and prevent discharging pollutants, the Contractor shall provide additional measures as approved by the Engineer.

All contractors or subcontractors that will implement each measure must accept the following terms/certification:

"I certify under penalty of law that I understand and shall comply with, the terms and conditions of the State of Florida Generic Permit for Storm water Discharge from Large and Small Construction Activities and this Storm water Pollution Prevention Plan prepared thereunder."

_____	SIGN NAME (CONTRACTOR)	_____	SIGN NAME (SUBCONTRACTOR)
_____	PRINT NAME (CONTRACTOR)	_____	PRINT NAME (SUBCONTRACTOR)
_____	SIGN NAME (SUBCONTRACTOR)	_____	SIGN NAME (SUBCONTRACTOR)
_____	PRINT NAME (SUBCONTRACTOR)	_____	PRINT NAME (SUBCONTRACTOR)
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_____	PRINT NAME (SUBCONTRACTOR)	_____	PRINT NAME (SUBCONTRACTOR)



DESIGNED BY: P.A.M. | DRAWN BY: A.L.G.
DATE: _____
REVISION: _____
DATE: 05-07-2014

_____ SIGN NAME (OWNER/DEVELOPER)
_____ PRINT NAME (OWNER/DEVELOPER)

STORM WATER POLLUTION PREVENTION PLAN

SUN AUTOMOTIVE, INC.
3001 US HIGHWAY 19
HOLIDAY FL 34691-2615

PAULA MANUEL P.E.
P.E.# 519424

COASTAL
DESIGN CONSULTANTS
PLANNING ENGINEERING CONSTRUCTION ADMINISTRATION
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DATE	REV. BY	REV. NO.	REVISION

SHEET
D3.0

JOB No. 14013

PASCO COUNTY GENERAL REQUIREMENTS

EXISTING TREES TO BE REMOVED
 Live Oaks = 24" at 1:1 replacement ratio = 24" Required Replacement
 Turkey Oaks = 16", 14", 16", 16", 17", 19" at 3:1 replacement ratio = 32.6"
 TOTAL TREE REPLACEMENT REQUIRED = 24" + 32.6" = 56.6"

TREE REPLACEMENT PROVIDED = 44" + 30" = 74" Total Replacement Provided

22 Trees at 2" Caliper = 44" Replacement Provided (3 palms = 1 (2") tree)
 10 Trees at 3" Caliper = 30" Replacement Provided

10% OF VUA AREA TO BE VUA LANDSCAPE AREA
 VUA AREA = 22,896 SF
 VUA LANDSCAPE AREA REQUIRED = 2,289.6 SF
 VUA LANDSCAPE AREA PROVIDED = 2,243 SF

1 TREE PER 200 SF OF REQUIRED VUA LANDSCAPE AREA
 2,289.6 SF / 200 SF = 11.4 = 11 TREES REQUIRED
 11 VUA LANDSCAPE AREA TREES PROVIDED

32 TREES PROVIDED - 7 MINIMUM SPECIES REQUIRED / 1 SPECIES PROVIDED
 11 VUA Landscape Trees + 21 Buffer Trees (3 palms = 1 tree)

50% SHRUBS/GROUNDCOVERS REQUIRED TO BE DROUGHT TOLERANT
 44.8% OF SHRUBS/GROUNDCOVERS PROVIDED ARE DROUGHT TOLERANT

30% SHRUBS/GROUNDCOVERS REQUIRED TO BE NATIVE
 32% SHRUBS/GROUNDCOVERS PROVIDED ARE NATIVE

25% MAXIMUM OF ANY ONE SHRUB/GROUNDCOVER SPECIES
 18% SF MAXIMUM PER ONE PROVIDED SHRUB/GROUNDCOVER SPECIES

GROUNDCOVER PLANT NOTE

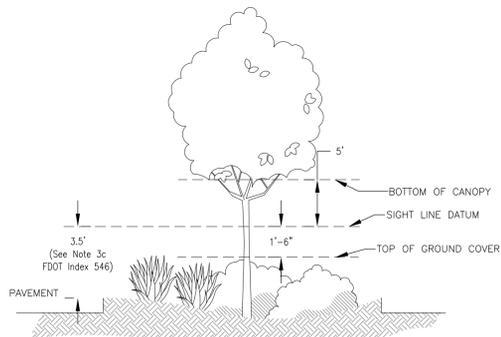
GROUNDCOVER PLANTS SHALL BE SPACED TO PRESENT A FINISHED APPEARANCE AND OBTAIN A REASONABLY COMPLETE COVERAGE WITHIN ONE (1) YEAR.

PASCO COUNTY GENERAL NOTES

SITE TRIANGLE SHALL BE UNOBSTRUCTED AND SHALL BE INSPECTED AND MAINTAINED IN CONFORMANCE WITH FDOT INDEX 546, AS SHOWN BELOW.

LANDSCAPING SHALL BE PLANTED IN SUCH A MANNER AS NOT TO IMPEDE THE ACCESS FOR MAINTENANCE AND STORM-WATER RUN-OFF FLOW TO OR IN A DITCH, SWALE, OR POND.

ALL THE TREES OVERHANG TO THE PUBLIC RIGHT-OF-WAY OR TREES WITHIN THE ROW SHALL BE TRIMMED AND PRUNED TO MAINTAIN A MINIMUM VERTICAL CLEAR HEIGHT OF 8' FROM THE FINISHED GROUND SURFACE OF THE SIDEWALK TO THE BOTTOM OF CANOPY / 16.6' CLEAR HEIGHT ABOVE THE ROADWAY PATHS.

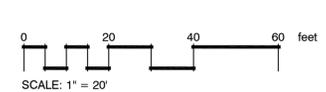
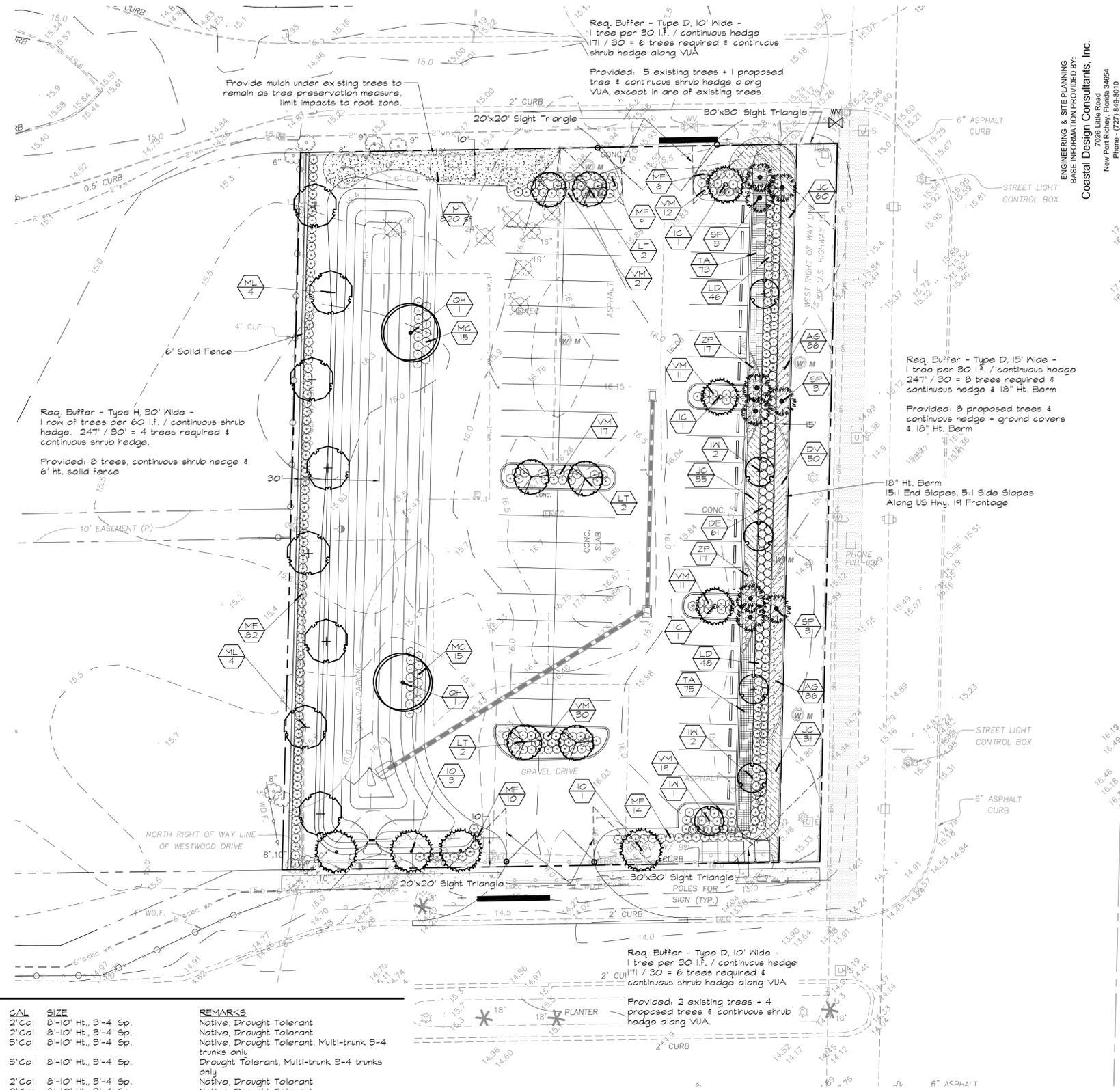


THE INTENT OF THIS STANDARD IS TO PROVIDE A WINDOW WITH VERTICAL LIMITS OF NOT LESS THAN 5' ABOVE AND 1'-6" BELOW THE SIGHT LINE DATUM, AND HORIZONTAL LIMITS DEFINED BY THE LIMITS OF CLEAR SIGHT.

FDOT INDEX 546 CLEAR SIGHT WINDOW

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
IC	3	Ilex cassine	Dahoon Holly	-	2" Cal	8'-10" Ht., 3'-4" Sp.	Native, Drought Tolerant
IO	4	Ilex opaca 'East Palatka'	American Holly	-	2" Cal	8'-10" Ht., 3'-4" Sp.	Native, Drought Tolerant
IX	6	Ilex vomitoria Pendula	Weeping Yaupon	-	3" Cal	8'-10" Ht., 3'-4" Sp.	Native, Drought Tolerant, Multi-trunk 3-4 trunks only
LT	6	Lagerstroemia indica 'Tuskegee'	Tuskegee Grape Myrtle	-	3" Cal	8'-10" Ht., 3'-4" Sp.	Drought Tolerant, Multi-trunk 3-4 trunks only
ML	8	Magnolia grandiflora 'Little Gem'	Dwarf Southern Magnolia	-	2" Cal	8'-10" Ht., 3'-4" Sp.	Native, Drought Tolerant
QH	2	Quercus virginiana 'QV7IA'	Highrise Live Oak	-	2" Cal	8'-10" Ht., 3'-4" Sp.	Native, Drought Tolerant
SP	4	Sabal palmetto	Sabal Palm	-	10' Clear Trunk		Native, Drought Tolerant
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS	
DE	61	Duranta erecta 'Gold Mound'	Gold Mound Duranta	3 gal., 18" Ht. x 18" Sp.	36" o.c.	Native, Drought Tolerant	
LD	94	Loropetalum chinense rubrum 'Ruby'	Ruby Loropetalum	3 gal., 20" Ht. x 20" Sp.	36" o.c.	Drought Tolerant	
MC	30	Muhlenbergia capillaris	Pink Muhly Grass	3 gal., 20" Ht. x 20" Sp.	36" o.c.	Native, Drought Tolerant	
MF	121	Murciandnes fragrans	Simpson's Stopper	3 gal., 20" Ht. x 20" Sp.	36" o.c.	Native, Drought Tolerant	
VM	121	Viburnum opavatum Mrs. Schiller's Delight	Dwf. Walter's Viburnum	3 gal., 14" Ht. x 14" Sp.	36" o.c.	Native, Drought Tolerant	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS	
AG	172	Arachis glabrata-Rhizoma	Perennial Peanut Grand Reserve	12"x18", 1 gal.	20" o.c.	Native, Drought Tolerant, Rode Groundcovers	
DV	50	Diets vegeta	African Iris	12"x18", 1 gal.	24" o.c.	Native, Drought Tolerant	
JC	126	Juniperus conferta	Shore Juniper	14"x16", 3 gal.	30" o.c.	Drought Tolerant	
TA	148	Trachelospermum asiaticum 'Summer Sunset'	Summer Sunset Dwf. Jasmine	12"x18", 1 gal.	24" o.c.	Drought Tolerant, Rode Groundcovers	
ZP	34	Zamia pumila	Coontie	12"x12", 1 gal.	30" o.c.	Native, Drought Tolerant	
MULCH-TREE PRESERVATION	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS	
M	820 sf	4" Depth Pine Bark Mini-Nuggets					



CONSTRUCTION PLANS ARE NOT VALID UNLESS SIGNED & EMBOSSED WITH LANDSCAPE ARCHITECT'S SEAL

PATRICK D. ROBERSON
 FLORIDA REGISTERED LANDSCAPE ARCHITECT
 NO. LA0001461

LC26000267
 LA0001461

ENGINEERING & SITE PLANNING
 BASE INFORMATION PROVIDED BY:
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 New Port Richey, Florida 34654
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Roberson Resource Group, LLC
 Landscape Architectural Design & Consulting
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 Phone: 727-255-4258 Email: info@RRROnline.net Web: RRROnline.net

Plans Prepared For

Sun Toyota
 3001 US Hwy. 19
 Holiday, Florida 34691
 Phone - (877) 650-6940

Project Title
Sun Toyota Additional Parking Lot
 Pasco County, Florida

Revision
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Date

Project No. 14-012
 Date 06/04/14
 Sheet LA1

Project Title
Sun Toyota Additional Parking Lot
 Pasco County, Florida

Project No. 14-012
 Date 06/04/14
 Sheet LA1

LANDSCAPE GENERAL NOTES

- Permits required by any authority or governing jurisdiction, for any installation or construction work described in the contract documents, shall be obtained by the Contractor. Any applicable fees or financial requirements are to be paid by the Contractor for such permits, unless stipulated specifically in writing by the Owner.
- The Contractor shall comply with all codes, safety requirements, and environmental regulations of federal, state, local and other regulatory agencies that have jurisdiction over the project, without additional cost to the owner. This includes any safety standards of the Occupational Safety and Health Act and amendments. The Owner and Owner's Representative shall be held harmless from any accident, injury or any other incident resulting from compliance or non-compliance with these standards.
- The work included in this Section includes the furnishing of all materials, equipment and labor necessary and incidental to the installation and preparation of planting areas, soil treatment, plants, grassing, protection of existing and proposed plants, hauling and spreading of topsoil, finish grading, removal and / or transplanting of existing plants as indicated, warranty, replacement of plants and / or materials, and related items as required to complete the work as indicated on the plans and fulfilling all warranty provisions, as specified herein.
- The work shall also include the maintenance of all landscape plants and materials, planting areas, and sod / seeded areas until the Final Acceptance by the Owner's Representative. This time period of required maintenance may be extended through the full warranty period, as specified in the contract agreement, until Final Project Acceptance.
- During construction, protect all existing trees, shrubs, and other specified vegetation, site features and improvements, structures, installed elements and utilities specified herein and / or on submitted plans. Removal or destruction of items described above is prohibited unless specifically authorized by the Owner.
- The plant list as shown on the plans is for the Contractor's information only and no guarantee is expressed or implied that quantities shown therein are correct or that the list is complete. The Contractor shall verify that all plant material shown on the drawings are included in the Contractor's bid.
- Substitutions of plant materials will not be permitted unless authorized in writing by the Owner's Representative. Proof is to be submitted in writing from 5 different regional sources that a plant specified is not obtainable. Consideration will be given to the nearest available size or similar variety with a corresponding adjustment of the contract price.
- The Contractor shall review and verify the proposed and existing site elements, including but not limited to, storm drainage, water, sewer, phone, cable and electrical utilities, paving, site grading, buildings, walks, hardscape, and vegetation to preclude any misunderstanding and ensure a trouble free installation.
- Standard dimensions shall govern over scaled dimensions on the plans.
- Plants shall be subject to inspection for conformity to specification requirements and approval by the Owner's Representative at their place of growth, or upon delivery to the site, as determined by the Owner's Representative. Such approval shall not preclude the right of inspection and rejection during any phase of the work. Rejected plant materials shall be immediately removed from the project site and replaced with approved plant materials within seven (7) days or as approved by the Owner's Representative.
- All plants may be selected and tagged by the Owner's Representative at their place of growth. For distance material, photographs may be submitted for pre-inspection review and approval by the Owner's Representative. Pictures shall be clear and contain the full image of the plant material to be reviewed and have a clear indication of size in foot increments for trees and palms and inches for shrubs and groundcovers. The photograph will become the representative sample for that plant type (species and size).
- Submit certificates of inspection, as required by governmental authorities, and manufacturers or vendors certified analysis for soil amendments, herbicides, insecticides and fertilizer materials and any additional data that indicates that the materials comply with specified requirements.
- The Contractor shall conduct a minimum of three (3) soil tests at locations as shown on the plans or determined by the Owner's Representative. The Contractor shall test each location for soil composition (type, strata, pH, soluble salts, and organic content) and sub-surface drainage conditions (percolation rate), as a minimum. Soil testing shall be conducted by an approved soil-testing laboratory. The Contractor shall provide the Owner's Representative with the results of the soil analyses prior to any installations throughout the project. If soil conditions are insufficient for proper plant growth, the Contractor is required to supply recommendations for improving the condition of the soil of each area, to the Owner's Representative for approval. The Contractor shall, at the discretion of the Owner's Representative, proceed with the recommendations for improving the soil conditions.
- Trees designated as Ball and Burlap (B&B) shall be properly dug with firm natural balls of soil retaining as many fibrous roots as possible in sizes and shapes as specified in the most recent edition of the American Standard for Nursery Stock. Balls shall be firmly wrapped with nonsynthetic, rottable burlap and secured with heavy nonsynthetic, rottable twine. Root collar shall be apparent at the surface of the rootball. No trees with loose, broken, or manufactured rootballs will be planted, except with written approval of the Owner's Representative, prior to planting.
- Sabal Palms shall have all frond removed prior to planting, leaving a minimum of twelve (12) inches of new frond growth above the bud. Buds shall be removed from the trunk of sabal palms unless otherwise specified by the Owner's Representative. Remove only a minimum number of fronds on other palm species to facilitate the handling of the plant material. Do not damage the buds of any palms and take necessary care to protect the bud during digging, handling, transportation and installation.
- During transportation of plant material, the Contractor shall exercise care to prevent injury and drying out of the trees. Should the roots be dried out, large branches broken, rootball damage, or areas of torn bark, the Owner's Representative may reject the injured plant material and require replacement of the rejected material at no additional cost to the Owner.
- Plant material that is stored improperly shall receive a special review of acceptance or rejection, established on a case by case basis.
- The Contractor shall protect existing pavement, buildings, walks, curbing, walls, hardscape elements, utilities and planting materials (trees, shrubs, ground covers, etc.) which are not designated for removal on the plans from damage.
- The Contractor shall request the proper utility company to stake the exact location of all underground lines including but not limited to electric, gas, cable and/or telephone service prior to layout and excavating of any planting area. The Contractor shall contact Sunshine State One-Call of Florida, Inc. (SSOCOF) at 1-800-432-4770. Per SSOCOF, the calls shall be made a minimum of two days and a maximum of five days before beginning construction operations.
- Not all utilities are members of the Sunshine State One-Call system and direct contact shall be taken as necessary.
- The Contractor shall be responsible for the preservation and protection of all site conditions to remain from damage due to this work. In the event damage does occur, all damage shall be completely repaired to its original condition. All the costs of such work shall be charged to and paid by the Contractor.
- The Contractor shall thoroughly examine the project site, including sub-surface soil conditions, existing and proposed elevations and general conditions under which the work is to be performed. The Contractor shall notify in writing of any conflicts or unsatisfactory conditions discovered, prior to beginning work. If the Contractor begins work before the unsatisfactory condition has been resolved, this will indicate that the Contractor has accepted the existing conditions and is responsible to complete the work at no additional cost to the Owner.
- The Contractor shall be responsible for all unauthorized cutting or damage to existing trees not marked for removal on the plans. Such damage may be caused by operation of equipment, stockpiling of materials, careless labor, etc. This shall include compaction by driving or parking inside the drip-line of trees or the spillage of oil, gasoline, or other deleterious materials within the drip-line of trees.
- The Contractor shall have a clear understanding and identify each existing tree, shrub and / or palm that is designated to remain or to be removed.
- The Contractor shall maintain tree barricades at all times during the construction activities on the project for all existing trees, palms and other plant material within and adjacent to the limits of construction that are specified to remain. The Contractor shall refer to the tree protection detail and notes provided within the Landscape Plans.
- The Contractor shall provide an International Society of Arboriculture (I.S.A.) Certified Arborist with a minimum of five (5) years experience with similar projects, to direct appropriate pruning (roots, branches) and/or other treatment necessary to ensure the health, viability and attractiveness of trees and palms to remain. The Contractor shall be responsible for implementation of the Certified Arborist's instructions.
- Uncover specified work when directed by the Owner's Representative without compensation. Should the material, workmanship, or method of installation not meet the standards specified herein, the Contractor shall replace the work at his own expense.
- Rejected work shall be removed and corrected within seventy-two (72) hours upon notification of rejection by the Owner's Representative.
- Plants shall be true to species, variety and size as specified on the plans and nursery grown in accordance with good horticultural practices under climatic conditions similar to those in the locality of the project.
- All plant material shall comply with all required inspections, grading standards and plant regulations, as set forth by the Florida Department of Agriculture and Consumer Services Division of Plant Industry, Grades and Standards for Nursery Plants, latest edition. All plant material shall also conform to ANSI Standards for Nursery Stock (ANSI Z60.1-1990).
- Plant materials not specifically covered in "Florida's Grade and Standards for Nursery Plants" shall conform to a minimum grade of Florida No. 1 as to: health and vitality, condition of foliage, root system, freedom from pests or mechanical damage; heavily branched and densely foliated according to the accepted normal shape; freedom from low and/or "V" shaped crotches.
- The minimum grade for all plant material shall be Florida No. 1 or better.
- Trees with a damaged or crooked leader, bark abrasions, sunscald, disfiguring knots, insect damage, or cuts of limbs over 3/4 inch in diameter that are not completely closed will be rejected.
- Palms shall have straight trunks (within 3 degrees of vertical) unless otherwise stated on the plans. Palms shall be free from burn marks and / or other damage to the trunk.
- Balled and burlapped (B&B) plants (field grown trees and palms) shall be dug with firm, natural balls of soil of sufficient size to encompass the fibrous and feeding roots of the plants. No plants moved with a ball shall be planted if the ball is cracked or broken. B&B root balls shall exhibit small white fibrous roots coming through the burlap. Field grown trees and palms shall be nursery grown material. Root pruning and hardening off of plant material shall be done a minimum of six (6) weeks or for a period as determined by the Owner's Representative, prior to planting at the project. The supplier of the tree material shall supply certification of the date of root pruning and harvest date of the tree material, prior to the installation of the trees at the project site.
- Protect roots or balls of plants at all times from sun and drying winds, excess water and freezing, as necessary until planting.
- Prepared planting soil shall be fertile, friable natural topsoil of loamy character, without admixture of subsoil material, obtained from a well-drained arable site, reasonably free from clay, lumps, coarse sands, stones, plants, roots, sticks and other foreign materials. The acidity range shall be between pH 5.5 and 6.5. Prepared planting soil mixture shall consist of three (3) parts native topsoil meeting the above requirements and one (1) part peat. The peat shall be brown to black in color, sterile, weed and seed free, granulated raw peat, containing not more than 9% mineral content on a dry basis.
- Planting shall be coordinated with the underground automatic irrigation system(s) installation. The irrigation system is to supply 100 percent coverage of water to all required landscape plant material and turf at time of landscape installation.
- The Contractor shall supply supplemental water, over the amount of water supplied by the irrigation system, for establishment to all newly installed trees and palms for ninety (90) days, commencing immediately after installation. Supplemental water can be supplied by water truck or direct water source on site (hose bib, reclaimed water, pump/well source), and shall be applied in such a manner to avoid disturbance to mulch and soil, and to avoid damage to plant materials.
- It is the Contractor's responsibility to adjust watering amounts and frequency to ensure proper establishment of all plant material.
- Fertilizer shall be complete, uniform in composition, dry and free flowing. Fertilizer shall be delivered to the site in the original unopened containers, each bearing the manufacturer's statement of analysis. Store in a manner to prevent wetting and deterioration.
- Mulch is to be 100% organic shredded Melaleuca, Pine bark or Eucalyptus mulch (or type approved by the Owner) shall be utilized and installed to a wetted depth of three (3) inches. Mulch shall be free of extraneous sticks and other tree residue.
- A pre-emergent herbicide (Rout, Ronstar or approved equal) shall be applied to all planting areas as specified by manufacturer's recommendations.

44. Sod shall be as specified on the plans, in areas designated on the plans, and for disturbed areas within the construction limits, grass sod type shall be well matted with grass roots. The sod shall be taken up in rectangles, preferably 12' x 24', shall be a minimum of 2" in thickness, and shall be live, fresh, and uninjured at the time of planting. Sod shall be a minimum of 95% free from all noxious weeds, other grasses, and extraneous materials. The sod shall have a soil mat of sufficient thickness adhering to the roots to withstand all necessary handling.

45. The sod shall be planted as soon as possible after being dug, and kept moist and shaded until it is planted. Dumping from vehicles will not be permitted and dumping within 24 hours after time of harvesting or sod shall be stored in an approved manner and properly moistened until planted. Sod which has been cut for more than 72 hours shall not be used unless specifically authorized by the Owner's Representative, after inspection of the sod.

46. The work area may have existing utilities, such as, but not limited to, irrigation, phone, cable, electrical, water, sanitary sewer, and storm sewer. The locations of some of these existing utilities may have been indicated on the Plans. However, no guarantee is implied that the Plans are accurate or complete in reference to existing utility information. It shall be the responsibility of the Contractor to verify the location of all such utilities before any excavation or other appropriate measures before performing any work that could result in damage or injury to persons, utilities, structures or property. The Contractor shall make a thorough search of the site for utilities, structures, etc., before work is commenced in any particular location.

47. The Contractor shall take immediate steps to repair, replace, or restore all services to any utilities or other facilities which are disrupted due to the Contractor's operations. The Contractor shall also engage any additional outside repairs on a continuous basis until services are restored. Contractor shall provide and operate any supplemental temporary services to maintain uninterrupted use of the facilities. All responsibility for damage due to negligence on the part of the Contractor shall be borne by the Contractor and the Contractor shall also be fully responsible for any and all claims resulting from the damage.

48. The Contractor shall notify the Owner's Representative, in writing, of soil conditions that the Contractor considers detrimental to the growth of plant material. These conditions are to be described, as well as suggestions for correcting them. Proper soil percolation must be assured at a minimum rate of 1/2" percolation per hour to a depth of a typical tree planting pit.

49. Planting areas are to be finished graded to conform to grades on engineering drawings or as noted on the landscape drawings, after full settlement and installation has occurred. The Contractor shall correct or repair the grades as necessary to conform to the finished grades specified. All planting areas shall be free from concrete debris, lumps, depressions, rocks, sticks or other debris and shall be raked and graded smooth to conform to the finish grades after the installation of landscape materials. The planting areas shall provide positive surface drainage without puddling of water. This requirement is applicable to sodded areas also. Sodded areas shall present a smooth and finished appearance, meeting finished grades as specified after installation.

50. All materials and equipment shall be installed in a neat and workmanlike manner. The Owner's Representative reserves the right to direct the removal and replacement of any items, which, in his opinion, do not present an orderly and workmanlike appearance. Plant locations may also be adjusted by the Owner's Representative due to unforeseen on-site conditions.

51. Clean-up work and planting areas of rubbish or objectionable matter. Mortar, concrete and toxic material shall be removed from the surface of all plant beds. These materials shall not be mixed with the soil. Should the Contractor find conditions beneath the soil, which in any way adversely affect the plant growth, he shall immediately call it to the attention of the Owner's Representative. Failure to do so before planting shall make the corrective measures the responsibility of the Contractor.

52. If underground construction, utilities or obstructions are encountered during the excavation of planting areas or pits, alternative locations for the plant material shall be selected by the Owner's Representative. Such changes in location shall be made by the Contractor without additional compensation.

53. All required trees and palms shall be placed a minimum of four (4) feet from impervious surfaces; shrubs shall be placed a minimum of 18 inches as measured from the edge of the plant.

54. All shrub beds shall be considered as a single mulched area. There shall be no sod incorporated within such planted areas. All shrub and groundcovers shall be mulched curb-to-curb or edge of planting bed, unless otherwise indicated. Top of mulch shall be level with the top of curb or surrounding grade.

55. Sides of pits and trenches shall be vertical. When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, and/or obstructions, the Owner's Representative shall be notified before planting. Sites with poor drainage may require the use of sloped sides, for pits or trenches.

56. In planting areas where soils have been compacted to a density, which is detrimental to plant growth, loosen soils to allow root penetration beyond the planting pit.

57. Width of planting pit shall be 3 times the diameter of the rootball in highly compacted or poorly draining soils, with the sides of the pit sloped.

58. Shrubs fertilizer shall be Osmocote Time Released Fertilizer and composed of a fertilizer ratio of 3:1:1 or 3:1:2, (nitrogen: phosphorus: potassium) and contain all primary and secondary trace elements, or approved equal.

59. Sod fertilizer shall be composed of sixteen percent (16%) nitrate nitrogen, four percent (4%) phosphorus, eight percent (8%) potassium and contain all primary and secondary trace elements for sodded areas, or approved equal.

60. Palms: Fertilizer shall be composed of twelve percent (12%) nitrogen, four percent (4%) phosphorus, twelve percent (12%) potassium and contain all primary and secondary trace elements for Florida palm trees.

61. Fertilizer shall be applied at the rates recommended by the manufacturer and soil testing laboratory. Fertilizer shall be applied as a top dressing only and shall not be mixed in with the backfill material at time of installation. The Contractor shall apply fertilizers at the time of installation. Fertilizer shall be applied per ANSI 300, Part 2 - 1998 and Best Management Practices, Tree and Shrub Fertilization, ISA.

62. Trees, shrubs and ground cover shall be set straight and at such a level, that after settlement, the plant ball will stand flush, to 1" - 1/2" above grade. Each plant shall be set in the center of the planting pit (see planting details). Planting goal shall be thoroughly "watered-in" to remove all air pockets around the root ball. Do not rely on the irrigation system to achieve this task. All burlap, wire ropes, etc. shall be loosened from the top and sides of the ball, but no burlap shall be pulled from underneath. No more than two (2) inches of soil shall remain over the first major root closest to the soil surface. Remove non-biodegradable nursery wrappings and unwrap burlap from the top 1/3 of the rootball.

63. Plant materials such as trees, shrubs and groundcovers shall be planted prior to the planting of the grassed / sodded areas. The grassed / sodded areas shall be protected during and repaired if damaged during the planting installation activities.

64. All new furnished trees and palms shall be set plumb at the time they are installed to within a tolerance of three (3) degrees from vertical. Trees and palms found not to be vertically aligned will not be accepted.

65. A basin shall be built around all plants or trees that stand-alone and are not located in larger mulched beds. A water-holding soil-pit shall be built on the outside edge of the planting pit to form a basin of sufficient volume to hold water, as per the Planting Details.

66. Each tree shall be pruned to preserve the natural character of the plant as shown on the Plans. All softwood (sucker growth) and all broken or damaged limbs shall be removed with a clean cut. Pruning procedures shall conform to ANSI A300 Part 1 - 2001 and Pruning and Best Management Practices, Tree Pruning, by the International Society of Arboriculture. All pruning shall be previously approved by the Owner's Representative.

67. Within one week after the planting, mulch material, as specified, shall be uniformly applied to a minimum wetted thickness of three (3) inches or as indicated on the Plans, over the entire area of the backfilled hole or bed. The mulch shall be maintained continuously in place until the time of final inspection.

68. All trees not within planting beds shall be mulched within a three (3) foot diameter of the tree.

69. Do not place mulch immediately against trunks of trees and palms.

70. Soft spots and inequalities in grade shall be corrected before starting sod work. Soil shall be watered before sod planting. Tamp or roll all newly installed sod. Sod shall be thoroughly watered in.

71. The setting of the sod pieces shall be staggered so as to avoid a continuous seam. The offsets of individual strips shall not exceed 6". In order to prevent erosion caused by vertical edges at the outer limits, the outer pieces of sod shall be tamped so as to produce a feathered edge effect. On step slopes, the Contractor shall, if so directed, prevent the sod from sliding by means of wooden pegs driven through the sod blocks into firm earth, at directed intervals. Sod shall be placed in rows perpendicular to the slope.

72. The project site shall be kept in a relative neat and clean appearance throughout the course of the landscape installation. Perform cleaning during installation of the work and upon completion of the work. Remove from the site all excess materials, soil, debris, and equipment. Repair damage resulting from planting and other landscape installation operations.

73. Provide one (1) year warranty covering the life and satisfactory condition of all planted materials. All sod shall be warranted for 90 days after Final Acceptance. The one (1) year warranty does not begin until the entire landscape installation has been accepted by the Owner's Representative at the time of Final Acceptance for Landscape work. After the one (1) year warranty period, the Owner's Representative shall conduct the Project's Final Inspection.

74. All plant material and turf not found in a healthy growing condition, questionable survivability or dead at the end or at any time during the warranty period shall be removed from the site and replaced within ten (10) calendar days after written notice.

75. All plant material replacements shall be of the same kind and size as specified in the Plant List. They shall be furnished, planted, mulched and watered-in as specified at no additional cost to the Owner. These replacement materials shall be bound to the same warranty conditions as the original materials.

76. Damage to plant material from obvious vandalism, theft, Owner's neglect, or acts of providence (i.e., prolonged flooding, gale force winds, etc.), or incidents beyond the Contractor's control will not be covered under this warranty.

77. The Contractor shall notify the Owner's Representative in writing, a minimum of ten (10) days in advance, when all work is substantially complete to schedule a substantial completion. Based on this inspection, the Owner's Representative will develop a punch list of items to be addressed by the Contractor. Upon completion of Punch List Items, the Contractor shall coordinate with the Owner's Representative to schedule a Final Acceptance Inspection. At the time of Final Acceptance, the warranty period shall begin.

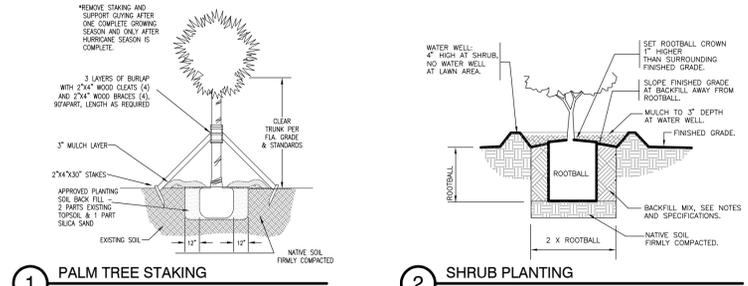
78. Upon Final Acceptance of the plant material, the Contractor shall submit two (2) written maintenance instructions recommending procedures for the maintenance of plant materials and sod, for a one year period.

EXISTING TREE PROTECTION GENERAL NOTES

EXISTING TREES AND PALMS WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION AND SPECIFIED TO REMAIN ARE TO BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS WITH TREE BARRICADES PER PASCO COUNTY REQUIREMENTS.

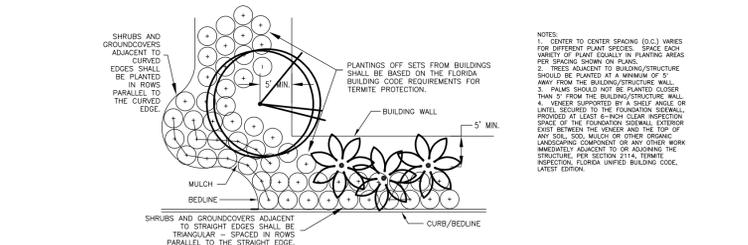
THE CONTRACTOR SHALL PROVIDE AN INTERNATIONAL SOCIETY OF ARBORIST (ISA) CERTIFIED ARBORIST WITH A MINIMUM OF 5 YEARS EXPERIENCE WITH SIMILAR PROJECTS, TO DIRECT APPROPRIATE PRUNING (ROOTS, BRANCHES) AND/OR OTHER TREATMENT NECESSARY TO ENSURE THE HEALTH, VIABILITY AND ATTRACTIVENESS OF TREES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE CERTIFIED ARBORIST'S INSTRUCTIONS. PRUNING SHALL CONFORM TO ANSI A-300 PRUNING STANDARDS.

ALL TREE ROOTS EXISTING WITHIN IMPROVEMENT AREAS AND ORIGINATING FROM A PROTECTED TREE, SHALL BE SEVERED CLEAN AT THE LIMITS OF THE PRESERVED AREA WHERE INDICATED ON THE PLANS. ROOT PRUNING SHALL BE ACCOMPLISHED BY MECHANICAL TREENCHER WITH SHARP BLADES AND UNDER THE DIRECT SUPERVISION OF THE CERTIFIED ARBORIST. ROOT PRUNING SHALL MEET THE STANDARDS AND REQUIREMENTS OF PASCO COUNTY AND ISA.

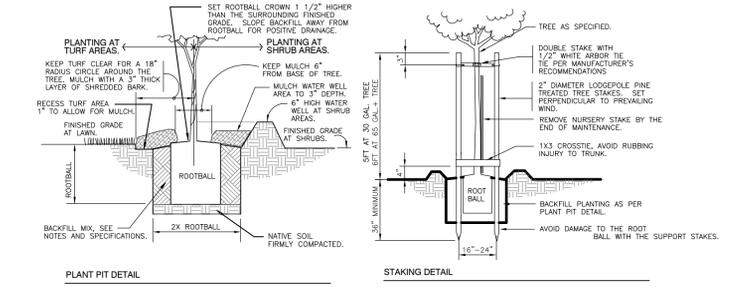


1 PALM TREE STAKING

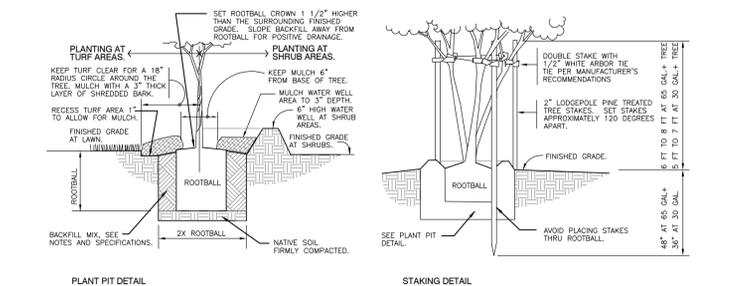
2 SHRUB PLANTING



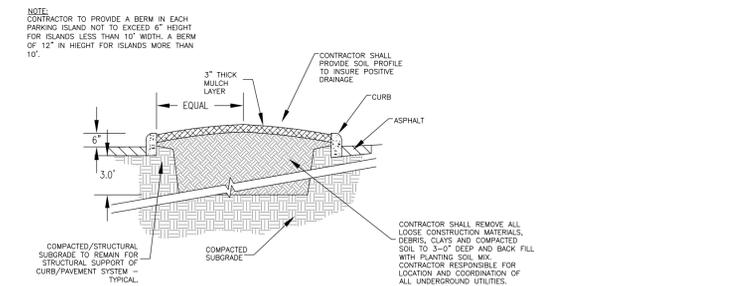
3 PLANT MATERIAL LAYOUT DETAIL



4 SINGLE TRUNK TREE STAKING



5 MULTI-TRUNK TREE STAKING



6 TYPICAL LANDSCAPE ISLAND DETAIL

LC26000267
LA0001461

Roberson Resource Group, LLC

Landscape Architectural Design & Consulting
3122 Little Road, # 125, Trinity, Florida 34655
Phone: 727-255-4258 Email: info@RRGonline.net Web: RRGonline.net

Sun Toyota

3001 US Hwy. 19
Holiday, Florida 34691
Phone - (877) 650-6940

Plans Prepared For	
Date	
Revision	

Sun Toyota
Additional Parking Lot
Pasco County, Florida

LANDSCAPE NOTES & DETAILS

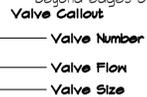
Project No. 14-012
Date 06/04/14
Sheet LA2

CONSTRUCTION PLANS ARE NOT VALID UNLESS SIGNED & EMBOSSED WITH LANDSCAPE ARCHITECT'S SEAL

PATRICK D. ROBERSON
FLORIDA REGISTERED LANDSCAPE ARCHITECT
NO. LA0001461

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC	PSI	GPM	RADIUS
○	Rain Bird 1804-PRS-1300AF Flood Bubbler 4.0" pop-up, with a FA-20 adapter. With pressure regulator.	4	360	20	1.40	1'
■	Rain Bird XGZ-100-PRB-LC Medium Plus Flow Drip Control Kit, for Light Commercial Uses. 1" P&A Valve, with 1" Pressure Regulating 40psi Basket Filter. 5gpm to 20gpm.	3				
⊕	Netafim TLFV-1 Automatic Flush Valve, with Insert Inlet	7				
⊕	Rain Bird ARV050 1/2" Air Relief Valve, made of quality rust-proof materials, with a 6.0" drip valve box (SEB TXB emitter box). Use with installation below soil. The valve will allow air to escape the pipeline, thus preventing water hammer or blockage.	7				
▨	Area to Receive Dripline Rain Bird XFCV-09-12 (12) XFCV On-Surface Landscape Dripline with a Heavy-Duty 3.5 psi Check Valve. 0.9GPH emitters at 12.0" O.C. Dripline laterals spaced at 12.0" apart, with emitters offset for triangular pattern. Great for elevation change.	5,768 s.f.				
⊕	Rain Bird PEB-PRS-D 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Pressure Regulator Module.	1				
⊕	Fabco T65 1" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" (305MM) above highest downstream outlet and the highest point in the downstream piping.	1				
⊕	Rain Bird ESP4ME 4 Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Applications.	1				
⊕	Rain Bird WR2-RS Wireless Rain Sensor.	1				
⊕	Dripline Tree Ring Rain Bird XFD-09-12 Dripline Per Tree Ring Detail, Irrigation Details, Sheet IR2	29				
⊕	Water Meter 1" Existing Potable Water Meter - Verify size and pressure available	1				
---	Irrigation Lateral Line: PVC Class 200 SDR 21 PVC Class 200 Irrigation pipe.	841.8 l.f.				
---	Irrigation Mainline: PVC Schedule 40	316.4 l.f.				
---	Pipe Sleeve: PVC Schedule 40 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	94.8 l.f.				



VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	WIRE	PSI	PSI @ P.O.C.	GPM	PRECIP
1	Rain Bird PEB-PRS-D	1"	Bubbler	86.5	25.86	31.05	12.60	42.84 in/h
2	Rain Bird XGZ-100-PRB-LC	1"	Area for Dripline	45.6	44.18	58.50	26.97	1.55 in/h
3	Rain Bird XGZ-100-PRB-LC	1"	Area for Dripline	198.6	45.22	58.01	33.42	1.55 in/h
4	Rain Bird XGZ-100-PRB-LC Common Wire	1"	Area for Dripline	269.0	45.47	58.97	32.47	1.55 in/h

CRITICAL ANALYSIS

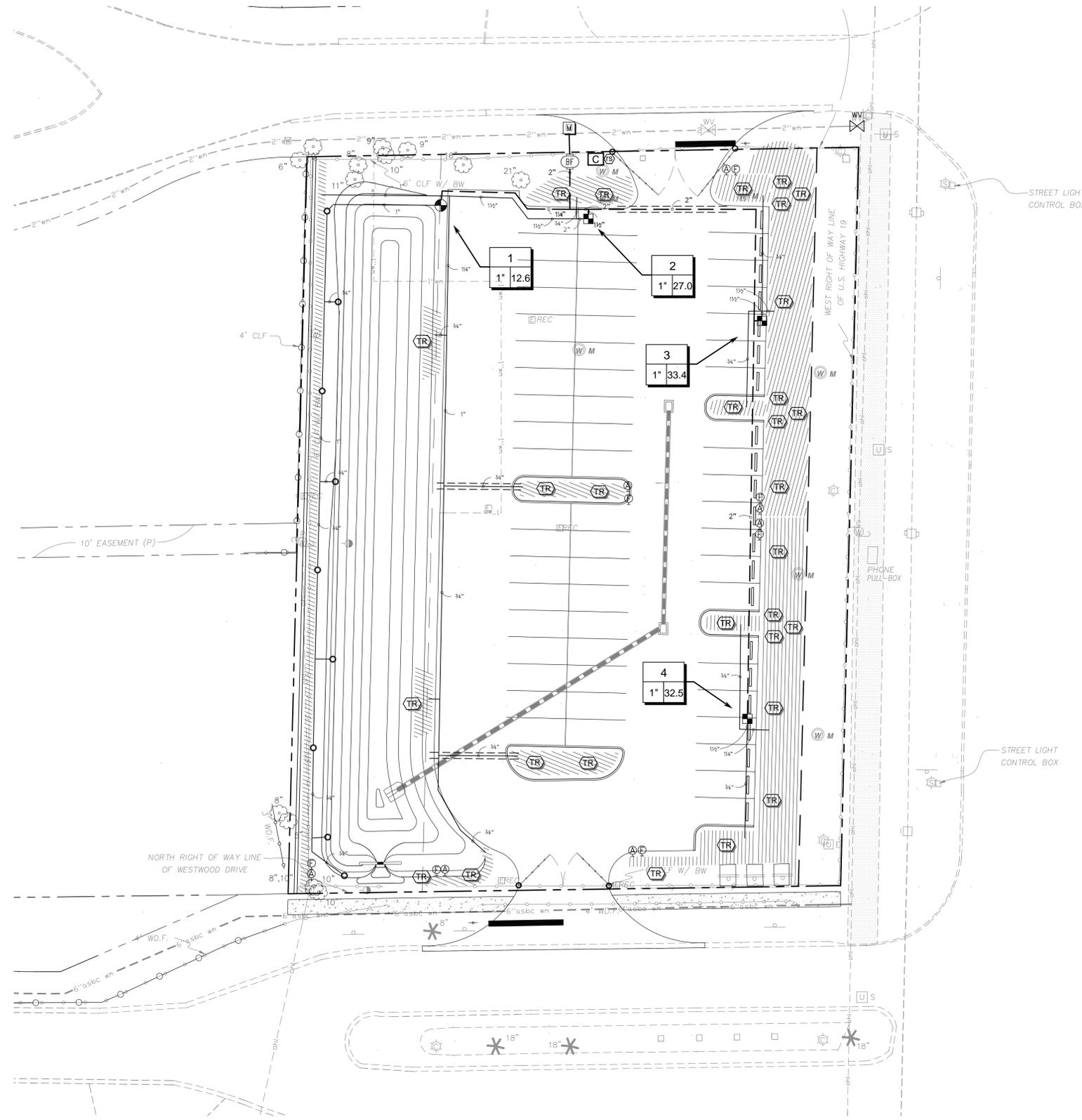
P.O.C. NUMBER: 01
Water Source Information: Existing Potable Water Meter - Verify size and pressure available

FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 37.50 gpm

PRESSURE AVAILABLE
Static Pressure at P.O.C.: 65.00 psi
Elevation Change: 5.00 ft
Service Line Size: 2"
Length of Service Line: 5.00 ft
Pressure Available: 63.00 psi

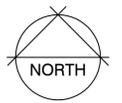
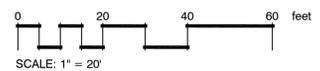
DESIGN ANALYSIS
Maximum Station Flow: 33.42 gpm
Flow Available at P.O.C.: 37.50 gpm
Residual Flow Available: 4.08 gpm

Critical Station: 4
Design Pressure: 20.00 psi
Elevation Loss: 0.00 psi
Friction Loss: 0.43 psi
Fittings Loss: 0.04 psi
Loss through Valve: 25.00 psi
Pressure Req. at Critical Station: 45.47 psi
Loss for Fittings: 0.20 psi
Loss for Main Line: 2.04 psi
Loss for P.O.C. to Valve Elevation: 0.00 psi
Loss for Backflow: 4.95 psi
Loss for Water Meter: 6.31 psi
Critical Station Pressure at P.O.C.: 58.97 psi
Pressure Available: 63.00 psi
Residual Pressure Available: 4.03 psi



IRRIGATION PLANS ARE DIAGRAMMATIC

- ALL IRRIGATION EQUIPMENT TO BE INSTALLED IN LANDSCAPE/SODDED AREAS AND WITHIN PROPERTY LINES.
- ANY PIPING, VALVES, OR OTHER EQUIPMENT SHOWN OUTSIDE OF THE LANDSCAPE/SODDED AREAS OR PROPERTY LINES IS FOR CLARITY PURPOSES OF THE IRRIGATION PLAN ONLY.
- SLEEVES UNDER SIDEWALKS AND PAVEMENT ARE TO BE PLACED AS NECESSARY WITH ENDS IN LANDSCAPE/SODDED AREAS.



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FLORIDA REGISTERED LANDSCAPE ARCHITECT
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IRRIGATION PLAN

Project No. 14-012
Date 06/04/14
Sheet IR1

Sun Toyota Additional Parking Lot
Pasco County, Florida

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Holiday, Florida 34691
Phone - (877) 650-6940

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Landscape Architectural Design & Consulting
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Phone: 727-255-4258 Email: info@RRROnline.net Web: RRROnline.net

ENGINEERING & SITE PLANNING
BASE INFORMATION PROVIDED BY:
Coastal Design Consultants, Inc.
7026 Little Road
New Port Richey, Florida 34654
Phone - (727) 845-8010

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LA0001461

