

Plotted By: Vera, Nilises Sheet Set: Walmart_LBA - 994- Layout: COVER SHEET June 27, 2014 01:00:03pm K:\TAM_Civil\47253 - Wal-Mart\000 - Liquor Box Additions\994 - New Port Richey\CADD\Work\PlanSheets\6010 - COVER SHEET - 994.dwg

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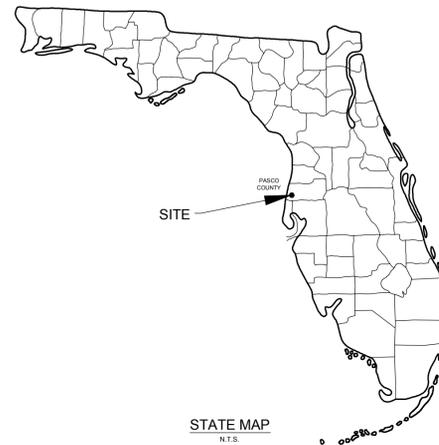
Walmart

LIQUOR BOX ADDITION #994-217

8745 STATE ROAD 54

NEW PORT RICHEY, FLORIDA 34655

PASCO, FLORIDA



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PROJECT DESIGN TEAM

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ENGINEER:

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 655 NORTH FRANKLIN STREET, SUITE 150
 TAMPA, FLORIDA 33602
 PHONE: (813) 620-1460

ALERT TO CONTRACTOR

1. THE SITEWORK FOR THE WALMART PORTION OF THIS PROJECT SHALL MEET OR EXCEED THE 'SITE SPECIFIC SPECIFICATIONS.'
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO CONTRACT COMPLETION AND THE FINAL CONNECTION OF SERVICES.
3. ATTENTION IS DRAWN TO THE POSSIBILITY DRAWING SCALE MAY BE DISTORTED DURING REPRODUCTION.

DEVELOPER :

WAL-MART STORES EAST, LP
 2001 S.E. 10th STREET, SWDC
 BENTONVILLE, AR 72716-0550
 PHONE: (479) 273-4000



Know what's below.
 Call before you dig.

ALERT TO CONTRACTOR:

1. THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
2. ALL I/M GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

Kimley-Horn

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 655 NORTH FRANKLIN STREET, SUITE 150, TAMPA, FL 33602
 PHONE: 813-620-1460
 WWW.KIMLEY-HORN.COM CA 0000696

DESIGN ENGINEER:
 MATTHEW R. FEMAL, P.E.

FLORIDA LICENSE NUMBER:
 68397
 DATE:

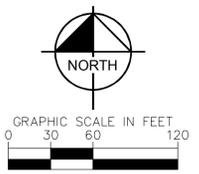
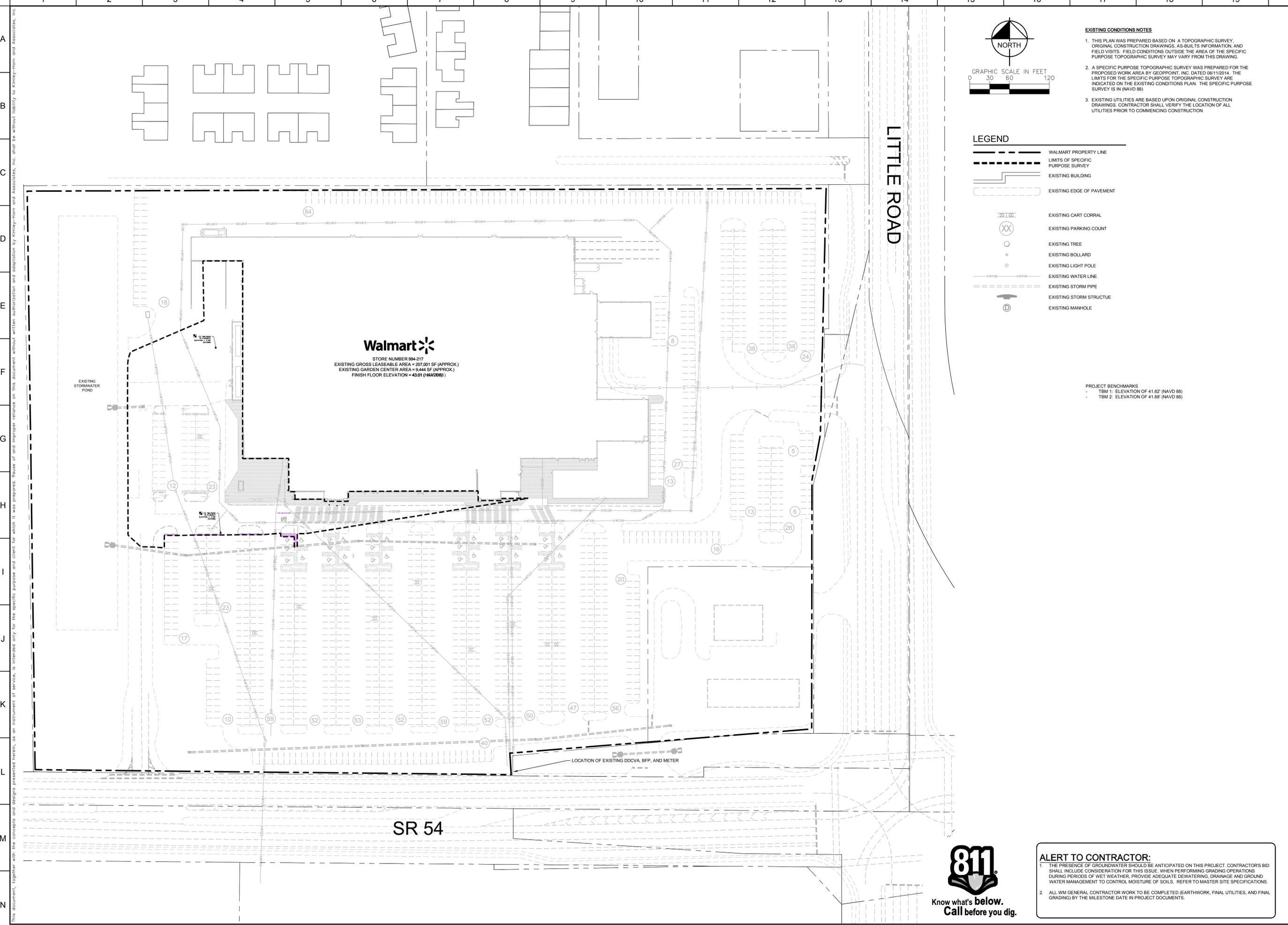
SCALE AS SHOWN
 DESIGNED BY: NV
 DRAWN BY: NV
 CHECKED BY: MRF

COVER SHEET

Walmart  STORE #994-217
 NEW PORT RICHEY, FL
 WAL-MART STORES EAST, LP
 PASCO COUNTY FLORIDA

DATE: 06/13/14
 PROJECT NO. 148445023
 SHEET NUMBER 6010

Plotted By: Vera, Nilises Sheet Set: Walmart LBA - 994 Layout: EXISTING CONDITIONS PLANS June 27, 2014 01:00:12pm K:\TAM_Civil\147253 - Wal-Mart\000 - Liquor Box Additions\994 - New Port Richey\CADD\Work\PlanSheets\6020 - EXISTING CONDITIONS PLANS - 994.dwg



- EXISTING CONDITIONS NOTES**
- THIS PLAN WAS PREPARED BASED ON A TOPOGRAPHIC SURVEY, ORIGINAL CONSTRUCTION DRAWINGS, AS-BUILT'S INFORMATION AND FIELD VISITS. FIELD CONDITIONS OUTSIDE THE AREA OF THE SPECIFIC PURPOSE TOPOGRAPHIC SURVEY MAY VARY FROM THIS DRAWING.
 - A SPECIFIC PURPOSE TOPOGRAPHIC SURVEY WAS PREPARED FOR THE PROPOSED WORK AREA BY GEOPPOINT, INC. DATED 06/11/2014. THE LIMITS FOR THE SPECIFIC PURPOSE TOPOGRAPHIC SURVEY ARE INDICATED ON THE EXISTING CONDITIONS PLAN. THE SPECIFIC PURPOSE SURVEY IS IN (NAVD 88).
 - EXISTING UTILITIES ARE BASED UPON ORIGINAL CONSTRUCTION DRAWINGS. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION.

- LEGEND**
- WALMART PROPERTY LINE
 - LIMITS OF SPECIFIC PURPOSE SURVEY
 - EXISTING BUILDING
 - EXISTING EDGE OF PAVEMENT
 - EXISTING CART CORRAL
 - EXISTING PARKING COUNT
 - EXISTING TREE
 - EXISTING BOLLARD
 - EXISTING LIGHT POLE
 - EXISTING WATER LINE
 - EXISTING STORM PIPE
 - EXISTING STORM STRUCTURE
 - EXISTING MANHOLE

- PROJECT BENCHMARKS**
- TBM 1: ELEVATION OF 41.92' (NAVD 88)
 - TBM 2: ELEVATION OF 41.98' (NAVD 88)



ALERT TO CONTRACTOR:

- THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
- ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

DESIGN ENGINEER: MATTHEW R. FEMAL, P.E.		FLORIDA LICENSE NUMBER 68397	DATE:
SCALE AS SHOWN DESIGNED BY N.V.	DRAWN BY N.V.		
EXISTING CONDITIONS PLANS			
Walmart STORE #994-217 NEW PORT RICHEY, FL WAL-MART STORES EAST, LP PASCO COUNTY FLORIDA		DATE 06/13/14 PROJECT NO. 148445023 SHEET NUMBER 6020	
Kimley-Horn		REVISIONS	
© 2014 KIMLEY-HORN AND ASSOCIATES, INC. 655 NORTH FRANKLIN STREET, SUITE 130, TAMPA, FL 33602 PHONE: 813-620-1460 WWW.KIMLEY-HORN.COM CA 0000696		No	
		DATE	

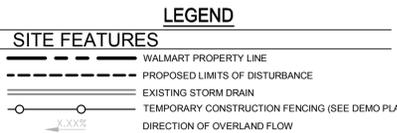
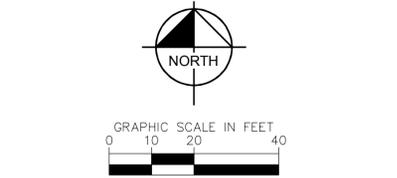
Plotted By: Vera, Nilasa Sheet Set: Walmart LBA - 994 Layout: EROSION AND SEDIMENTATION CONTROL PLAN SM June 27, 2014 01:00:19pm K:\TAM_Civil\47253 - Wal-Mart\000 - Liquor Box Additions\994 - New Part Richey\CADD\Work\PlanSheets\6030 - EROSION AND SEDIMENTATION CONTROL PLAN SM - 994.DWG
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EROSION AND SEDIMENTATION CONTROL PLAN SITE MAP, SHEET 1 OF 3, MUST BE POSTED IN JOB TRAILER.

SEE EROSION CONTROL DETAIL SHEET, THIS SET, FOR GENERAL EROSION NOTES, USGS QUADRANGLE MAP, VICINITY MAP AND EROSION CONTROL MEASURE MAINTENANCE REQUIREMENTS.

CONSTRUCTION EXIT NOTICE
 THE CONSTRUCTION EXIT AT THIS SITE MAKES USE OF AN EXISTING PAVED DRIVE LOCATED AT THE NORTH PORTION OF THE SITE. SINCE THIS AREA CONSISTS OF AN IMPERVIOUS SURFACE, A STONE EXIT WAS NOT PROVIDED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN VEHICLES PRIOR TO THEM EXITING THE SITE. ANY SEDIMENT OR DUST THAT HAS ACCUMULATED AT THE CONSTRUCTION EXIT, OR ON ANY OTHER EXISTING STABILIZED SURFACE WITHIN THE LIMITS OF DISTURBANCE, SHALL BE CLEANED IMMEDIATELY. CONSIDERATION SHALL BE GIVEN TO A WHEEL WASH SYSTEM WHERE APPROPRIATE. ANY WATER USED FOR CLEANING VEHICLES SHALL BE COLLECTED PRIOR TO LEAVING THE LIMITS OF DISTURBANCE OR BEFORE ENTERING THE EXISTING STORM DRAINAGE SYSTEM.

NOTICE TO CONTRACTOR
 CONTRACTOR SHALL IMMEDIATELY REMOVE ANY DIRT OUTSIDE THE LIMITS OF DISTURBANCE WHEN MOVING EQUIPMENT BETWEEN DISTURBED AREAS.



ACREAGE SUMMARY

TOTAL SITE AREA	24.72 ACRES
ON-SITE DISTURBED AREA	0.77 ACRES
OFF-SITE DISTURBED AREA	0.00 ACRES
TOTAL DISTURBED AREA	0.77 ACRES
IMPERVIOUS AREA AT COMPLETION	0.74 ACRES
PERVIOUS/SEEDED AREA AT COMPLETION	0.03 ACRES
TOTAL AREA	0.77 ACRES

WAL-MART STORES EAST, LP
 REAL ESTATE BUSINESS TRUST
 2001 S.E. 10TH STREET
 BENTONVILLE, AR 72716-0550
 (479) 273-4000

SITE OPERATOR/GENERAL CONTRACTOR:

SUPERINTENDENT:

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC. IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS. THE LOCATION OF THE ABOVE REFERENCED AREAS SHALL BE CONFINED TO THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN.

- NOTES**
- SEQUENCE OF CONSTRUCTION**
- INSTALL BMP'S. BMP'S MAY INCLUDE SILT DIKE, SILT DIKE, AND INLET PROTECTION. BMP'S MUST BE IN PLACE PRIOR TO SUBGRADE DISTURBING ACTIVITIES. INSTALL SWPPP INFORMATION SIGN.
 - REMOVE EXISTING CONCRETE, PAVEMENT, BOLLARDS, ETC. IN AREAS OF NEW CONSTRUCTION.
 - CONSTRUCT NEW BUILDING IMPROVEMENTS, ASPHALT, CONCRETE, ETC.

RECEIVING WATERS

THE MAJORITY OF THE PROPERTY WILL DRAIN INTO AN EXISTING ON-SITE STORM SEWER SYSTEM, WHICH DRAINS TO AN EXISTING ON-SITE STORMWATER POND. FROM THIS STORMWATER POND, THE SITE WILL DRAIN TO ANCLOTE RIVER WHICH IS LOCATED 0.30 MILES TO THE NORTH. THE ULTIMATE RECEIVING WATER, THE GULF OF MEXICO, IS LOCATED APPROXIMATELY 12.0 MILES TO THE SOUTHWEST. THE ANCLOTE RIVER IS LISTED ON THE 2014 EPA 303(D) LIST IN THIS AREA AS IMPAIRED.

POTENTIAL AREAS WHERE STORM WATER MAY ENTER GROUNDWATER

THIS PROPERTY WILL DRAIN TO AN EXISTING STORM SEWER SYSTEM. IT IS ONLY EXPECTED THAT MINIMAL GROUNDWATER INFILTRATION WILL OCCUR IN GRASSED AREAS.

BORROW AREAS

AN OFFSITE BORROW AREA WILL BE USED IF ANY BORROW MATERIAL IS REQUIRED ONCE DEVELOPMENT BEGINS. THE LOCATION OF THIS OFFSITE BORROW AREA WILL BE DETERMINED BY THE CONTRACTOR IF REQUIRED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PREPARE SWPPP & FILE NOTICE OF INTENT FOR SELECTED BORROW SITE PRIOR TO START OF EARTH DISTURBING ACTIVITIES AT THAT SITE.

WETLANDS

ONE PFOIF WETLAND WAS OBSERVED ADJACENT TO THE PROPERTY.

NATURE AND PURPOSE OF PROJECT

THE NATURE AND PURPOSE OF THIS PROJECT IS TO CONSTRUCT A LIQUOR BOX BUILDING ADDITION ON THE EXTERIOR CORNER OF THE EXISTING WAL-MART BUILDING.

EXISTING VEGETATION

THE SITE CONSISTS OF AN EXISTING WAL-MART BUILDING, PARKING LOT AND LANDSCAPING.

100 YEAR FLOODPLAIN

THIS PROPERTY IS OUTSIDE OF THE 100 YEAR FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBERS 120230 0360 D DATED SEPTEMBER 30, 1992. THIS PROPERTY IS IN FLOOD ZONE X. (AREAS TO BE DETERMINED TO BE OUTSIDE OF 500 YEAR FLOOD.)

SOIL TYPE

THE ON-SITE SOIL TYPE PRESENT IN THE AREA OF THE SUBJECT SITE IS FINE SAD BASED ON THE USDA SOIL MAP.

PROJECT BENCHMARKS

- TBM #1: ELEVATION OF 41.82'
- TBM #2: ELEVATION OF 41.88'

TEMPORARY SEEDING

- SEED MIXTURE 70% BAHIA/30% MILLET - 7 LBS. / 1,000 SQ. FT.
- "RYE" INSTEAD OF MILLET TO BE USED BETWEEN NOVEMBER 15TH AND FEBRUARY 15TH.

PERMANENT VEGETATION

- AREAS TO RECEIVE SEED ARE TO BE FERTILIZED WITH A COMPLETE FERTILIZER (13-13-13) 0.5 - 1.0 LBS. PER 1,000 SQ. FT.
- ALL SODDED AREAS TO BE BAHIA OR ST. AUGUSTINE TO MATCH EXISTING.

CAUTION NOTICE TO CONTRACTOR

IF PROPERLY IMPLEMENTED, THIS PLAN WILL PROVIDE AN EFFECTIVE MEANS FOR CONTROLLING EROSION. HOWEVER, IT IS ACKNOWLEDGED THAT NO ONE PLAN CAN BE PREPARED THAT WILL DEPICT ALL POSSIBLE CONTROL MEASURES NECESSARY FOR VARIOUS STAGES OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE IN THE BASE BID ADEQUATE FUNDS TO PROVIDE ALL EROSION CONTROL MEASURES NECESSARY TO COMPLY WITH CODES FOR THE DURATION OF THE CONSTRUCTION PROJECT.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE IMPROVEMENTS SHOWN BY THESE PLANS.

LIMITS OF DISTURBANCE

CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH THE EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.

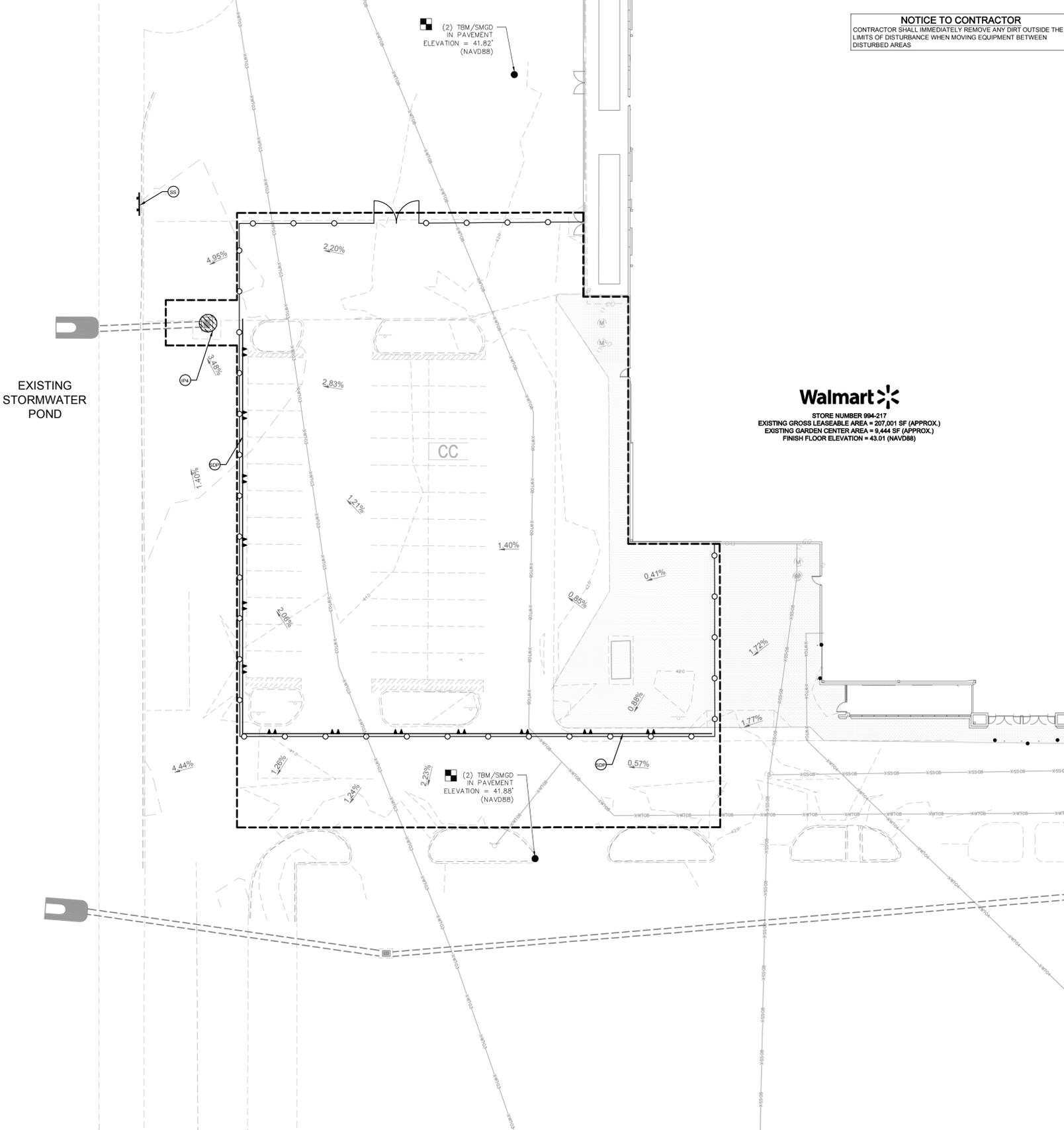
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ELIMINATE TRACK-OUT FROM THE AREAS WITHIN THE LIMITS OF DISTURBANCE. NO STOCKPILING, TEMPORARY STORAGE OR STAGING OF EITHER NEW, SALVAGED OR WASTE MATERIAL SHALL BE ALLOWED BEYOND THE LIMITS OF BMP PROTECTED AREAS. AREAS BEYOND BMP LIMITS BUT WITHIN THE LIMITS OF DISTURBANCE MAY BE USED FOR CONTRACTOR PARKING. ANY GROUND DISTURBING ACTIVITIES BEYOND THE DEFINED LIMITS OF DISTURBANCE ARE STRICTLY PROHIBITED.

SPECIFICATIONS REQUIREMENTS

THE REQUIREMENTS SHOWN ON THIS PLAN ARE SUPPLEMENTED BY THE SWPPP CONTAINED WITHIN THE PROJECT SPECIFICATIONS. IN CASE OF CONFLICTS BETWEEN THE PLANS, SWPPP SPECIFICATIONS AND THE ACTUAL GENERIC PERMIT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.

Walmart

STORE NUMBER 994-217
 EXISTING GROSS LEASEABLE AREA = 207,001 SF (APPROX.)
 EXISTING GARDEN CENTER AREA = 9,444 SF (APPROX.)
 FINISH FLOOR ELEVATION = 43.01 (NAVD88)



OFF-SITE MATERIAL AREA(S) INFORMATION

BORROW SITE NAME:	DISPOSAL SITE NAME:
BORROW SITE ADDRESS:	DISPOSAL SITE ADDRESS:
BORROW SITE PERMIT HOLDER:	DISPOSAL SITE PERMIT HOLDER:
BORROW SITE PERMIT NO.:	DISPOSAL SITE PERMIT NO.:
BORROW SITE PERMITTING AGENCY:	DISPOSAL SITE PERMITTING AGENCY:

- CONTRACTOR SHALL FILL IN BORROW AND DISPOSAL INFORMATION ABOVE.
- BORROW AND DISPOSAL INFORMATION IS NEEDED FOR SOIL FILL AND SPOIL MATERIALS ONLY.
- CONTRACTOR SHALL STATE "NOT REQUIRED FOR THIS PROJECT" IF ONE OR BOTH ARE NOT REQUIRED FOR PROJECT.

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONSTRUCTION EXITS																								
TEMPORARY CONTROL MEASURES																								
SEDIMENT CONTROL BASINS																								
STRIP & STOCKPILE TOPSOIL																								
ROUGH GRADE																								
STORM FACILITIES																								
SITE CONSTRUCTION																								
PERMANENT CONTROL STRUCTURES																								
FOUNDATION / BUILDING CONSTRUCTION																								
FINISH GRADING																								
LANDSCAPING/SEED/FINAL STABILIZATION																								

- CONTRACTOR SHALL UPDATE THE TABLE BY DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES.
- TIME SCHEDULE MUST COINCIDE WITH SEQUENCE OF CONSTRUCTION.



ALERT TO CONTRACTOR:

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- ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

Kimley-Horn

DESIGN ENGINEER: MATTHEW R. FEMAL, P.E.

SCALE: AS SHOWN

DESIGNED BY: NV

DRAWN BY: NV

CHECKED BY: MRF

FLORIDA LICENSE NUMBER: 68397

DATE:

EROSION AND SEDIMENTATION CONTROL PLAN SM

Walmart STORE #994-217
 NEW PORT RICHEY, FL
 WAL-MART STORES EAST, LP
 PASCO COUNTY FLORIDA

DATE: 06/13/14

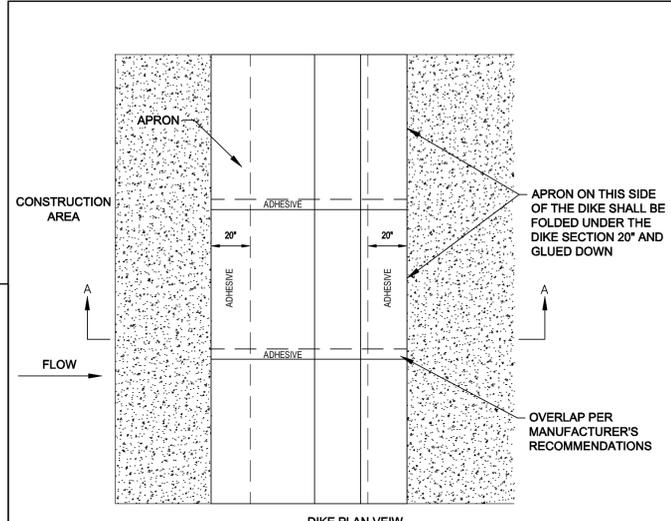
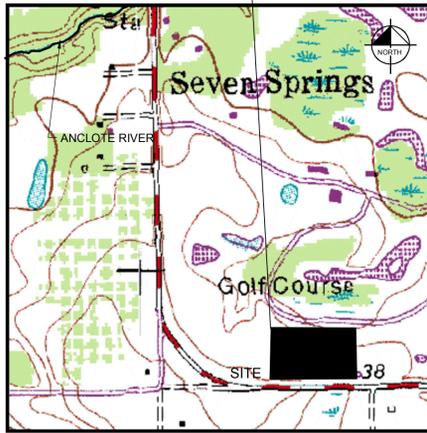
PROJECT NO: 148445023

SHEET NUMBER: 6030

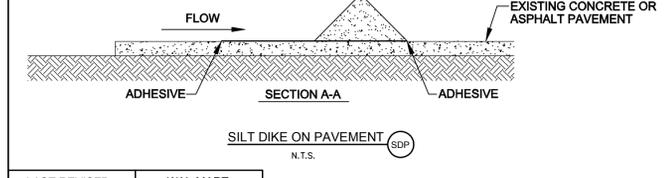
**EROSION CONTROL DETAIL SHEET,
SHEET 2 OF 3, MUST BE POSTED IN JOB TRAILER.**

STORMWATER OUTFALL
EXISTING OUTFALL FROM THE SITE DRAINS VIA AN EXISTING STORM SEWER INTO ANYTOWN CREEK WHICH IS LOCATED X.XX MILES TO THE NORTHWEST. ANYTOWN CREEK DRAINS INTO ANYTOWN RIVER, THE ULTIMATE RECEIVING WATER, LOCATED APPROXIMATELY X.XX MILES TO THE SOUTHWEST.

DETAILS INCLUDED ON THIS SHEET MAY NOT BE SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLAN SITE MAP. THE SWPPP IS A LIVING DOCUMENT. THE CONTRACTOR MAY USE ADDITIONAL BMPs TO MAINTAIN AN EFFECTIVE STORMWATER POLLUTION PREVENTION PLAN.

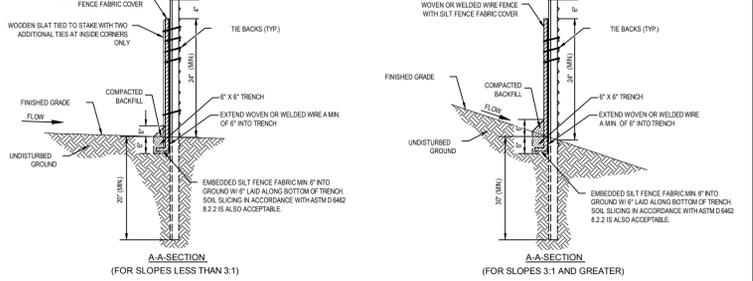
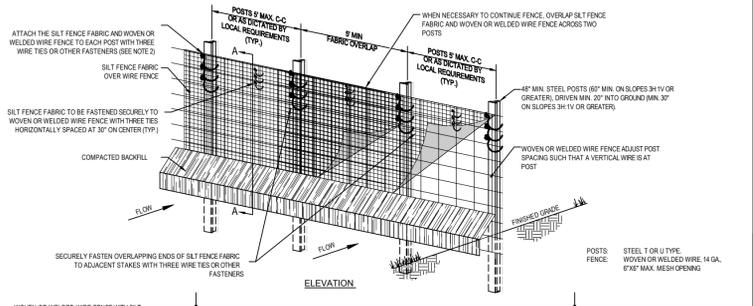


- NOTES:
1. INSTALLED SILT DIKE UNIT SHALL HAVE CONTINUOUS AND FIRM CONTACT WITH PAVEMENT.
 2. ADHESIVES SHALL BE LIQUID NAIL OR APPROVED EQUAL FOR CONCRETE PAVEMENT APPLICATIONS AND EMULSIFIED ASPHALT FOR ASPHALT APPLICATIONS. ADHESIVE SHALL BE PLACED WHERE THE UNITS OVERLAP AND A 20" STRIP ALONG BOTH EDGES.



LAST REVISED:	WAL-MART STANDARD DETAIL
JUNE 2012	

LAST REVISED:	WAL-MART STANDARD DETAIL
NOV 01, 2007	

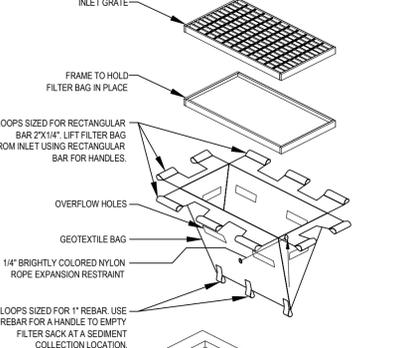


- SPECIFICATIONS FOR SILT FENCE INSTALLATION**
1. MATERIALS AND INSTALLATION SHALL COMPLY WITH ASTM D 4832 LATEST EDITION.
 2. INSTALL SILT FENCE AT A FAIRLY LEVEL GRADE ALONG THE CONTOUR WITH THE ENDS CURVED UPWARD TO PROVIDE SUFFICIENT UPSTREAM STORAGE VOLUME FOR THE ANTICIPATED RUNOFF.
 3. ATTACH THE GEOTEXTILE OR FABRIC TO THE WOVEN OR WELDED WIRE FENCE WITH THREE WIRE TIES OR OTHER FASTENERS (HORIZONTALLY SPACED EVERY 30") ALL SPACED WITHIN THE TOP 6" OF THE FABRIC. ATTACH EACH TIE DIAGONALLY HEDGES THROUGH THE FABRIC WITH EACH FASTENER AT LEAST 1" VERTICALLY APART. AT EACH POST, ATTACH THE GEOTEXTILE OR FABRIC AND THE WOVEN OR WELDED WIRE FENCE TO THE POST AS PREVIOUSLY STATED. IN ADDITION EACH TIE PLACES ON POST SHOULD BE POSITIONED TO HANG ON A POST WITH TIE WHEN TIGHTENED TO PREVENT BAGGING.
 4. WHEN TWO SECTIONS OF SILT FENCE FABRIC MEET EACH OTHER THEY SHALL BE OVERLAPPED A MINIMUM OF 6" ACROSS TWO POSTS, AS SHOWN.
 5. ALL SILT FENCES SHALL INCLUDE WIRE TIES OR OTHER FASTENERS TO SECURE EQUIPMENT IS UTILIZED TO INSTALL THE FENCE PER DETAIL. SILT FENCE INSTALLATION USING METHODS:
 6. WRAP APPROXIMATELY 6" OF FABRIC AROUND THE END POSTS AND SECURE WITH 3 TIES. COMPACT THE SOIL IMMEDIATELY NEXT TO THE SILT FENCE FABRIC WITH THE FRONT WHEEL OF THE TRACTOR, SHO, STEER, OR ROLLER EXERTING AT LEAST 500 LBS PER SQ. INCH COMPACT THE UPSTREAM SIDE FIRST. COMPACT EACH SIDE TWICE FOR A TOTAL OF FOUR TIMES.
 7. ADD POST CAPS AS NEEDED BASED ON SITE CONDITIONS AND APPLICABLE AGENCY REQUIREMENTS.

Test Method	Units	Supported ¹ Silt Fence	Unsupported ² Silt Fence	Type of Value
Grab Strength	ASTM D 4832	N (lbs)		
Moisture Direction		400 (90)	500 (90)	MARY
		400 (90)	400 (90)	MARY
X-Moisture Direction		400 (90)	400 (90)	MARY
		400 (90)	400 (90)	MARY
Permeability ³	ASTM D 4491	sec-1	0.05	MARY
Apparent Opening Size ⁴	ASTM D 4751	mm (0.075 in)	0.60 (0.024)	Max. Min ⁵
		mm (0.075 in)	0.60 (0.024)	
Ultraviolet Stability	ASTM D 4355	% Retained Strength	70% after 200 h of exposure	Typical
		% Retained Strength	70% after 200 h of exposure	Typical

- MAINTENANCE NOTES**
1. SILT FENCES SHALL BE INSPECTED THROUGH ITS ENTIRETY AND MUST BE CLEANED WHEN SEDIMENT HAS ACCUMULATED TO ONE THIRD THE HEIGHT OF THE SILT FENCE. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM BEACHING ON THE RIGHT OF THE SILT FENCE.
 2. ALL MATERIAL ESCAPED FROM BEHIND SILT FENCE SHALL BE STOCKPILED ON AN UPLAND PORTION OF THE SITE OR SPREAD FOR USE.
 3. SPECIAL ATTENTION SHOULD BE PAID TO ENSURE THAT NO UNDERMINING OF SILT FENCE HAS OCCURRED AND THAT NO FABRIC IS OCCURRING AT CRITICAL SECTIONS.
 4. IF EXCESS SEDIMENT IS ACCUMULATING IN ANY SECTION OF SILT FENCE, THE CONTRACTOR SHOULD IMPLEMENT ADDITIONAL UPSTREAM STABILIZATION MEASURES OR ADDITIONAL FENCING OR APPROVAL TO PREVENT EXCESSIVE BUILDUP ON SILT FENCE.
 5. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.

LAST REVISED:	WAL-MART STANDARD DETAIL
JUNE 2012	



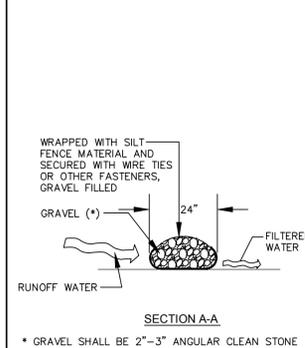
- NOTES:
1. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
 2. PLACE AN OIL ABSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
 3. THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
 4. THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
 5. THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

- MAINTENANCE NOTES:
1. INLET PROTECTION DEVICES MUST BE INSPECTED FOR SEDIMENT ACCUMULATION WITHIN THE CATCH BASIN. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
 2. REMOVAL OF SEDIMENT ACCUMULATED IN OR ADJACENT TO A STORM DRAIN INLET MUST BEGIN IMMEDIATELY UPON DISCOVERY, WITH COMPLETION OF THE ACTIVITY OCCURRING NO LATER THAN THE END OF THE FOLLOWING BUSINESS DAY.
 3. INLET PROTECTION DEVICES SHALL BE INSPECTED FOR UNINTENDED BYPASS OR IMPROPER FLOW-RATES THAT MAY CAUSE DOWNSTREAM FLOODING.
 4. CONTACT THE CEC FOR ALTERNATE INLET PROTECTION IF THE DESIGNED PROTECTION MAY IMPACT DOWNSTREAM BMPs, ADJACENT SLOPES, ETC., DUE TO PONDING ISSUES. ENSURE THAT NO UNDERMINING OF INLET PROTECTION DEVICES HAS OCCURRED.
 5. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE			
PROPERTIES	TEST METHOD	UNITS	
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS	
GRAB TENSILE ELONGATION	ASTM D-4632	20 %	
PUNCTURE	ASTM D-4833	120 LBS	
MULLER BURST	ASTM D-3786	800 PSI	
TRAPEZOID TEAR	ASTM D-4533	120 LBS	
UV RESISTANCE	ASTM D-4355	80 %	
APPARENT OPENING SIZE	ASTM D-4751	40 US GALS/SQ FT	
FLOW RATE	ASTM D-4491	40 GALS/MIN SQ FT	
PERMITTIVITY	ASTM D-4491	0.55 SEC-1	

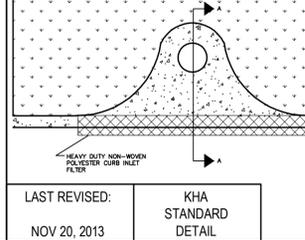
MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE			
PROPERTIES	TEST METHOD	UNITS	
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS	
GRAB TENSILE ELONGATION	ASTM D-4632	20 %	
PUNCTURE	ASTM D-4833	135 LBS	
MULLER BURST	ASTM D-3786	420 PSI	
TRAPEZOID TEAR	ASTM D-4533	45 LBS	
UV RESISTANCE	ASTM D-4355	90 %	
APPARENT OPENING SIZE	ASTM D-4751	20 US GALS/SQ FT	
FLOW RATE	ASTM D-4491	200 GALS/MIN SQ FT	
PERMITTIVITY	ASTM D-4491	1.5 SEC-1	

LAST REVISED:	WAL-MART STANDARD DETAIL
APRIL 30, 2011	



LAST REVISED:	KHA STANDARD DETAIL
JUNE 2012	

LAST REVISED:	KHA STANDARD DETAIL
NOV 20, 2013	



LAST REVISED:	KHA STANDARD DETAIL
NOV 20, 2013	

- GENERAL EROSION NOTES:**
- A. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("SITE MAP"), THE STANDARD DETAILS, SPECIFICATIONS SECTION 02370 (SWPPP), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
 - B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (GENERIC PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
 - C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
 - D. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
 - E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
 - F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERIC PERMIT.
 - G. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. CONTRACTOR SHALL CONSTRUCT BMPs ON DOWN STREAM SIDES IN COMPLIANCE WITH 02370 SPECIFICATION.
 - H. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
 - I. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
 - J. DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER OR OTHER APPROVED DUST SUPPRESSION MATERIAL. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
 - K. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
 - L. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - M. ALL DENUEDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE, MUST BE STABILIZED TEMPORARILY WITH THE USE OF FAST-GERMINATING ANNUAL GRASS/GRAM VARIETIES, STRAW/HAIR MULCH, WOOD CELLULOSE FIBERS, TACKIFIERS, NETTING OR BLANKETS AS SHOWN ON SITE MAP.
 - N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED AS SHOWN ON THE PLANS. THESE AREAS SHALL BE SEEDED, SODDED, AND/OR VEGETATED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS.
 - O. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
 - P. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
 - Q. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
 - R. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERIC PERMIT REQUIREMENTS.
 - S. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
 - T. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCE, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
 - U. SEE SITE PLAN FOR PERMANENT AND TEMPORARY SIGNAGE.
 - V. GENERAL CONTRACTOR IS TO DESIGNATE/IDENTIFY AREAS ON THE SITE MAPS, INSIDE OF THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
 - W. REFER TO THE SWPPP FOR REPORTABLE SPILL QUANTITIES OF PETROLEUM PRODUCTS AND/OR HAZARDOUS WASTES.
 - X. SEE DEMOLITION PLAN FOR TEMPORARY FENCING.
 - Y. REFER TO 02370 SPECIFICATION FOR RUN-OFF SAMPLING/MONITORING REQUIREMENTS IF APPLICABLE TO SITE DURING CONSTRUCTION.
 - Z. CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.

- MAINTENANCE REQUIREMENTS:**
- ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
 4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
 5. THE TEMPORARY PARKING AND STORAGE AREAS SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AREA AS CONDITIONS DEMAND.
 6. PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. DEBRIS AND/OR SEDIMENT REACHING THE PUBLIC STREET SHALL BE CLEANED IMMEDIATELY BY A METHOD OTHER THAN FLUSHING.

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LAST REVISED:	WAL-MART STANDARD DETAIL
JUNE 2012	

LAST REVISED:	WAL-MART STANDARD DETAIL
NOV 20, 2013	

DATE: 06/13/14
PROJECT NO: 148445023
SHEET NUMBER: 6040

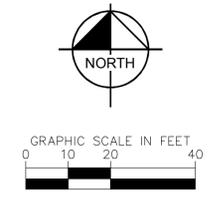
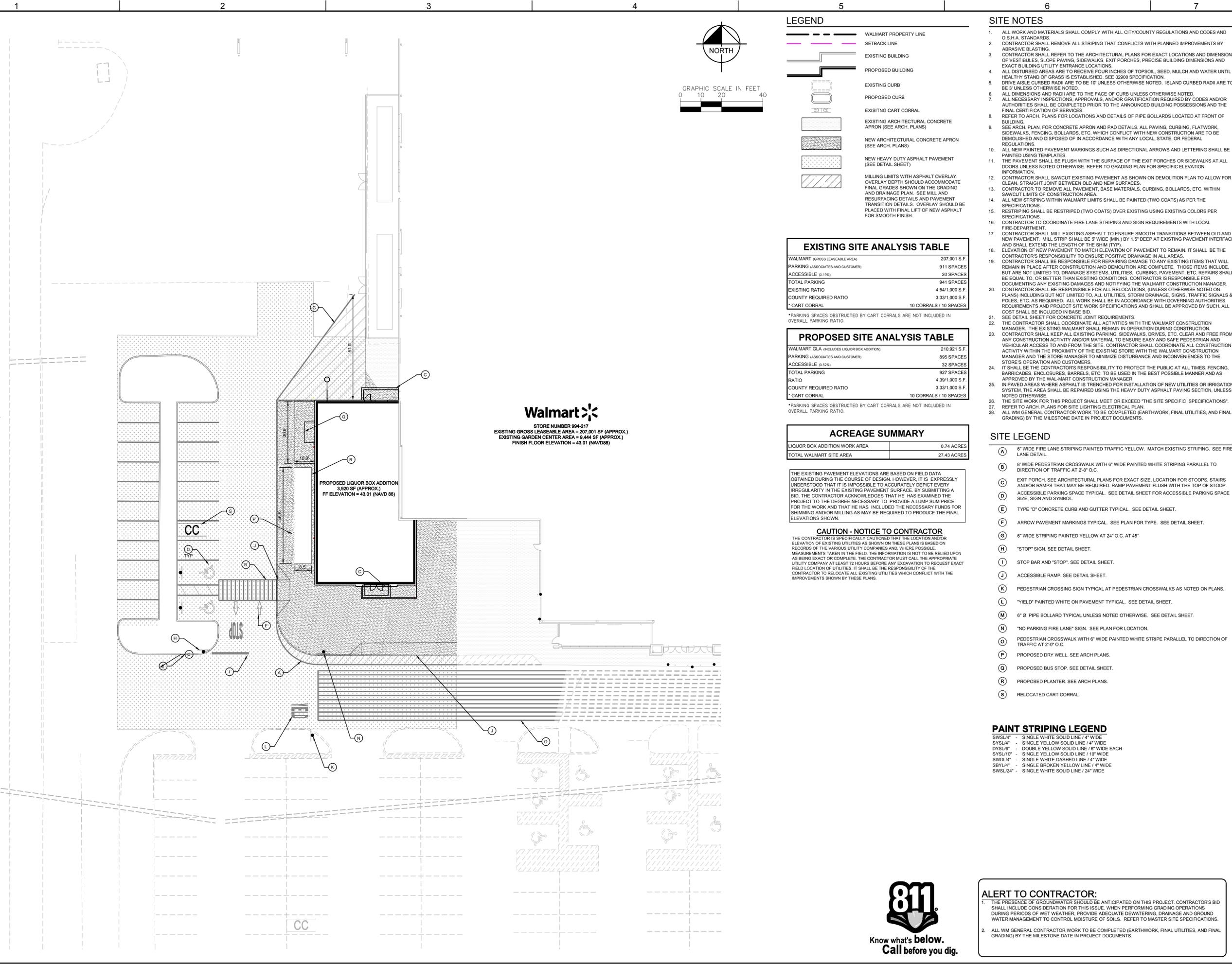
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CHECKED BY: MRF
DATE: 6/3/17

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FLORIDA LICENSE NUMBER: 66397

EROSION CONTROL DETAIL SHEET

Walmart STORE #894-217
NEW PORT RICHEY, FL
WAL-MART STORES EAST, LP
PASCO COUNTY
FLORIDA



LEGEND

- WALMART PROPERTY LINE
- SETBACK LINE
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING CURB
- PROPOSED CURB
- EXISTING CART CORRAL
- EXISTING ARCHITECTURAL CONCRETE (SEE ARCH. PLANS)
- NEW ARCHITECTURAL CONCRETE APRON (SEE ARCH. PLANS)
- NEW HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL SHEET)
- MILLING LIMITS WITH ASPHALT OVERLAY. OVERLAY DEPTH SHOULD ACCOMMODATE FINAL GRADES SHOWN ON THE GRADING AND DRAINAGE PLAN. SEE MILL AND RESURFACING DETAILS AND PAVEMENT TRANSITION DETAILS. OVERLAY SHOULD BE PLACED WITH FINAL LIFT OF NEW ASPHALT FOR SMOOTH FINISH.

EXISTING SITE ANALYSIS TABLE

WALMART (GROSS LEASABLE AREA)	207,001 S.F.
PARKING (ASSOCIATES AND CUSTOMER)	911 SPACES
ACCESSIBLE (3.19%)	30 SPACES
TOTAL PARKING	941 SPACES
EXISTING RATIO	4.541,000 S.F.
COUNTY REQUIRED RATIO	3.331,000 S.F.
* CART CORRAL	10 CORRALS / 10 SPACES

*PARKING SPACES OBSTRUCTED BY CART CORRALS ARE NOT INCLUDED IN OVERALL PARKING RATIO.

PROPOSED SITE ANALYSIS TABLE

WALMART GLA (INCLUDES LIQUOR BOX ADDITION)	210,921 S.F.
PARKING (ASSOCIATES AND CUSTOMER)	895 SPACES
ACCESSIBLE (3.62%)	32 SPACES
TOTAL PARKING	927 SPACES
RATIO	4.391,000 S.F.
COUNTY REQUIRED RATIO	3.331,000 S.F.
* CART CORRAL	10 CORRALS / 10 SPACES

*PARKING SPACES OBSTRUCTED BY CART CORRALS ARE NOT INCLUDED IN OVERALL PARKING RATIO.

ACREAGE SUMMARY

LIQUOR BOX ADDITION WORK AREA	0.74 ACRES
TOTAL WALMART SITE AREA	27.43 ACRES

THE EXISTING PAVEMENT ELEVATIONS ARE BASED ON FIELD DATA OBTAINED DURING THE COURSE OF DESIGN. HOWEVER, IT IS EXPRESSLY UNDERSTOOD THAT IT IS IMPOSSIBLE TO ACCURATELY DEPICT EVERY IRREGULARITY IN THE EXISTING PAVEMENT SURFACE. BY SUBMITTING A BID, THE CONTRACTOR ACKNOWLEDGES THAT HE HAS EXAMINED THE PROJECT TO THE DEGREE NECESSARY TO PROVIDE A LUMP SUM PRICE FOR THE WORK AND THAT HE HAS INCLUDED THE NECESSARY FUNDS FOR SHIMMING AND/OR MILLING AS MAY BE REQUIRED TO PRODUCE THE FINAL ELEVATIONS SHOWN.

CAUTION - NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE IMPROVEMENTS SHOWN BY THESE PLANS.

- SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REMOVE ALL STRIPING THAT CONFLICTS WITH PLANNED IMPROVEMENTS BY ABRASIVE BLASTING.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. SEE 0290 SPECIFICATION.
 - DRIVEABLE CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. ISLAND CURBED RADII ARE TO BE 3' UNLESS OTHERWISE NOTED.
 - ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL NECESSARY INSPECTIONS, APPROVALS, AND/OR GRATIFICATION REQUIRED BY CODES AND/OR AUTHORITIES SHALL BE COMPLETED PRIOR TO THE ANNOUNCED BUILDING POSSESSIONS AND THE FINAL CERTIFICATION OF SERVICES.
 - REFER TO ARCH. PLANS FOR LOCATIONS AND DETAILS OF PIPE BOLLARDS LOCATED AT FRONT OF BUILDING.
 - SEE ARCH. PLAN FOR CONCRETE APRON AND PAD DETAILS. ALL PAVING, CURBING, FLATWORK, SIDEWALKS, FENCING, BOLLARDS, ETC. WHICH CONFLICT WITH NEW CONSTRUCTION ARE TO BE DEMOLISHED AND DISPOSED OF IN ACCORDANCE WITH ANY LOCAL, STATE, OR FEDERAL REGULATIONS.
 - ALL NEW PAINTED PAVEMENT MARKINGS SUCH AS DIRECTIONAL ARROWS AND LETTERING SHALL BE PAINTED USING TEMPLATES.
 - THE PAVEMENT SHALL BE FLUSH WITH THE SURFACE OF THE EXIT PORCHES OR SIDEWALKS AT ALL DOORS UNLESS NOTED OTHERWISE. REFER TO GRADING PLAN FOR SPECIFIC ELEVATION INFORMATION.
 - CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT AS SHOWN ON DEMOLITION PLAN TO ALLOW FOR CLEAN, STRAIGHT JOINT BETWEEN OLD AND NEW SURFACES.
 - CONTRACTOR TO REMOVE ALL PAVEMENT, BASE MATERIALS, CURBING, BOLLARDS, ETC. WITHIN SAWCUT LIMITS OF CONSTRUCTION AREA.
 - ALL NEW STRIPING WITHIN WALMART LIMITS SHALL BE PAINTED (TWO COATS) AS PER THE SPECIFICATIONS.
 - RESTRIPING SHALL BE RESTRIPE (TWO COATS) OVER EXISTING USING EXISTING COLORS PER SPECIFICATIONS.
 - CONTRACTOR TO COORDINATE FIRE LANE STRIPING AND SIGN REQUIREMENTS WITH LOCAL FIRE DEPARTMENT.
 - CONTRACTOR SHALL MILL EXISTING ASPHALT TO ENSURE SMOOTH TRANSITIONS BETWEEN OLD AND NEW PAVEMENT. MILL SHALL BE 1" WIDE (MIN.) BY 1.5" DEEP AT EXISTING PAVEMENT INTERFACE AND SHALL EXTEND THE LENGTH OF THE SHIM (TYP).
 - ELEVATION OF NEW PAVEMENT TO MATCH ELEVATION OF PAVEMENT TO REMAIN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE POSITIVE DRAINAGE IN ALL AREAS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGE TO ANY EXISTING ITEMS THAT WILL REMAIN IN PLACE AFTER CONSTRUCTION AND DEMOLITION ARE COMPLETE. THOSE ITEMS INCLUDE, BUT ARE NOT LIMITED TO, DRAINAGE SYSTEMS, UTILITIES, CURBING, PAVEMENT, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ANY EXISTING DAMAGES AND NOTIFYING THE WALMART CONSTRUCTION MANAGER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH ALL COST SHALL BE INCLUDED IN BASE BID.
 - SEE DETAIL SHEET FOR CONCRETE JOINT REQUIREMENTS.
 - THE CONTRACTOR SHALL COORDINATE ALL ACTIVITIES WITH THE WALMART CONSTRUCTION MANAGER. THE EXISTING WALMART SHALL REMAIN IN OPERATION DURING CONSTRUCTION.
 - CONTRACTOR SHALL KEEP ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR ACCESS TO AND FROM THE SITE. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITY WITHIN THE PROXIMITY OF THE EXISTING STORE WITH THE WALMART CONSTRUCTION MANAGER AND THE STORE MANAGER TO MINIMIZE DISTURBANCE AND INCONVENIENCES TO THE STORE'S OPERATION AND CUSTOMERS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE PUBLIC AT ALL TIMES, FENCING, BARRICADES, ENCLOSURES, BARRELS, ETC. TO BE USED IN THE BEST POSSIBLE MANNER AND AS APPROVED BY THE WALMART CONSTRUCTION MANAGER.
 - IN PAVED AREAS WHERE ASPHALT IS TRENCHED FOR INSTALLATION OF NEW UTILITIES OR IRRIGATION SYSTEM, THE AREA SHALL BE REPAIRED USING THE HEAVY DUTY ASPHALT PAVING SECTION, UNLESS NOTED OTHERWISE.
 - THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".
 - REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
 - ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

- SITE LEGEND**
- (A) 6" WIDE FIRE LANE STRIPING PAINTED TRAFFIC YELLOW. MATCH EXISTING STRIPING. SEE FIRE LANE DETAIL.
 - (B) 8" WIDE PEDESTRIAN CROSSWALK WITH 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C.
 - (C) EXIT PORCH. SEE ARCHITECTURAL PLANS FOR EXACT SIZE. LOCATION FOR STOPS, STAIRS AND/OR RAMPS THAT MAY BE REQUIRED. RAMP PAVEMENT FLUSH WITH THE TOP OF STAIR.
 - (D) ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL.
 - (E) TYPE "D" CONCRETE CURB AND GUTTER TYPICAL. SEE DETAIL SHEET.
 - (F) ARROW PAVEMENT MARKINGS TYPICAL. SEE PLAN FOR TYPE. SEE DETAIL SHEET.
 - (G) 6" WIDE STRIPING PAINTED YELLOW AT 24" O.C. AT 45°
 - (H) "STOP" SIGN. SEE DETAIL SHEET.
 - (I) STOP BAR AND "STOP". SEE DETAIL SHEET.
 - (J) ACCESSIBLE RAMP. SEE DETAIL SHEET.
 - (K) PEDESTRIAN CROSSING SIGN TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
 - (L) "YIELD" PAINTED WHITE ON PAVEMENT TYPICAL. SEE DETAIL SHEET.
 - (M) 6" Ø PIPE BOLLARD TYPICAL UNLESS NOTED OTHERWISE. SEE DETAIL SHEET.
 - (N) "NO PARKING FIRE LANE" SIGN. SEE PLAN FOR LOCATION.
 - (O) PEDESTRIAN CROSSWALK WITH 6" WIDE PAINTED WHITE STRIPE PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C.
 - (P) PROPOSED DRY WELL. SEE ARCH PLANS.
 - (Q) PROPOSED BUS STOP. SEE DETAIL SHEET.
 - (R) PROPOSED PLANTER. SEE ARCH PLANS.
 - (S) RELOCATED CART CORRAL.

PAINT STRIPING LEGEND

SWSL4"	SINGLE WHITE SOLID LINE / 4" WIDE
SYSL4"	SINGLE YELLOW SOLID LINE / 4" WIDE
DYSL6"	DOUBLE YELLOW SOLID LINE / 6" WIDE EACH
SYSL10"	SINGLE YELLOW SOLID LINE / 10" WIDE
SWDL4"	SINGLE WHITE DASHED LINE / 4" WIDE
SBYL4"	SINGLE BROKEN YELLOW LINE / 4" WIDE
SWSL24"	SINGLE WHITE SOLID LINE / 24" WIDE

ALERT TO CONTRACTOR:

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- ALL WM GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

Walmart
 STORE NUMBER 994-217
 EXISTING GROSS LEASABLE AREA = 207,001 SF (APPROX.)
 EXISTING GARDEN CENTER AREA = 9,444 SF (APPROX.)
 FINISH FLOOR ELEVATION = 43.01 (NAVD88)

PROPOSED LIQUOR BOX ADDITION
 3,920 SF (APPROX.)
 FF ELEVATION = 43.01 (NAVD 88)

Plotted By: Vera, Nilnes Sheet Set: Walmart_LBA - 994 Layout: SITE PLAN June 27, 2014 01:00:48pm K:\TAM_Civil\147253 - Wal-Mart\000 - Liquor Box Additions\994 - New Port Richey\CADD\Work\PlanSheets\0070 - SITE PLAN - 994.dwg
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DESIGN ENGINEER: MATTHEW R. FEMAL P.E.

SCALE AS SHOWN: AS SHOWN

DESIGNED BY: NV

DRAWN BY: NV

CHECKED BY: MRF

DATE: 06/13/14

PROJECT NO. 148445023

SHEET NUMBER 6070

REVISIONS

No.	REVISIONS	DATE

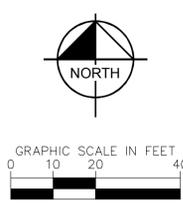
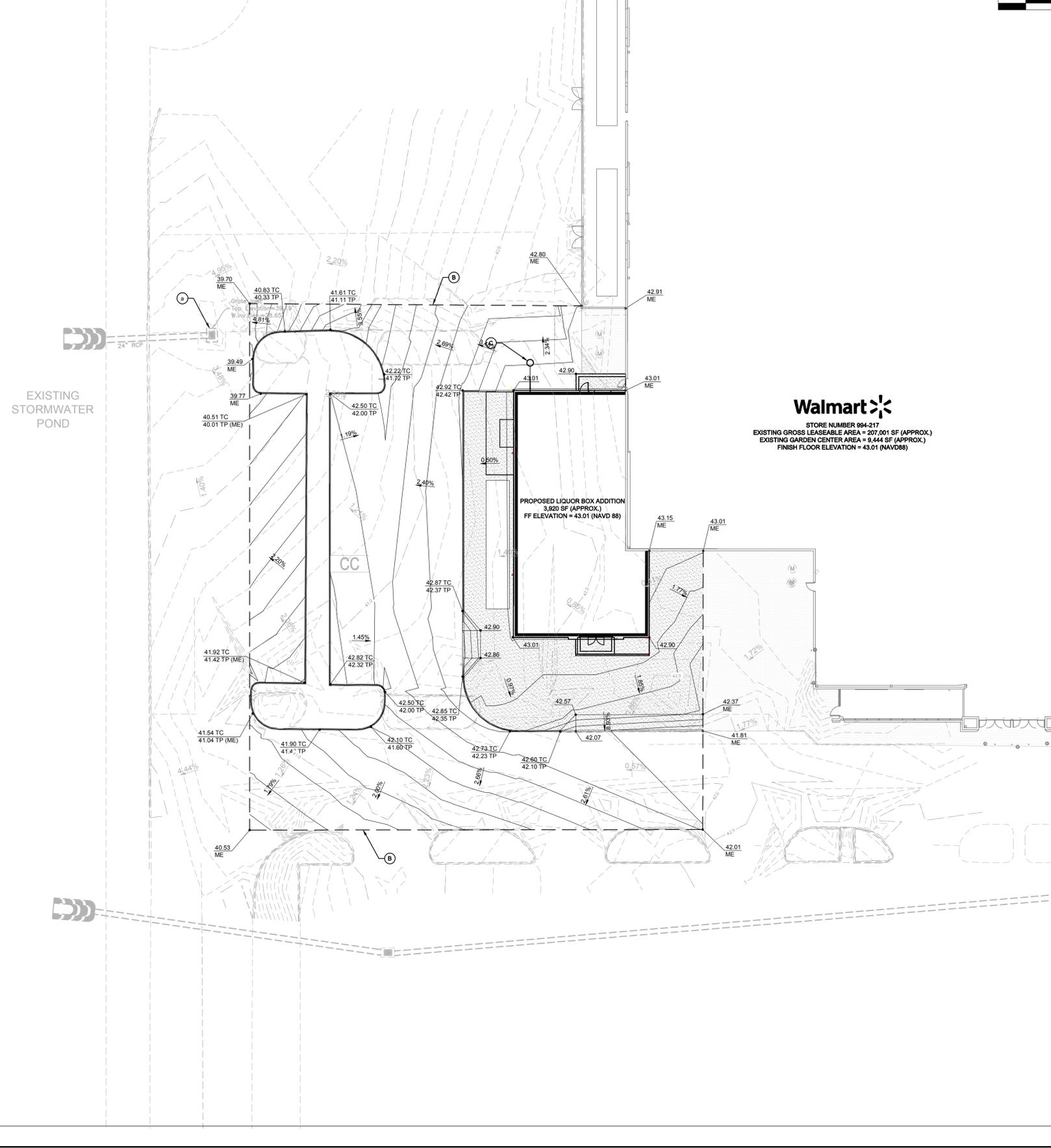
Walmart STORE #994-217
 NEW PORT RICHEY, FL
 WAL-MART STORES EAST, LP
 PASCO COUNTY FLORIDA

Kimley-Horn
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 655 NORTH FRANKLIN STREET, SUITE 130, TAMPA, FL 33602
 PHONE: 813-620-1460
 WWW.KIMLEY-HORN.COM CA 0000696



Plotted By: Vera, Nilises Sheet Set: Walmart LBA - 994 Layout: GRADING AND DRAINAGE PLAN June 27, 2014 01:04:10pm K:\TAM_Civil\147263 - Wal-Mart\000 - Liquor Box Addition\994 - New Port Richey\CADD\Work\PlanSheets\6080 - GRADING AND DRAINAGE PLAN - 994.dwg

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LEGEND

---	WALMART PROPERTY LINE
- - - -	EXISTING CONTOUR
- - - -	PROPOSED CONTOUR
---	EXISTING SPOT GRADE
X.XX	PROPOSED SPOT GRADE
TP =	TP = TOP OF PAVEMENT
TC =	TC = TOP OF CURB
ME =	ME = MATCH EXISTING GRADE
X.XX	PROPOSED SLOPE
---	EXISTING STORM SEWER PIPE
⊕	EXISTING CURB INLET
⊕	EXISTING STORM MANHOLE
---	LIMITS OF GRADING

GRADING LEGEND

(A)	EXISTING INLET TO REMAIN. CONTRACTOR TO MATCH PROPOSED PAVEMENT TO EXISTING GRATE ELEVATION WITH SMOOTH FINISH.
(B)	LIMITS OF GRADING
(C)	PROPOSED DRY WELL FOR CONDENSATE LINE. SEE ARCH PLANS.

LIMITS OF DISTURBANCE EXISTING ISR

PERVIOUS AREA	0.03 AC	4.0 %
IMPERVIOUS AREA	0.74 AC	96.0 %

LIMITS OF DISTURBANCE PROPOSED ISR

PERVIOUS AREA	0.07 AC	9.1 %
IMPERVIOUS AREA	0.70 AC	90.9 %

TOPOGRAPHIC INFORMATION IS FROM A SPECIFIC PURPOSE SURVEY PREPARED BY GEOPoint, INC. THE VERTICAL DATUM IS IN NAVD 88 AND IS BASED UPON THE FINISHED FLOOR ELEVATION OF THE EXISTING BUILDING

- GRADING NOTES**
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES AS REQUIRED FOR PROPOSED IMPROVEMENTS INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
 - PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION.
 - STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED. (SEE MASTER SITE SPECIFICATIONS SECTION 02830 FOR ALLOWED MATERIALS).
 - EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - PROPOSED STORM PIPES ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
 - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERIC N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND THE WALMART SPECIAL CONDITIONS, SECTION 8, ENVIRONMENTAL COMPLIANCE AND STORM WATER POLLUTION PREVENTION. THIS APPLIES TO WALMART BUILT PROJECTS ONLY.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
 - TOPOGRAPHIC INFORMATION WITHIN THE WORK ZONE IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
 - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1 V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
 - CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
 - RUNNING SLOPE ON ALL ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 5%. CROSS SLOPE SHALL NOT EXCEED 2%.
 - THE PAVEMENT SHALL BE FLUSH WITH THE TOP OF THE CONCRETE STOOPS AND SIDEWALKS AT ALL EXITS (TVR) THE SLOPES OF PAVEMENT AREAS UP TO THESE STOOPS SHALL NOT EXCEED 1:20. ELEVATION OF NEW EDGE OF PAVEMENT TO MATCH EXISTING.
 - EXISTING CURBED ISLAND(S) TO BE REMOVED AND RECONSTRUCTED WHERE SHOWN. CONTRACTOR TO EXTEND EXISTING IRRIGATION SYSTEM TO NEW ISLAND LOCATION(S).
 - EXISTING SIGNAGE THAT CONFLICTS WITH NEW IMPROVEMENTS SHALL BE REMOVED.
 - THE CONTRACTOR SHALL ADJUST TOPS OF CLEANOUTS, MANHOLES, VALVES, ETC. TO MATCH FINAL GRADE.
 - CONTRACTOR TO ENSURE POSITIVE DRAINAGE IN ALL AREAS AFFECTED BY CONSTRUCTION.
 - EXISTING FIRE HYDRANTS WITHIN WORK AREA SHALL BE RAISED OR LOWERED SO THE BOTTOM FLANGE IS ABOVE FINISH GRADE AS DICTATED BY CITY/COUNTY REQUIREMENTS.
 - SURVEY IS PROVIDED IN NAVD 88.

FOUNDATION SUBSURFACE PREPARATION
WALMART STORE NO. 994-217, NEW PORT RICHEY, FL
PASCO COUNTY, FLORIDA
5/20/14

UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE PREPARATION ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BENEATH AND 5 FEET BEYOND THE BUILDING AND APPURTENANCES.

APPURTENANCES ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER REFER TO DRAWING SHEET SP1, TYPICALLY INCLUDING, BUT NOT LIMITED TO THE BUILDING SIDEWALKS, GARDEN CENTER, PORCHES, RAMPS, STOOPS, TRUCK WELLS/DOCKS, CONCRETE APRONS AT THE AUTOMOTIVE CENTER, COMPACTOR PAD, ETC. THE BASE AND THE VAPOR BARRIER, WHERE REQUIRED, DO NOT EXTEND BEYOND THE LIMITS OF THE ACTUAL BUILDING AND THE APPURTENANCES.

ESTABLISH THE FINAL SUBGRADE ELEVATION TO ALLOW FOR THE CONCRETE SLAB BASE AND SUBBASE. REFERENCE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR REQUIRED SLAB THICKNESS. THE 6-INCH THICK BASE MATERIAL SHALL CONFORM TO FOOT LIMEROCK MATERIAL WITH AT LEAST 97% (BY WEIGHT) PASSING A #5 INCH SIEVE AND THE MATERIAL SHALL BE GRADED UNIFORMLY DOWN TO DUST. THE FINE MATERIAL SHALL CONSIST ENTIRELY OF DUST OF FRACTURE. THE LIMEROCK SHALL HAVE A LIMEROCK BEARING RATIO (LBR) OF AT LEAST 100 AND NO MORE THAN 20% FINES WHEN WASHED THROUGH A NO. 200 SIEVE. THE BASE MATERIAL SHALL BE FREE OF ANY ASPHALT OR VOLATILE ORGANIC MATERIALS. INSTALL A MINIMUM 15MIL VAPOR RETARDER MEETING ASTM E 1745, "CLASS A" REQUIREMENTS, PLACED ABOVE THE BASE AND DIRECTLY BELOW THE SLAB. THE BASE AND SUBBASE SHALL BE PROVIDED BY THE BUILDING CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ACCURATE MEASUREMENTS FOR ALL CUT AND FILL DEPTHS REQUIRED. ANY PROPOSED ALTERNATIVE BASE MATERIAL MUST BE SUBMITTED FOR APPROVAL WITHIN 30 DAYS AFTER AWARD OF CONTRACT. ANY EQUIVALENT ALTERNATIVE SHALL ONLY BE USED IF APPROVED IN WRITING BY THE CEC AND AOR.

EXISTING FOUNDATIONS, SLABS, PAVEMENTS, AND BELOW-GRADE STRUCTURES SHALL BE REMOVED FROM THE BUILDING AREA, AS DIRECTED BY THE CEC OR AOR. REMOVE SURFACE VEGETATION, TOPSOIL, ROOT SYSTEMS, ORGANIC MATERIAL, EXISTING FILL, AND SOFT OR OTHERWISE UNSUITABLE MATERIAL FROM THE BUILDING AREA. PROOFROLL EXPOSED SUBGRADE. REMOVE AND REPLACE UNSUITABLE AREAS WITH SUITABLE MATERIAL. SUBGRADE MATERIAL SHALL BE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS AND SHALL MEET THE FOLLOWING REQUIREMENTS:

SAND, SLIGHTLY SILTY SAND, SLIGHTLY CLAYEY SAND (SP, SP-SM, SP-SC - UNIFIED SOIL CLASSIFICATION SYSTEM)
LESS THAN 12% PASSING NO. 200 SIEVE
ATTERBERG LIMITS: NON-PLASTIC
ORGANIC CONTENT: < 5%

SUBGRADE MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 12 INCHES IN THICKNESS AND COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM 1557) AT A MOISTURE CONTENT WITHIN 2 PERCENT BELOW TO 2 PERCENT ABOVE THE OPTIMUM.

THE FOUNDATION SYSTEM SHALL BE ISOLATED SPREAD FOOTINGS AT COLUMNS AND CONTINUOUS SPREAD FOOTINGS AT WALLS.

THIS FOUNDATION SUBSURFACE PREPARATION DOES NOT CONSTITUTE A COMPLETE SITE WORK SPECIFICATION. IN CASE OF CONFLICT, INFORMATION COVERED IN THIS PREPARATION SHALL TAKE PRECEDENCE OVER THE WALMART SPECIFICATIONS. REFER TO THE SPECIFICATIONS FOR SPECIFIC INFORMATION NOT COVERED IN THIS PREPARATION. THIS INFORMATION WAS TAKEN FROM A GEOTECHNICAL REPORT PREPARED BY AREHNA ENGINEERING, INC. DATED 5/20/2014. (GEOTECHNICAL REPORT IS FOR INFORMATION ONLY AND IS NOT A CONSTRUCTION SPECIFICATION).

SPECIFIERS NOTE:
AN E-MAIL ADDRESS FOR THE GEOTECHNICAL ENGINEER: CURTIS ROOS, PE, CROOS@AREHNA.COM

		DESIGN ENGINEER: MATTHEW R. FEMAL, P.E.	DATE: 06/13/14
SCALE AS SHOWN DESIGNED BY: NV DRAWN BY: NV CHECKED BY: MRF		FLORIDA LICENSE NUMBER: 66397	REVISIONS: No.
		STORE #994-217 NEW PORT RICHEY, FL WAL-MART STORES EAST, LP	PROJECT NO. 148445023
PASCO COUNTY FLORIDA		SHEET NUMBER 6080	DATE 06/13/14

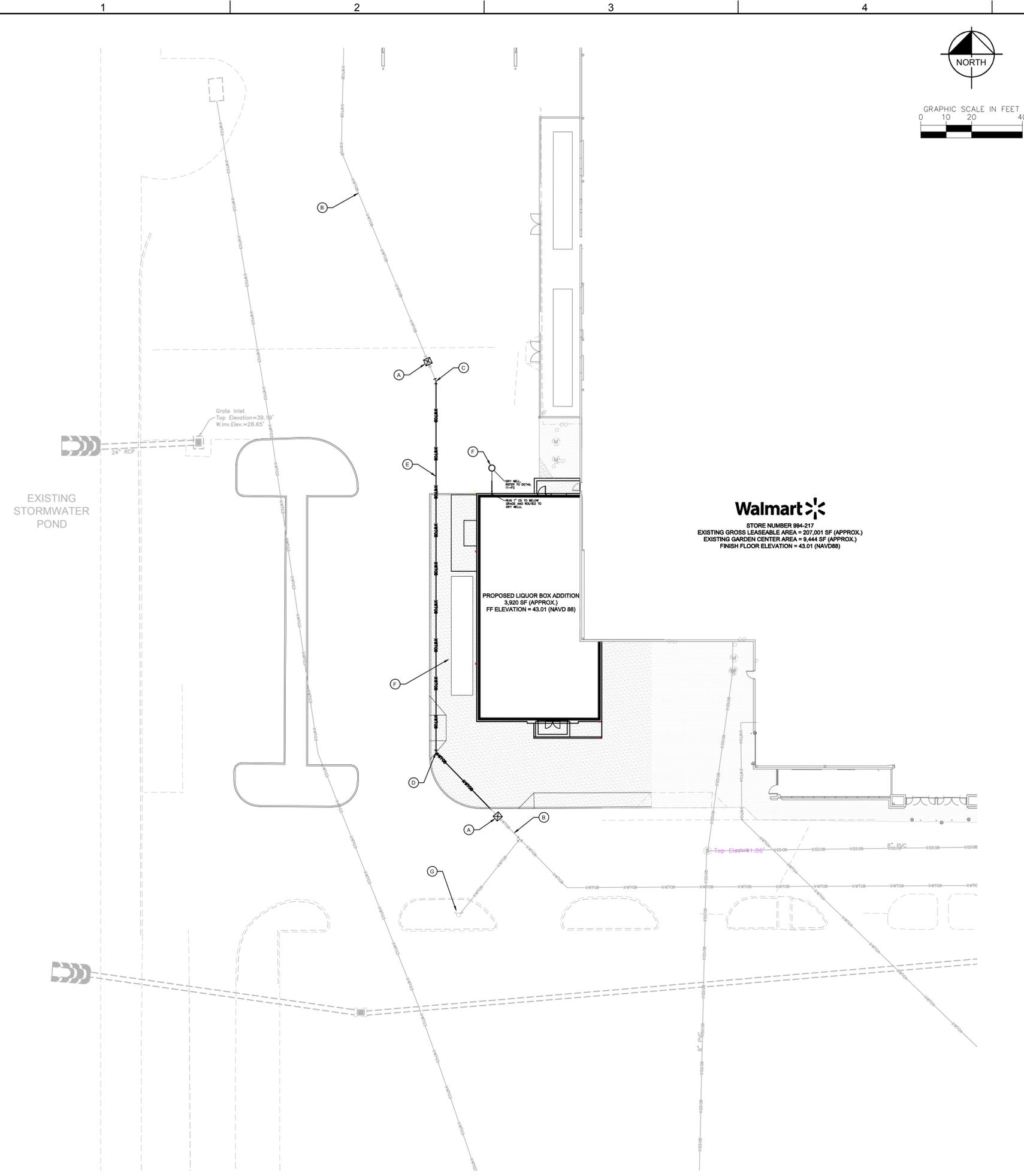


ALERT TO CONTRACTOR:

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- ALL W/M GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

Plotted By: Vera, Nilnes Sheet Set: Walmart LBA - 994 Layout: UTILITY PLAN June 27, 2014 01:06:42pm K:\TAM_Civil\147253 - Wal-Mart\000 - Liquor Box Additions\994 - Utility Plan - 994.dwg

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LEGEND

	WALMART PROPERTY LINE
	EXISTING STORM SEWER PIPE
	EXISTING CURB INLET
	EXISTING STORM MANHOLE
	EXISTING UNDERGROUND CONDUIT
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED GATE VALVE (SEE SITE PLAN FOR SIZE)
	PROPOSED REDUCER (SEE SITE PLAN FOR SIZE)
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED LINE STOP

- UTILITY NOTES**
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
 6" PVC SCHEDULE 40
 DUCTILE IRON PIPE PER AWWA C150
 - WATER LINES SHALL BE AS FOLLOWS:
 6" AND LARGER, PVC C-900 PER ASTM D 2241
 CLASS 200 UNDER COUNTY ROADS, OTHERWISE CLASS 150
 6" AND LARGER DUCTILE IRON PIPE PER AWWA C150
 SMALLER THAN 6" EITHER COPPER TUBE TYPE "L" (SOFT) PER ANSI 816.22 OR PVC, 200 P.S.I., PER ASTM D1784 AND D2241.
 - MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 - ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
 - ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4" COVER ON ALL WATER LINES.
 - IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
 - LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
 - TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
 - ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
 - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO STORE POSSESSION.
 - CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
 - REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.

- UTILITY LEGEND**
- (A) PROPOSED LINESTOP FOR FIRE LINE RELOCATION.
 - (B) EXISTING 8" PVC FIRE LINE.
 - (C) CUT IN 8" 22.5° BEND
 - (D) CUT IN 8" 45° BEND
 - (E) PROPOSED 8" PVC FIRE LINE
 - (F) PROPOSED DRY WELL. SEE ARCH DETAILS.
 - (G) EXISTING FIRE HYDRANT. VALVE TO BE SHUTDOWN FOR FIRE LINE RELOCATION.

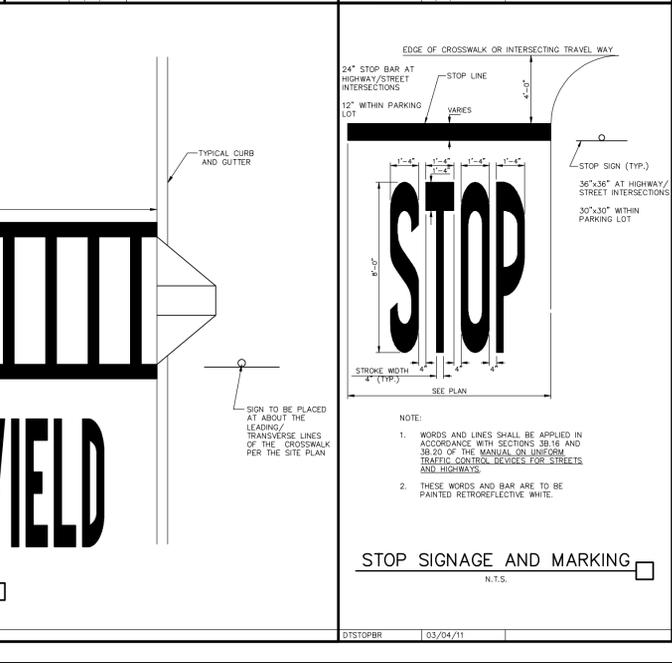
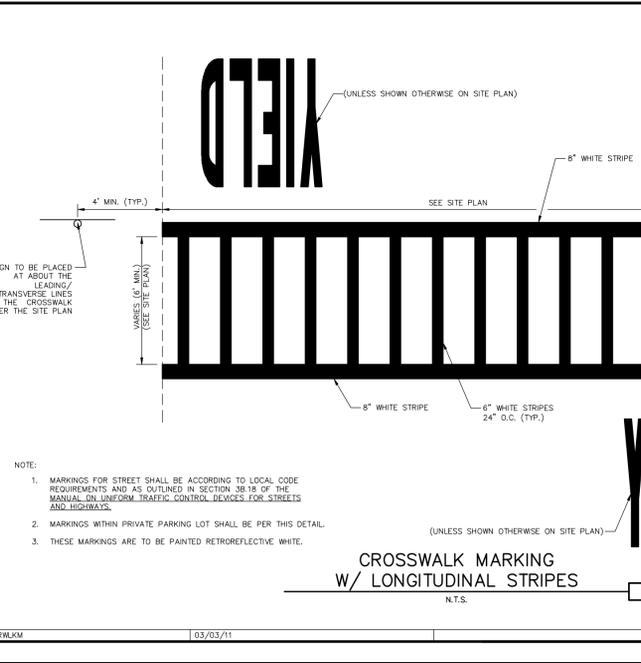
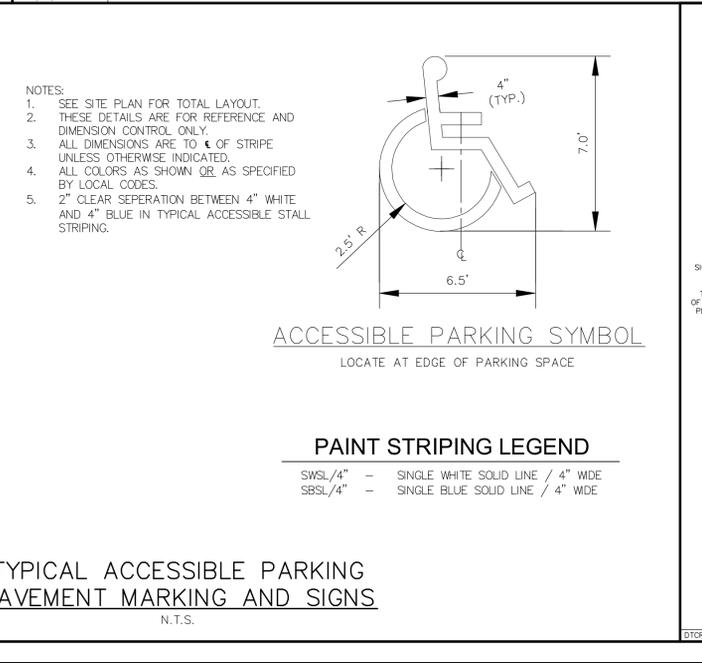
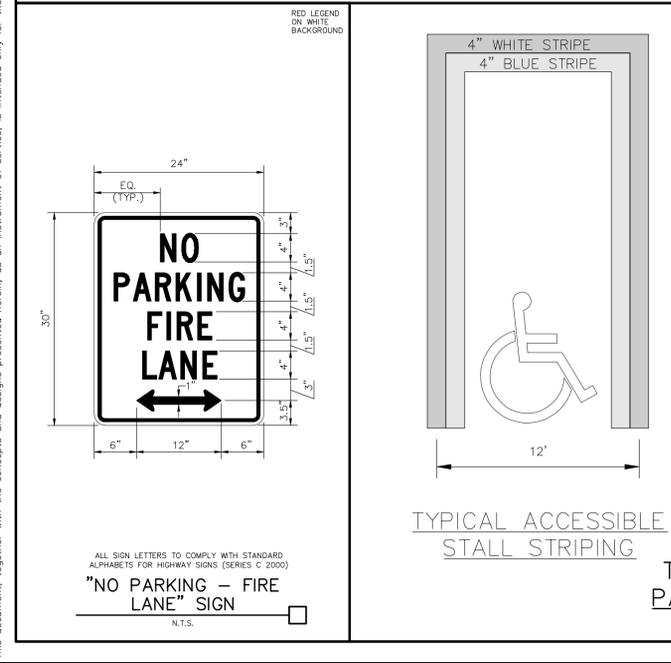
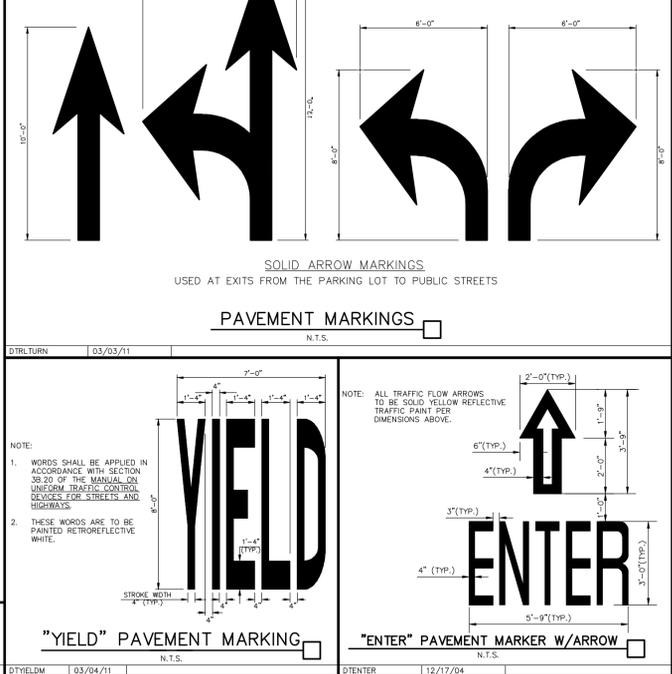
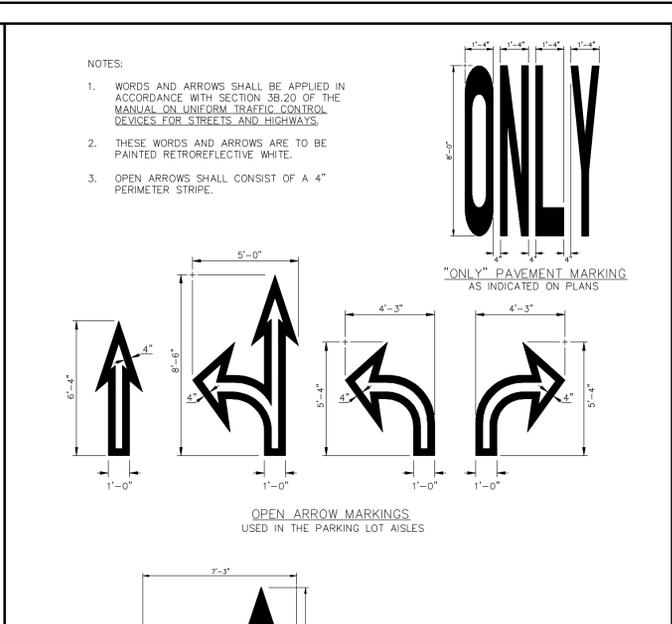
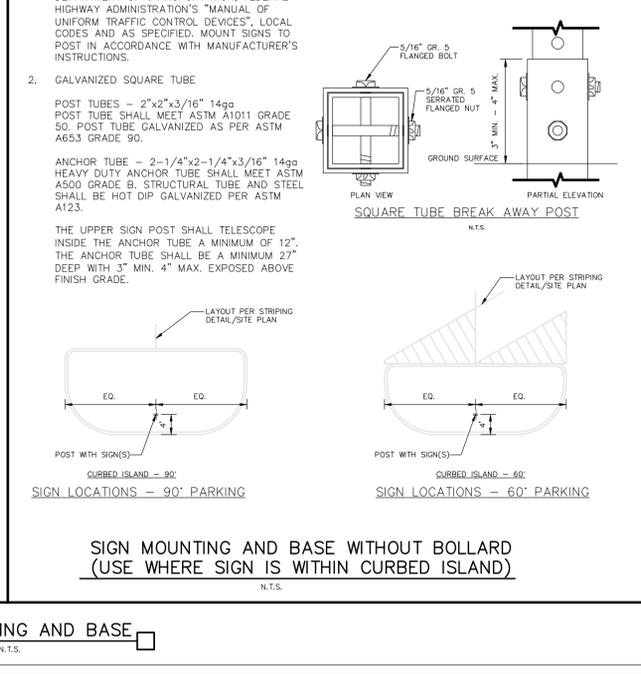
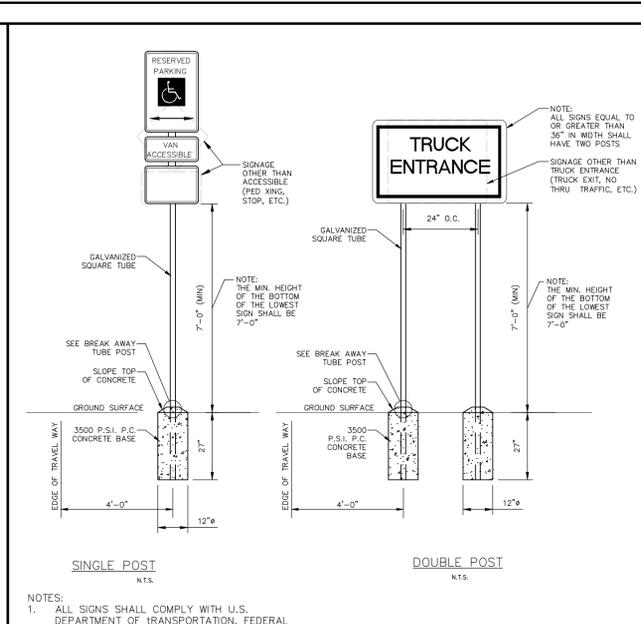
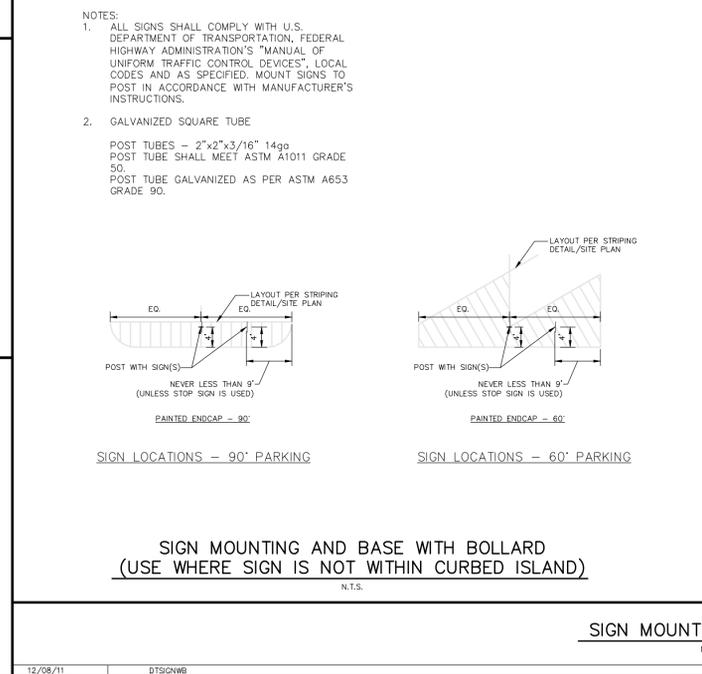
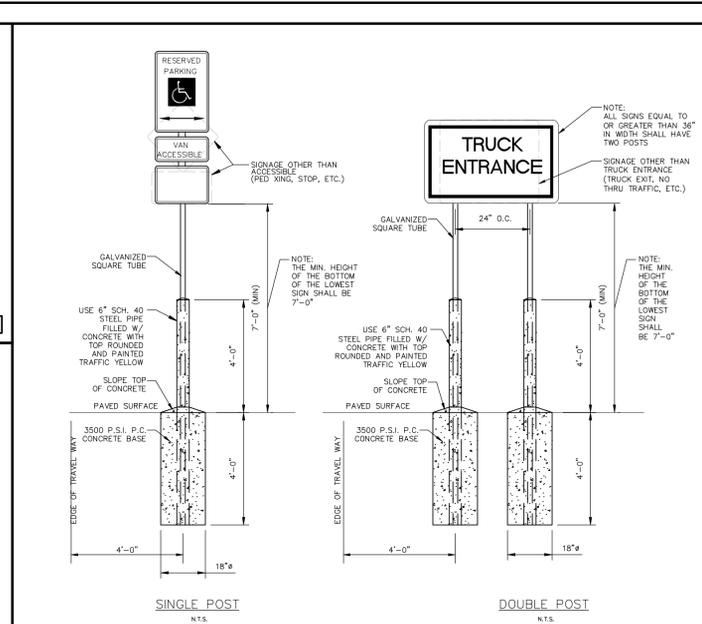
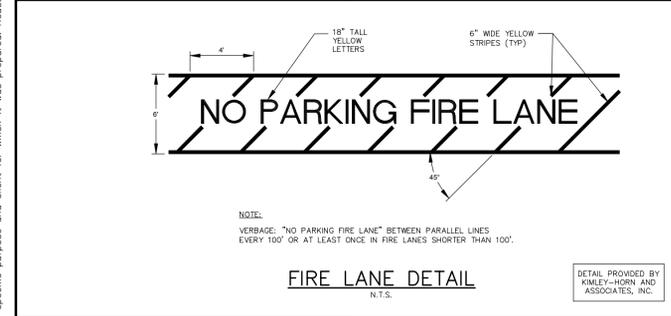
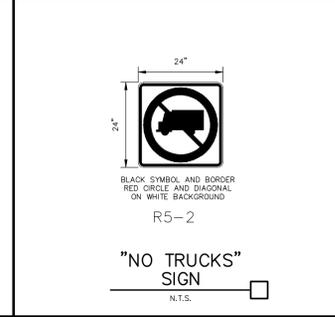
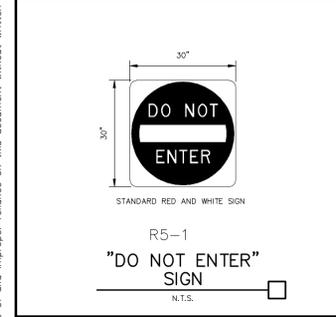
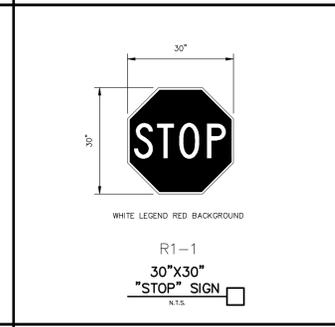
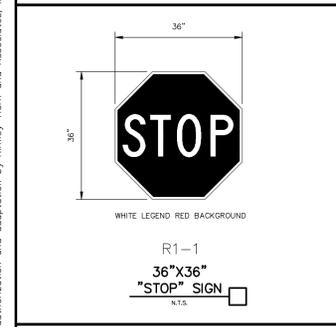
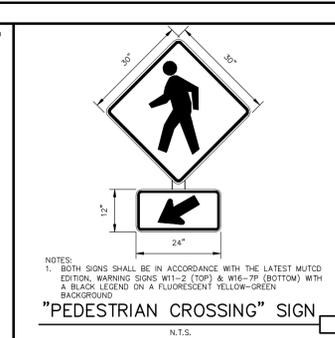
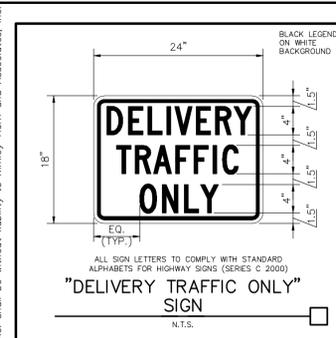
 © 2014 KIMLEY-HORN AND ASSOCIATES, INC. 655 NORTH FRANKLIN STREET, SUITE 130, TAMPA, FL 33602 PHONE: 813-620-1460 WWW.KIMLEY-HORN.COM CA 0000696		REVISIONS	DATE
		No.	
DESIGN ENGINEER:	MATTHEW R. FEMAL, P.E.	UTILITY PLAN	
SCALE AS SHOWN	N.V.		
DESIGNED BY	N.V.		
DRAWN BY	N.V.	FLORIDA LICENSE NUMBER	68397
CHECKED BY	MRF	DATE:	
STORE #994-217 NEW PORT RICHEY, FL WAL-MART STORES EAST, LP PASCO COUNTY FLORIDA		DATE 06/13/14 PROJECT NO. 148445023 SHEET NUMBER 6090	



ALERT TO CONTRACTOR:

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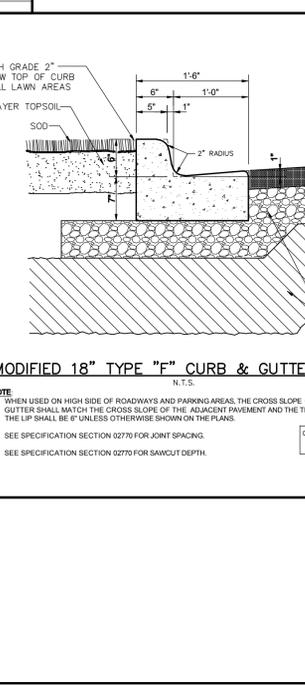
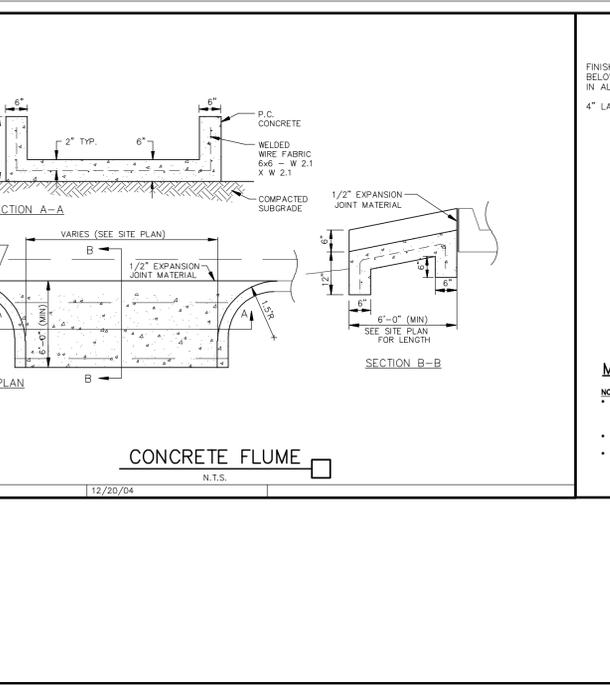
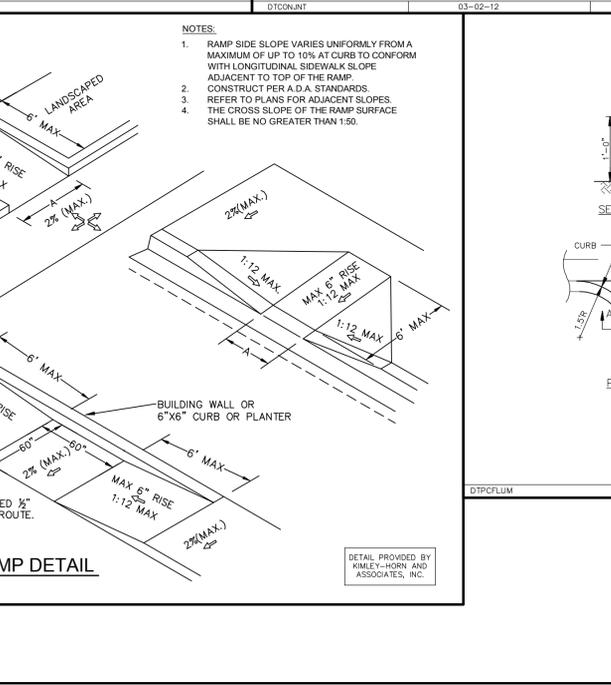
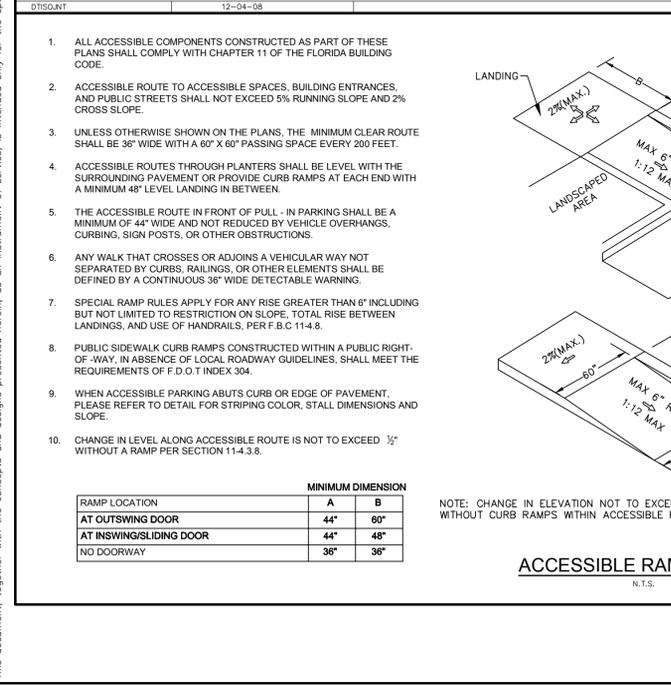
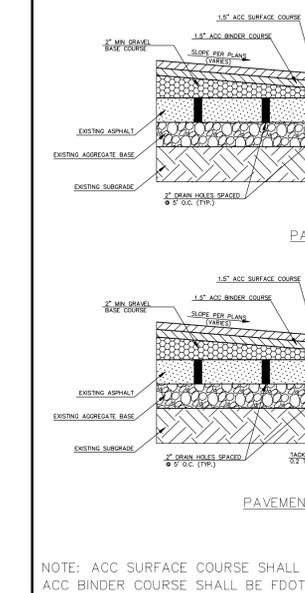
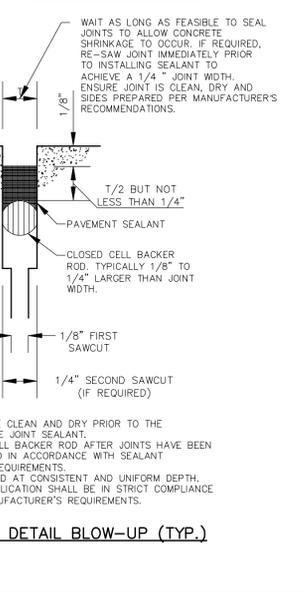
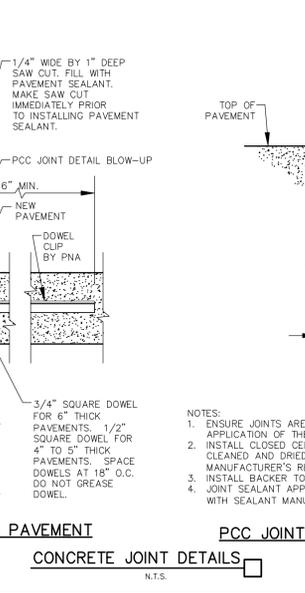
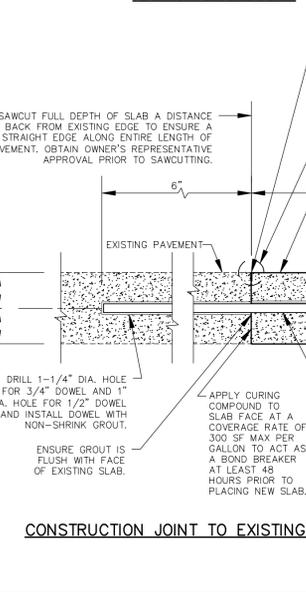
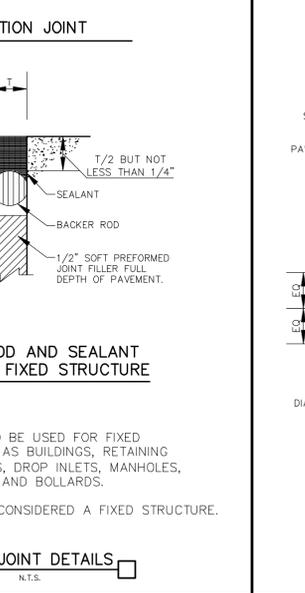
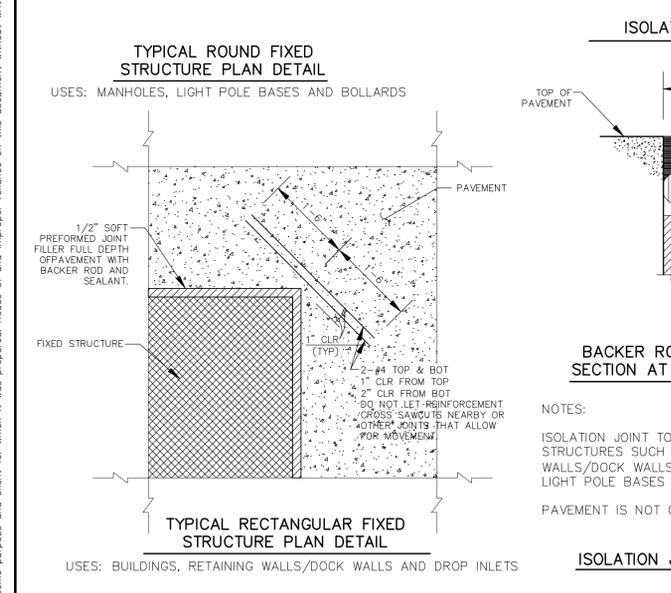
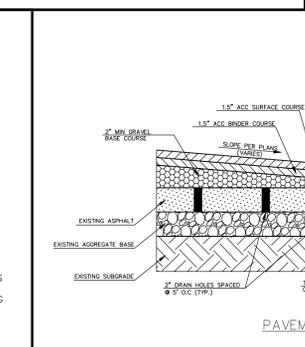
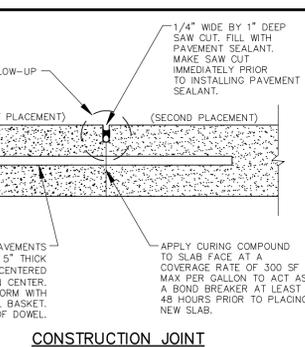
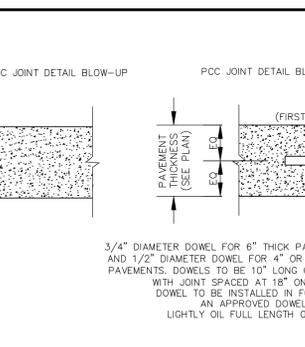
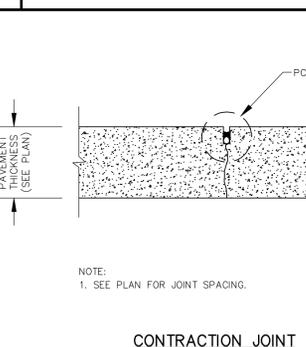
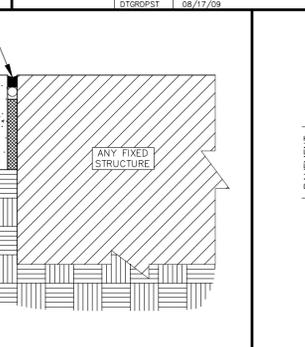
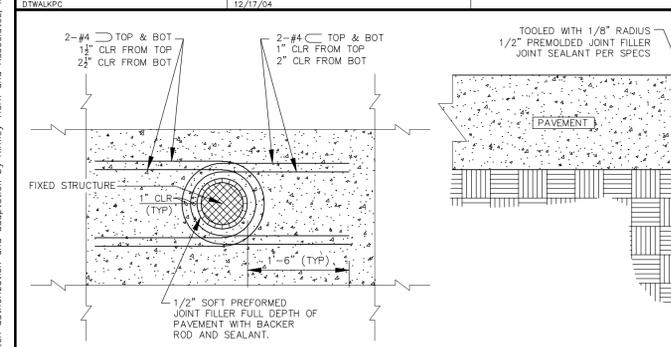
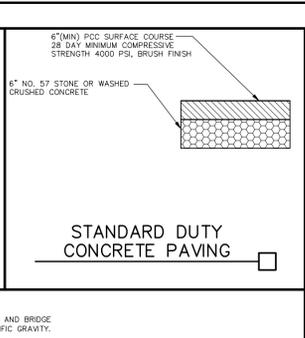
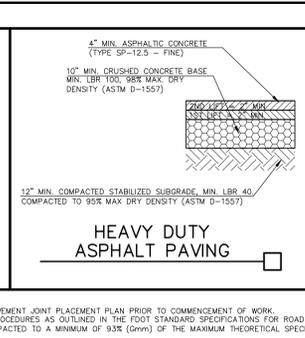
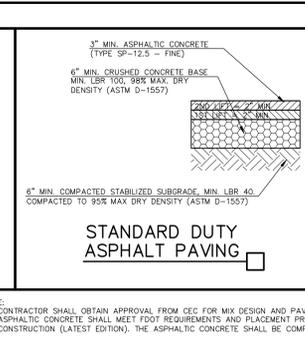
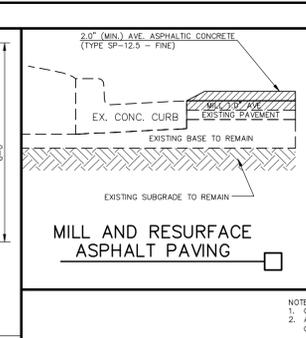
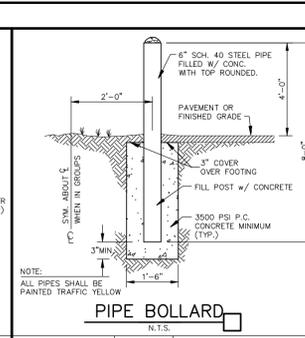
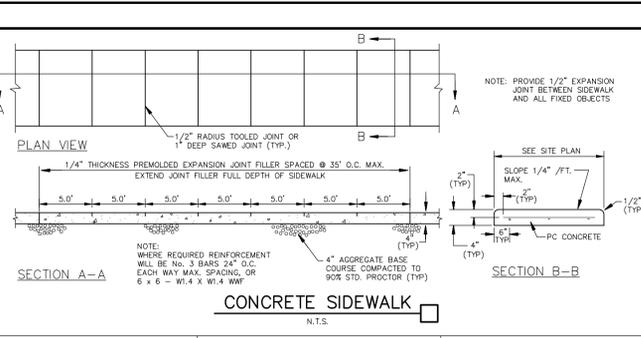
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		DATE REVISIONS No.
DESIGN ENGINEER: MATTHEW R. FEMAL, P.E.		No.
SCALE AS SHOWN DESIGNED BY R.V.		DATE: 06/13/14
DRAWN BY R.V.		PROJECT NO. 148445023
CHECKED BY MRF		SHEET NUMBER 6100
STRIPING AND SIGNAGE DETAILS		
Walmart logo STORE #994-217 NEW PORT RICHEY, FL WAL-MART STORES EAST, LP		FLORIDA PASCO COUNTY

Plotted By: Vera, Nilasa Sheet Set: Walmart LBA - 994 Layout: PAVEMENT DETAILS June 27, 2014 01:01:16pm K:\TAM_Civil\147253 - Wal-Mart\000 - Liquor Box Additions\994 - New Port Richey\CADD\Work\PlanSheets\6110 - PAVEMENT DETAILS - 994.dwg

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PAVEMENT DETAILS

DESIGN ENGINEER: MATTHEW R. FEMAL, P.E.
SCALE AS SHOWN: AS SHOWN
DESIGNED BY: NV
DRAWN BY: NV
CHECKED BY: MRF
DATE: 06/30/14

FLORIDA LICENSE NUMBER: 68397
DATE: 06/30/14

Walmart STORE #994-217
NEW PORT RICHEY, FL
WAL-MART STORES EAST, LP
PASCO COUNTY FLORIDA

DATE: 06/13/14
PROJECT NO. 148445023
SHEET NUMBER 6110

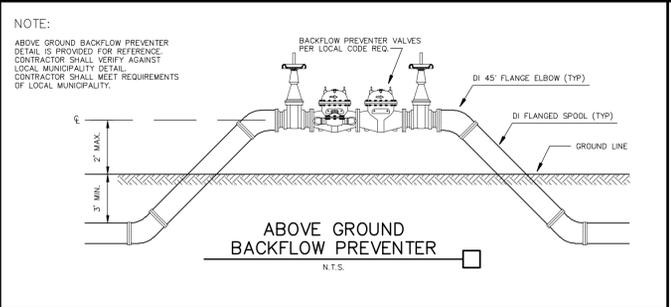
Kimley-Horn

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655 NORTH FRANKLIN STREET, SUITE 130, TAMPA, FL 33602
PHONE: 813-620-1460
WWW.KIMLEY-HORN.COM CA 0000696

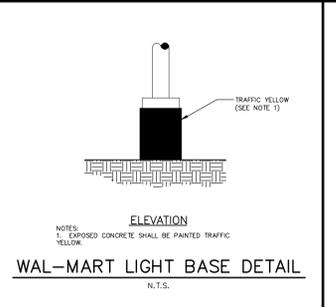
REVISIONS

No.	DATE

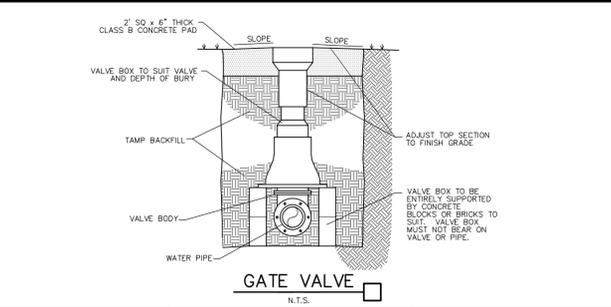
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DTBCFLA 12/21/04



10/02/07 WAL-MART LIGHT BASE DTGATEVL



12/21/04

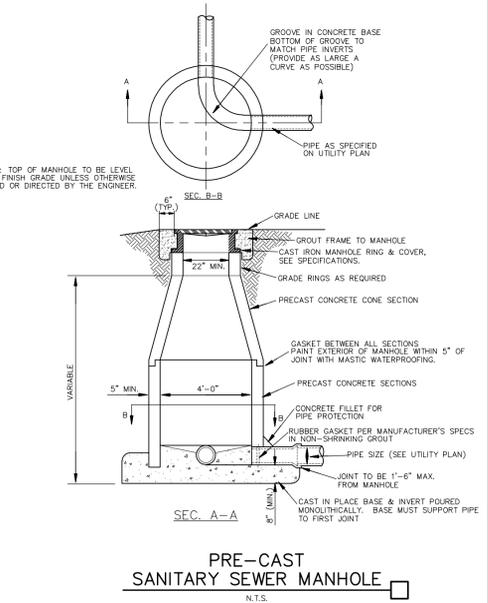
WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1) (5)	JOINT SPACING @ CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)	Water Main 3 ft. minimum	Water Main 12 inches is the minimum, except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 3 ft. minimum
VACUUM SANITARY SEWER	Water Main 10 ft. preferred 3 ft. minimum	Water Main 12 inches preferred 6 inches minimum	Alternate 3 ft. minimum
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN, RECLAIMED WATER (4)	Water Main 10 ft. preferred 6 ft. minimum	Water Main 12 inches is the minimum, except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft. minimum
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft. minimum		

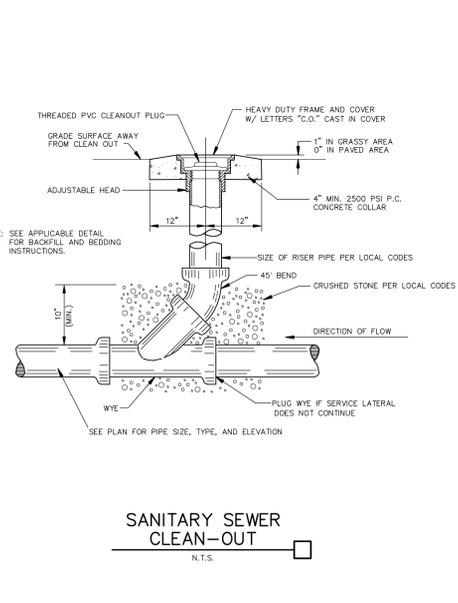
- (1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
- (2) RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-510, F.A.C.
- (3) 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
- (4) RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-510, F.A.C.
- (5) 18" MINIMUM SEPARATION REQUIRED, UNLESS OTHERWISE APPROVED.

DETAIL PROVIDED BY KIMLEY-HORN AND ASSOCIATES, INC.

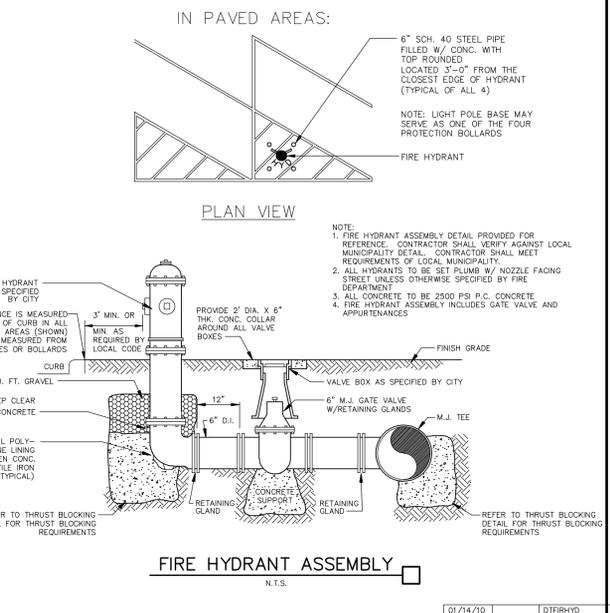
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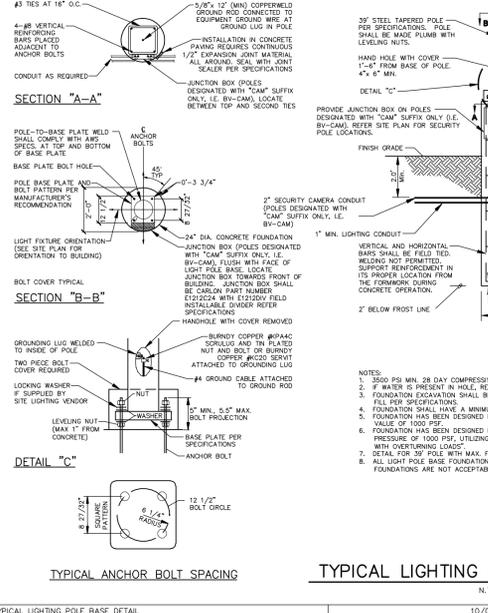
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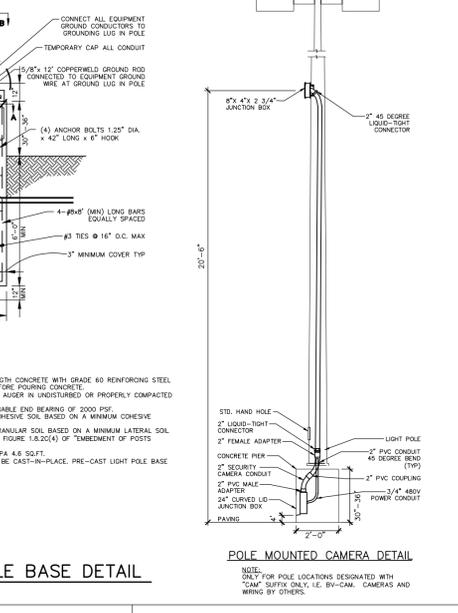
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07/14/10 DTFRHYD



10/02/07



10/02/07

No.	REVISIONS	DATE

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DESIGN ENGINEER:
MATTHEW R. FEMAL P.E.
FLORIDA LICENSE NUMBER: 68397
DATE:

SCALE AS SHOWN
DESIGNED BY: NV
DRAWN BY: NV
CHECKED BY: MRF

UTILITY DETAILS

Walmart STORE #994-217
NEW PORT RICHEY, FL
WAL-MART STORES EAST, LP
PASCO COUNTY FLORIDA

DATE: 06/13/14
PROJECT NO. 148445023
SHEET NUMBER 6120

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	REMARKS	
	LJ	6	Ligustrum japonicum / Japanese Privet	12' Ht., 4" Spr., 2.5" Cal.	Multi-Trunk, 3 Trunk Min.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SPECIFICATIONS	SPACING	REMARKS
	MUH	55	Muhlenbergia capillaris / Pink Muhly	24" Ht., 24" Spr.	36" o.c.	Full
	RHA	72	Rhaphiolepis indica 'Alba' / White Indian Hawthorn	24" Ht., 24" Spr.	48" o.c.	Full
MISC	QTY	BOTANICAL/COMMON	SPECIFICATIONS			
MULCH	TBD	Florimulch	Shredded, 4" depth			

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO BE FLORIDA #1 AND MEET ALL SPECIFICATIONS PROVIDED.

LANDSCAPE AND IRRIGATION NOTES

- ALL LANDSCAPED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1-INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
- ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BUR LAPPED AS INDICATED IN THE PLANT LIST.
- ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
- ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN UNTIL SUBSTANTIAL COMPLETION ACCEPTANCE DATE.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 12-18 MONTHS FOLLOWING THE SUBSTANTIAL COMPLETION DATE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
- AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCUMULATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A HARDWOOD MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER TO A MINIMUM DEPTH OF FOUR INCHES.
- REFER TO WALMART SPECIFICATIONS FOR INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.
- WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
- THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
- THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.
- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES, AND SHALL BE FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II," STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
- ALL INVASIVE / EXOTIC SPECIES AND PROHIBITED TREE SPECIES WITHIN THE LIMITS OF DISTURBANCE SHALL BE REMOVED FROM SITE, INCLUDING ROOT BALLS TO THE EXTENT POSSIBLE WITH NO DAMAGE TO ADJACENT EXISTING TREES.
- EXISTING TREES TO BE CORRECTIVELY PRUNED BY A CERTIFIED ARBORIST TO ULTIMATELY ACHIEVE FLORIDA NUMBER ONE GRADE WITH THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, ETC. PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
- THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
- CONTRACTOR TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AVAILABLE WATER PRESSURE WILL NOT ALLOW SYSTEM MODIFICATION TO BE POSSIBLE.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- WHERE APPLICABLE IRRIGATION HEADS ARE TO BE ADJUSTED FOR COMPLETE COVERAGE WITH MINIMUM OVER SPRAY BEYOND LANDSCAPE AREAS.
- EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES.
- IRRIGATION CONTRACTOR SHALL REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
- ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.
- CONTRACTOR TO PROVIDE PERMANENT BENCH-MARKS ON ALL CURB LINES AT RELATED SLEEVE LOCATIONS (TYP).

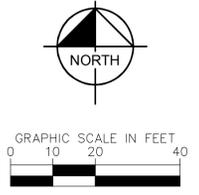
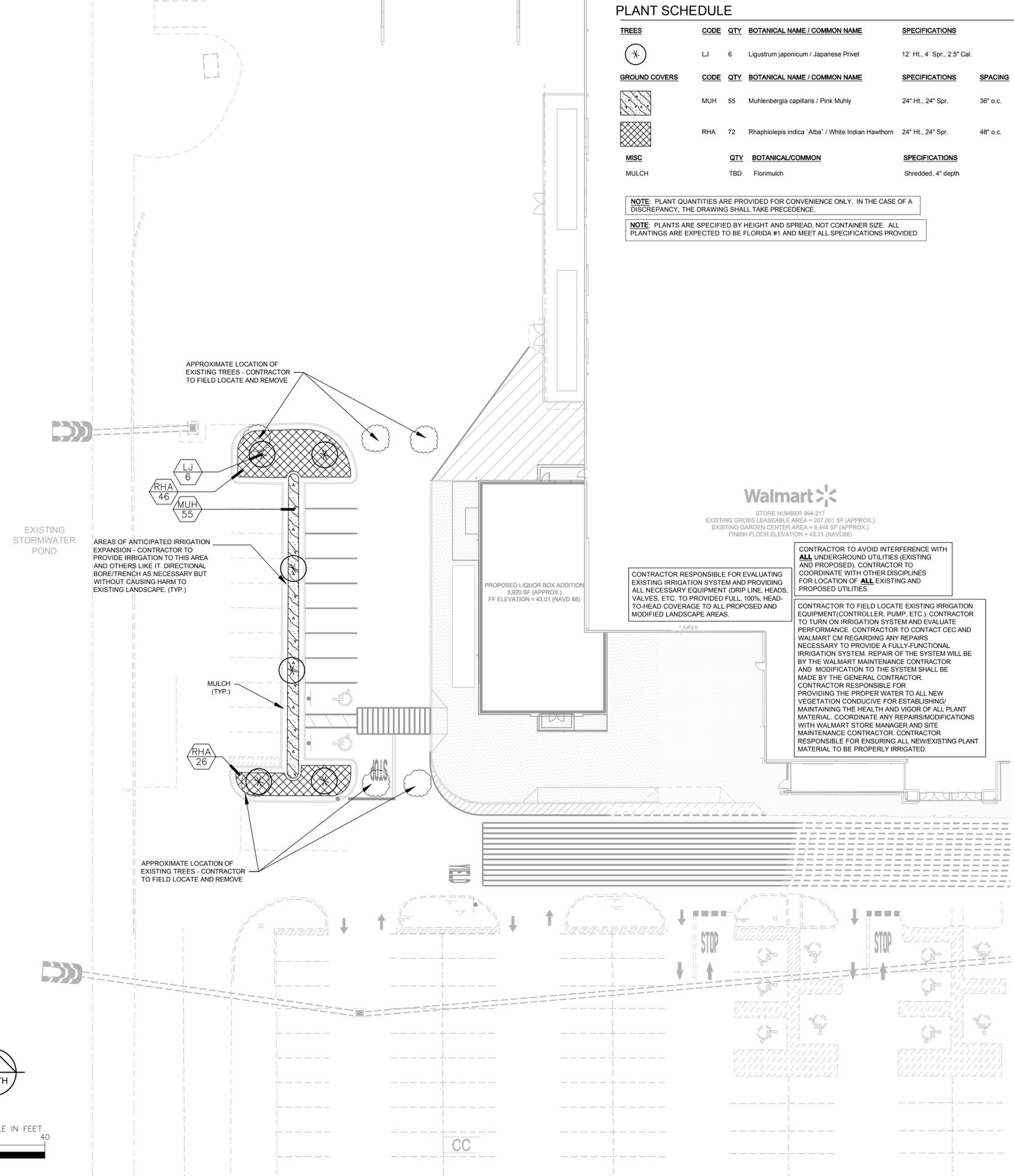
WEED MAT IS TO BE UTILIZED WITHIN ALL MULCHED PLANTING BEDS, 4.1 OZ., WOVEN POLYPROPYLENE, NEEDLE-PUNCHED FABRIC, WEED BARRIER.

NOTE: ALL PROPOSED LANDSCAPE PLANTING AREAS TO BE EXCAVATED TO A MINIMUM DEPTH OF 24" AS NECESSARY TO CONTAIN APPROPRIATE PLANTING MIX AS SPECIFIED IN SECTION 2900, PART 2.5 TOPSOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITIES, IRRIGATION LINES, WIRING, STRUCTURES, LANDSCAPE, ETC. WHICH ARE SCHEDULED TO BE RETAINED/ REUSED.

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS AND TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.

ALERT TO CONTRACTOR:

- THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
- ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.



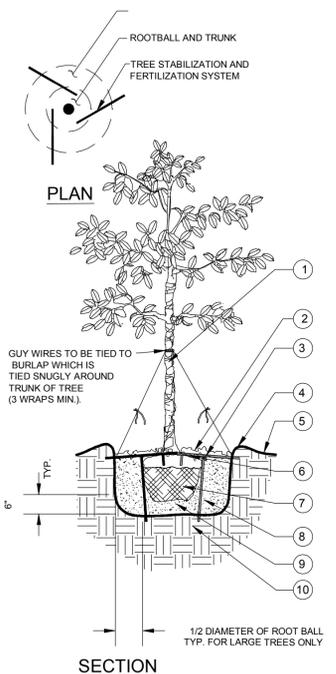
Plotted By: Franko, Matt Sheet Set: Walmart_LBA - 994 Layout: 6210 June 25, 2014 10:08:53pm K:\VRB_LDE\047253 - Wal-Mor\LBA\994-New Port Richey\CAD\PlanSheets\6210 - LANDSCAPE AND IRRIGATION PLAN - 994.dwg
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DESIGN ENGINEER: DAVID A. SIMS, RLA		DATE: 06/13/14	
SCALE: AS SHOWN		PROJECT NO: 148445023	
DESIGNED BY: MTF	DRAWN BY: MTF	CHECKED BY: DAS	SHEET NUMBER: 6210
FLORIDA LICENSE NUMBER: 1487		DATE: 06/13/14	
DATE: 06/13/14		PROJECT NO: 148445023	
SHEET NUMBER: 6210		DATE: 06/13/14	

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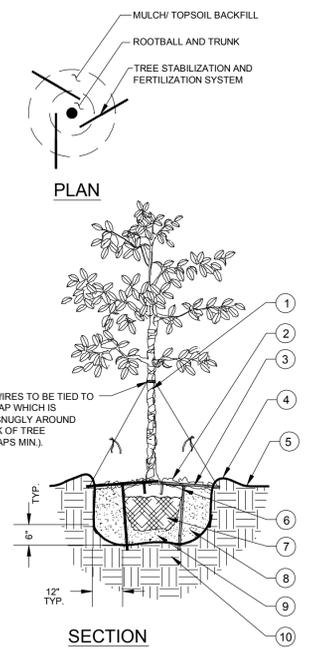
Walmart STORE #994-217
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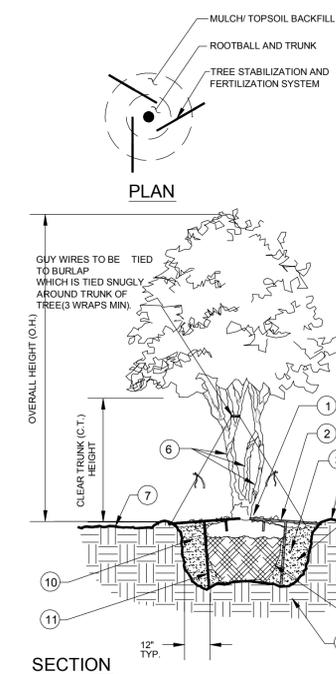
2. 4" MINIMUM OF HARDWOOD BARK MULCH COMPACTED OR AS SPECIFIED.
 3. STAKE SIZE SHALL BE ONE SIZE HIGHER THAN REQUIRED FOR SIZE OF TREE. REFER TO SITEWORK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS. USE GUY WIRE (W/ FLAGGING) IN WINDY CONDITIONS WHEN NECESSARY.
 5. FINISHED GRADE (SEE GRADING PLAN)
 6. TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE
 7. B & B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
 8. PREPARED PLANTING SOIL MIX AS SPECIFIED.
 9. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
 10. UNDISTURBED SUBSOIL
- NOTES:
- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
 - B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLING TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
 - C. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - D. PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
 - E. BRANCHING HEIGHT TO A.A.N. STANDARDS.

LARGE TREE PLANTING (14' OR GREATER)



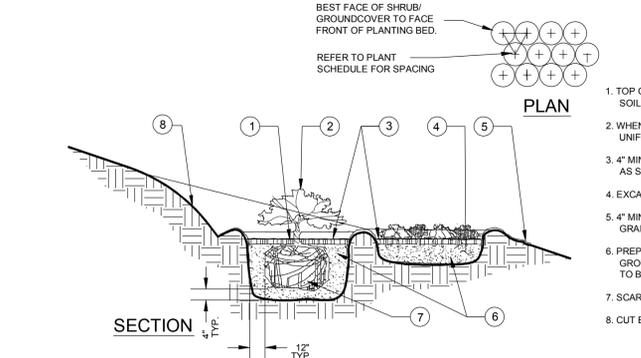
1. TREE WRAP
 2. 4" MINIMUM OF HARDWOOD BARK MULCH COMPACTED OR AS SPECIFIED.
 3. STAKE SIZE SHALL BE ONE SIZE HIGHER THAN REQUIRED FOR SIZE OF TREE. REFER TO SITEWORK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS. USE GUY WIRE (W/ FLAGGING) IN WINDY CONDITIONS WHEN NECESSARY.
 4. 3" HIGH SOIL BERM TO HOLD WATER.
 5. FINISHED GRADE (SEE GRADING PLAN)
 6. TOP OF ROOTBALL MIN. 1" ABOVE FINISHED GRADE
 7. B & B OR CONTAINERIZED (SEE SPECIFICATIONS FOR ROOT BALL REQUIREMENTS)
 8. PREPARED PLANTING SOIL MIX AS SPECIFIED.
 9. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
 10. UNDISTURBED SUBSOIL
- NOTES:
- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
 - B. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLING TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
 - C. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - D. PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT.
 - E. BRANCHING HEIGHT TO A.A.N. STANDARDS.

SMALL TREE PLANTING (14' OR LESS)



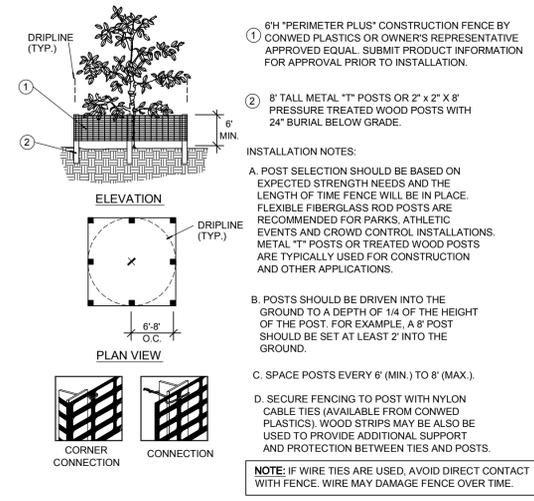
1. BASE OF TREE SHALL BE PLANTED SLIGHTLY ABOVE (1" MIN.) ADJACENT FINISH GRADE. REMOVE ALL TWINE & STRAPS & CUT BURLAP FROM TOP 1/3 OF ROOTBALL. NO SYNTHETIC BURLAP WILL BE ACCEPTED.
 2. 4" SHREDDED HARDWOOD BARK MULCH OR APPROVED EQUAL
 3. DIAMETER OF TREE PIT TO BE TWICE THE DIAMETER OF ROOTBALL. ROUGHEN SIDES OF TREE PIT.
 4. 3" HIGH SOIL BERM TO HOLD WATER.
 5. PREPARED PLANTING SOIL MIX AS SPECIFIED
 6. TREE WRAP
 7. 4" MIN. OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN)
 8. ROOTBALLS GREATER THAN 24" DIAMETER SHALL BE PLACED ON MOUND OF UNDISTURBED SOIL TO PREVENT SETTLING ROOTBALLS SMALLER THAN 24" IN DIA. MAY SIT ON COMPACTED EARTH.
 9. UNDISTURBED SUBSOIL
 10. PREPARED PLANTING SOIL MIX AS SPECIFIED
 11. STAKE SIZE SHALL BE ONE SIZE HIGHER THAN REQUIRED FOR SIZE OF TREE. REFER TO SITEWORK SPECIFICATIONS FOR APPROVED MATERIALS AND INSTALLATION REQUIREMENTS. USE GUY WIRE (W/ FLAGGING) IN WINDY CONDITIONS WHEN NECESSARY.
- NOTES:
- A. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
 - B. SET TREE AT ORIGINAL DEPTH. REMOVE BURLAP, WIRE AND STRAPS (ANYTHING THAT COULD GIRDLING TREE OR RESTRICT ROOT GROWTH) ON UPPER 1/3 OF ROOTBALL.
 - C. SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - D. PRUNE TREE AS DIRECTED BY LANDSCAPE ARCHITECT
 - E. BRANCHING HEIGHT TO A.A.N. STANDARDS

MULTI-TRUNK TREE PLANTING



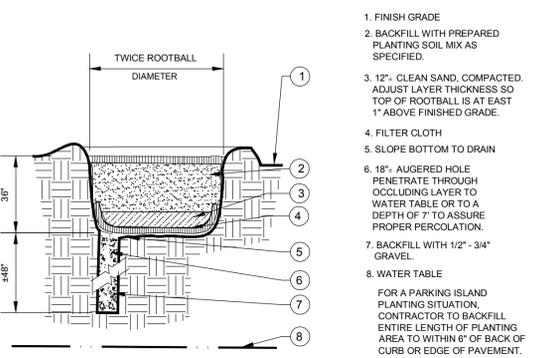
1. TOP OF SHRUB ROOTBALLS TO BE PLANTED 1" - 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOTBALL.
- WHEN USED IN MASSES- PRUNE ALL SHRUBS TO ACHIEVE A UNIFORM MASS/HEIGHT
- 4" MINIMUM OF SHREDDED HARDWOOD MULCH COMPACTED OR AS SPECIFIED.
- EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
- 4" MINIMUM OF TOPSOIL TO BRING TO FINISHED GRADE (SEE GRADING PLAN)
- PREPARED PLANTING SOIL MIX AS SPECIFIED. NOTE: WHEN GROUND-COVERS AND SHRUBS USED IN MASSES ENTIRE BED TO BE AMENDED WITH PLANTING SOIL MIX AS SPECIFIED.
- SCARIFY ROOTBALL SIDES AND BOTTOM.
- CUT BACK SLOPE TO PROVIDE A FLAT SURFACE FOR PLANTING.

SHRUB/ GROUNDCOVER PLANTING ON SLOPE

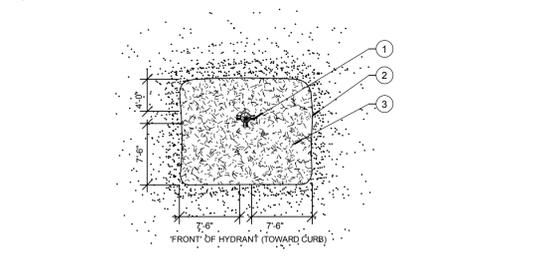


- 6" H "PERIMETER PLUS" CONSTRUCTION FENCE BY CONWED PLASTICS OR OWNERS REPRESENTATIVE APPROVED EQUAL. SUBMIT PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.
 - 8" TALL METAL "T" POSTS OR 2" x 2" x 8" PRESSURE TREATED WOOD POSTS WITH 24" BURIAL BELOW GRADE.
- INSTALLATION NOTES:
- A. POST SELECTION SHOULD BE BASED ON EXPECTED STRENGTH NEEDS AND THE LENGTH OF TIME FENCE WILL BE IN PLACE. FLEXIBLE FIBERGLASS ROD POSTS ARE RECOMMENDED FOR PARKS, ATHLETIC EVENTS AND CROWD CONTROL INSTALLATIONS. METAL "T" POSTS OR TREATED WOOD POSTS ARE TYPICALLY USED FOR CONSTRUCTION AND OTHER APPLICATIONS.
 - B. POSTS SHOULD BE DRIVEN INTO THE GROUND TO A DEPTH OF 1/4 OF THE HEIGHT OF THE POST. FOR EXAMPLE, A 8' POST SHOULD BE SET AT LEAST 2' INTO THE GROUND.
 - C. SPACE POSTS EVERY 6' (MIN.) TO 8' (MAX.).
 - D. SECURE FENCING TO POST WITH NYLON CABLE TIES (AVAILABLE FROM CONWED PLASTICS). WOOD STRIPS MAY BE ALSO BE USED TO PROVIDE ADDITIONAL SUPPORT AND PROTECTION BETWEEN TIES AND POSTS.
- NOTE: IF WIRE TIES ARE USED, AVOID DIRECT CONTACT WITH FENCE. WIRE MAY DAMAGE FENCE OVER TIME.

TREE/SHRUB PROTECTOR

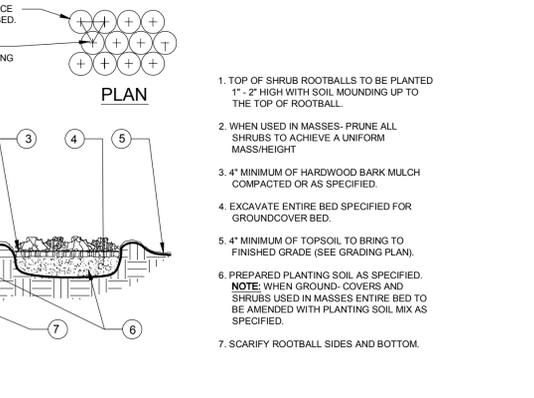


POOR DRAINAGE CONDITION

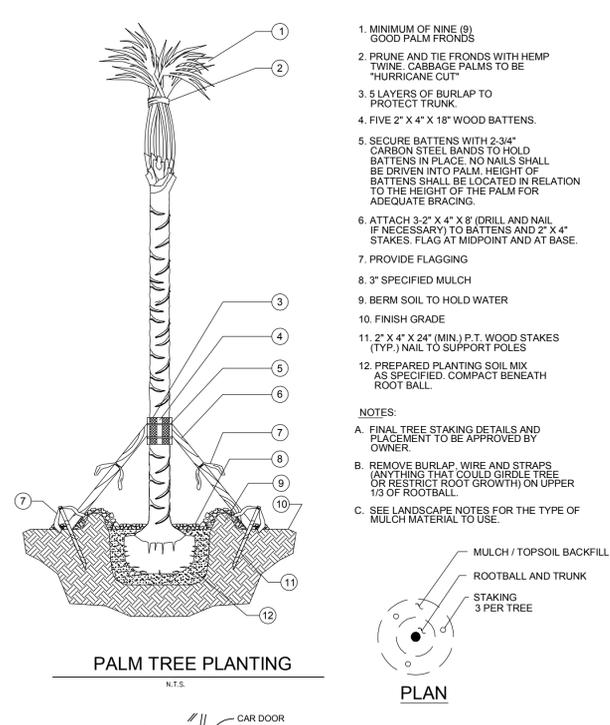


1. FIRE HYDRANT
- NO PLANT MATERIAL SHALL BE PLACED WITHIN SHOWN RADIUS OF ALL PROPOSED OR EXISTING FIRE HYDRANTS. CONTRACTOR SHALL ADJUST PLANT MATERIAL SO THAT NO CONFLICTS WITH FIRE HYDRANTS OCCUR ON SITE.
- PROVIDE A MULCH, 4" DEPTH MIN., SURROUNDING AREA INDICATED.

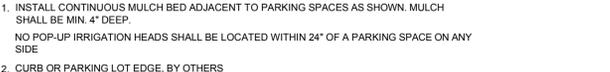
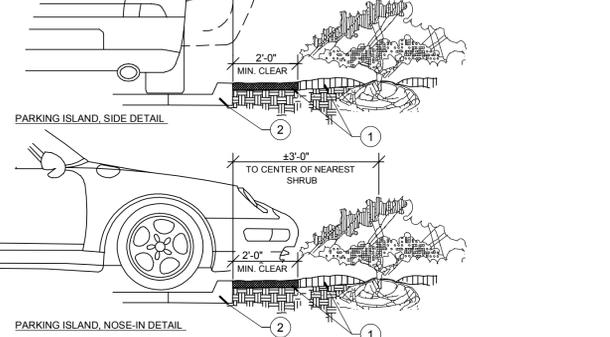
FIRE HYDRANT CLEAR ZONE



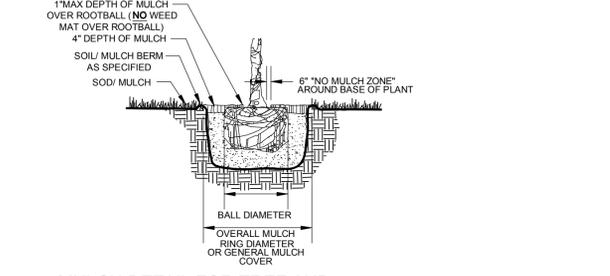
SHRUB/ GROUNDCOVER PLANTING



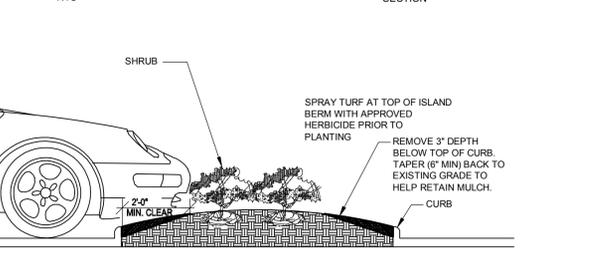
PALM TREE PLANTING



PARKING SPACE/CURB PLANTING



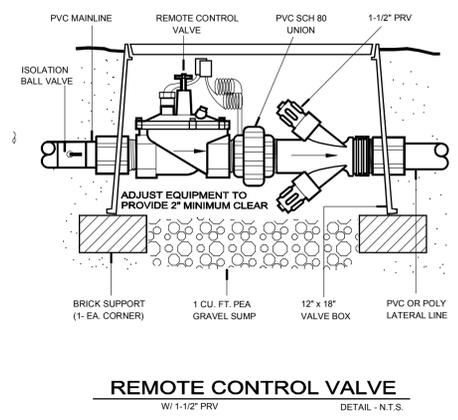
MULCH DETAIL FOR TREE AND SHRUB PLANTINGS



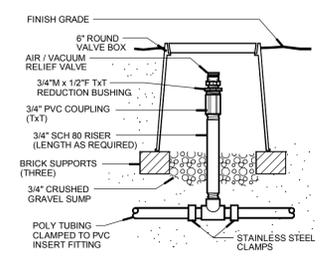
MULCH TAPER DETAIL

DESIGN ENGINEER: DAVID A. SIMS, RLA		DATE: 06/13/14	
SCALE: AS SHOWN		PROJECT NO. 148445023	
DESIGNED BY: MTF	DRAWN BY: MTF	CHECKED BY: DAS	SHEET NUMBER: 6220
LANDSCAPE DETAILS			
Walmart STORE #994-217 NEW PORT RICHEY, FL		WAL-MART STORES EAST, LP FLORIDA	
Kimley-Horn		© 2014 KIMLEY-HORN AND ASSOCIATES, INC. 655 NORTH FRANKLIN STREET, SUITE 130, TAMPA, FL 33602 PHONE: 813-620-1480 WWW.KIMLEY-HORN.COM CA 0000696	

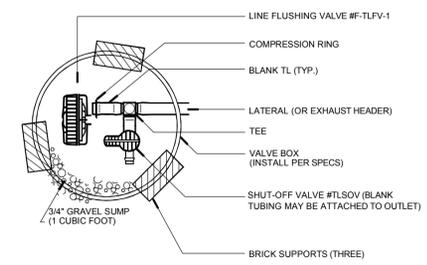
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REMOTE CONTROL VALVE
W/ 1-1/2" PRV DETAIL - N.T.S.



AIR/VACUUM RELIEF (PLUMBED TO POLY) DETAIL - N.T.S.
ALL BARBED FITTINGS TO UTILIZE EITHER STAINLESS STEEL HOSE CLAMPS, STEEL CRIMP, OR COMPRESSION RING.



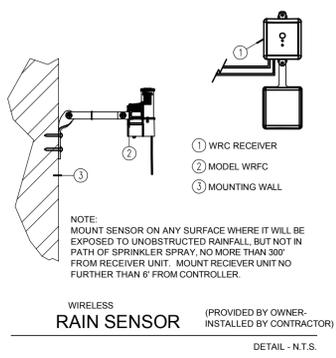
LINE FLUSHING VALVE W/ SHUT-OFF VALVE DETAIL - N.T.S.
ALL BARBED FITTINGS TO UTILIZE EITHER STAINLESS STEEL HOSE CLAMPS, STEEL CRIMP, OR COMPRESSION RING.

TECHLINE CV-MAXIMUM LENGTH OF A SINGLE LATERAL (FEET)

TECHLINE DRIPPER SPACING DRIPPER FLOW RATE (GPH)	12"			16"			24"		
	0.4	0.6	0.9	0.4	0.6	0.9	0.4	0.6	0.9
15	109	86	65	151	120	91	152	116	
25	325	256	194	459	361	274	458	348	
35	409	322	244	579	456	346	580	440	
45	469	369	280	664	523	397	666	506	

TECHLINE-MAXIMUM LENGTH OF A SINGLE LATERAL (FEET)

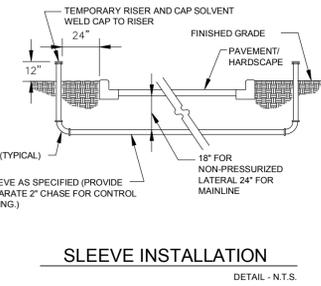
TECHLINE DRIPPER SPACING DRIPPER FLOW RATE (GPH)	12"			16"			24"		
	0.4	0.6	0.9	0.4	0.6	0.9	0.4	0.6	0.9
15	292	233	175	410	322	247	405	308	
25	397	312	238	558	438	335	553	423	
35	486	385	279	656	514	394	649	497	
45	520	407	311	732	574	439	725	555	



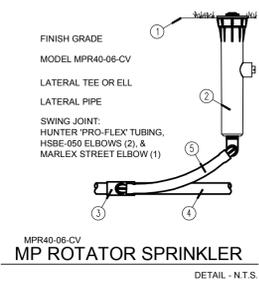
RAIN SENSOR (PROVIDED BY OWNER - INSTALLED BY CONTRACTOR) DETAIL - N.T.S.

SLEEVE SIZE SCHEDULE

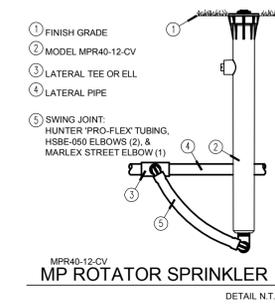
PIPE SIZE	SLEEVE SIZE
3/4"	1-1/4"
1"	2"
1-1/4"	2-1/2"
1-1/2"	2-1/2"
2"	3"
2-1/2"	4"
3, 4"	6"



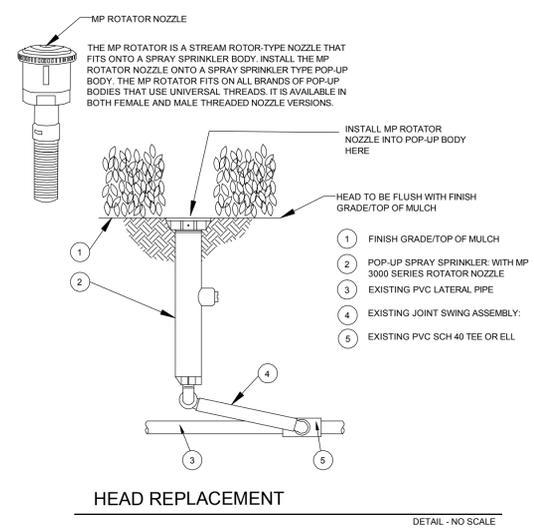
SLEEVE INSTALLATION DETAIL - N.T.S.



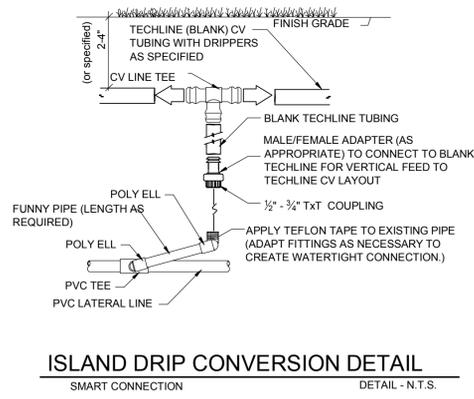
MP ROTATOR SPRINKLER DETAIL - N.T.S.



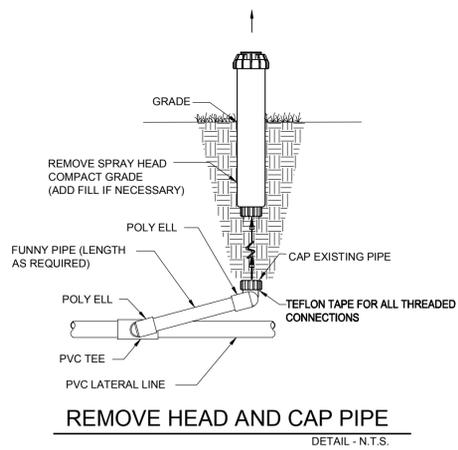
MP ROTATOR SPRINKLER DETAIL - N.T.S.



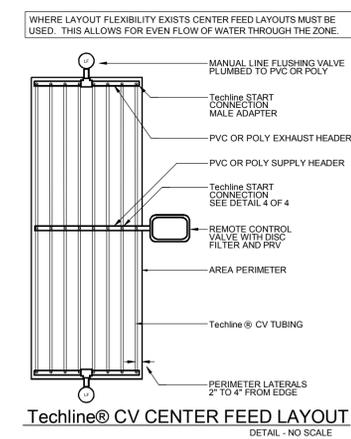
HEAD REPLACEMENT DETAIL - NO SCALE



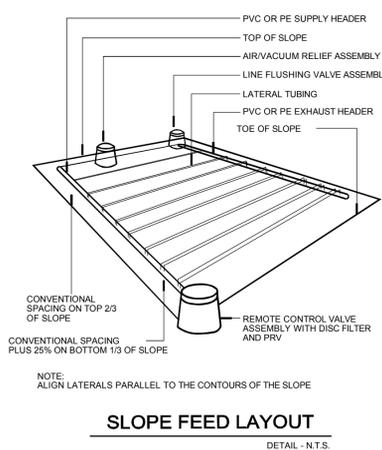
ISLAND DRIP CONVERSION DETAIL SMART CONNECTION DETAIL - N.T.S.



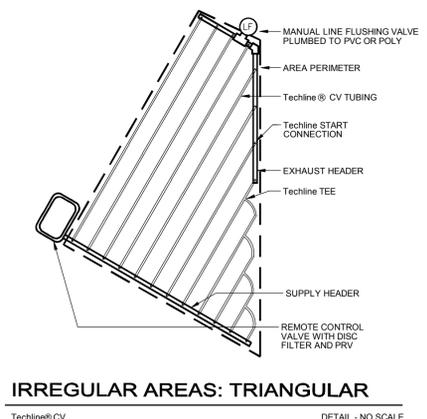
REMOVE HEAD AND CAP PIPE DETAIL - N.T.S.



Techline® CV CENTER FEED LAYOUT DETAIL - NO SCALE



SLOPE FEED LAYOUT DETAIL - N.T.S.



IRREGULAR AREAS: TRIANGULAR DETAIL - NO SCALE

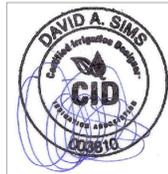
NO.	REVISIONS	DATE

Kimley-Horn
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DESIGN ENGINEER: DAVID A. SIMS, RLA
SCALE: AS SHOWN
DESIGNED BY: MTF
DRAWN BY: MTF
CHECKED BY: DAS

FLORIDA LICENSE NUMBER: 1487
DATE: 06/13/14

IRRIGATION DETAILS



Walmart STORE #994-217
NEW PORT RICHEY, FL
WAL-MART STORES EAST, LP
PASCO COUNTY FLORIDA

DATE: 06/13/14
PROJECT NO. 148445023
SHEET NUMBER 6230