

PASCO COUNTY, FLORIDA
INTEROFFICE MEMORANDUM

TO: Joaquin Servia
Development Review Manager

DATE: 8/14/15 FILE: PDD15-1558

SUBJECT: St. Joe Zip Lines Proshop –
Preliminary Site/Construction
Plan and Stormwater
Management Plan and Report
(Project No. SML15-036)
Recommendation: Approval
with Conditions (Attachment
No. 1)


FROM: Beverly E. Trudell
Senior Development Review
Technician

REFERENCES: Land Development Code,
Sections 300, Procedures;
403, Site Development;
and 900, Development
Standards; Comm. Dist. 1

PROJECT DESCRIPTION:

Commission District:	The Honorable Ted Schrader
Project Name:	St. Joe Zip Lines Proshop
Developer's Name:	Saint Joe Ranch, LLC
Location:	On the north side of St. Joe Road and east of Bellamy Bros Boulevard (Attachment No. 2)
Parcel ID No.:	24-24-19-0000-00600-0000
Land Use Classification:	AG – Agricultural - 1
Zoning District:	AC – Agricultural District
Transportation Corridor:	St. Joe Road
Existing Right-of-Way:	40 Feet from Centerline
Required Right-of-Way:	67.50 Feet from Centerline of Construction
Acreage:	1.76 Acres Project Area
Use/Square Feet:	Proshop and Zip Lines / 1,519 Square Feet
Flood Zone:	"X & A"
Water/Sewage:	Well/Septic
Transportation Analysis Zone:	46
Mobility Fee Assessment District:	A
Mobility Fee Collection/Benefit District:	1
Roads:	Public
Certificate of Capacity:	Initial

(PDD15-1558)

Page 1 of 2

BACKGROUND AND FINDINGS OF FACT:

See Attachment No. 4

RECOMMENDATION:

The Planning and Development Department recommends approval of the Preliminary Site/ Construction Plan and Stormwater Management Plan and Report request with the attached conditions.

ATTACHMENTS:

1. Conditions of Approval
2. Location Map
3. Site Plan
4. Background and Findings of Fact
5. Initial Certificate of Capacity

PLANNING AND DEVELOPMENT DEPARTMENT ACTION:

APPROVED B.C.C.
 D.R.C.
 P.D.D.

Pasco County

By: *[Signature]* Date 8-14-15

For Substantial Compliance With
The Applicable Provisions of Pasco County
Land Development Regulations
And Their Intent

**ATTACHMENT NO. 1 – CONDITIONS OF APPROVAL
ST. JOE ZIP LINES**

Hard-Copy Site Development Permit

1. Before commencing approved construction activities, the applicant/ developer or project contractor shall obtain from the Planning and Development Department an authorization to commence approved construction, a.k.a. "a hard copy Site Development Permit." To obtain said authorization the following must be submitted to the Planning and Development Department:
 - a. The completed notarized acknowledgment portion of the attached agenda memorandum. The owner / developer are hereby notified that the effective date of this development approval shall be the date of the final County action; however, no activity shall commence on site until such time as the acknowledgment portion of this document is completed (including notarization) and received by the Planning and Development Department.
 - b. A copy of all required State and Federal permits from the appropriate agencies, including drawings, plans, etc.

No construction shall commence until the permit has been properly posted on the site.

Specific Conditions

2. Subject to the provisions of the Land Development Code (LDC), Section 901.2.J (Transportation-Corridor Management; Dedication-Rough Proportionality) the developer shall convey, at no cost to the County, the required amount of right-of-way (27.50) to achieve 67.50 feet from the centerline of construction of St. Joe (Table 7-4, Pasco County Corridor Preservation Table, located in the Comprehensive Plan, Transportation Element, for arterial/collector and major intersection right-of-way requirements).
3. Florida Department of Health has issued a Temporary Events Sanitation Permit for a total of 120 days; from August 24, 2015 to December 21, 2015. After such time operations will cease until restrooms become available to the public.

General Conditions

4. To the extent that any of the conditions of this approval constitute monetary or property exactions that are subject to *Nollan v. California Coastal Comm'n*, 483 U.S. 825 (1987), and *Dolan v. City of Tigard*, 512 U.S. 374 (1994), the applicant/owner, and successors and assigns (a) agrees that there is a nexus and rough proportionality between such conditions and the impacts of this project/development, and that such conditions are necessary to ensure compliance with the criteria of the LDC and Comprehensive Plan that are applicable to this approval, and (b) waives any claims based on such conditions. This agreement/waiver was entered into voluntarily, in good faith, for valuable consideration, and with an opportunity to consult legal counsel, but does not affect the

applicant/owner's ability to seek variances, administrative remedies, or modifications of the conditions of this approval through applicable processes in the LDC.

5. The developer acknowledges that approval of this Preliminary Site Plan (PSP) does not establish vested rights with respect to construction of the project. Further, the developer acknowledges that no permit shall be issued or plat approved without the issuance of a Final Certificate of Capacity.
6. All construction work, including roads, drainage, and utilities, shall be constructed in accordance with County design standards and tested in compliance with the Engineering Services Department's *Testing Specifications for Construction of Roads, Storm Drainage, and Utilities*.
7. The applicant/developer shall acknowledge that should the County collect funds under a guarantee document, the developer shall authorize the County or its designee access to the property in question to complete the required work.
8. The applicant/developer shall acknowledge that should the County be required to institute legal proceedings in order to collect any funds under a guarantee document, the developer shall be responsible for attorney's fees and court costs incurred by the County in such action.
9. The developer acknowledges that an appeal may be filed against the decision of the within 30 days of the date of this approval. Any development that takes place within the 30-day-appeal deadline shall not establish vested rights with respect to construction of the project.
10. Site plans approved by the Planning and Development Department are the final approved documents. Changes/additions/deletions to approved site plans; i.e., building size, location, loading zones, etc., require revised site plan submittal, review fee, and approval in accordance with the LDC, Sections 300, 403, and 900.
11. The applicant/developer or project contractor shall notify the Project Management Division at least five working days prior to commencing any activity on the site.
12. In accordance with the LDC regarding Access Management Regulations, where a required/approved cross-access/frontage/reverse-frontage road is provided and shown on the approved plans, the applicant/developer acknowledge and agree that this access shall be free and clear of any buildings, parking spaces (except as otherwise approved), landscaping, retention ponds, or any other obstruction (such as gates) that would prevent the free flow of traffic between the project and the neighboring properties, projects, or roadways. The applicant/developer acknowledges that this cross-access/frontage/reverse-frontage road is to remain open to the public, but maintained privately.
13. Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to combustibles being brought on site (National Fire Protection Association, NFPA-1, 16.4.3.1.3).

14. The applicant/developer acknowledges that the Preliminary Site Plan (PSP) and all associated alternative standards requests shall expire within six years of the original approval date of the PSP if Building Permits for the entire development have not been issued. In the event that the applicant/developer does not comply with this provision, all plans related to the uncompleted portion of the approval shall be deemed void, and approval shall be deemed withdrawn, unless an extension has been obtained from the County Administrator or designee prior to expiration of any of the time limits provided above. Any extension shall be applied for at least 60 days prior to expiration of any of the above time limits.

In the event the PSP is voided, all subsequent submittals shall comply with regulations in effect at the time of the said resubmittals.

Construction Plan

15. Section 316.0745, Florida Statutes, requires that all traffic-control signing and markings on private property opened to the general public be in conformance with the Florida Department of Transportation's FDOT's *Manual on Uniform Traffic Control Devices* and FDOT standards.
16. For improvements within the County right-of-way with traffic-control devices, the applicant/developer shall submit to the Traffic Operations Division, "the submittal data form" for approval prior to the installation of any traffic-control devices within the County right-of-way.
17. All handicapped parking spaces shall be signed and marked in accordance with the Florida Department of Transportation FDOT standards index. All regular/standard parking spaces shall be striped in white.
18. All construction within the County right-of-way will require a Right-of-Way Use Permit. The review and issuance of the Right-of-Way Use Permit shall be conducted in accordance with the LDC, Section 406.5, Right-of-Way Use Permit, and must be obtained prior to commencement of construction. The developer shall ensure that any improvements installed in rights-of-way are constructed to County standards.
19. The developer shall provide fire protection in compliance with the Pasco County Code of Ordinances, Chapter 46, Article III, and any subsequent amendments.
20. Curb ramps are required at all intersections of curbs and sidewalks and shall be constructed in conformance with the uniform *Federal Accessibility Standards* published by the General Services Administration, Department of Housing and Urban Development, Department of Defense, and United States Postal Service (Section 336.045, Florida Statutes).
21. Prior to any construction activity, the developer shall ensure that proper erosion and sediment control measures are in place. The applicant/developer or project contractor shall notify the Stormwater Management Division at least two working days prior to commencing any site preparation, including clearing and grubbing work, for a

preinspection of the sediment and erosion-control devices. The developer shall control all fugitive dust originating from the project site and shall indicate on the construction drawings the manner in which fugitive dust is to be controlled. Further, all retention pond side slopes and associated swales shall be sodded to prevent soil erosion.

22. The applicant/developer acknowledges, in accordance with the LDC, Section 905.2, Landscaping and Buffering, any plant materials of whatsoever type and kind required by the Landscape and Buffering regulations and this approval, shall be replaced within thirty days of their demise and/or removal.
23. If, during construction activities, any evidence of historic resources including, but not limited to, aboriginal or historic pottery, prehistoric stone tools, bone or shell tools, historic trash pits, or historic building foundation, are discovered, work shall come to an immediate stop, and the Florida Department of Historic Resources (State Historic Preservation Officer) and the County shall be notified within two working days of the resources found on the site.
24. If, during construction activities, any evidence of the presence of State and Federally protected plant and/or animal species is discovered, work shall come to an immediate stop, and the County shall be notified within two working days of the plant and/or animal species found on the site.

Development Standards

25. The commercial/office dimensional standards and uses are in accordance with the appropriate zoning district regulations within the LDC for the specific parcel.

Building Permit/Certificate of Occupancy

26. Site plans submitted with Building Permit applications are invalid as to final site approval unless stamped approved by the Planning and Development Department. These plans are submitted to show building location in regard to property line, other buildings, etc., only. The site must conform to those plans submitted and/or approved by the Planning and Development Department in accordance with the LDC, Sections 300 and 403.
27. The applicant/developer acknowledges that a Building Permit shall be obtained for all structures that have a footer, regardless of size, through the Central Permitting Division; i.e., including, but not inclusive of, buildings, accessories, dumpster walls, and retaining walls.
28. A Registered Landscape Architect or other person as authorized by Chapter 481, Florida Statutes, as amended or other type of professional as approved by the County Administrator or designee shall conduct a final field inspection. A Certificate of Compliance shall be provided to the County prior to platting, or where platting is not required, prior to issuance of the Certificate of Occupancy.
29. The owner/developer shall arrange for a final site inspection approval by the Engineering Services Department prior to the issuance of the Certificate of Occupancy occupancy/use of the permitted facilities.

OWNER'S /DEVELOPER'S ACKNOWLEDGMENT:

The owner/developer acknowledges that they have read, understood, and accepted the conditions of approval.

_____ Date

_____ Signature

_____ Print Name

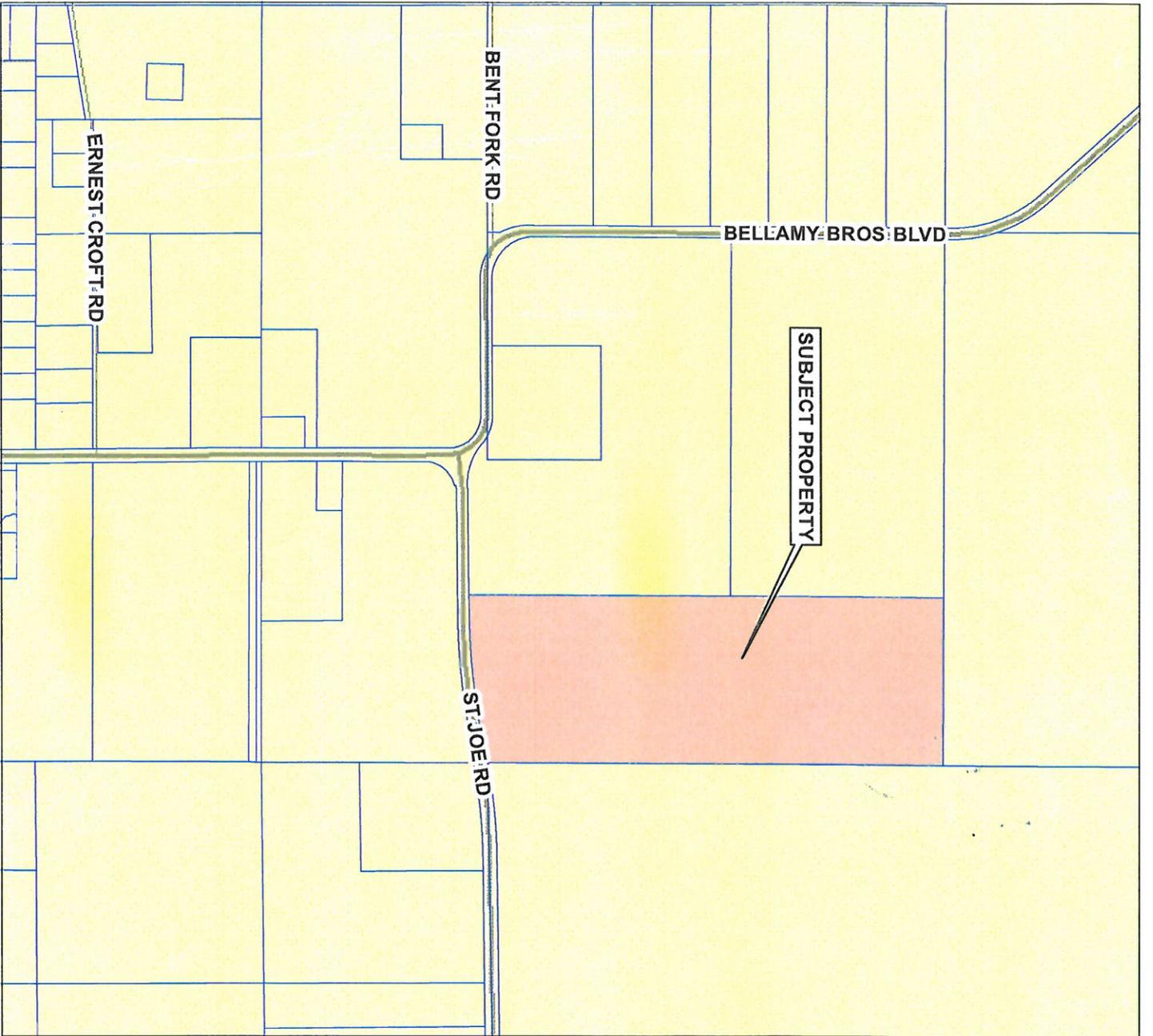
_____ Title

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me the _____
(date), by _____ (name of person
acknowledging), who is personally known to me or who has produced
_____ (type of identification) as identification.

Seal:

_____ NOTARY



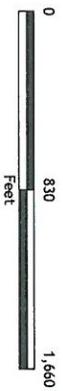
SML 15-036
St Joe Zip Lines Proshop

24 24 19 0000 00600 0000

PHYSICAL ADDRESS:
 27839 ST JOE RD
 DADE CITY, FL 33525

COMMISSION DISTRICT: 1

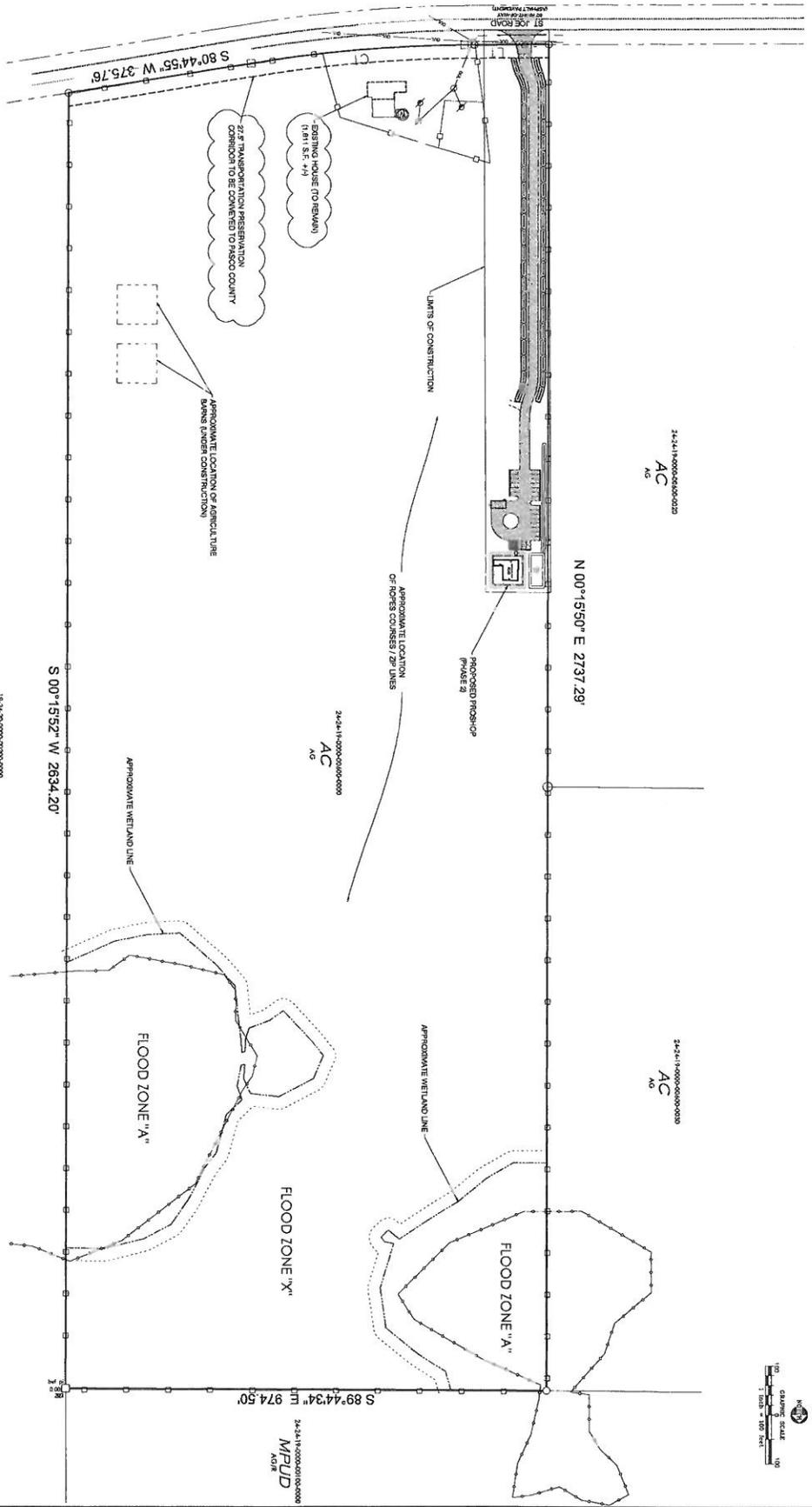
 **SUBJECT PROPERTY**



Pasco County GIS | 8/11/2015 | shalucha



25-24-19-0000-0000-0010
AC



LINE	BEARING	DISTANCE
L1	S 83°34'20\" W	1702.31'

LEGEND

PROPERTY BOUNDARY
 TREE LEGEND
 FLOOD ZONE "A"
 FLOOD ZONE "X"
 APPROXIMATE WETLAND LINE
 APPROXIMATE LOCATION OF AGRICULTURE BOUNDARY (UNDER CONSTRUCTION)
 APPROXIMATE LOCATION OF HORSE CORNERS / 72° LINES
 APPROXIMATE LOCATION OF PROPOSED PROSHOP



2	9	<p>8515 Palm Flwr Road Tampa, Florida 33619 E.B. # 28014</p> <p>Phone (813) 621-7841 Fax (813) 621-6781 www.leec.com</p>	<p>ST. JOE RANCH LLC</p> <p>27839 ST JOE RD DADE CITY, FLORIDA, 33525-7328 Phone (765) 617-3871</p>	<p>ST. JOE ZIP LINES PROSHOP</p> <p>PASCO COUNTY, FLORIDA</p> <p>OVERALL SITE PLAN</p>	<p>DATE: 04/28/2015</p> <p>DRAWN BY: JMD</p> <p>CHECKED BY: DMB</p> <p>JOB NO: 2120029</p>	<p>REVISIONS:</p> <p>1. REVISED BY: JMD (ADD TO A BRIDGE CONCRETE SLAB) (BY THE PROSHOP) (CONCRETE SLAB) (DWB)</p> <p>ENGINEER BASED ON: NORTH AMERICAN VERTICAL DATUM 1988 (NAVD83)</p>	<p>DAVID W. DELL, No. 57266 PROFESSIONAL ENGINEER</p>
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ATTACHMENT NO. 4 - BACKGROUND AND FINDINGS OF FACT
ST. JOE ZIP LINES PROSHOP

BACKGROUND:

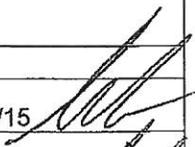
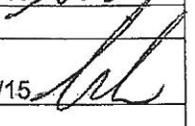
On July 10, 2012 the Board of County Commissioners (BCC) approved a condition use permit for a zip line and rope bridge course in a A-C Agricultural and A-R Agricultural Residential Districts, Petition No. CU12-17.

FINDINGS OF FACT:

1. Presently, the subject project site area is unimproved.
2. The Preliminary Site/Construction Plan and Stormwater Management Plan and Report has been reviewed by the Planning and Development Department, and it has been determined that the proposed use is consistent with the above-referenced zoning district's permitted uses and with the Pasco County applicable provisions of the Comprehensive Plan, as submitted.
3. The Preliminary Site/Construction Plan and Stormwater Management Plan and Report for the above-subject project was prepared for Saint Joe Ranch, LLC by Landmark Engineering & Surveying Corporation and consist of 8 sheets dated April 28, 2015; the sheets were last revised on August 4, 2015. The plans were originally received by the Planning and Development Department on May 4, 2015, and final revisions were received on August 6, 2015.
4. A Timing and Phasing Application was submitted and found to be exempt from the requirement to provide a Timing and Phasing Analysis and a Substandard Roadway Analysis (SSRA).

The Planning and Development Department's approval of this Preliminary Site/Construction Plan and Stormwater Management Plan and Report constitutes a finding by the Planning and Development Department that the Preliminary Site/Construction Plan and Stormwater Management Plan and Report, as conditioned, is consistent with those Goals, Objectives, and Policies of the Comprehensive Plan and those provisions of the LDC that are applicable to approvals. This action is based on the office review of the plans, supporting documentation, and certifications of the Engineer of Record.

INITIAL CERTIFICATE OF CAPACITY

	Yes	No	Conditional Approval	Review Standards	Reviewed By & Authorized Signature/Date
Roads <input type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.D and Chapter 7 Transportation Analysis	
Water/Water Supply (Utilities) or <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	LDC 1301.6.A and Chapter 10 Public Facilities Element	Mike Kirkpatrick 5/14/15 
Sewer (Utilities) or <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	LDC 1301.6.A and Chapter 10 Public Facilities Element	Mike Kirkpatrick 5/14/15 
Parks/Recreation(Parks) <input checked="" type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.B and Chapter 5 Recreation and Open Space Element	
Solid Waste (Utilities) Or <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	LDC 1301.6.A and Chapter 10 Public Facilities Element	Mike Kirkpatrick 5/14/15 
School or <input checked="" type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.C & Chapter 8 Public School Facilities Element and School District Concurrency Implementation Procedures Manual	

[Type or Copy and Paste Below]

St Joe Zip Lines Proshop

Parcel ID# 24-24-19-0000-00600-0000

PCU #15-103.16

Pasco County Utilities has reviewed the referenced parcel and has determined that this parcel is within an area where existing/future water services may be provided by Pasco County Utilities. However, Pasco County has no objection to this site being served by private well system. Approval of this system is required by the agency having jurisdiction (i.e. Health Department). Please note if the land use changes in the future, connection to County sewer may be required in accordance with County code and State law.

Conditions of Approval for Wastewater:

Pasco County Utilities has reviewed the referenced parcel and has determined that this parcel is within an area where existing/future wastewater services may be provided by Pasco County Utilities. However, Pasco County has no objection to this site being served by private septic system. Approval of this system is required by the agency having jurisdiction (i.e. Health Department). Please note if the land use changes in the future, connection to County sewer may be required in accordance with County code and State law.

Completed Certificate of Capacity which has been issued to be distributed as follows:

- 1) Applicant 2) Shared Directory: 1-LOS, and 3) Project File.

INITIAL CERTIFICATE OF CAPACITY

REQUIRED FOR PRELIMINARY SITE PLANS, PRELIMINARY DEVELOPMENT PLANS,
NONRESIDENTIAL SUBDIVISION, RESIDENTIAL SUBDIVISION INTO MORE THAN ONE DWELLING UNIT
PER LOT, AND PUBLIC SCHOOL COMPREHENSIVE PLAN CONSISTENCY REVIEW
To Be Completed By Department Responsible for Approval Sought;
Completed Certificate Must Be Attached to the Agenda Item and Approval Document

Complete Application (Date):	5-1-15	Certificate Completed by:	D. Huber for Bev
Parcel ID No(s):	24-24-19-0000-00600-0000		(attach survey if project includes portion of parcel)
Project Name:	St Joe Zip Lines Proshop		No: SML15-036
Applicant Name, Address, and Telephone Number:	St Joe Ranch LLC 27839 St Joe Road Dade City, FL 33525 (765) 617-3871		
Job Site Address:	27839 St Joe Rd		
Does the applicant want to opt out of the mobility fee system pursuant to LDC 1302? <input type="checkbox"/> Yes <input type="checkbox"/> No (If Yes, then transportation concurrency will apply and TIS application is required.)			
Project subject to Development of Regional Impact (DRI) Development Order or to a Development Agreement? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Approval Sought (Check All that apply):			
<input type="checkbox"/>	Preliminary Development Plan	<input type="checkbox"/>	Nonresidential Subdivision
<input checked="" type="checkbox"/>	Preliminary Site Plan	<input type="checkbox"/>	Residential Subdivision into more than one dwelling unit
<input type="checkbox"/>		<input type="checkbox"/>	Public School (Comprehensive Plan Consistency Review)

TYPE OF DEVELOPMENT

Number of Units	Unit Measure	Description
1,519	sq ft	Proshop

Expiration (1300 LDC)	
All facilities (other than roads and schools) expire on:	8/14/2021 (6 yrs from issuance)
Roads(Only applies if project subject to transportation concurrency) Certificate of Capacity expires or is subject to additional review on: (click N/A if transportation concurrency does not apply)	or N/A <input checked="" type="checkbox"/>
Schools: Certificate of Capacity expires or is subject to additional review on:	or N/A <input checked="" type="checkbox"/>
Issuance Date:	8/14/15

Completed Certificate of Capacity which has been issued to be distributed as follows:
1) Applicant 2) Shared Directory: 1-LOS, and 3) Project File.

Conditions of Approval for Solid Waste:

Pasco County Utilities has reviewed the referenced parcel and has determined that this parcel is within the existing area where solid waste services are provided by Pasco County Utilities.

The provision of solid waste service is contingent upon the County receiving all the necessary permits and approvals to implement and construct the County's planned disposal system improvements and facility expansions needed to serve the development; and the Developer's, and its successors or assigns, compliance with the conditions of Pasco County Code Chapter 90 and other applicable regulatory requirements.

Completed Certificate of Capacity which has been issued to be distributed as follows:

- 1) Applicant 2) Shared Directory: 1-LOS, and 3) Project File.

Revised 9-20-13

Approved Plan
8/14/15
SML15-036
PDD15-1558

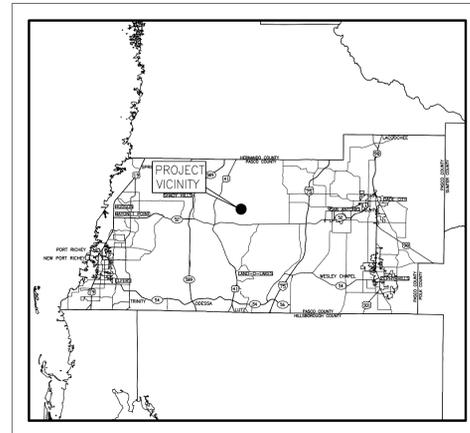
ST. JOE ZIP LINES PROSHOP

PRELIMINARY SITE / CONSTRUCTION PLAN / STORMWATER

A COMMERCIAL SITE LOCATED WITHIN
SECTION 24 & 25, TOWNSHIP 24 SOUTH, RANGE 19 EAST
PASCO COUNTY, FLORIDA

LEGAL DESCRIPTION

24-24-19-0000-00600-0000
The East 974.50 feet of the Southeast 1/4 of Section 24, Township 24 South, Range 19 East, Pasco County, Florida, lying North of County Road 578; And the East 974.50 feet of the Northeast 1/4 of the Northeast 1/4 of Section 25, Township 24 South, Range 19 East, Pasco County, Florida, lying North of County Road 578. Containing 60.46 acres more or less.



Vicinity Map
NOT TO SCALE



Location Map
NOT TO SCALE

INDEX TO DRAWINGS

1. COVER SHEET
 2. OVERALL SITE PLAN
 3. EXISTING CONDITIONS & DEMOLITION PLAN
 4. DRAINAGE, GEOMETRY
 5. PAVING, GRADING PLAN
 6. DETAILS
- L101 LANDSCAPE PLANS (BY CORNERSTONE)
L105 LANDSCAPE PLANS (BY CORNERSTONE)

SITE DATA

PARCEL NUMBER: 24-24-19-0000-00600-0000
SITE AREA: 60.46 ACRES
PROJECT AREA: 1.76 ACRES
ZONING: AC (CU-12-17)
FUTURE LAND USE: AG
EXISTING USE: AGRICULTURAL
PROPOSED USE: AGRICULTURAL/ RECREATIONAL
EXISTING IMPERVIOUS AREA
WITHIN PROJECT AREA: 0.0 SF (0.0 AC)
PROPOSED IMPERVIOUS AREA
WITHIN PROJECT AREA: 31,697 SF (.73 AC)
EXISTING COVERAGE: 2,416 SF ±
PROPOSED COVERAGE: 3,935 S.F.±
FAR: 3,935 SF / 76,666 = 0.05% ±
PROPOSED BUILDING HEIGHT: 35 (MAX) ±
PROPOSED BUILDING AREA: 1,519 S.F.±
MIN. BUILDING SETBACKS:
FRONT - 50'
SIDE - 50'
REAR - 50'
PARKING:
PARKING PROVIDED: 21 SPACES
(INCLUDING 1 HANDICAP SPACE)
SANITARY SERVICE: ONSITE SEPTIC (BY OTHERS)
WATER SERVICE: ONSITE WELL (BY OTHERS)
FIRE PROTECTION: PASCO COUNTY FIRE RESCUE
ELECTRICAL SERVICE: WITHLACOOCHEE RIVER ELECTRIC COOPERATIVE, INC.

THE PROPERTY DESCRIBED HEREON IS LOCATED IN FLOOD ZONE "X" AND "A" PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 12101C0090F, DATED 9/26/2014.
ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH THE PASCO COUNTY LDC.

APPLICANT/OWNER:
ST. JOE RANCH LLC
27839 ST. JOE RD
DADE CITY, FLORIDA 33525-7328
E-MAIL: benjamin@pointsummit.com
PHONE: (765) 617-3871

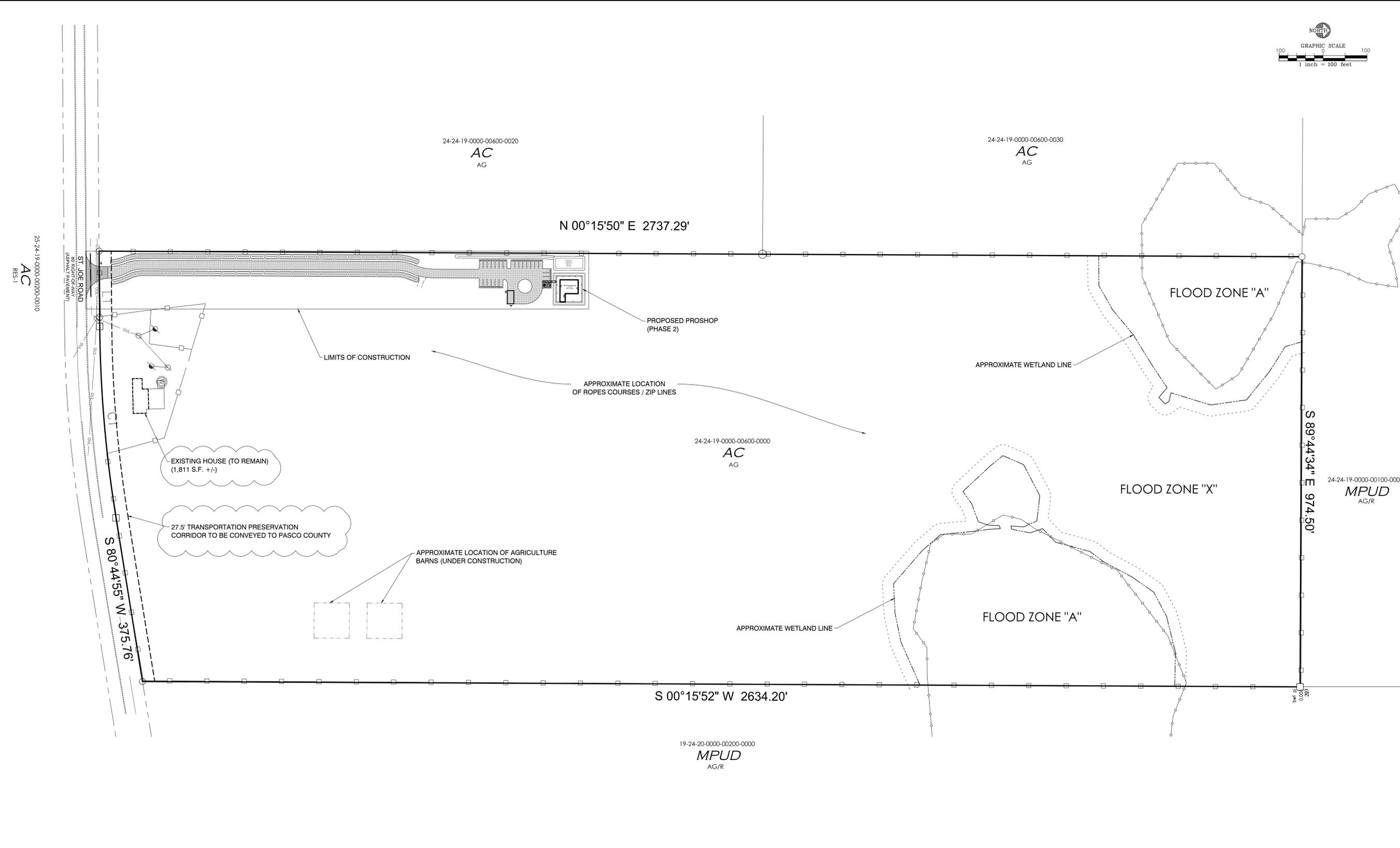
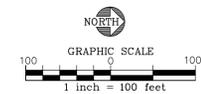
ENGINEER:
LANDMARK ENGINEERING & SURVEYING CORPORATION
8515 PALM RIVER ROAD
TAMPA, FLORIDA 33619
E-MAIL: dwb@lesc.com
PHONE: (813) 621-7841
FAX: (813) 621-6761

SURVEYOR:
DC JOHNSON & ASSOCIATES
11911 SOUTH CURLEY STREET
SAN ANTONIO, FLORIDA 33576
E-MAIL: andygetz@dcjohnson.com
PHONE: (352) 588-2768
FAX: (352) 588-2713

THIS PLAN HAS BEEN CERTIFIED BY THE DESIGN ENGINEER TO BE IN SUBSTANTIAL CONFORMANCE WITH THE "UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE OF STREETS AND HIGHWAYS" AS REQUIRED BY SECTION 336.045, FLORIDA STATUTES.

- NOTICE -
ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF THE PASCO COUNTY LAND DEVELOPMENT CODE AND ALL APPLICABLE COUNTY REGULATIONS AND STANDARDS

<p>REVISIONS: 07/20/15 REV. PER PASCO CO. & SWAMP COMBERS</p>	<p>DATE: 04/28/2015</p>	<p>DRAWN BY: JMD</p>	<p>CHECKED BY: D/WB</p>	<p>JOB NO.: 2120029</p>
<p>ST. JOE ZIP LINES PROSHOP PASCO COUNTY, FLORIDA</p>				
<p>COVER SHEET</p>				
<p>ST. JOE RANCH LLC 27839 ST. JOE RD DADE CITY, FLORIDA, 33525-7328 Phone (765) 617-3871</p>				
<p>LANDMARK ENGINEERING & SURVEYING CORPORATION</p>				
<p>8515 Palm River Road Tampa, Florida 33619 E.B. # 28014 Phone (813) 621-7841 Fax (813) 621-6761 www.lesc.com</p>				
<p>DAVID W. BELL No. 57966 PROFESSIONAL ENGINEER</p>				



25-24-19-0000-00200-0010
AC
RES-1

24-24-19-0000-00600-0020
AC
AG

24-24-19-0000-00600-0030
AC
AG

24-24-19-0000-00600-0000
AC
AG

24-24-19-0000-00100-0000
MPUD
AG/R

19-24-20-0000-00200-0000
MPUD
AG/R

CURVE TABLE				
CURVE	DELTA	RADIUS	ARC	CHORD
C1	8°50'27"	2824.79'	435.88'	435.44'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 89°34'20" W	170.21'

NOTE:
NO EXISTING EASEMENTS KNOWN OR EASEMENTS PROPOSED.

LEGEND

	PROJECT BOUNDARY & SWFWMD PROJECT LIMITS		TREE LEGEND
	EXISTING CONTOUR LINE		OAK
	EXISTING POWER POLE		CAMPHOR
	EXISTING OVERHEAD UTILITY		EXISTING TO BE REMOVED
	36-26-16-0020-0000-0010 MPUD AG/R PARCEL NUMBER		(ALL TREES SIZES ARE IN INCHES)
	ZONING DESIGNATION		
	FUTURE LAND USE		
	CONTINUOUS EROSION CONTROL		

NOTE: EXISTING PIPES & STRUCTURES ARE SHOWN OPEN & DASHED.

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DAVID W. BELL No. 57966
PROFESSIONAL ENGINEER

REVISIONS:
02/20/15 REV. PER PASCO CO. & SWFWMD COMMENTS
08/13/15 REV. TRANSPORTATION CORRIDOR WIDTH (SW)

DATE:	04/28/2015
DRAWN BY:	JMD
CHECKED BY:	DWB
JOB NO.:	2120029

Elevations based on
NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)

ST. JOE ZIP LINES PROSHOP
PASCO COUNTY, FLORIDA

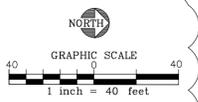
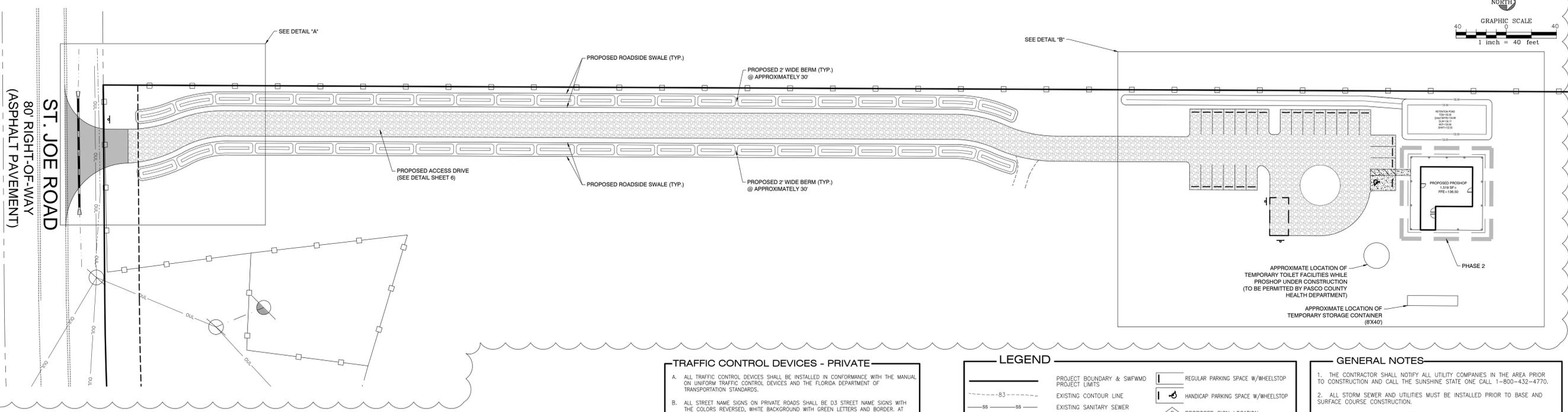
OVERALL SITE PLAN

ST. JOE RANCH LLC
27839 ST JOE RD
DADE CITY, FLORIDA, 33525-7328
Phone (765) 617-3871

LANDMARK
ENGINEERING & SURVEYING CORPORATION
8515 Palm River Road
Tampa, Florida 33619
E.B. # 28014
Phone (813) 621-7841
Fax (813) 621-6761
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2 6

ST. JOE ROAD
80' RIGHT-OF-WAY
(ASPHALT PAVEMENT)



TRAFFIC CONTROL DEVICES - PRIVATE

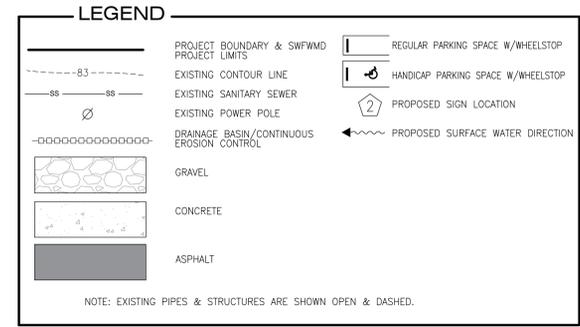
A. ALL TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.

B. ALL STREET NAME SIGNS ON PRIVATE ROADS SHALL BE D3 STREET NAME SIGNS WITH THE COLORS REVERSED, WHITE BACKGROUND WITH GREEN LETTERS AND BORDER. AT INTERSECTIONS WITH COUNTY, STATE OR CITY MAINTAINED ROADS, THE COUNTY OR STATE MAINTAINED ROAD SHALL BE GREEN BACKGROUND WITH WHITE LETTERS AND BORDER. THE CITY MAINTAINED ROAD SHALL BE GREEN BACKGROUND WITH WHITE LETTERS AND BORDER UNLESS THE CITY HAS ADOPTED OTHER COLORS.

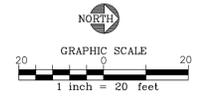
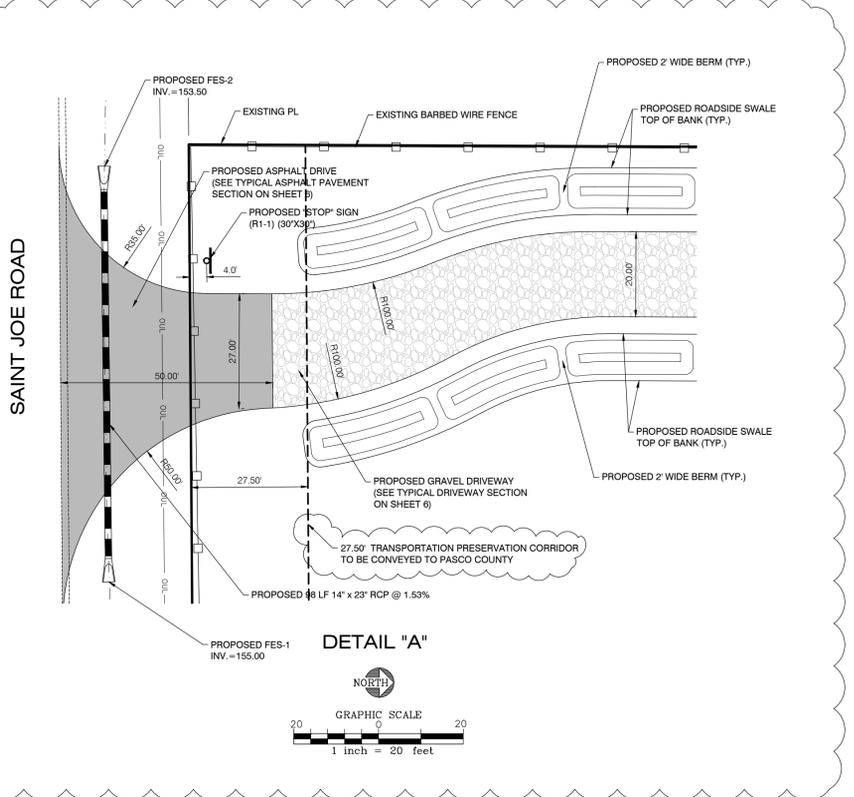
C. ANY TRAFFIC CONTROL DEVICE FOR A PRIVATE ROADWAY PLACED IN A COUNTY OR STATE RIGHT-OF-WAY SHALL BE INSTALLED ON THE APPROPRIATE BREAKAWAY POST ASSEMBLY.

SIGNING & PAVEMENT MARKINGS

1. ALL SIGNAGE AND MARKINGS SHALL MEET THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND FDOT DESIGN STANDARDS.



- GENERAL NOTES**
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN THE AREA PRIOR TO CONSTRUCTION AND CALL THE SUNSHINE STATE ONE CALL 1-800-432-4770.
 - ALL STORM SEWER AND UTILITIES MUST BE INSTALLED PRIOR TO BASE AND SURFACE COURSE CONSTRUCTION.
 - ANY CONFLICTS RESULTING BETWEEN WATER LINES AND DRAINAGE SYSTEM SHALL BE RESOLVED BY ADJUSTING THE WATER LINES.
 - THE MAINTENANCE ENTITY SHALL PERIODICALLY CHECK ALL INLETS, END SECTIONS, AND CONTROL STRUCTURES FOR BLOCKAGES. THESE STRUCTURES SHALL BE CLEANED TO INSURE THEIR CONTINUED FUNCTION AND TO PREVENT FLOODINGS.
 - EROSION CONTROL OR SEDIMENTATION BARRIER: THE CONTRACTOR IS TO PROVIDE EROSION CONTROL OR SEDIMENTATION BARRIER (HAY BALES OR SILT SCREEN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, DETENTION PONDS, STORM SEWERS AND WATERWAYS, AND TO MAINTAIN THE EROSION CONTROL OR SEDIMENTATION BARRIER IN AN EFFECTIVE WORKING MANNER FOR THE DURATION OF CONSTRUCTION. ADDITIONALLY, CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ACCESS THE SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR THE LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF SOIL ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID SOIL AND REPAIR THE DAMAGED OR INEFFECTIVE EROSION CONTROL OR SEDIMENTATION BARRIER TO THE SATISFACTION OF THE ENGINEER AND/OR THE LOCAL AUTHORITIES. SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF THE DEPTH OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND REPLACED IN UPLAND AREAS.
 - ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT". THE CONTRACTOR SHALL INSURE THAT THE METHOD OF TRENCH PROTECTION AND CONSTRUCTION IS IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
 - ALL CONSTRUCTION LAYOUT AND STAKING IS TO BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED LAND SURVEYOR.
 - GUTTERS & DOWNSPOUTS WILL BE USED TO CONVEY THE BUILDING ROOF RUNOFF TO THE STORM SEWER SYSTEM.
 - IT IS THE OWNER'S RESPONSIBILITY TO INSPECT AND MAINTAIN THE STORM WATER COLLECTION SYSTEM ON A REGULAR BASIS.
 - THE STORM SEWER PIPE MATERIAL SHALL CONSIST OF RCP, ERCP, HDPE AND/OR PVC, MEETING FOOT SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WRITTEN NOTICE OF THE STORM SEWER PIPE MATERIAL PRIOR TO COMMENCING CONSTRUCTION.
 - PER FLORIDA BUILDING CODE SECTION 11-4.6.2 "ACCESSIBLE PARKING SHALL BE LOCATED ON THE SHORTEST SAFELY ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE." ACCESSIBLE PARKING LOCATION IN RELATION TO BUILDING ENTRANCES WILL BE CONFIRMED AT TIME OF BUILDING PERMIT APPLICATION.
 - RCP/ERCP SHALL BE USED IN COMMON AREAS, EASEMENTS AND/OR RIGHT-OF-WAYS. IN ACCORDANCE WITH THE PASCO COUNTY STORMWATER MANAGEMENT PRACTICES MANUAL STORM-WATER PIPE WITHIN THE RIGHT-OF-WAY, EASEMENTS OR UNDER COMMON ACCESS PAVEMENT SHALL BE CLASS III, R.C.P.-HDPE PIPE WOULD BE ALLOWED FOR USE ON A COMMERCIAL SITE OF PRIVATE OWNERSHIP. C.M.P. DRAINAGE PIPE SHALL NOT BE ALLOWED, EXCEPT FOR A RESIDENTIAL DRIVEWAY CULVERT PIPE OR FOR AGRICULTURAL PURPOSES). ALTERNATE DRAINAGE-PIPE CHOICES TO USE HDPE AND/OR PVC ON-SITE MAY BE ACCEPTABLE, BUT SHALL COMPLY WITH THE REQUIREMENTS OF THE PASCO COUNTY STORMWATER MANAGEMENT PRACTICES MANUAL.
 - SHOULD ANY NOTICEABLE SOIL SLUMPING OR SINKHOLE FORMATION BECOME EVIDENT, THE APPLICANT/DEVELOPER SHALL IMMEDIATELY NOTIFY THE COUNTY, TAMPA BAY WATER (TBW) AND SWFWMD, AND ADOPT ONE OR MORE OF THE FOLLOWING PROCEDURES AS DETERMINED TO BE APPROPRIATE BY THE COUNTY AND SWFWMD:
 - IF THE SLUMPING OR SINKHOLE FORMATION BECOMES EVIDENT BEFORE OR DURING CONSTRUCTION ACTIVITIES, STOP ALL WORK (EXCEPT FOR MITIGATION ACTIVITIES) IN THE AFFECTED AREA AND REMAIN STOPPED UNTIL THE COUNTY AND SWFWMD APPROVE RESUMING CONSTRUCTION ACTIVITIES.
 - TAKE IMMEDIATE MEASURES TO ENSURE NO SURFACE WATER DRAINS INTO THE AFFECTED AREAS.
 - VISUALLY INSPECT THE AFFECTED AREA.
 - EXCAVATE AND BACKFILL OR GROUT AS REQUIRED TO FILL THE AFFECTED AREA AND PREVENT FURTHER SUBSIDENCE.
 - USE SOIL REINFORCEMENT MATERIALS IN THE BACKFILLING OPERATION, WHEN APPROPRIATE.
 - IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA, MAINTAIN A MINIMUM DISTANCE OF TWO FEET FROM THE BOTTOM OF THE RETENTION POND TO THE SURFACE OF THE LIMESTONE OR KARST CONNECTION.
 - IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA AND THE ABOVE METHODS DO NOT STABILIZE THE COLLAPSE, RELOCATE THE RETENTION AREA.
 - DISCHARGE OF STORM-WATER INTO DEPRESSIONS WITH DIRECT OR DEMONSTRATED HYDROLOGIC CONNECTION TO THE FLORIDIAN AQUIFER SHALL BE PROHIBITED.
 - ANY LIGHTING USED TO ILLUMINATE ANY PARKING AREA SHALL BE SO ARRANGED AS TO DIRECT AND/OR SHIELD LIGHT AWAY FROM ADJOINING RESIDENTIAL PREMISES AND RIGHT-OF-WAY.



DAVID W. BELL No. 57966
PROFESSIONAL ENGINEER

Elevations based on
NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)

DATE: 04/28/2015
DRAWN BY: JMD
CHECKED BY: DMB
JOB NO.: 2120029

ST. JOE ZIP LINES
PROSHOP
PASCO COUNTY, FLORIDA

DRAINAGE & GEOMETRY PLAN

ST. JOE RANCH LLC

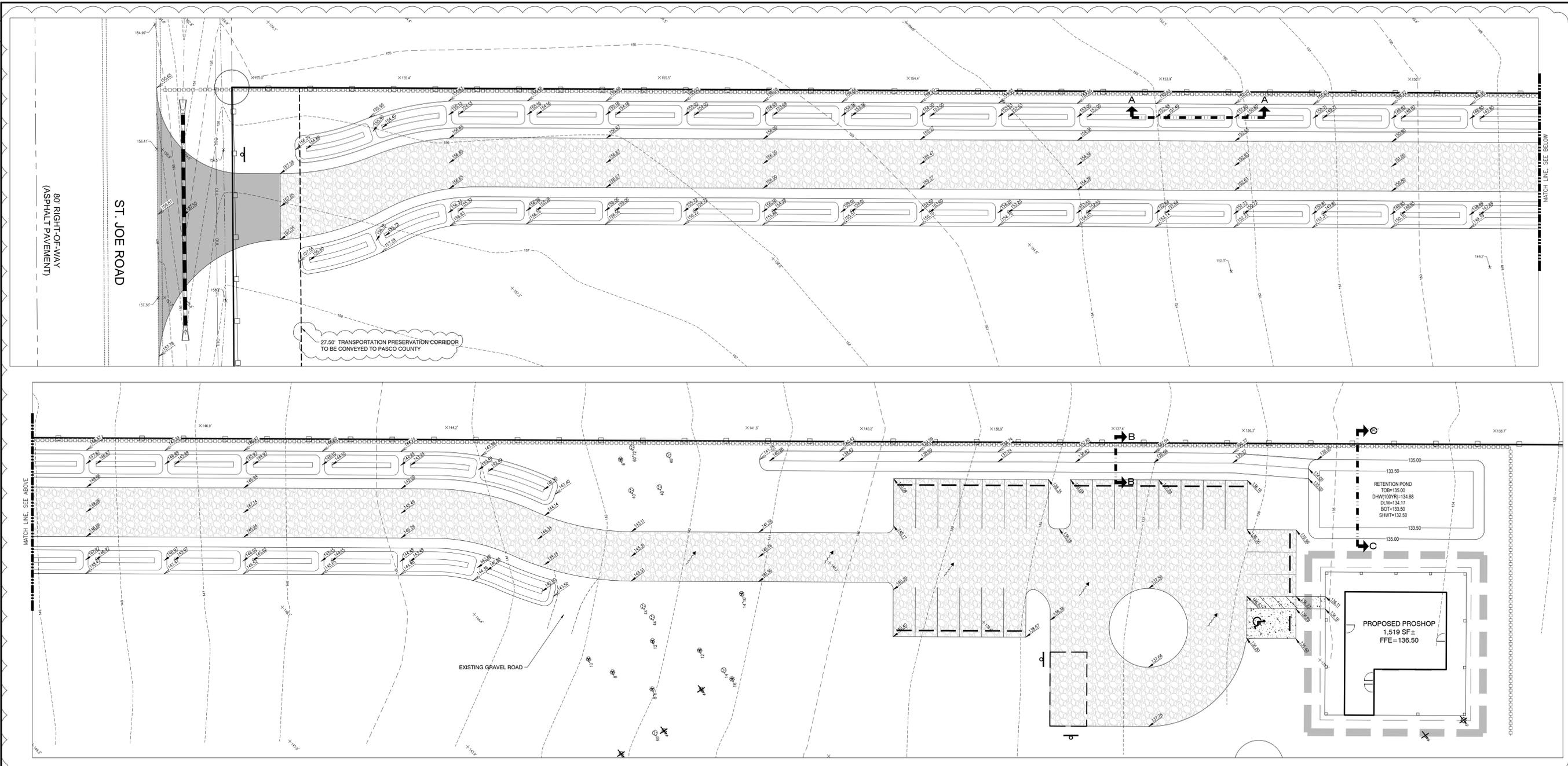
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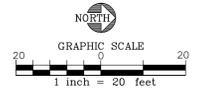
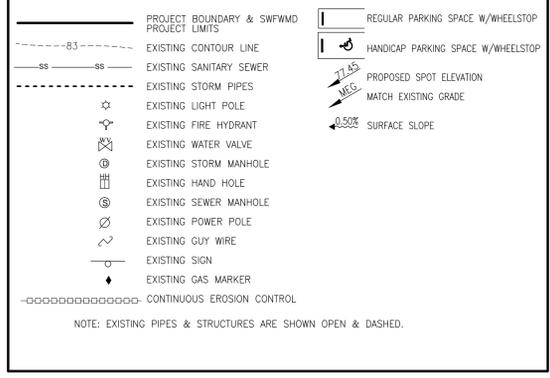
PASCO COUNTY GENERAL NOTES

1. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE PASCO COUNTY STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES SPECIFICATIONS, LATEST EDITION.
2. ALL ON-SITE WATER AND SEWER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER/DEVELOPER.
3. INSTALLATION OF FUEL STORAGE TANKS REQUIRES REVIEW AND APPROVAL BY THE FIRE MARSHAL AND THE ISSUANCE OF A SEPARATE BUILDING PERMIT. APPROVAL OF THE SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE.
4. ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED, AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY APPROVED SITE PLAN. APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE.
5. HANDICAP PARKING SPACES WILL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, OR OTHER APPLICABLE STANDARDS.
6. THE ARCHITECT/ENGINEER CERTIFIES THAT THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.
7. ALL ON-SITE PARKING SPACES WILL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. PARKING SPACES, DIRECTIONAL ARROWS, AND STOP BARS SHALL BE STRIPED WITH WHITE. IT SHALL BE THE OWNER/DEVELOPERS' RESPONSIBILITY TO PROPERLY SIGN AND STRIPE THE SITE IN ACCORDANCE WITH APPLICABLE STANDARDS.
8. THE OWNER/DEVELOPER ACKNOWLEDGES THAT THIS APPROVAL DOES NOT INCLUDE ANY WORK IN THE COUNTY RIGHT-OF-WAY. ALL RIGHT-OF-WAY WORK SHALL BE A FUNCTION OF AN APPROVED PASCO COUNTY RIGHT-OF-WAY USE PERMIT.
9. ALL CLEAR-SITE AREAS SHALL BE KEPT FREE OF ANY SIGNAGE, PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND-A-HALF (3-1/2) FEET IN HEIGHT.
10. NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY COUNTY OR STATE RIGHT-OF-WAY WITHOUT ISSUANCE OF APPROPRIATE RIGHT-OF-WAY USE PERMIT.
11. THE OWNER/DEVELOPER ACKNOWLEDGES THAT THE SITE AND ITS SUBSEQUENT BUILDING PERMITS SHALL COMPLY WITH ALL REZONING/MPUD/PUD CONDITIONS.
12. ALL STRUCTURES, INCLUDING BUFFER WALLS, RETAINING WALLS, SIGNAGE, ETC. REQUIRE SEPARATE BUILDING PERMITS.
13. THE PROJECT IS TO BE COMPLETED IN ONE PHASE.
14. THERE WILL BE NO LIGHT SPILLAGE OR GLARE BEYOND THE PROJECT SITE.
15. IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE OR FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.
16. PRIOR TO CONSTRUCTION, A BUILDING PERMIT SHALL BE OBTAINED FOR ALL STRUCTURES THAT HAVE FOOTER, REGARDLESS OF SIZE, THROUGH PASCO COUNTY CENTRAL PERMITTING. (IE. INCLUDING BUT NOT INCLUSIVE BUILDINGS, ACCESSORIES, AND RETAINING WALLS).
17. ANY OFF SITE DISTURBANCE SHALL BE RESTORED TO THE PRE OR BETTER CONDITION (LDC 902.2)
18. AS APPLICABLE, THE OWNER/DEVELOPER WILL PROVIDE COPIES OF THE REQUIRED PERMITS FROM THE RESPECTIVE GOVERNING AGENCIES, PRIOR TO ISSUANCE OF THE SDP. (LDC 902.2. C)
19. UPON COMPLETION OF THE LAND DEVELOPMENT CONSTRUCTION, A PROFESSIONAL ENGINEER SHALL PROVIDE A CERTIFICATION TO PASCO COUNTY THAT THE PROJECT, INCLUDING EACH PAD AREA, COMPLIES WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL/GEOLOGICAL REPORT.

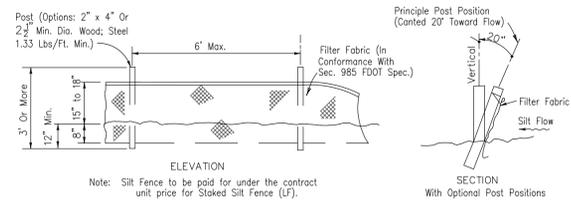
GENERAL NOTES

1. ALL ELEVATIONS REFER TO N.A.V.D 1988.
2. THE PROJECT IS LOCATED IN FLOOD ZONE "X" & "A" PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 12101C0090F, DATED 9/26/2014.
3. ALL FIRST FLOOR ELEVATIONS (FF) SHALL BE A MINIMUM OF 1' ABOVE THE BASE FLOOD ELEVATION.
4. SLOPES OF 4:1 AND GREATER ARE TO BE SODDED. ALL SODDED SLOPES OVER 4:1 SHALL BE INSTALLED WITH SOD PEGS. ALL OTHER DISTURBED AREAS ARE TO BE STABILIZED WITH SEED & MULCH.
5. EXISTING TOPOGRAPHY PROVIDED BY DC JOHNSON & ASSOCIATES.
6. THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THEIR EXACT LOCATION PRIOR TO CONSTRUCTION IN THEIR VICINITY.
7. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN THE AREA PRIOR TO CONSTRUCTION AND CALL THE SUNSHINE STATE ONE CALL 1-800-432-4770.
8. ALL STORM SEWER AND UTILITIES MUST BE INSTALLED PRIOR TO BASE AND SURFACE COURSE CONSTRUCTION.
9. EROSION CONTROL OR SEDIMENTATION BARRIER: ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION, AND SHALL BE MAINTAINED THROUGH CONSTRUCTION UNTIL THE SITE IS PERMANENTLY STABILIZED. THE CONTRACTOR IS TO PROVIDE EROSION CONTROL OR SEDIMENTATION BARRIER (HAY BALES OR SILT SCREEN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, DETENTION PONDS, STORM SEWERS AND WATERWAYS, AND TO MAINTAIN THE EROSION CONTROL OR SEDIMENTATION BARRIER IN AN EFFECTIVE WORKING MANNER FOR THE DURATION OF CONSTRUCTION. ADDITIONALLY, CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ACCESS SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR THE LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF SOIL ARE TRANSPORTED OFF-SITE EITHER BY DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID SOIL AND REPAIR DAMAGED OR INEFFECTIVE EROSION CONTROL OR SEDIMENTATION BARRIER TO THE SATISFACTION OF THE ENGINEER AND/OR THE LOCAL AUTHORITIES. SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF THE DEPTH OF THE SEDIMENTATION BARRIER SHALL BE IMMEDIATELY REMOVED AND REPLACED IN UPLAND AREAS.
10. ANY TREES TO REMAIN ON-SITE SHALL BE BARRICADED PRIOR TO THE START OF CONSTRUCTION, SEE DETAILS. CONTRACTOR SHALL NOT REMOVE VEGETATION BY GRUBBING OR PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIALS, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE BARRICADED AREA AROUND ANY TREE TO REMAIN ON-SITE.
11. ALL PRUNING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ARBORIST ASSOCIATION (NAA) PRUNING STANDARDS.
12. ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT". THE CONTRACTOR SHALL INSURE THAT THE METHOD OF TRENCH PROTECTION AND CONSTRUCTION IS IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
13. ALL WORK SHOWN IN THE EXISTING RIGHT-OF-WAY, AS PERMITTED BY PASCO COUNTY RIGHT-OF-WAY PERMITS, SHALL MEET ALL CONDITIONS OF SUCH PERMITS, INCLUDING BUT NOT LIMITED TO, PAVEMENT REMOVAL, RESTORATION & FINAL OVERLAY OF EXISTING STREETS.
14. PRIOR TO THE START OF THE CLEARING AND GRUBBING, OR ANY SOIL DISTURBANCE CONTACT PC STORMWATER MANAGEMENT AT (727) 834-3611 FOR A SOIL EROSION AND SEDIMENT CONTROL, PRE-INSPECTION MEETING.

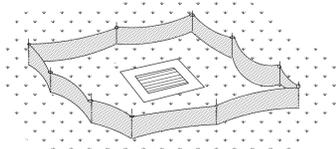
LEGEND



ST. JOE ZIP LINES PROSHOP PASCO COUNTY, FLORIDA		DATE: 04/28/2015 DRAWN BY: JMD CHECKED BY: DMB JOB NO.: 2120029	ELEVATIONS based on NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)	DAVID W. BELL, No. 57966 PROFESSIONAL ENGINEER
ST. JOE RANCH LLC 27839 ST JOE RD DADE CITY, FLORIDA, 33525-7328 Phone (765) 617-3871		ST. JOE ZIP LINES PROSHOP PAVING & GRADING PLAN		
LANDMARK CORPORATION ENGINEERING & SURVEYING CORPORATION 8515 Palm River Road Tampa, Florida 33619 E.B. # 28014		Phone (813) 621-7841 Fax (813) 621-6761 www.lmesc.com		
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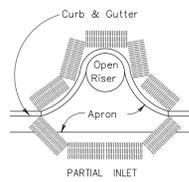
TYPE III SILT FENCE
FDOT INDEX 102



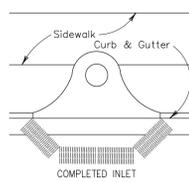
TYPE III Silt Fence Protection
Around Ditch Bottom Inlets.

Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers are to be used at permanent bodies of water.

SILT FENCE APPLICATIONS
FDOT INDEX 102



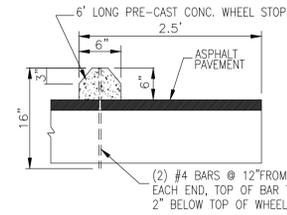
PARTIAL INLET



COMPLETED INLET

Anchor Bales With 2 - 2" x 2" x 4" Stakes Per Bale.

BALED HAY OR STRAW BARRIERS
FDOT INDEX 102



PRE-CAST CONC. WHEEL STOP
NOT TO SCALE

ALL TREES SHOULD BE BARRICADED MEETING THE SPECIFICATIONS AS ILLUSTRATED ON THE ATTACHED DIAGRAM.

Protective barriers are used during land alteration and construction activities to protect trees and natural areas to be retained on a site. Protective barriers must be erected around trees to be retained within an area where land alteration and construction activities will occur as well as along natural areas where such areas are adjacent to permitted land alteration and construction activities. A protective barrier must remain in place until the land alteration and construction activities are completed or until commencement of grade finishing and sodding. No ground disturbance must occur within the barricaded area. The following represents minimum protective barrier specifications.

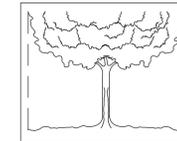


Fig. A

1. **TREES** - To restrict access into the area within the CANOPY DRIFLINE of a tree, a physical structure not less than 3 feet in height, comprised of wood or other suitable material, is placed around the tree at the CANOPY DRIFLINE, except where land alteration or construction activities are approved within the CANOPY DRIFLINE. See Ord. 87-2, Sec. 4.B.3.m.

The CANOPY DRIFLINE of a tree is the imaginary, vertical line that extends downward from the outermost tips of the tree's branches to the ground. Fig. A.

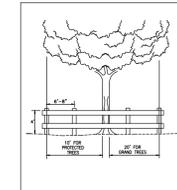


Fig. B

BARRIER SPECIFICATIONS FOR TREES:

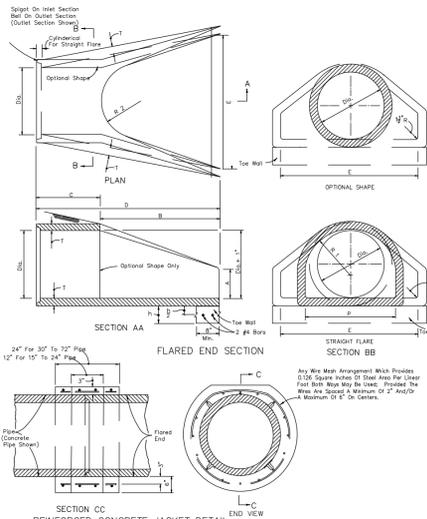
Four corner upright stakes of no less than 2" x 2" lumber connected by horizontal members of no less than 1" x 4" lumber; or upright stakes spaced at 5' intervals of no less than 2" x 2" lumber connected by silt screen fabric or material of comparable durability. Fig. B.

2. **NATURAL AREAS** - To restrict access into areas where land alteration and construction activities are not authorized, a physical structure not less than 3 feet in height is placed along the perimeter of such areas.

TREE PROTECTION DETAILS
NOT TO SCALE

EROSION CONTROL DETAILS

NOT TO SCALE (FDOT INDICES 102 & 103)



FLARED END SECTION DETAIL
FDOT INDEX 102-103, NOT TO SCALE

GENERAL NOTES FOR FLARED END SECTIONS:

- Flared end sections shall conform to the requirements of ASTM C-76 with the exception that dimensions and reinforcement shall be as prescribed in the table above. Circumferential reinforcement may consist of either one cage or two cages of steel. Compressive strength of concrete shall be 4000 psi. Shop drawings for flared end sections having dimensions other than those above must be submitted for approval to the State Drainage Engineer.
- Connections between the flared end section and the pipe culvert may be any of the following types unless otherwise shown on the plans.
 - Joints meeting the requirements of Section 941-1.5 of the Standard Specifications (O-Ring Gasket). Flared end section joint dimensions and tolerances shall be identical or compatible to those used in the pipe culvert joint. When pipe culvert and flared end section manufacturers are different, the compatibility of joint design shall be certified by the manufacturer of the flared end section.
 - Joints sealed with preformed plastic gaskets. The gaskets shall meet the requirements of Section 942-2 of the Standard Specifications and the minimum sizes for gaskets shall be as that specified for equivalent sizes of elliptical pipe.
 - Reinforced concrete jackets, as detailed on this drawing. Cost of the reinforced concrete jacket to be included in the contract unit price for the flared end section. When non-coated corrugated metal pipe is called for in the plans, the pipe shall be biluminous coated in the jacketed area as specified on index No. 280. Biluminous coating to be included in the contract unit price for the pipe culvert.
- Toe walls shall be constructed. Toe walls are to be cast-in-place with Class ~ Concrete and paid for under the contract unit price for Class ~ Concrete (Miscellaneous) CY. Reinforcing steel to be included in cost of toe wall.
- On skewed pipe culverts the flared end sections shall be placed in line with the pipe culvert. Side slopes shall be warped as required to fit the flared end sections.
- Flared End Section to be paid for under the contract unit price for Flared End Section (Concrete). Each Sodding shall be in accordance with Index No. 281, and paid for under the contract unit price for Sodding, SY.

NO.	DIA.	T	REINFT. CONC. (CY)	A	B	C	D	E	P	R1	R2	FLAT	HEIGHT (FEET)	IN	TOE WALL (SQ. FT.)
10	12"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
11	18"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
12	24"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
13	30"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
14	36"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
15	42"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
16	48"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
17	54"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
18	60"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
19	66"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
20	72"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
21	78"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
22	84"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
23	90"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
24	96"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
25	102"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
26	108"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
27	114"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
28	120"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
29	126"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
30	132"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
31	138"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
32	144"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
33	150"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
34	156"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
35	162"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
36	168"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
37	174"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
38	180"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
39	186"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
40	192"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
41	198"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
42	204"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
43	210"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
44	216"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
45	222"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
46	228"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
47	234"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
48	240"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
49	246"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
50	252"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
51	258"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
52	264"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
53	270"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
54	276"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
55	282"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
56	288"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
57	294"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
58	300"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
59	306"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
60	312"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
61	318"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
62	324"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
63	330"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
64	336"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
65	342"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
66	348"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
67	354"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
68	360"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
69	366"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
70	372"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
71	378"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
72	384"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
73	390"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
74	396"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
75	402"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
76	408"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
77	414"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
78	420"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
79	426"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
80	432"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
81	438"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
82	444"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
83	450"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
84	456"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
85	462"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
86	468"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"	10"	3"	5.50	12"	0.6
87	474"	2'	0.07	32"	4"	2'-0"	4'-2"	4'-0"	2'-0"	10"</					

LANDSCAPING REQUIREMENTS

INTERNAL LANDSCAPE AREA REQUIREMENT
 TOTAL VEHICLE USE AREA = 29220 SF
 INTERNAL LANDSCAPE AREA REQUIRED = 2922 SF
 INTERNAL LANDSCAPE AREA PROVIDED = 3203 SF

NOTES:
 1) LANDSCAPED AREAS ON THE PARKING AREA PERIMETER OR IN THE INTERNAL ISLANDS MUST EQUAL OR EXCEED A MINIMUM OF TEN (10) PERCENT OF THE TOTAL PAVED SURFACE AREA.
 2) EACH 6'x20' LANDSCAPED ISLAND SHALL PROVIDE A MINIMUM OF ONE (1) SHADE TREE, SHRUBS, AND GROUND COVER.
 3) EACH 8'x40' LANDSCAPED ISLAND SHALL PROVIDE A MINIMUM OF TWO (2) SHADE TREE, SHRUBS, AND GROUND COVER.

INTERNAL LANDSCAPE AREA TREE REQUIREMENT
 2922 SF @ 1 TREE PER 200 SF = 15 TREES REQUIRED
 = 15 TREES PROVIDED

▽ = INTERNAL LANDSCAPE TREES

NOTES:
 1) LANDSCAPED AREAS ON THE PARKING AREA PERIMETER OR IN THE INTERNAL ISLANDS MUST EQUAL OR EXCEED A MINIMUM OF TEN (10) PERCENT OF THE TOTAL INTERNAL LANDSCAPE AREA.
 2) ONE (1) TREE MUST BE PLANTED OR RETAINED PER 200 SF OF INTERNAL PARKING AREA.
 3) NO PARKING SPACE MAY BE MORE THAN 100 FEET FROM A TREE PLANTED IN A PERMEABLE ISLAND, PENINSULA, OR MEDIAN OF AN EIGHT-FOOT MINIMUM WIDTH.

PERIMETER PLANTING AREA CALCULATIONS
 TOTAL BUILDING AREA = 1519 SF
 10% PLANTING AREA = 152 SF
 TOTAL BUILDING PERIMETER = 183 LF
 50% OF PERIMETER REQUIRED TO BE LANDSCAPED = 92 LF

BUILDING LANDSCAPING
 PER CODE:
 BUILDING AREA LANDSCAPE PROVIDED: 655 SF (43%)
 BUILDING PERIMETER WITH LANDSCAPING PROVIDED: 114 LF (62%)

NOTES:
 1. PERIMETER PLANTING AREAS MUST BE A MINIMUM OF 5' WIDE TO BE USED TO MEET THIS REQUIREMENT.
 2. PERIMETER PLANTING AREAS MUST BE A MINIMUM OF 50% OF THE BUILDING PERIMETER.
 3. THE PLANTING AREA SHOULD BE "GROUND FLOOR AREA".
 4. PERIMETER PLANTING AREAS MUST EQUAL A MINIMUM OF 10% OF THE AREA OF THE BUILDING(S).

NATIVE SHRUB & GROUND COVER REQUIREMENT
 OVERALL SITE: 30% SHRUBS AND GROUND COVER REQUIRED TO BE NATIVE
 435 OF 760 SHRUBS AND GROUND COVER ARE NATIVE = 57%

BUFFERS

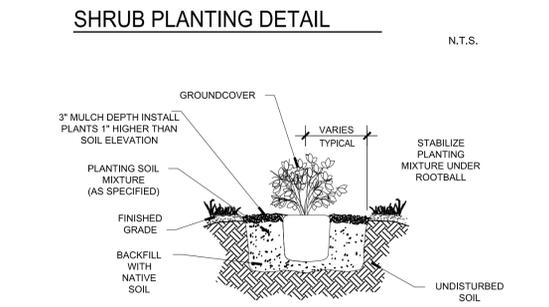
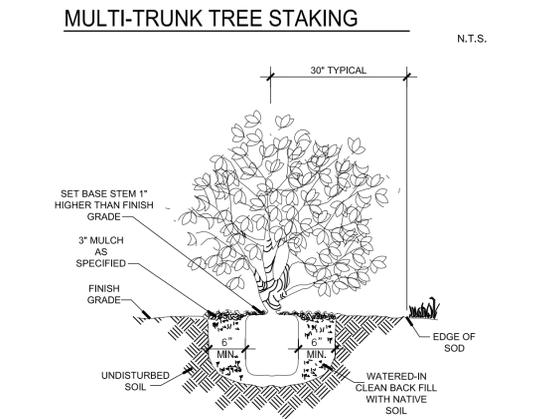
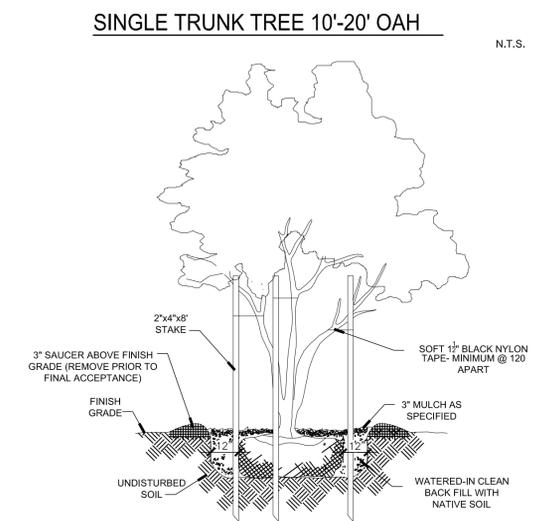
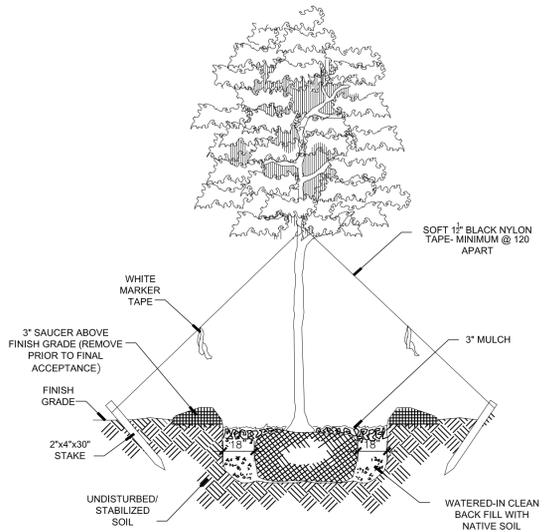
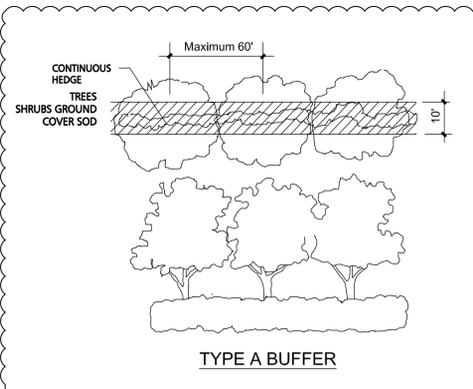
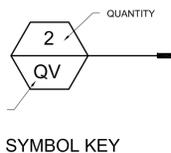
TYPE "A" BUFFER ALONG WEST BOUNDARY ADJACENT TO PROSHOP REQUIRED:
 10' BUFFER WIDTH
 1 TREE PER 60 LINEAR FEET
 CONTINUOUS ROW OF EVERGREEN SHRUBS

PROVIDED:
 251 LINEAR FEET @ 1 TREE PER 60 FEET = 4 TREES REQUIRED AND 6 TREES PROVIDED
 SHRUBS 5' O.C. = 50 SHRUBS REQUIRED AND 84 SHRUBS PROVIDED

DROUGHT TOLERANT REQUIREMENT
 OVERALL SITE: MAX 50% PLANT MATERIAL OTHER THAN TREES ARE ALLOWED TO BE NON-DROUGHT TOLERANT: 746 OF 760 SHRUBS AND G.C. ARE NON-DROUGHT TOLERANT = 98%

SPECIES DIVERSITY
 NO SPECIES OF SHRUB OR GROUND COVER EXCEEDS 25% (African Iris = 24.7%)

TREE REMOVAL
 1 TREE REMOVED > 10" (NOT OAK) = 14 2/3 = 5" REPLACEMENT REQUIRED AND PROVIDED (OTHER 2 TREES REMOVED < 10") SUBSTANTIAL AMOUNT OF EXISTING TREES ON SITE SHALL COMPENSATE FOR TREE REMOVAL.



GROUND COVER PLANTING DETAIL

N.T.S.

GENERAL LANDSCAPE NOTES

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT SITE CONDITIONS AND QUANTITIES INDICATED ON THESE PLANS, BEFORE PRICING WORK.

ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS SPECIFIED IN "GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I AND II" 1998 EDITION DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS FOR NURSERY STOCK. ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLAN ARE TO BE CONSIDERED MINIMUM. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN SHALL ALSO BE REQUIRED FOR ACCEPTANCE. ALL TREES TO BE SINGLE TRUNKED, UNLESS OTHERWISE NOTED ON PLANS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING THE CONDITION OF UNDERGROUND UTILITIES THAT EFFECT PLANTING PROCEDURES OR IRRIGATION SYSTEM INSTALLATION. IF ANY CONFLICTS OCCUR BETWEEN PROPOSED LOCATION OF TREES FOR ON THE DRAWING AND ANY UNDERGROUND UTILITIES OR SUBSURFACE STRUCTURES, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. IF THE LANDSCAPE CONTRACTOR DAMAGES ANY STAKED OR IN PLACE UTILITIES BY HIS OWN NEGLIGENCE, THEY SHALL BE REPAIRED AT THE LANDSCAPE CONTRACTOR'S EXPENSE.

LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONDITIONS THAT WOULD PREVENT THE HEALTHY GROWTH OF PLANT SPECIES CALLED FOR ON THE DRAWINGS. THIS NOTIFICATION MUST OCCUR PRIOR TO CONTRACT AWARD.

IF ANY DISCREPANCIES OCCUR BETWEEN QUANTITIES CALLED FOR ON THE PLANT LIST AND THOSE INDICATED ON THE DRAWINGS, THE GREATER QUANTITY SHALL GOVERN.

PLANT MATERIAL SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE, INSECTS, EGGS, OR LARVAE, AND SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS. THEY SHALL BE FREE FROM PHYSICAL DAMAGE OR ADVERSE CONDITIONS THAT WOULD PREVENT THRIVING GROWTH.

PLANT MATERIAL SHALL CONFORM TO THE VARIETIES INDICATED IN THE PLANT LIST.

SUBSTITUTION OF PLANT MATERIALS WILL NOT BE PERMITTED UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT. IF PROOF IS SUBMITTED THAT ANY PLANT SPECIFIED IS NOT OBTAINABLE, A PROPOSAL WILL BE CONSIDERED FOR USE OF THE NEAREST EQUIVALENT SIZE OR VARIETY WITH CORRESPONDING ADJUSTMENT OF CONTRACT PRICES.

PLANT MATERIAL LOCATIONS AND BED OUTLINES SHALL BE STAKED OR FLAGGED ON SITE BY THE LANDSCAPE CONTRACTOR AND SHALL BE ADJUSTED IF REQUIRED TO FIT ACTUAL AS-BUILT CONDITIONS ON SITE AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PROPOSED PLANTINGS SHALL NOT BE PLACED IN THE FLOWLINE OF SWALES OR LOCATED WHERE THEY WILL IMPEDE WATER FLOW.

A CRISP LINE, EITHER STRAIGHT OR CURVING, SHALL SEPARATE PLANT BEDS FROM SODDED OR SEEDED AREAS.

LANDSCAPE CONTRACTOR SHALL EXCAVATE PLANT PITS ACCORDING TO THE DRAWINGS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HOISTING EQUIPMENT NECESSARY FOR THE PLACEMENT OF PLANT MATERIAL. NEW PLANT MATERIAL TO BE INSTALLED WILL BE FIELD ADJUSTED TO ACCOMMODATE EXISTING PLANT MATERIAL SUCH AS OVERHEAD CANOPY TREES, UNDERSTORY TREES AND SHRUBS OR GROUND COVER. THIS WILL INSURE EXISTING PLANT MATERIAL TO REMAIN IN ITS NATURAL STATE. THEREFORE, NO EXISTING PLANT MATERIAL WILL BE ALTERED BY REMOVING, CUTTING, TRIMMING OR DESTROYING IN ORDER TO INSTALL NEW PLANT MATERIAL.

LANDSCAPE CONTRACTOR SHALL BEAR FINAL RESPONSIBILITY FOR PROPER SURFACE DRAINAGE OF PLANTED AREAS. ANY DISCREPANCY IN THE DRAWINGS, OBSTRUCTION ON THE SITE, OR PRIOR WORK DONE BY ANOTHER PARTY WHICH THE LANDSCAPE CONTRACTOR FEELS PRECLUDES ESTABLISHING PROPER DRAINAGE SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE FINAL GRADE AND SOIL (THE LAST 6") SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR.

ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH STANDARDS AND PRACTICES OF THE FLORIDA NURSERY, GROWERS, AND LANDSCAPE ASSOCIATION AND THE FLORIDA CHAPTER OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE. (LDC 905.2-C.3.E)

PLANTING AREAS SHALL BE PREPPED AND COMPLETELY FREE OF VEGETATION PRIOR TO INSTALLING NEW PLANT MATERIAL. ALL VEGETATIVE DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED OFF SITE.

AFTER PLANT MATERIAL HAS BEEN INSTALLED AND APPROVED, PLANTING BEDS SHALL BE RAKED TO AN EVEN GRADE TO CONFORM TO PRE-MULCHING FINISH GRADES. PLANTING BEDS AND PLANT SAUCERS SHALL THEN BE UNIFORMLY COVERED WITH A MINIMUM 3 INCH LAYER OF PINE STRAW.

ALL TREE STAKING TO BE DONE AS DETAILED. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES THAT OCCUR AS THE RESULT OF THE FAILURE TO STAKE TREES THAT ARE NOT AN ACT OF GOD AND THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR STRAIGHTENING TREES DURING THE GUARANTEE PERIOD.

IN NEW PLANTED AREAS, GRADES SHALL BE ESTABLISHED BY THE LANDSCAPE CONTRACTOR AT APPROXIMATELY 3 INCHES BELOW CURBS, SIDEWALKS, HARDSCAPE AMENITIES, MOWING STRIPS, AND ABUTMENTS TO ALLOW FOR MULCH.

THE LANDSCAPE CONTRACTOR SHALL COORDINATE CONSTRUCTION OF PLANTING AREAS WITH INSTALLATION OF IRRIGATION SYSTEM AND HARDSCAPE WORK.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPLICABLE PERMITS BEFORE COMMENCING CONSTRUCTION, INCLUDING PERMITS TO WORK IN HILLSBOROUGH COUNTY RIGHT-OF-WAY.

INSTALLED PLANT MATERIAL SHALL BE FERTILIZED WITH THE FOLLOWING APPLICATIONS:
 TREES AND SHRUBS: OSMOCOTE (14-14-14)
 SHRUBS/GROUND COVER: 1/3 LB. PER 3-GALLON POT, 1/4 LB. PER 1-GALLON POT
 TREES AND SHRUBS (OVER 5 FT. HT.): 1 LB. PER 1 INCH OF TRUNK DIAMETER
 SOD: (16-4-8) COMMERCIAL FERTILIZER - 18 LBS. PER 1,000 SQFT

THE LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL ON SITE DURING AND BEFORE PLANTING, UNTIL THE WORK IS ACCEPTED BY THE OWNER AND/OR OWNER'S REPRESENTATIVE.

THE OWNER AND/OR OWNER'S REPRESENTATIVE HAS THE RIGHT TO REJECT ANY AND ALL WORK WHICH IN HIS OPINION DOES NOT MEET WITH THE REQUIREMENTS OF THE SPECIFICATIONS AT ANY STAGE OF THE PROJECT.

IN GENERAL, THE WORK SHALL PROCEED AS RAPIDLY AS THE SITE BECOMES AVAILABLE.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE CLEANUP OF PREMISES AND REMOVAL OF DISCARDED AND SURPLUS MATERIALS AND RUBBISH.

SOLID SOD SHALL BE INSTALLED IN THE AREAS AS INDICATED ON THE PLAN. VERIFY EXACT LOCATION AND AMOUNT OF SOD AS SHOWN TO FIT CONDITIONS.

SOD AREAS FOR SHALL BE BAHIA SOD UNLESS OTHERWISE NOTED. SOD SHALL BE HEALTHY, FREE OF INSECTS AND WEEDS AND IN NATURALLY FLOURISHING CONDITION. DRY, BROWN, AND UNFRESH SOD WILL BE REJECTED.

SOD SHALL BE LAID END-TO-END AND SIDE-TO-SIDE IN A STAGGERED LINE TO FORM A UNIFORM LAYER. UNEVEN EDGES SHALL BE SQUARELY TRIMMED TO ALLOW CLOSE AND FIRM FITTING OF EACH PIECE.

AFTER SODDING IS COMPLETED, THE ENTIRE SOD AREAS SHALL BE ROLLED AND WATERED BY HAND OR IRRIGATION SYSTEM EACH DAY FOR TWO WEEKS. SODDED AREAS SHALL THEN BE TOP-DRESSED WITH A COMMERCIAL FERTILIZER AS DIRECTED BELOW IN AN EVENLY BROADCAST PATTERN.

LANDSCAPE CONTRACTOR TO PROVIDE PHOTOS OR SAMPLES OF ALL PLANT MATERIAL NOTED ON PLANT LIST TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

ANY IRRIGATION ADJUSTMENTS, ADDITIONS OR REPAIRS ARE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

CLEAR-SIGHT TRIANGLE: WHERE A DRIVEWAY/ACCESSWAY INTERSECTS A ROAD OR RIGHT-OF-WAY OR WHERE TWO (2) ROAD RIGHTS-OF-WAY INTERSECT, VEGETATION, STRUCTURES, AND NON-VEGETATIVE VISUAL SCREENS SHALL NOT BE LOCATED SO AS TO INTERFERE WITH THE CLEAR-SIGHT TRIANGLE AS DEFINED IN THE PASCO COUNTY LDC OR THE FLORIDA DEPARTMENT OF TRANSPORTATION, MANUAL OF UNIFORM MINIMUM STANDARDS, MOST RECENT EDITION (GREEN BOOK), WHICHEVER IS MORE RESTRICTIVE.

SHRUBS WILL BE IN AN APPROPRIATELY SIZED CONTAINER, A MINIMUM OF 18" TALL AT INSTALLATION (DWARF SPECIES MAY BE INSTALLED AT A MINIMUM OF 14" HEIGHT), AND PLANTED SPACED AT A DISTANCE APPROPRIATE TO THE SPECIES TO CREATE A CONTINUOUS APPEARANCE WITHIN ONE (1) YEAR, BUT NO MORE THAN THIRTY-SIX (36) INCHES ON CENTER.

GROUND COVER PLANTS SHALL BE SPACED TO PRESENT A FINISHED APPEARANCE AND OBTAIN A REASONABLY COMPLETE COVERAGE WITHIN ONE (1) YEAR. NON-LIVING GROUND COVER, SUCH AS MULCH, GRAVEL, ROCKS, ETC., SHALL BE USED IN CONJUNCTION WITH LIVING PLANTS TO SUPPRESS FUGITIVE DUST.

LANDSCAPING SHALL BE PLANTED IN SUCH A MANNER AS NOT TO IMPEDE THE ACCESS FOR MAINTENANCE AND STORM-WATER RUN-OFF FLOW TO OR IN A DITCH, SWALE, OR POND.

ALL TREES THAT OVERHANG THE PUBLIC RIGHT OF WAY OR TREES WITHIN THE ROW SHALL BE TRIMMED AND PRUNED TO MAINTAIN A MINIMUM VERTICAL CLEAR HEIGHT OF 8' FROM THE FINISHED GROUND SURFACE OF THE SIDEWALK TO THE BOTTOM OF CANOPY/ 16.6' CLEAR HEIGHT ABOVE THE ROADWAY PATHS.

THE COUNTY IS NOT RESPONSIBLE FOR MAINTENANCE OF ANY LANDSCAPING UNLESS APPROVED THROUGH A COUNTY MAINTENANCE AGREEMENT. (LDC 905.2-C.1.A) POINT SUMMIT SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE.

LANDSCAPING SHALL BE INSTALLED SO THAT LANDSCAPING MATERIALS MEET THE CONCEPT OF RIGHT MATERIAL/RIGHT PLACE. INSTALLED TREES AND PLANTS SHALL BE GROUPED INTO ZONES ACCORDING TO WATER, SOIL, CLIMATE, AND LIGHT REQUIREMENTS. PLANT GROUPINGS BASED ON WATER REQUIREMENTS ARE DROUGHT TOLERANT, NATURAL, AND OASIS. (LDC 905.2-C.1.C)

TREES SHALL NOT BE PLANTED WITHIN ANY EASEMENT SO AS TO INTERFERE WITH THE USE OF THAT EASEMENT, NOR UNDER ANY PRESENT OR PLANNED OVERHEAD UTILITY, NOR IN ANY RIGHTS-OF-WAY WITHOUT COUNTY APPROVAL THROUGH THE ASSOCIATED REVIEW PROCESS. (LDC 905.2-C.3.C)

MULCH SHALL BE USED IN CONJUNCTION WITH LIVING PLANT MATERIALS SO AS TO COVER EXPOSED SOIL. MULCH SHALL BE INSTALLED TO A MINIMUM DEPTH OF THREE (3) INCHES. THE MULCH SHOULD NOT BE PLACED DIRECTLY AGAINST THE PLANT STEM OR TREE TRUNK. MULCH SHALL NOT BE REQUIRED FOR ANNUAL BEDS. STONE OR GRAVEL MAY BE USED TO COVER A MAXIMUM OF 20 PERCENT OF THE LANDSCAPED AREA. (LDC 905.2-C.3.D)

ALL PORTIONS OF A LOT UPON WHICH DEVELOPMENT HAS COMMENCED, BUT NOT CONTINUED FOR A PERIOD OF 30 DAYS, SHALL BE PLANTED WITH A GRASS SPECIES OR GROUND COVER TO PREVENT EROSION AND ENCOURAGE SOIL STABILIZATION. ADEQUATE COVERAGE, SO AS TO SUPPRESS FUGITIVE DUST, SHALL BE ACHIEVED WITHIN 45 DAYS. (LDC 905.2-C.3.G)

ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY CONDITION IN PERPETUITY IN ACCORDANCE WITH THIS CODE. (LDC 905.2-E.2) ANY PLANT MATERIALS OF WHATSOEVER TYPE AND KIND REQUIRED BY THESE REGULATIONS SHALL BE REPLACED WITHIN THIRTY (30) DAYS OF THEIR DEMISE AND/OR REMOVAL.

THE PLANTING OF SPECIES LISTED IN RULE 5B 57.007, FLORIDA ADMINISTRATIVE CODE, AS AMENDED, OR CLASSIFIED AS INVASIVE BY THE FLORIDA EXOTIC PEST PLANT COUNCIL, IS PROHIBITED.

ALL HEIGHT REQUIREMENTS SHALL BE BASED ON THE FINISHED GRADE OF THE LANDSCAPED AREA AND MEASURED AT THE MAIN STEM.

ALL PORTIONS OF EACH SITE, WHICH ARE NOT DEVOTED TO BUILDINGS, SIDEWALKS, PAVING, OR SPECIAL LANDSCAPE FEATURES SHALL BE GRASSED, HOWEVER, NO MORE THAN THIRTY (30) PERCENT OF THE REQUIRED LANDSCAPE AREA MAY BE GRASSED; THE BALANCE SHALL BE LANDSCAPED IN SHRUBS AND GROUND COVER PLANTS.

A MAXIMUM OF 50 PERCENT OF THE PLANT MATERIALS USED, OTHER THAN TREES, MAY BE NON-DROUGHT TOLERANT. A MINIMUM OF 30 PERCENT OF THE PLANT MATERIALS, OTHER THAN TREES AND TURFGRASS, USED TO FULFILL THE REQUIREMENTS OF THIS SUBSECTION SHALL BE NATIVE FLORIDIAN SPECIES, SUITABLE FOR GROWTH IN THE COUNTY. (LDC 905.2-C.1.D)

NO ONE PLANT SPECIES OF SHRUBS OR GROUND COVER PLANTS, EXCLUDING TURFGRASS, SHALL CONSTITUTE MORE THAN 25 PERCENT COVERAGE OF THE OVERALL LANDSCAPE AREA. (LDC 905.2-C.1.D.5)

ONGOING MAINTENANCE TO PREVENT THE ESTABLISHMENT OF PROHIBITED EXOTIC SPECIES IS REQUIRED. (LDC 905.2-E.4)

7-20-15 Rev. Per County Comments

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 Pasco County, FL

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St. Joe Ranch

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Landscape
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HARDSCAPE PLAN
L501

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