

PASCO COUNTY, FLORIDA
INTEROFFICE MEMORANDUM

TO: Joaquin Servia
Acting Development Review Manager

DATE: 12/4/14 FILE: PDD15-256

SUBJECT: Commercial Development
Review – Buffalo Wild Wings
Cypress Creek Phase II,
Parcel 11A - Preliminary/
Construction Site Plan and
Stormwater Management Plan
and Report Substantial
Amendment (Project
No. IPR07-045)
Recommendation: approve
with conditions (Attachment
No. 1)


FROM: Dorothy E. Masumian
Senior Development
Review Technician

REFERENCES: Land Development Code,
Sections 300, Procedures;
403, Site Development;
and 900, Development
Standards; Comm. Dist. 2

PROJECT DESCRIPTION:

Commission District:	The Honorable Mike Moore
Project Name:	Buffalo Wild Wings Cypress Creek Phase II, Parcel 11A
Developer's Name:	Cypress Creek Group, LLC
Location:	Eastern Central Pasco, on the northeast corner of S.R. 56 and Cypress Ridge Boulevard, Section 26, Township 26 South, Range 19 East.
Parcel ID No.:	26-26-19-0000-00100-0140 (portion of)
Land Use Classification:	MU (Mixed Use)
Zoning District:	MPUD Master Planned Unit Development
Transportation Corridor:	S.R. 56
Existing Right-of-Way:	150 Feet from Centerline (Built-Out)
Required Right-of-Way:	150 Feet from Centerline of Construction
Acreage:	7.69 Acres, m.o.l. (Parcel 11A, 2.06 Acres)
Use/Square Feet:	Retail/4,301 Square Feet and Restaurant/ 6,395 Square Feet with 806 Square Feet Outdoor Seating (Parcel 11A)
Water/Sewage:	Pasco/Pasco
Transportation Analysis Zone:	287

Mobility Fee Assessment District: A
Mobility Fee Collection/Benefit District: 3
Roads: Public
Certificate of Capacity: Initial (Previously Issued)

DEVELOPER'S REQUEST:

The developer of Buffalo Wild Wings Cypress Creek Phase II, Parcel 11A, is requesting approval of a preliminary site plan (PSP)/construction site plan and stormwater management plan and report substantial amendment to Parcel 11A. The proposed modifications decrease the total square foot area of the building footprint from 14,450 square feet to 11,502 square feet and relocate a portion of the parking area.

BACKGROUND AND FINDINGS OF FACT:

See Attachment No. 4

CONCURRENCY ANALYSIS:

An Initial Certificate of Capacity is being issued for Retail/4,301 Square Feet and Restaurant/ 6,395 Square Feet with 806 Square Feet Outdoor Seating. Any conditions required pursuant to the issuance of the certificate are attached to the Initial Certificate of Capacity.

RECOMMENDATION:

The Planning and Development Department recommends approval of the PSP/ construction site plan and stormwater management plan and report Substantial Amendment, with the attached conditions:

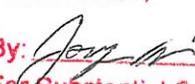

JAS/LS/dem/pdd15-256

ATTACHMENTS:

1. Conditions of Approval
2. Location Map
3. Site Plan
4. Background and Findings of Fact
5. Initial Certificate of Capacity

PLANNING AND DEVELOPMENT DEPARTMENT ACTION:

APPROVED B.C.C.
 D.R.C.

Pasco County
By:  Date 12-21-14
For Substantial Compliance With
The Applicable Provisions of Pasco County
Land Development Regulations
And Their Intent

**ATTACHMENT NO. 1 – CONDITIONS OF APPROVAL
BUFFALO WILD WINGS – CYPRESS CREEK PARCEL 11A**

Hard-Copy Site Development Permit

1. Before commencing approved construction activities, the applicant/ developer or project contractor shall obtain from the Planning and Development Department an authorization to commence approved construction, a.k.a. "a hard copy Site Development Permit." To obtain said authorization, the following, as applicable, must be submitted to the Planning and Development Department:
 - a. The completed notarized acknowledgment portion of the attached agenda memorandum. The developer is hereby notified that the effective date of this development approval shall be the date of the final County action; however, no activity shall commence on site until such time as the acknowledgment portion of this document is completed (including notarization) and received by the Planning and Development Department.
 - b. A copy of the Southwest Florida Water Management District (SWFWMD) Permit and Plan. In the event the SWFWMD Permit and Plan require any changes to the County-approved plan, an amendment to the County-approved plan shall be submitted for review and approval prior to the issuance of the Site Development Permit.
 - c. A copy of all required State and Federal permits from the appropriate agencies, including drawings, plans, etc.
 - d. National Pollutant Discharge Elimination System Permit/permit application.

No construction shall commence until the permit has been properly posted on the site.

Specific Conditions

2. The jurisdictional wetland line and the upland buffer line shall be clearly field demarcated prior to any construction activities.
3. No construction activities including: clearing, grading, grubbing shall occur within the Wetland Upland Buffer as depicted on the approved project Construction Plans.
4. The owner/developer acknowledges that Pasco County Public Transportation is requesting a bus shelter be constructed (approximately 150 feet west of the right-in/right-out driveway for Parcel 11A along SR 54 prior to the issuance of the Certificate of Occupancy. The Transit Amenities shall include:
 - a) A concrete shelter pad (10'x40')
 - b) a shelter
 - c) bench

- d) trash receptacle
- e) bicycle rack
- f) sign for bus route information
- g) lighting with a minimum 3.5 foot candle powered by an off-grid power renewable energy power source
- h) landscaping
- i) adequate road configuration for at least one bus at a time to be able to pick up, drop off, and transfer passengers
- j) adequate clear line of sight from the front and back of the bus for the driver's awareness
- k) traffic and pedestrian safety, and pedestrian walkways to allow access to the bus stop and edge of roadway on a clearly defined path from all establishments within the parcel
- l) All transit amenities must be in compliance with the Americans with Disabilities Act.

The final approval of the design, architecture and placement of the transit amenities shall be by Pasco County Public Transportation in accordance with the Transit Infrastructure Guidelines Manual (www.ridepcpt.com). The applicant is responsible to obtain and comply with applicable Right-of-Way Use Permits (as applicable)."

General Conditions

- 5. The developer acknowledges that any provisions of Pasco County ordinances and any rezoning conditions of approval not specifically waived shall be in full force and effect, including all impact fee ordinances.
- 6. The developer acknowledges that approval of this Preliminary Site Plan (PSP) does not establish vested rights with respect to construction of the project. Further, the developer acknowledges that no permit shall be issued or plat approved without the issuance of a Final Certificate of Capacity.
- 7. The applicant/developer or successors in interest are advised of the following restrictions:
 - a. No owner of the property within the development may construct or maintain any building, residence, or structure, or undertake or perform any activity in the wetlands, buffer areas, and upland conservation areas described in the approved plan or record plat unless prior approval is received from the SWFWMD pursuant to environmental resource permitting.
 - b. No owner of the property within the development may construct or maintain any building, residence, or structure, or undertake or perform any activity within the 100-year floodplain described in the approved plan and/or record plat of the

subdivision unless prior approval is received from the SWFWMD pursuant to environmental resource permitting.

- c. No owner of the property may undertake any roadway improvements within this development unless prior written authorization or notification of exemption is received from the SWFWMD pursuant to environmental resource permitting.
8. All construction work, including roads, drainage, and utilities, shall be constructed in accordance with County design standards and tested in compliance with the Engineering Services Department's *Testing Specifications for Construction of Roads, Storm Drainage, and Utilities*.
9. The applicant/developer shall acknowledge that should the County collect funds under a guarantee document, the developer shall authorize the County or its designee access to the property in question to complete the required work.
10. The applicant/developer shall acknowledge that should the County be required to institute legal proceedings in order to collect any funds under a guarantee document, the developer shall be responsible for attorney's fees and court costs incurred by the County in such action.
11. The developer acknowledges that an appeal may be filed against the decision of the Planning and Development Department within 30 days of the date of this approval. Any development that takes place within the 30-day-appeal deadline shall not establish vested rights with respect to construction of the project.
12. Site plans approved by the Planning and Development Department are the final approved documents. Changes/additions/deletions to approved site plans; i.e., building size, location, loading zones, etc., require revised site plan submittal, review fee, and approval in accordance with the Land Development Code (LDC), Sections 300, 403, and 900.
13. The applicant/developer or project contractor shall notify the Project Management Division at least five working days prior to commencing any activity on the site.
14. In accordance with the LDC regarding Access Management Regulations, where a required/approved cross-access/frontage/reverse-frontage road is provided and shown on the approved plans, the applicant/developer acknowledges and agrees that this access shall be free and clear of any buildings, parking spaces (except as otherwise approved), landscaping, retention ponds, or any other obstruction (such as gates) that would prevent the free flow of traffic between the project and the neighboring properties, projects, or roadways. The applicant/developer acknowledges that this cross-access/frontage/reverse-frontage road is to remain open to the public, but maintained privately.
15. Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to combustibles being brought on site (National Fire Protection Association, NFPA-1, 16.4.3.1.3).

16. The developer acknowledge(s) that except where project development schedules are established for Development of Regional Impacts and Florida-quality development, the preliminary site plan (PSP) shall expire within six years of the original approval date of the PSP if Building Permits for the entire development have not been issued. Any extension shall be applied for at least 60 days prior to expiration of any of the above time limits.

In the event the PSP is voided, all subsequent submittals shall comply with regulations in effect at the time of the said resubmittals.

Construction Plan

17. Section 316.0745, Florida Statutes, requires that all traffic-control signing and markings on private property opened to the general public be in conformance with the Florida Department of Transportation's (FDOT) *Manual on Uniform Traffic Control Devices* and FDOT standards.
18. All handicapped parking spaces shall be signed and marked in accordance with the FDOT standards index. All regular/standard parking spaces shall be striped in white.
19. All construction within non-County-maintained right-of-way will require a Driveway Connection Permit. The applicant/developer shall obtain a Driveway Connection Permit from the County.
20. In consideration of the County's agreement to provide potable water and/or reclaimed water to the subject property, the applicant/developer and their successors and assigns agree to the following:
 - a. In the event of production failure or shortfall by Tampa Bay Water (TBW), as set forth in Section 3.19 of the Interlocal Agreement creating TBW, the applicant/developer shall temporarily transfer to the County any and all water-use permits or water-use rights the applicant/developer may have to use or consume surface water or groundwater within the County for the duration of the production failure or shortfall.
 - b. Prior to the applicant/developer selling water, water-use permits, or water-use rights, the applicant/developer shall notify the County, and the County shall have a right of first refusal to purchase such water or water-use permits or water-use rights.
21. The developer shall provide fire protection in compliance with the Pasco County Code of Ordinances, Chapter 46, Article III, and any subsequent amendments.
22. Curb ramps are required at all intersections of curbs and sidewalks and shall be constructed in conformance with the uniform *Federal Accessibility Standards* published by the General Services Administration, Department of Housing and Urban Development, Department of Defense, and United States Postal Service (Section 336.045, Florida Statutes).

23. The Timing and Phasing Application submitted by the applicant assumed the following land use:

4,301 square foot retail and 6,395 square foot restaurant with 806 square foot outdoor seating area.

Any development of land use that generates greater traffic impacts than those assumed shall require an updated Timing and Phasing Application utilizing a methodology approved by the County. The DRC, BCC, or County Administrator or designee may impose additional conditions on the applicant or developer based on the updated County-approved traffic study.

24. Prior to any construction activity, the developer shall ensure that proper erosion and sediment control measures are in place. The applicant/developer or project contractor shall notify the Stormwater Management Division at least two working days prior to commencing any site preparation, including clearing and grubbing work, for a preinspection of the sediment and erosion-control devices. The developer shall control all fugitive dust originating from the project site and shall indicate on the construction drawings the manner in which fugitive dust is to be controlled. Further, all retention pond side slopes and associated swales shall be sodded to prevent soil erosion.
25. The applicant/developer acknowledges, in accordance with the LDC, Section 905.2, Landscaping and Buffering, wooden fences are not allowed as a visual screen in any of the buffer areas. If the applicant/developer proposes the use of a fence for a visual screen within any buffer area, vinyl fencing or chain-link fencing with black-out fabric or slats shall be used.
26. The applicant/developer acknowledges, in accordance with the LDC, Section 905.2, Landscaping and Buffering, any plant materials of whatsoever type and kind required by the Landscape and Buffering regulations and this approval, shall be replaced within thirty days of their demise and/or removal.
27. If, during construction activities, any evidence of historic resources including, but not limited to, aboriginal or historic pottery, prehistoric stone tools, bone or shell tools, historic trash pits, or historic building foundation, are discovered, work shall come to an immediate stop, and the Florida Department of Historic Resources (State Historic Preservation Officer) and the County shall be notified within two working days of the resources found on the site.
28. If, during construction activities, any evidence of the presence of State and Federally protected plant and/or animal species is discovered, work shall come to an immediate stop, and the County shall be notified within two working days of the plant and/or animal species found on the site.

Development Standards

29. Development shall be in accordance with Land Development Code, Section 526, C-2 General Commercial District, as amended..

Record Plat/Building Permit/Certificate of Occupancy

30. Site plans submitted with Building Permit applications are invalid as to final site approval unless stamped approved by the Planning and Development Department. These plans are submitted to show building location in regard to property line, other buildings, etc., only. The site must conform to those plans submitted and/or approved by the Planning and Development Department in accordance with the LDC, Sections 300 and 403.
31. The applicant/developer acknowledges that a Building Permit shall be obtained for all structures that have a footer, regardless of size, through the Central Permitting Division; i.e., including, but not inclusive of, buildings, accessories, dumpster walls, and retaining walls.
32. A Registered Landscape Architect or other person as authorized by Chapter 481, Florida Statutes, as amended or other type of professional as approved by the County Administrator or designee shall conduct a final field inspection. A Certificate of Compliance shall be provided to the County prior to issuance of the Certificate of Occupancy (CO).
33. The owner/developer shall arrange for a final site inspection approval by the Engineering Services Department prior to the issuance of the CO.

DEVELOPER'S ACKNOWLEDGMENT:

The developer acknowledges that they have read, understood, and accepted the conditions of approval.

_____ Date

_____ Signature

_____ Print Name

_____ Title

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____
(date), by _____ (name
of corporation acknowledging) a _____
(State or place of incorporation) corporation, on behalf of the corporation. He/she is personally
known to me or who has produced _____ (type of
identification) as identification.

Seal:

_____ NOTARY

IPR07-045

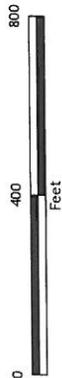
**Cypress Creek Lot 11 –
Buffalo Wild Wings**

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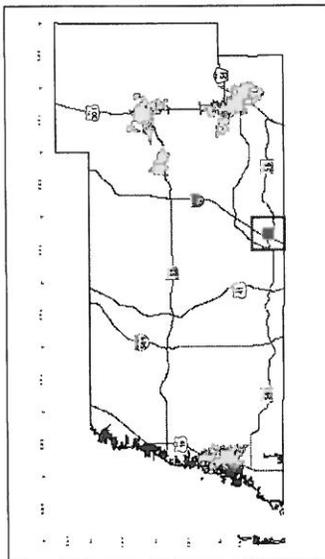
**PHYSICAL ADDRESS:
26835 STATE ROAD 56**

**TAZ - 288
COMMISSION DISTRICT: 2**

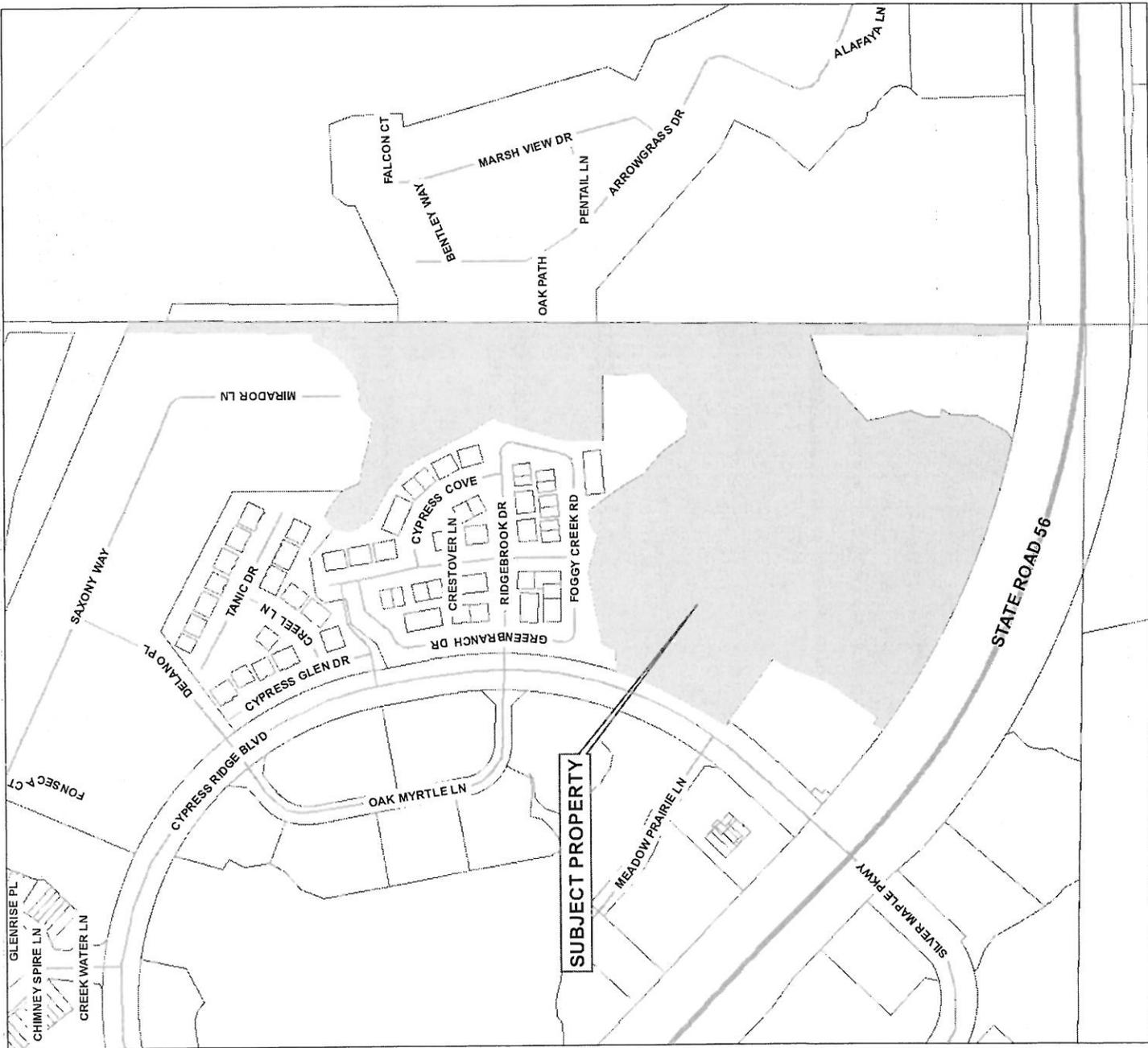
SUBJECT PROPERTY



Pasco County GIS | 12/1/2014 | aikhuoria



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ATTACHMENT NO. 4 - BACKGROUND AND FINDINGS OF FACT
Buffalo Wild Wings – Cypress Creek Parcel 11A

BACKGROUND:

1. On June 18, 2002, the Board of County Commissioners (BCC) approved the Cypress Creek Development of Regional Impact (DRI).
2. On August 20, 2002, the BCC approved the Cypress Creek MPUD Master Planned Unit Development (Petition No. 5787).
3. On January 23, 2003, the Development Review Committee (DRC) approved the Cypress Creek DRI, Phase 2, infrastructure preliminary/construction site plan (DR03-520).
4. On October 21, 2003, the BCC approved, with conditions, an amendment to the Cypress Creek MPUD Master Planned Unit Development (GM04-0015).
5. On October 7, 2004, the DRC denied the Cypress Creek DRI, Phase 4, and infrastructure preliminary/construction site plan (DR04-2468).
6. On May 26, 2005, the DRC approved the Cypress Ridge Professional Center preliminary/construction site plan for office and retail development, with conditions (DR05-1602).
7. On December 1, 2005, the DRC approved the Cypress Creek DRI, Phase 3, Drainage Improvements, with conditions (DR06-369).
8. On December 5, 2006, the BCC adopted Resolution No. 07-63, an amendment to the Development Order for the Cypress Creek DRI.
9. On December 20, 2007, the former Development Review Division approved the Cypress Creek, Parcel 11A, Phases 1A and 1B, preliminary/construction site plan and Stormwater Management Plan and Report, with conditions (DR08-417).
10. On May 12, 2009, the BCC adopted Resolution No. 09-205, an amendment to the Development Order for the Cypress Creek DRI.
11. On July 23, 2010, the Zoning and Site Development Department approved the Cypress Creek, Parcel 11, preliminary/construction site plan amendment and phasing plan (ZN10-269).
12. On January 6, 2011, the Zoning and Site Development Department approved, with conditions, Cypress Ridge Convenience (IPR10-012) for a convenience store, gas pumps, and car wash on Parcel 11B (ZN11-082).
13. On June 7, 2012, the former Zoning and Site Development Department approved a substantial amendment (Memorandum No. ZN12-472) referencing boundary changes, square foot area decreases and modifications to ponds and stormwater systems

14. On June 20, 2012, the former Zoning and Site Development Department approved a preliminary/construction site plan and stormwater management plan and report (ZN12-473) for Gate Food Store Cypress Creek 11B (SML12-014).

FINDINGS OF FACT:

1. Presently, the subject site is a partial improved portion of the Cypress Creek DRI and designated as a portion of Parcel 11 on Map H, Parcel 6, of the Cypress Creek MPUD Master Planned Unit Development Petition No. 5787.
2. The PSP/construction site plan and stormwater management plan and report have been reviewed by the Planning and Development Department, and it has been determined that the proposed use is consistent with the above-referenced zoning district's permitted uses.
3. The PSP/construction site plan and stormwater management plan and report for the above-subject project was prepared for Cypress Creek Group, LLC, by Florida Design Consultants, Inc., and consists of 14 sheets dated July 23, 2014; the sheets were last revised on October 6, 2014. The plans were originally received by the Planning and Development Department on July 23, 2014, and final revisions were received on October 20, 2014.
4. Access to the property is from S.R. 56, a Florida Department of Transportation (FDOT) maintained road, which has 290 feet of right-of-way and from an internal drive off Cypress Ridge Boulevard, a County-maintained road, which has 120 feet of right-of-way with 48 feet of pavement.
5. A Timing and Phasing Application was submitted and found to be exempt from the requirement to provide a Timing and Phasing Analysis and a Substandard Roadway Analysis.

The Planning and Development Department's approval of this PSP/construction plan and stormwater management plan and report modification constitutes a finding by the Planning and Development Department that the PSP/construction plan and stormwater management plan and report modification, as conditioned, the PSP/construction plan and stormwater management plan and report modification is consistent with those Goals, Objectives, and Policies of the Comprehensive Plan and those provisions of the LDC that are applicable to PSP/construction plan and stormwater management plan and report modification approvals. This action is based on the office review of the plans, supporting documentation, and certifications of the Engineer of Record.

INITIAL CERTIFICATE OF CAPACITY

REQUIRED FOR PRELIMINARY SITE PLANS, PRELIMINARY DEVELOPMENT PLANS,
NONRESIDENTIAL SUBDIVISION, RESIDENTIAL SUBDIVISION INTO MORE THAN ONE DWELLING UNIT
PER LOT, AND PUBLIC SCHOOL COMPREHENSIVE PLAN CONSISTENCY REVIEW
To Be Completed By Department Responsible for Approval Sought;
Completed Certificate Must Be Attached to the Agenda Item and Approval Document

Complete Application (Date):	12/4/14	Certificate Completed by:	MC
Parcel ID No(s):	26-26-19-0000-00100-0140 (portion of)		(attach survey if project includes portion of parcel)
Project Name:	Cypress Creek Phase II, Parcel 11A - Buffalo Wild Wings		No: IPR07-045
Applicant Name, Address, and Telephone Number:	Cypress Creek Group LLC		
Job Site Address:	Northeast corner of SR 56 and Cypress Ridge Blvd		
Does the applicant want to opt out of the mobility fee system pursuant to LDC 1302? <input type="checkbox"/> Yes <input type="checkbox"/> No (If Yes, then transportation concurrency will apply and TIS application is required.)			
Project subject to Development of Regional Impact (DRI) Development Order or to a Development Agreement? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Approval Sought (Check All that apply):			
<input type="checkbox"/>	Preliminary Development Plan	<input type="checkbox"/>	Nonresidential Subdivision
<input checked="" type="checkbox"/>	Preliminary Site Plan	<input type="checkbox"/>	Residential Subdivision into more than one dwelling unit
<input type="checkbox"/>		<input type="checkbox"/>	Public School (Comprehensive Plan Consistency Review)

TYPE OF DEVELOPMENT

Number of Units	Unit Measure	Description
4,301	sf	Retail
806	sf	outdoor seating
6,395	sf	restaurant

Expiration (1300 LDC)		
All facilities (other than roads and schools) expire on:	6/7/2018	(6 yrs from issuance)
Roads(Only applies if project subject to transportation concurrency) Certificate of Capacity expires or is subject to additional review on: (click N/A if transportation concurrency does not apply)		or N/A <input checked="" type="checkbox"/>
Schools: Certificate of Capacity expires or is subject to additional review on:		or N/A <input checked="" type="checkbox"/>
Issuance Date:	<i>Rosdy & Maximian</i>	

Completed Certificate of Capacity which has been issued to be distributed as follows:
1) Applicant 2) Shared Directory: 1-LOS, and 3) Project File.

INITIAL CERTIFICATE OF CAPACITY

	Yes	No	Conditional Approval	Review Standards	Reviewed By & Authorized Signature/Date
Roads <input checked="" type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.D and Chapter 7 Transportation Analysis	
Water/Water Supply (Utilities) or <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.A and Chapter 10 Public Facilities Element	
Sewer (Utilities) or <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.A and Chapter 10 Public Facilities Element	
Parks/Recreation(Parks) <input checked="" type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.B and Chapter 5 Recreation and Open Space Element	
Solid Waste (Utilities) Or <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.A and Chapter 10 Public Facilities Element	
School or <input checked="" type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.C & Chapter 8 Public School Facilities Element and School District Concurrency Implementation Procedures Manual	

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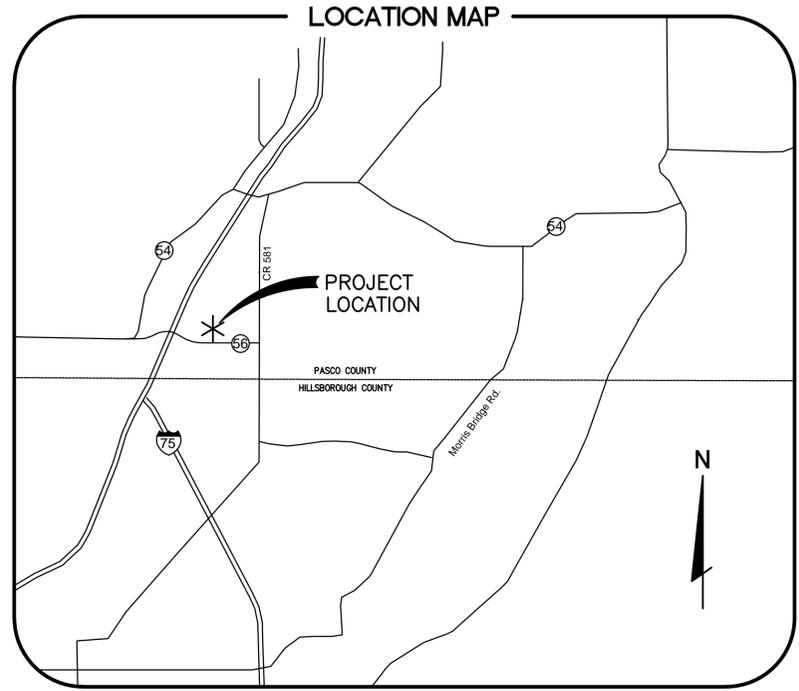
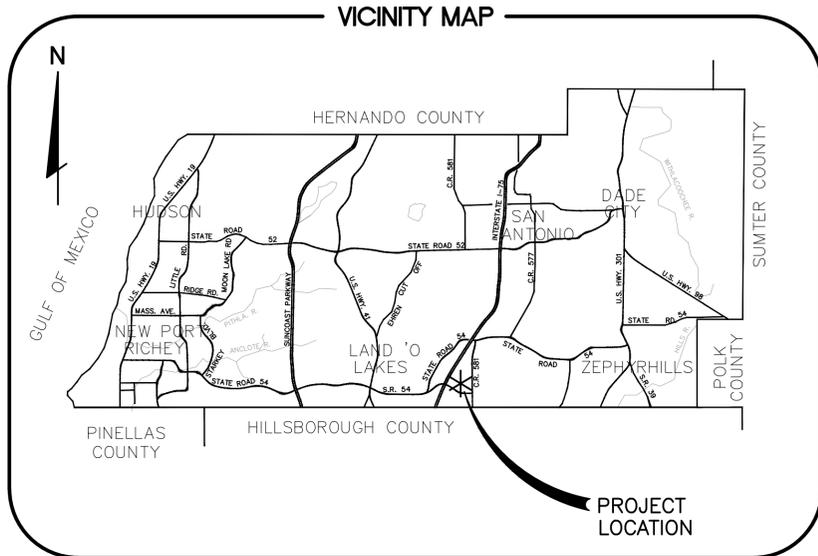
Completed Certificate of Capacity which has been issued to be distributed as follows:

- 1) Applicant 2) Shared Directory: 1-LOS, and 3) Project File.

BUFFALO WILD WINGS - CYPRESS CREEK PHASE II PARCEL #11A CONSTRUCTION PLANS - NON SUBSTANTIAL MODIFICATION LOCATED IN SECTION 26, TOWNSHIP 26 SOUTH, RANGE 19 EAST PASCO COUNTY, FLORIDA



PROJECT NO.	2014-0010
DATE	07-22-2014
DESIGNER	GL
CHECKER	FG
DATE	AAB



SHEET	TITLE
1	COVER SHEET
2	GENERAL NOTES
3	EXISTING CONDITIONS
4	OVERALL SITE PLAN
5	SITE DIMENSION PLAN
6	PAVING, GRADING, AND DRAINAGE PLAN
7	SURFACE WATER POLLUTION PREVENTION PLAN
8	SURFACE WATER POLLUTION PREVENTION DETAILS
9	UTILITY PLAN
10	PAVING, GRADING, AND STORM SEWER DETAILS
10A	BUS SHELTER MAINTENANCE OF TRAFFIC DETAILS
11	UTILITY DETAILS
12	UTILITY DETAILS
13	LANDSCAPE PLAN
14	LANDSCAPE DETAILS

LEGAL DESCRIPTION:

A parcel of land being a portion of Section 26, Township 26 South, Range 19 East, Pasco County, Florida, being more particularly described as follows:

COMMENCE at the Northeast corner of the Southeast 1/4 of Section 26, Township 26 South, Range 19 East, Pasco County, Florida; thence S00°28'19"W, along the East line of said Southeast 1/4 of Section 26 (being the basis of bearings for this legal description), for 2,532.77 feet to the point of intersection with a non-tangent curve, concave Northerly, same being the point of intersection with the North Right-of-Way line of State Road 56, according to Official Records Book 4048, Page 25, of the Public Records of Pasco County, Florida; thence leaving said East line of the Southeast 1/4 of Section 26, Westerly along the arc of said curve and along said North Right-of-Way line of State Road 56, from a radial bearing of N03°49'26"E, having a radius of 2,141.83 feet, a central angle of 19°29'20", an arc length of 728.53 feet, and a chord bearing N76°25'54"W for 725.03 feet, to the POINT OF BEGINNING; thence Northwesterly continuing along the arc of said curve, same being said Northerly Right-of-Way line of State Road 56, from a radial bearing of N23°18'46"E, having a radius of 2,141.83 feet, a central angle of 12°51'07", an arc length of 480.43 feet, and a chord bearing N60°15'41"W for 479.42 feet, to the point of intersection with a non-tangent line, same being a South corner of that certain property as described in Official Records Book 8748, Page 917, of the Public Records of Pasco County, Florida; thence the following six (6) courses along the Easterly line of said certain property as described in Official Records Book 8748, Page 917: (1) thence leaving said North Right-of-Way of State Road 56, N36°02'04"E, for 30.96 feet; (2) thence S53°57'22"E, for 20.00 feet; (3) thence N36°02'50"E, for 134.45 feet to the point of curvature of a curve concave Northwesterly; (4) thence Northeasterly along the arc of said curve, having a radius of 213.00 feet, a central angle of 15°09'12", an arc length of 56.33 feet, and a chord bearing N28°28'15"E for 56.17 feet, to the point of tangent; (5) thence N20°53'39"E, for 105.63 feet; (6) thence N36°03'23"E, for 36.13 feet to a North corner of said certain property as described in Official Records Book 8748, Page 917; thence leaving said Easterly line of that certain property as described in Official Records Book 8748, Page 917, S53°54'46"E, along the Easterly extension of the North Line of said certain property as described in Official Records Book 8748, Page 917, for 7.82 feet; thence S20°53'39"W, for 127.94 feet to a point of curvature of a curve concave Easterly; thence Southerly along the arc of said curve, having a radius of 25.00 feet, a central angle of 68°47'03", an arc length of 30.01 feet, and a chord bearing S13°29'52"E for 28.24 feet to the point of tangent; thence S47°53'24"E, for 7.48 feet; thence S75°42'19"E, for 9.75 feet; thence N89°51'09"E, for 20.05 feet; thence S74°51'10"E, for 18.27 feet; thence S35°56'47"E, for 40.77 feet; thence S60°32'27"E, for 19.42 feet; thence S69°36'00"E, for 139.55 feet; thence N35°34'53"E, for 80.40 feet; thence S58°58'41"E, for 28.47 feet; thence S25°49'02"W, for 38.28 feet; thence S60°23'12"E, for 32.27 feet; thence S48°42'45"E, for 0.66 feet; thence S27°03'06"E, for 12.60 feet; thence S05°56'57"W, for 24.76 feet; thence S37°55'04"E, for 0.16 feet; thence S06°13'31"W, for 0.19 feet; thence S38°10'50"E, for 29.29 feet; thence S37°55'04"E, for 3.46 feet; thence S09°55'23"W, for 28.35 feet; thence S12°29'40"E, for 31.03 feet; thence S04°39'48"E, for 15.64 feet; thence S35°42'20"W, for 47.76 feet; thence S31°31'53"W, for 20.32 feet; thence S49°46'46"E, for 0.31 feet; thence S31°26'35"W, for 0.15 feet; thence S50°03'54"E, for 24.83 feet; thence S30°15'45"W, for 20.67 feet; thence S17°21'00"W, for 26.39 feet; thence N83°48'34"W, for 21.18 feet; thence S13°35'23"E, for 16.52 feet; thence S68°36'42"W, for 25.78 feet; thence S67°28'13"E, for 0.20 feet; thence S69°09'37"W, for 7.42 feet; thence S23°41'53"E, for 4.37 feet; thence S23°19'03"W, for 1.04 feet to the POINT OF BEGINNING.

Containing 112,001 square feet or 2.571 acres, more or less.



FLORIDA STATUTE 553.851 (1979) REQUIRES A MINIMUM OF 2 DAYS AND A MAX. OF 5 DAYS NOTICE BEFORE YOU EXCAVATE.

THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE CURRENT VERSION OF "THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, STATE OF FLORIDA", AND ARE IN COMPLIANCE WITH THE STANDARDS THEREIN, EXCEPT AS NOTED ON THE PLANS. ANY DEVIATIONS NOTED ON THE PLANS SUBSTANTIALLY COMPLY WITH THE INTENT OF THE STANDARDS.

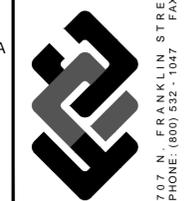
**S.R. 56
SECTION: 14091
MILEPOST: 2.45**

PDD approved 12/4/2014
PDD15-256
DEM

NOTE:
ELEVATIONS ARE BASED UPON THE NATIONAL GEODETIC SURVEY, NORTH AMERICAN VERTICAL DATUM, 1988 ADJUSTMENT (NAVD 88). ADD 0.82 FEET TO CONVERT TO NGVD 1929 DATUM.

DESIGNED FOR: **DIVERSIFIED RESTAURANT HOLDINGS, INC.**
SOUTHFIELD, MICHIGAN 48034
PHONE: (800) 223-9100 FAX: (800) 737-8888

FLORIDA DESIGN CONSULTANTS, INC.
— THINK IT. ACHIEVE IT. —
707 N. FRANKLIN STREET, 6TH FLOOR, TAMPA, FLORIDA 34655
PHONE: (800) 632-1047 FAX: (727) 848-3648 WWW.FLDESIGN.COM C.A. NO. 7421



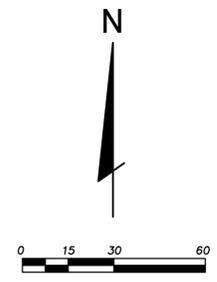
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SIGN NOTES:

1. ALL TRAFFIC CONTROL DEVICES SHALL COMPLY WITH LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND FDOT DESIGN STANDARDS.
2. STOP SIGNS WITHIN DEVELOPMENT SHALL BE 30"X30".
3. ALL SIGN RETROREFLECTIVITY MUST MEET THE MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

LEGEND

- = Property Boundary Line
- = Proposed Storm Structure
- = Compact Space
- = Parking Spaces Number
- = Heavy Duty Asphalt Pavement. See Sheet 10 for Details
- = Standard Duty Asphalt Pavement. See Sheet 10 for Details
- = Concrete Pavement. See Sheet 10 for Details
- = Landscape area around the Building
- = Concrete Sidewalk



SITE DATA TABLE

FOLIO NUMBER: 26-26-19-0000-00100-0140
 DEVELOPABLE ACREAGE: 2.57 ACRES
 EXISTING LAND USE: MU
 EXISTING ZONING: MPUD
 DEVELOPMENT TO BE IN ACCORDANCE WITH C-2 USES.

PARCEL DATA

SITE AREA: 2.57 ACRES

PARKING REQUIRED:

- 1 SPACE /100 S.F. RESTAURANT X 6,000 S.F. = 60 SPACES
- 1 SPACE /75 S.F. RESTAURANT OVER 6,000 S.F. (1,201 S.F. = 395 S.F. + 806 S.F. OUTSIDE DINING AREA) = 16 SPACES
- 1 SPACE /300 S.F. RETAIL X 4,301 S.F. = 15 SPACES
- TOTAL SPACES REQUIRED = 91 SPACES

PARKING PROVIDED:

- STANDARD SPACES (18.1% OF TOTAL) = 104 SPACES
- COMPACT SPACES (18.1% OF TOTAL) = 23 SPACES
- TOTAL SPACES PROVIDED (INCLUDES 5 HC SPACES) = 127 SPACES

BUILDING AREA:

- BWW RESTAURANT (TENANT "A") = 6,395 S.F.
- OUTDOOR DINING AREA = 806 S.F.
- RETAIL TENANT "B" = 2,134 S.F.
- RETAIL TENANT "C" = 2,162 S.F.
- TOTAL BUILDING AREA = 11,502 S.F.

GREEN AREA AROUND THE BUILDING (10%): 11,502 x 0.1 = 1,150 S.F.

FLOOR AREA RATIO: (11,502/43,560) / 2.57 AC = 0.10

BUILDING HEIGHTS: MAXIMUM BUILDING HEIGHT = 35 FEET (SINGLE STORY BUILDING)

BUILDING SETBACKS (RETAIL):

- FRONT 25' REQUIRED
- SIDE 0' REQUIRED
- REAR 30' REQUIRED

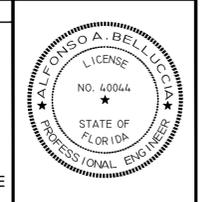
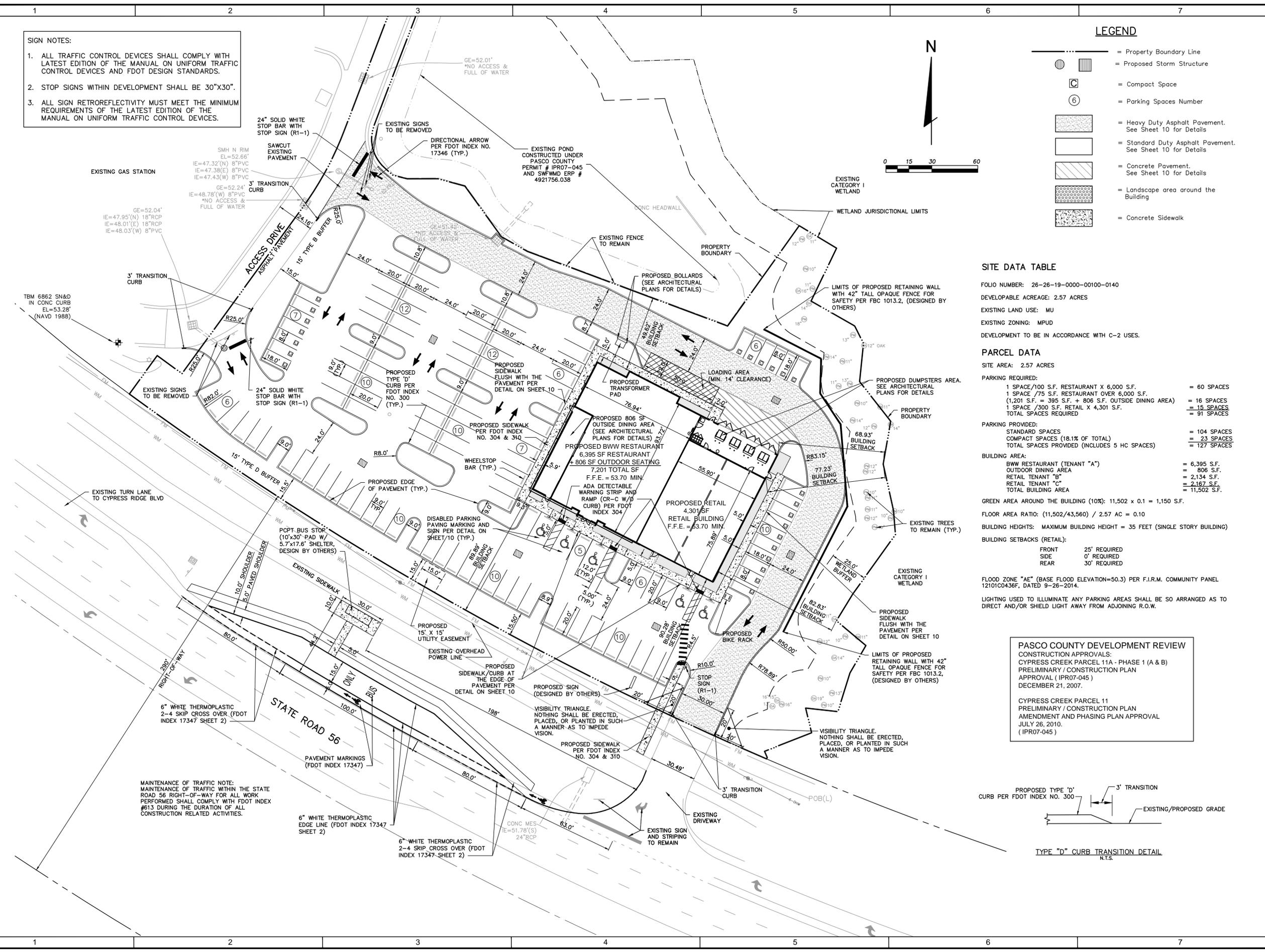
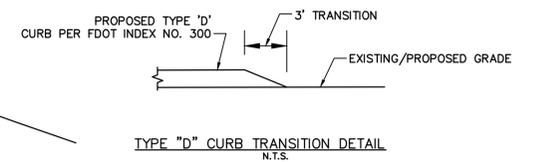
FLOOD ZONE "AE" (BASE FLOOD ELEVATION=50.3) PER F.I.R.M. COMMUNITY PANEL 12101C0436F, DATED 9-26-2014.

LIGHTING USED TO ILLUMINATE ANY PARKING AREAS SHALL BE SO ARRANGED AS TO DIRECT AND/OR SHIELD LIGHT AWAY FROM ADJOINING R.O.W.

PASCO COUNTY DEVELOPMENT REVIEW

CONSTRUCTION APPROVALS:
 CYPRESS CREEK PARCEL 11A - PHASE 1 (A & B)
 PRELIMINARY / CONSTRUCTION PLAN
 APPROVAL (IPR07-045)
 DECEMBER 21, 2007.

CYPRESS CREEK PARCEL 11
 PRELIMINARY / CONSTRUCTION PLAN
 AMENDMENT AND PHASING PLAN APPROVAL
 JULY 26, 2010.
 (IPR07-045)



DATE	DESCRIPTION	BY	CHECKED
2014-0010		569	
07-22-2014	ADDED SHEET 10A, BUS SHELTER		
	MAINTENANCE OF TRAFFIC DETAIL SHEET		
	UPDATE PER PASCO COUNTY & UTILITY		
	REVIEW, UPDATE FIRM INFO		

DESIGNED FOR: **DIVERSIFIED RESTAURANT HOLDINGS, INC.**
 2780 FRANKLIN ROAD
 SOUTHFIELD, MICHIGAN 48034
 PHONE: (800) 223-9100 FAX: (800) 737-8888

PROJECT NAME: **BUFFALO WILD WINGS - CYPRESS CREEK-PARCEL 11A**

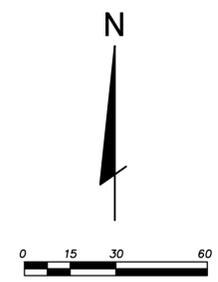
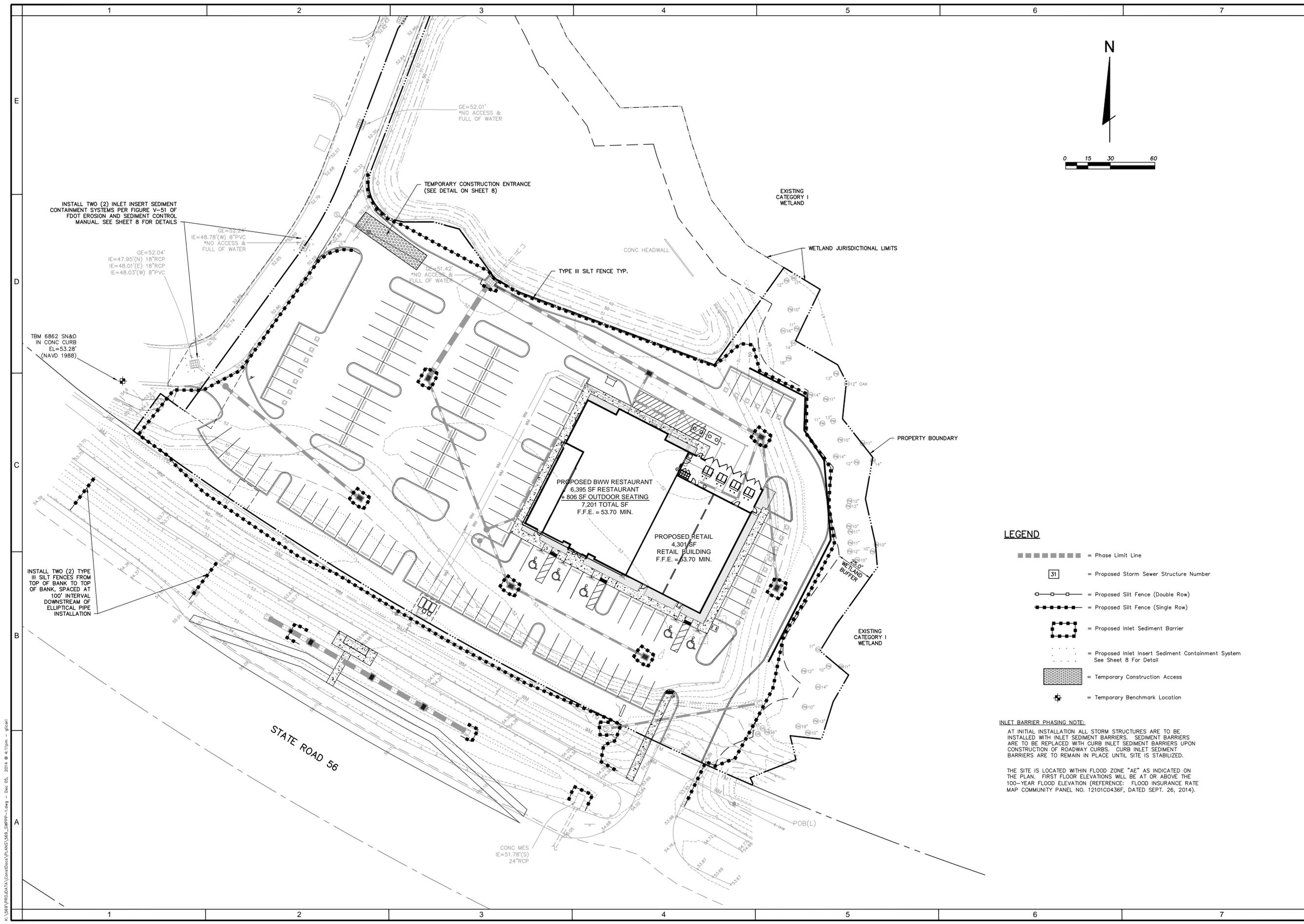
SHEET NAME: **SITE DIMENSION PLAN**

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PROJECT NO.	2014-0010
DATE	07-22-2014
DESIGNER	GL
CHECKED	FG
DATE	
PROJECT NAME	ADDED SHEET 10A, BUS SHELTER
REVISION	MAINTENANCE OF TRAFFIC DETAIL SHEET
DATE	11/20/14
REVISION	UPDATE PER PASCO COUNTY & UTILITY
DATE	10/05/14
REVISION	REVIEW, UPDATE FIRM INFO
DATE	
PROJECT NAME	
REVISION	
DATE	
PROJECT NAME	
REVISION	
DATE	

DESIGNED FOR: **DIVERSIFIED RESTAURANT HOLDINGS, INC.**
 2780 FRANKLIN ROAD
 SOUTHFIELD, MICHIGAN 48034
 PHONE: (800) 223-9100 FAX: (800) 737-8888

PROJECT NAME: **BUFFALO WILD WINGS - CYPRESS CREEK-PARCEL 11A**

SHEET NAME: **SURFACE WATER POLLUTION PREVENTION PLAN**

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LEGEND

- = Phase Limit Line
- [31] = Proposed Storm Sewer Structure Number
- |--- = Proposed Silt Fence (Double Row)
- |--- = Proposed Silt Fence (Single Row)
- = Proposed Inlet Sediment Barrier
- = Proposed Inlet Insert Sediment Containment System See Sheet 8 For Detail
- ▨ = Temporary Construction Access
- ⊕ = Temporary Benchmark Location

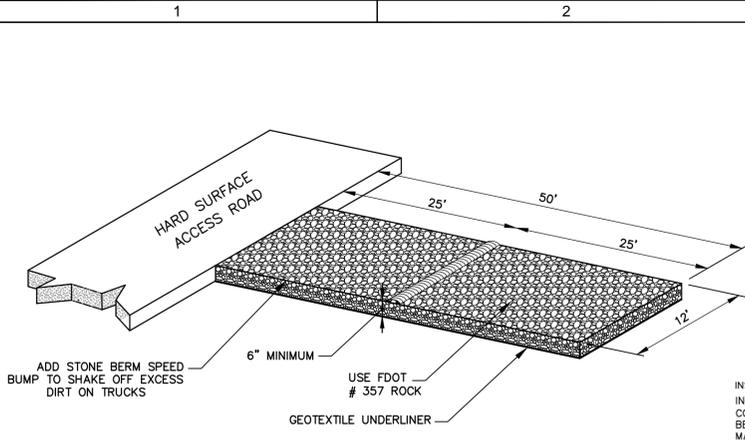
INLET BARRIER PHASING NOTE:
 AT INITIAL INSTALLATION ALL STORM STRUCTURES ARE TO BE INSTALLED WITH INLET SEDIMENT BARRIERS. SEDIMENT BARRIERS ARE TO BE REPLACED WITH CURB INLET SEDIMENT BARRIERS UPON CONSTRUCTION OF ROADWAY CURBS. CURB INLET SEDIMENT BARRIERS ARE TO REMAIN IN PLACE UNTIL SITE IS STABILIZED.

THE SITE IS LOCATED WITHIN FLOOD ZONE "AE" AS INDICATED ON THE PLAN. FIRST FLOOR ELEVATIONS WILL BE AT OR ABOVE THE 100-YEAR FLOOD ELEVATION (REFERENCE: FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 12101C0436F, DATED SEPT. 26, 2014).

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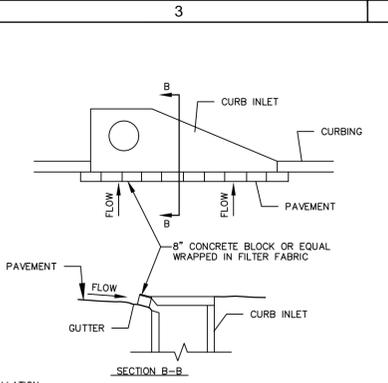


PROJECT NO.	2014-0010
DATE	07-22-2014
SCALE	AS SHOWN
DESIGNER	GL
CHECKER	FG
DATE	
SCALE	
DESIGNER	AAB
CHECKER	
DATE	
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SCALE	



TEMPORARY CONSTRUCTION ACCESS

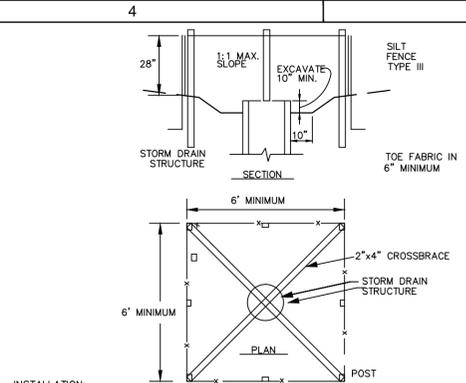
N.T.S.



INSTALLATION:
INSTALL CURB INLET SEDIMENT BARRIER IMMEDIATELY AFTER PAVING. USE 8" CONCRETE BLOCK OR EQUAL WRAPPED IN FILTER FABRIC. PROVIDE A 4" GAP BETWEEN BARRIER AND INLET TO ALLOW OVERFLOW.

MAINTENANCE:
THE BARRIER SHALL BE INSPECTED DAILY AND AFTER EACH RAIN AND REPAIRS MADE AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE HEIGHT OF THE BARRIER. SEDIMENT SHALL NOT BE WASHED INTO THE INLET. IT SHALL BE REMOVED FROM THE SEDIMENT BARRIER AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLET, AGAIN.

CURB INLET SEDIMENT BARRIER



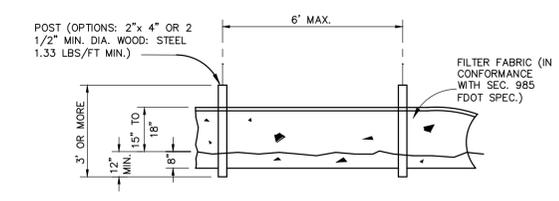
INSTALLATION:
TYPE III SILT FENCE SUPPORTED BY STEEL POST SHALL BE USED. THE STAKES SHALL BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET A MAXIMUM OF 3 FEET APART, AND SECURELY DRIVEN INTO THE GROUND, APPROXIMATELY 18 INCHES DEEP. THE FABRIC SHALL BE ENTRENCHED 12 INCHES AND BACKFILLED WITH CRUSHED STONE OR COMPACTED SOIL. FABRIC AND WIRE SHALL BE SECURELY FASTENED TO THE POST, AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18 INCHES OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

MAINTENANCE:
THE BARRIER SHALL BE INSPECTED DAILY AND AFTER EACH RAIN AND REPAIRS MADE AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE HEIGHT OF THE BARRIER. SEDIMENT SHALL NOT BE WASHED INTO THE INLET. IT SHALL BE REMOVED FROM THE SEDIMENT BARRIER AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLET, AGAIN.

INLET SEDIMENT BARRIER FILTER FABRIC WITH SUPPORTING FRAME

MAINTENANCE OF SILT SCREENS:
SILT SCREENS SHALL BE INSPECTED AFTER EACH RAINFALL EVENT FOR SIGNS OF DETERIORATION OR FAILURE. DETERIORATION OF A SILT SCREEN SHALL BE CONSTRUED TO MEAN THAT THE SILT SCREEN HAS LIMITED EFFECTIVENESS OR CAPACITY FOR THE FUNCTION OF TRAPPING SEDIMENT DUE TO PROBLEMS SUCH AS, BUT NOT LIMITED TO, EXCESSIVE BUILDUP OF SEDIMENT OR CONSTRUCTION ACCIDENT. WHEN A SILT SCREEN BECOMES DETERIORATED IT SHALL BE IMMEDIATELY REMEDIED AT THE DIRECTION OF THE ENGINEER BY SUCH MEANS AS REMOVAL OF THE EXCESSIVE BUILDUP OF SILT, STRAIGHTENING AND TIGHTENING OF THE SCREEN, OR ANY OTHER SUCH MEASURE DEEMED NECESSARY. FAILURE OF A SILT SCREEN SHALL BE CONSTRUED TO MEAN THAT THE SILT SCREEN IS NO LONGER CAPABLE OF FUNCTIONING TO TRAP SEDIMENT DUE TO A RIP, TEAR, OVERTOPPING BY SEDIMENT, BIODEGRADATION, CONSTRUCTION ACCIDENT, OR ANY OTHER SUCH MEANS. WHEN A SILT SCREEN IS DEEMED BY THE ENGINEER TO HAVE FAILED, IT SHALL BE IMMEDIATELY REPLACED WITH NEW SILT SCREEN WITHIN THE LIMITS DIRECTED BY THE ENGINEER. PREVENTATIVE MAINTENANCE OF THE SILT SCREEN SHALL BE ACCOMPLISHED BY WEEKLY INSPECTION FOR SIGNS OF DETERIORATION OR FAILURE DURING PERIODS OF NO RAINFALL EVENT.

MAINTENANCE OF HAY BALES:
HAY BALES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT FOR SIGNS OF DETERIORATION OR FAILURE. DETERIORATION OF A HAY BALE SCREEN SHALL BE CONSTRUED TO MEAN THAT THE HAY BALE SCREEN HAS LIMITED EFFECTIVENESS OR CAPACITY FOR THE FUNCTION OF TRAPPING SEDIMENT DUE TO PROBLEMS SUCH AS, BUT NOT LIMITED TO, EXCESSIVE BUILDUP OF SEDIMENT OR CONSTRUCTION ACCIDENT. WHEN A HAY BALE SCREEN BECOMES DETERIORATED, IT SHALL BE IMMEDIATELY REMEDIED AT THE DIRECTION OF THE ENGINEER BY SUCH MEANS AS REMOVAL OF THE EXCESSIVE BUILDUP OF SILT, STRAIGHTENING AND REALIGNING OF THE SCREEN, OR ANY OTHER SUCH MEASURE DEEMED NECESSARY. FAILURE OF A HAY BALE SCREEN SHALL BE CONSTRUED TO MEAN THAT THE HAY BALE SCREEN IS NO LONGER CAPABLE OF FUNCTIONING TO TRAP SEDIMENT DUE TO OVERTOPPING BY SEDIMENT, BIODEGRADATION, CONSTRUCTION ACCIDENT, OR ANY OTHER SUCH MEANS. WHEN A HAY BALE SCREEN IS DEEMED BY THE ENGINEER TO HAVE FAILED, IT SHALL BE IMMEDIATELY REPLACED WITH A NEW HAY BALE SCREEN WITHIN THE LIMITS DIRECTED BY THE ENGINEER. PREVENTATIVE MAINTENANCE OF THE HAY BALE SCREEN SHALL BE ACCOMPLISHED BY WEEKLY INSPECTION FOR SIGNS OF DETERIORATION OR FAILURE DURING PERIODS OF NO RAINFALL EVENT.

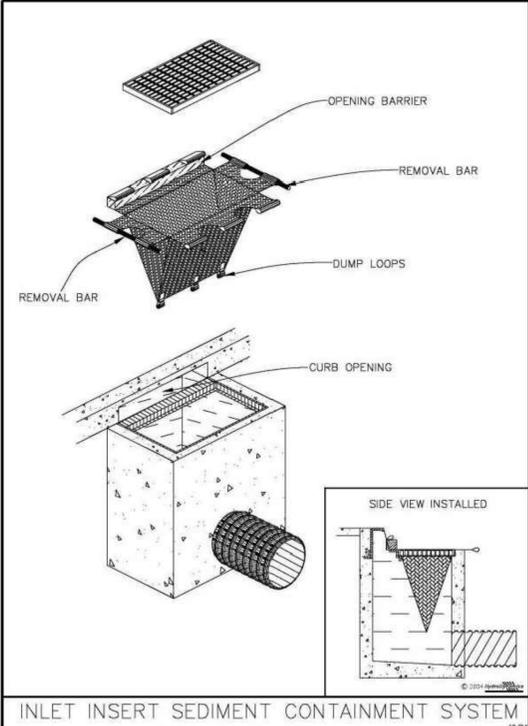


ELEVATION

SECTION

TYPE III SILT FENCE

PER FDOT EROSION AND SEDIMENTATION CONTROL MANUAL N.T.S.



INLET INSERT SEDIMENT CONTAINMENT SYSTEM
PER FDOT EROSION AND SEDIMENTATION CONTROL MANUAL N.T.S.

SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT CERTIFICATION

CONSTRUCTION SURFACE WATER MANAGEMENT PLAN (CSWMP)
BUFFALO WILD WINGS - CYPRESS CREEK

1. THE CSWMP CONSISTS OF PLAN SHEETS 7 AND 8 SHOWING EROSION PROTECTION DEVICES TO BE UTILIZED ON THE PROJECT.
2. THE APPLICANT/OWNER OR AUTHORIZED AGENT HAS REVIEWED THE CSWMP AND HAS SIGNED THE CSWMP WHERE REQUIRED BELOW.
3. THE CSWMP SHALL BE PART OF THE FINAL CONSTRUCTION PLANS FOR THE PERMITTED SURFACE WATER MANAGEMENT SYSTEM.

SIGNATURE: _____ DATE: _____
NAME: _____

APPLICANT OWNER AUTHORIZED AGENT

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

NAME (OPERATOR AND/OR RESPONSIBLE AUTHORITY) _____ DATE _____

NAME	TITLE	COMPANY NAME, ADDRESS AND PHONE NUMBER	DATE
*			

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

* NPDES CONTRACTOR AND SUBCONTRACTOR CERTIFICATION TO BE COMPLETED AFTER CONTRACTORS HAVE BEEN SELECTED.

1. SITE DESCRIPTION:
PROJECT DESCRIPTION:
THE DEVELOPER / APPLICANT PROPOSES TO CONSTRUCT A NEW RESTAURANT/RETAIL BUILDING LOCATED IN PASCO COUNTY, FLORIDA. CONSTRUCTION WILL CONSIST OF CLEARING, GRUBBING, EARTHWORK, INSTALLATION OF THE INFRASTRUCTURE, BACK FILLING, PAVING AND GRADING.

B. MAJOR SOIL DISTURBING ACTIVITIES:
SOIL DISTURBING ACTIVITIES FOR THIS PROJECT WILL INCLUDE CLEARING, GRUBBING, EARTHWORK, INSTALLATION OF PAVING, DRAINAGE AND SANITARY STRUCTURES, WATER MAIN INSTALLATION BACK FILLING AND GRADING.

THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING TEMPORARY OR PERMANENT STABILIZATION AS SOON AS POSSIBLE FOR AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE CEASED, BUT IN NO CASE SHALL THE TIME BE GREATER THAN FOURTEEN (14) CALENDAR DAYS.

C. TOTAL PROJECT AREA: 2.57± ACRES
THE PROJECT CONSISTS OF THE CONSTRUCTION OF RESTAURANT/RETAIL BUILDING, ASPHALT PAVEMENT, CURB AND GUTTER, DRIVEWAY CONNECTIONS AND ACCESS ROADS. A CLOSED SANITARY SEWER SYSTEM, WATER MAINS FOR POTABLE WATER AND FIRE PROTECTION, AND A STORMWATER COLLECTION SYSTEM AND CONVEYANCE PIPES TO THE SURFACE WATER MANAGEMENT SYSTEM LOCATED ADJACENT TO THE SITE.

D. TOTAL AREA TO BE DISTURBED: 2.57± ACRES
IT SHALL BE THE INTENT OF THE CONTRACTOR TO MINIMIZE THE ACREAGES OF DISTURBED SOIL IN THE PROJECT AREA AT ALL TIMES.

E. (1) RUNOFF COEFFICIENTS BEFORE CW(B), DURING CW(D) AND AFTER CW(A) CONSTRUCTION:
RUNOFF COEFFICIENT FOR OPEN SPACE: C = 0.20
IMPERVIOUS SURFACES: C = 0.95
DISTURBED AREAS, EXPOSED SOIL ETC. DURING CONST.: C = 0.40
WEIGHTED RUNOFF COEFFICIENT:
CW(B): 0.20
CW(D): 0.40
CW(A): 0.60

THE SITE CONSISTS OF PREVIOUSLY GRADED PARCEL.

2. CONTROLS
NARRATIVE - SEQUENCE OF SOIL DISTURBING ACTIVITIES AND IMPLEMENTATION OF CONTROLS:
CONSTRUCTION ACTIVITIES - GENERAL
CONSTRUCTION ACTIVITIES ON THIS PROJECT CONSIST OF CONSTRUCTION OF A RESTAURANT/RETAIL BUILDING, EARTHWORK, INSTALLATION OF THE INFRASTRUCTURE, BACK FILLING AND GRADING. ALL ITEMS REPRESENTED IN THE FOLLOWING DISCUSSION ARE TREATED IN DETAIL IN THE CONSTRUCTION DRAWINGS AND PROJECT SPECIFICATIONS. FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, OR WILL BE IMPLEMENTED BY THE CONTRACTOR'S REPRESENTATIVE IN A MANNER APPROPRIATE TO ENVIRONMENTALLY SENSITIVE CONSTRUCTION PRACTICES AND AS APPROVED BY THE OWNER.

THE CONTRACTOR WILL BE REQUIRED TO PREPARE A SITE SPECIFIC EROSION CONTROL PLAN. THE CONTRACTOR WILL ALSO BE REQUIRED TO MODIFY THE PLAN OR MATERIALS DURING CONSTRUCTION TO ADAPT TO SEASONAL VARIATIONS.

OFF-SITE RUNOFF SHOULD BE DIVERTED AWAY OR THROUGH THE CONSTRUCTION AREA. THIS ADDITIONAL FLOW IF NOT DIVERTED, CAN ADD VOLUME AND SIZE TO STRUCTURAL PRACTICES, REQUIRING MORE FREQUENT MAINTENANCE AND LIMITING EFFECTIVENESS OF EROSION AND SEDIMENT CONTROLS.

COMPLIANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN IS A REQUIREMENT OF THE PROJECT CONTRACT DOCUMENTS. CONSTRUCTION-RELATED INFORMATION REQUIRED BY THE NPDES PERMIT BUT NOT SPECIFICALLY INDICATED IN THE STORMWATER POLLUTION PREVENTION PLAN CAN BE FOUND IN THE CONTRACT DOCUMENTS.

THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A STABILIZED CONSTRUCTION ENTRANCE FOR VEHICLES ENTERING OR EXITING ONTO PUBLIC ROADS. THE CONTRACTOR'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR MONITORING THE SYSTEM AND MODIFYING THE SYSTEM OR PROCEDURES AS NEEDED.

CONSTRUCTION ACTIVITIES
PRIOR TO COMMENCEMENT, THE CONTRACTOR SHALL PROVIDE A DETAILED CONSTRUCTION SCHEDULE TO INDICATE DATES OF MAJOR GRADING ACTIVITIES AND DETERMINE SEQUENCING OF TEMPORARY AND PERMANENT SOIL DISTURBING ACTIVITIES ON ALL PORTIONS OF THE SITE.

PRIOR TO THE BEGINNING OF ANY PHASE, THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL ITEMS AS DESCRIBED IN THE CONSTRUCTION DRAWINGS.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SEEDING, MULCHING AND WATER AS SOON AS POSSIBLE FOR AREAS OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY CEASED BUT IN NO CASE SHALL THE TIME BE GREATER THAN FOURTEEN (14) DAYS.

INSTALLATION OF THE INFRASTRUCTURE AND EARTHWORK, AS SHOWN ON THE PLANS MAY REQUIRE DEWATERING PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCHARGING THE DEWATERING FLOW TO A TEMPORARY SETTLING BASIN SUCH AS AREAS CREATED BY STAKED HAY BALES IN DRY GRASSED SWALES OR OTHER SIMILAR SETTLING AREAS. HOWEVER, AT NO TIME SHALL THE CONTRACTOR DISCHARGE DEWATERING FLOW DIRECTLY TO WETLAND AREAS.

EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND MAY BE REMOVED ONLY WHEN PERMANENT STABILIZATION IS ESTABLISHED AND THE OWNER APPROVES THE REMOVAL.

A. EROSION AND SEDIMENT CONTROLS:
(1) STABILIZATION PRACTICES TO BE IMPLEMENTED:
STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE SHALL THE TIME BE GREATER THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED. ALL DISTURBED AREAS WILL BE SEEDED AND MULCHED OR SOODED FOLLOWING CONSTRUCTION.

(2) STRUCTURAL PRACTICES WILL INCLUDE:
ROCK BEDDING AT CONSTRUCTION EXIT
STAKED SILT FENCES

B. OTHER CONTROLS:
(1) WASTE DISPOSAL:
THE CONTRACTOR WILL PROVIDE LITTER CONTROL AND COLLECTION WITHIN THE PROJECT BOUNDARIES DURING CONSTRUCTION ACTIVITIES. ALL FERTILIZER, HYDROCARBON, OR OTHER CHEMICAL CONTAINERS SHALL BE DISPOSED OF BY THE CONTRACTOR ACCORDING TO EPA'S STANDARD PRACTICES AS DETAILED BY THE MANUFACTURER. NO SOLID MATERIALS INCLUDING BUILDING AND CONSTRUCTION MATERIALS SHALL BE DISCHARGED TO WETLANDS OR BURIED ON-SITE.

(2) OFF-SITE VEHICLE TRACKING:
OFF-SITE VEHICLE TRACKING WILL BE CONTROLLED BY THE FOLLOWING METHODS:
LOADED HAUL TRUCKS TO BE COVERED WITH TARP/AULIN.
EXCESS DIRT ON ROAD REMOVED DAILY.
STABILIZED CONSTRUCTION ENTRANCE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING AND MAINTAINING STABILIZED CONSTRUCTION ENTRANCES WHEN ENTERING OR EXITING ONTO PUBLIC ROAD. THE CONTRACTOR'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR MODIFYING THE SYSTEM OR PROCEDURES AS NEEDED AND AS APPROVED BY THE OWNER.

(3) SANITARY WASTE:
ALL SANITARY WASTE WILL BE COLLECTED FROM PORTABLE UNITS BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR AS REQUIRED BY STATE REGULATION.

(4) FERTILIZERS AND PESTICIDES:
FERTILIZERS AND SOIL STERILIZERS WILL BE USED ON THIS PROJECT IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AT THE DISCRETION OF THE CONTRACTOR WITH COORDINATION OF THE OWNER.

(5) NON-STORMWATER DISCHARGE (INCLUDING SPILL REPORTING):
A. THE CONTRACTOR WILL PROVIDE THE DEVELOPER / APPLICANT WITH AN EROSION CONTROL PLAN THAT WILL INCLUDE SPILL REPORTING AND RESPONSE.
B. APPROVED STATE, LOCAL PLANS, OR STORMWATER PERMITS. SEE ATTACHED PERMITS.

(6) STORAGE, APPLICATION, GENERATION, AND MITIGATION OF TOXIC SUBSTANCES:
(A) ALL TOXIC SUBSTANCES ARE TO BE STORED, APPLIED, GENERATED, OR MITIGATED IN ACCORDANCE WITH THE CRITERIA OF THE APPROPRIATE REGULATORY AGENCIES.

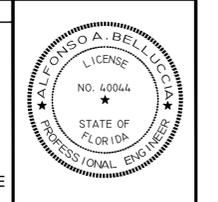
3. MAINTENANCE:
GENERAL
THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE AND REPAIRS OF EROSION AND SEDIMENT CONTROL DEVICES AND REMOVAL OF EROSION AND SEDIMENT CONTROL DEVICES AFTER THE NOTICE OF TERMINATION.
MAINTENANCE AND REPAIR REQUIRED FOR THE CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION SHALL BE INCLUDED IN THE COST OF PAY ITEMS FOR THIS PROJECT.
THE CONTRACTOR SHALL MAINTAIN RAIN GAUGES ON THE PROJECT SITE AND RECORD WEEKLY RAINFALL. ALL CONTROL MEASURES WILL BE MAINTAINED DAILY BY THE CONTRACTOR.
ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
STRUCTURAL PRACTICES AND CONTROLS:
THE FOLLOWING PRACTICES WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS:
BUILT-UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
STABILIZED CONSTRUCTION ENTRANCES SHALL BE MAINTAINED TO PREVENT CLOGGING OF ROCK BEDDING WHICH MAY IMPEDE THE USEFULNESS OF THE STRUCTURE.

4. INSPECTION:
THE CONTRACTOR'S DAILY INSPECTIONS REQUIRED FOR THE CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION SHALL BE INCLUDED IN THE COST OF THE PAY ITEMS FOR THIS PROJECT.
ALL EROSION AND WATER POLLUTION ABATEMENT AND CONTROL MEASURES WILL BE INSPECTED DAILY BY THE CONTRACTOR.
THE CONTRACTOR SHALL USE THE CONSTRUCTION INSPECTION REPORT FORM (SEE ATTACHED) FOR DAILY INSPECTIONS.
REQUIRED INSPECTIONS MUST OCCUR AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT IS 0.50 INCHES OR GREATER. AN INSPECTION REPORTING FORM HAS BEEN PROVIDED TO THE OWNER/DEVELOPER.
THE CONTRACTOR SHALL SUBMIT A WEEKLY REPORT TO THE DEVELOPER / APPLICANT DOCUMENTING THE DAILY INSPECTIONS AND MAINTENANCE OR REPAIRS TO THE EROSION AND SEDIMENT CONTROL DEVICES.
THE DEVELOPER / APPLICANT OR ITS REPRESENTATIVES SHALL MAINTAIN ALL REQUIRED RECORDS SUBMITTED BY THE CONTRACTOR AND COMPLETE ALL SWPPP INSPECTION REPORT FORMS REQUIRED FOR THE NPDES PERMIT.
PREPARATION OF THE CONTRACTOR'S WEEKLY REPORTS OF INSPECTIONS, MAINTENANCE AND REPAIRS, REQUIRED FOR THE CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION, SHALL BE INCLUDED IN THE COST OF THE PAY ITEMS FOR THIS PROJECT.

DESIGNED FOR: **DIVERSIFIED RESTAURANT HOLDINGS, INC.**
27890 FRANKLIN ROAD
SOUTHFIELD, MICHIGAN 48034
PHONE: (800) 223-9100 FAX: (800) 737-8888

PROJECT NAME: **BUFFALO WILD WINGS - CYPRESS CREEK-PARCEL 11A**
SHEET NAME





DATE	2014-0010	BY	669
DESCRIPTION	ADDED SHEET 10A, BUS SHELTER	DATE	07-22-2014
REVISION	MAINTENANCE OF TRAFFIC DETAIL SHEET	DATE	11/07/14
REVISION	REVISED WATER METER FROM 2" TO 1.5"	DATE	10/05/14
REVISION	PER PASCO COUNTY UTILITY REVIEW	DATE	
REVISION	UPDATE PER PASCO COUNTY & UTILITY	DATE	
REVISION	PER PASCO COUNTY & UTILITY	DATE	
REVISION	REVIEW	DATE	
REVISION	REVIEW	DATE	

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PROJECT NAME: **BUFFALO WILD WINGS - CYPRESS CREEK-PARCEL 11A**

SHEET NAME: **UTILITY PLAN**

FLORIDA DESIGN CONSULTANTS, INC.
 THINK IT. ACHIEVE IT.

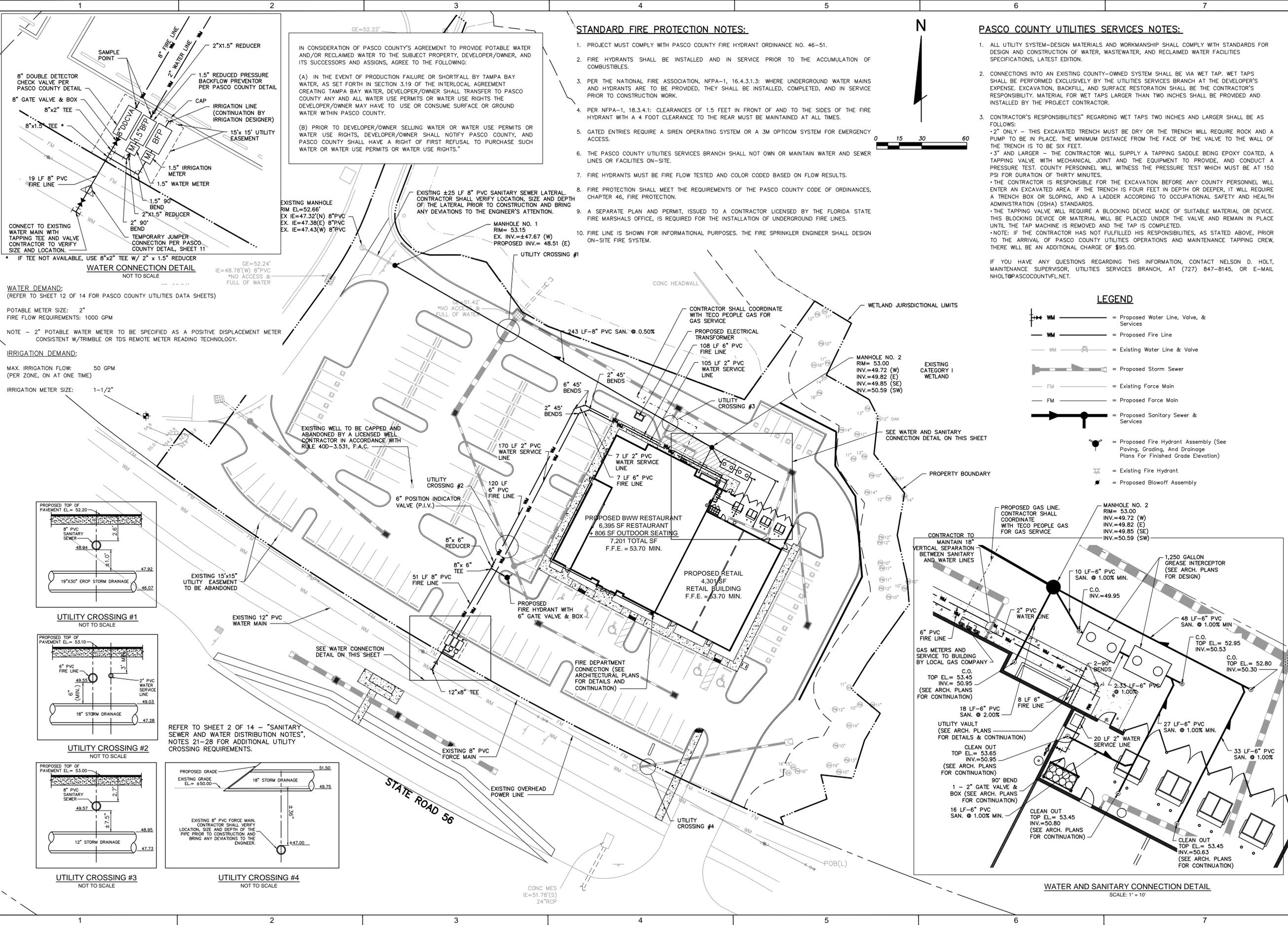
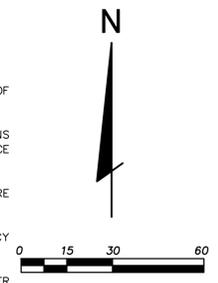
707 N. FRANKLIN STREET, 6TH FLOOR, TAMPA, FLORIDA 34605
 PHONE: (800) 532-1047 FAX: (727) 848-3648 WWW.FLDESIGN.COM C.A. NO. 7421

PASCO COUNTY UTILITIES SERVICES NOTES:

- ALL UTILITY SYSTEM-DESIGN MATERIALS AND WORKMANSHIP SHALL COMPLY WITH STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER, AND RECLAIMED WATER FACILITIES SPECIFICATIONS, LATEST EDITION.
 - CONNECTIONS INTO AN EXISTING COUNTY-OWNED SYSTEM SHALL BE VIA WET TAP. WET TAPS SHALL BE PERFORMED EXCLUSIVELY BY THE UTILITIES SERVICES BRANCH AT THE DEVELOPER'S EXPENSE. EXCAVATION, BACKFILL, AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MATERIAL FOR WET TAPS LARGER THAN TWO INCHES SHALL BE PROVIDED AND INSTALLED BY THE PROJECT CONTRACTOR.
 - CONTRACTOR'S RESPONSIBILITIES REGARDING WET TAPS TWO INCHES AND LARGER SHALL BE AS FOLLOWS:
 - 2" ONLY - THIS EXCAVATED TRENCH MUST BE DRY OR THE TRENCH WILL REQUIRE ROCK AND A PUMP TO BE IN PLACE. THE MINIMUM DISTANCE FROM THE FACE OF THE VALVE TO THE WALL OF THE TRENCH IS TO BE SIX FEET.
 - 3" AND LARGER - THE CONTRACTOR WILL SUPPLY A TAPPING SADDLE BEING EPOXY COATED, A TAPPING VALVE WITH MECHANICAL JOINT AND THE EQUIPMENT TO PROVIDE, AND CONDUCT A PRESSURE TEST. COUNTY PERSONNEL WILL WITNESS THE PRESSURE TEST WHICH MUST BE AT 150 PSI FOR DURATION OF THIRTY MINUTES.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION BEFORE ANY COUNTY PERSONNEL WILL ENTER AN EXCAVATED AREA. IF THE TRENCH IS FOUR FEET IN DEPTH OR DEEPER, IT WILL REQUIRE A TRENCH BOX OR SLOPING, AND A LADDER ACCORDING TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
 - THE TAPPING VALVE WILL REQUIRE A BLOCKING DEVICE MADE OF SUITABLE MATERIAL OR DEVICE. THIS BLOCKING DEVICE OR MATERIAL WILL BE PLACED UNDER THE VALVE AND REMAIN IN PLACE UNTIL THE TAP MACHINE IS REMOVED AND THE TAP IS COMPLETED.
 - NOTE: IF THE CONTRACTOR HAS NOT FULFILLED HIS RESPONSIBILITIES, AS STATED ABOVE, PRIOR TO THE ARRIVAL OF PASCO COUNTY UTILITIES OPERATIONS AND MAINTENANCE TAPPING CREW, THERE WILL BE AN ADDITIONAL CHARGE OF \$95.00.
- IF YOU HAVE ANY QUESTIONS REGARDING THIS INFORMATION, CONTACT NELSON D. HOLT, MAINTENANCE SUPERVISOR, UTILITIES SERVICES BRANCH, AT (727) 847-8145, OR E-MAIL NHOLT@PASCOCOUNTYFL.NET.

STANDARD FIRE PROTECTION NOTES:

- PROJECT MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE NO. 46-51.
- FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.
- PER THE NATIONAL FIRE ASSOCIATION, NFPA-1, 16.4.3.1.3: WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
- PER NFPA-1, 18.3.4.1: CLEARANCES OF 1.5 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4 FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.
- GATED ENTRIES REQUIRE A SIREN OPERATING SYSTEM OR A 3M OPTICOM SYSTEM FOR EMERGENCY ACCESS.
- THE PASCO COUNTY UTILITIES SERVICES BRANCH SHALL NOT OWN OR MAINTAIN WATER AND SEWER LINES OR FACILITIES ON-SITE.
- FIRE HYDRANTS MUST BE FIRE FLOW TESTED AND COLOR CODED BASED ON FLOW RESULTS.
- FIRE PROTECTION SHALL MEET THE REQUIREMENTS OF THE PASCO COUNTY CODE OF ORDINANCES, CHAPTER 46, FIRE PROTECTION.
- A SEPARATE PLAN AND PERMIT, ISSUED TO A CONTRACTOR LICENSED BY THE FLORIDA STATE FIRE MARSHALS OFFICE, IS REQUIRED FOR THE INSTALLATION OF UNDERGROUND FIRE LINES.
- FIRE LINE IS SHOWN FOR INFORMATIONAL PURPOSES. THE FIRE SPRINKLER ENGINEER SHALL DESIGN ON-SITE FIRE SYSTEM.



WATER DEMAND:
 (REFER TO SHEET 12 OF 14 FOR PASCO COUNTY UTILITIES DATA SHEETS)

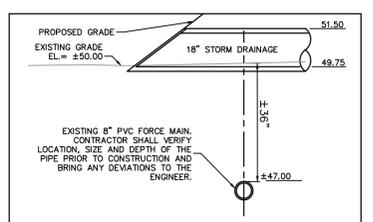
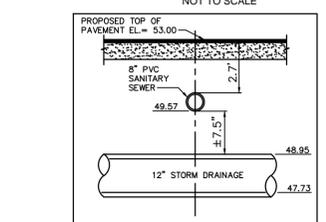
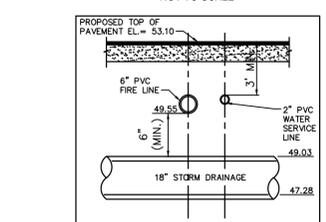
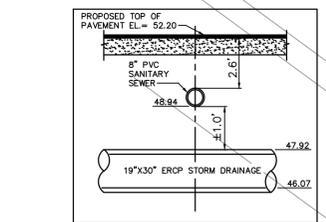
POTABLE METER SIZE: 2"
 FIRE FLOW REQUIREMENTS: 1000 GPM

NOTE - 2" POTABLE WATER METER TO BE SPECIFIED AS A POSITIVE DISPLACEMENT METER CONSISTENT W/TRIMBLE OR TDS REMOTE METER READING TECHNOLOGY.

IRRIGATION DEMAND:

MAX. IRRIGATION FLOW: 50 GPM
 (PER ZONE, ON AT ONE TIME)

IRRIGATION METER SIZE: 1-1/2"



WATER CONNECTION DETAIL
 NOT TO SCALE

UTILITY CROSSING #1
 NOT TO SCALE

UTILITY CROSSING #2
 NOT TO SCALE

UTILITY CROSSING #3
 NOT TO SCALE

UTILITY CROSSING #4
 NOT TO SCALE

WATER AND SANITARY CONNECTION DETAIL
 SCALE: 1"=10'

LEGEND

- WM (with valve symbol) = Proposed Water Line, Valve, & Services
- WM (with fire line symbol) = Proposed Fire Line
- WM (with existing line symbol) = Existing Water Line & Valve
- SS (with arrow) = Proposed Storm Sewer
- FM (with arrow) = Existing Force Main
- FM (with arrow) = Proposed Force Main
- SS (with arrow) = Proposed Sanitary Sewer & Services
- Fire Hydrant Symbol = Proposed Fire Hydrant Assembly (See Paving, Grading, and Drainage Plans For Finished Grade Elevation)
- Fire Hydrant Symbol = Existing Fire Hydrant
- Blowoff Symbol = Proposed Blowoff Assembly

IN CONSIDERATION OF PASCO COUNTY'S AGREEMENT TO PROVIDE POTABLE WATER AND/OR RECLAIMED WATER TO THE SUBJECT PROPERTY, DEVELOPER/OWNER, AND ITS SUCCESSORS AND ASSIGNS, AGREE TO THE FOLLOWING:

(A) IN THE EVENT OF PRODUCTION FAILURE OR SHORTFALL BY TAMPA BAY WATER, AS SET FORTH IN SECTION 3.19 OF THE INTERLOCAL AGREEMENT CREATING TAMPA BAY WATER, DEVELOPER/OWNER SHALL TRANSFER TO PASCO COUNTY ANY AND ALL WATER USE PERMITS OR WATER USE RIGHTS THE DEVELOPER/OWNER MAY HAVE TO USE OR CONSUME SURFACE OR GROUND WATER WITHIN PASCO COUNTY.

(B) PRIOR TO DEVELOPER/OWNER SELLING WATER OR WATER USE PERMITS OR WATER USE RIGHTS, DEVELOPER/OWNER SHALL NOTIFY PASCO COUNTY, AND PASCO COUNTY SHALL HAVE A RIGHT OF FIRST REFUSAL TO PURCHASE SUCH WATER OR WATER USE PERMITS OR WATER USE RIGHTS."

CONNECT TO EXISTING WATER MAIN WITH TAPPING TEE AND VALVE. CONTRACTOR TO VERIFY SIZE AND LOCATION.

* IF TEE NOT AVAILABLE, USE 8"x2" TEE W/ 2" x 1.5" REDUCER

EXISTING MANHOLE RIM EL=52.66'
 EX. IE=47.32(N) 8"PVC
 EX. IE=47.38(E) 8"PVC
 EX. IE=47.43(W) 8"PVC

MANHOLE NO. 1
 RIM= 53.15
 EX. INV.=±47.67 (W)
 PROPOSED INV.= 48.51 (E)

EXISTING ±25 LF 8" PVC SANITARY SEWER LATERAL. CONTRACTOR SHALL VERIFY LOCATION, SIZE AND DEPTH OF THE LATERAL PRIOR TO CONSTRUCTION AND BRING ANY DEVIATIONS TO THE ENGINEER'S ATTENTION.

MANHOLE NO. 2
 RIM= 53.00
 INV.=49.72 (W)
 INV.=49.82 (E)
 INV.=49.85 (SE)
 INV.=50.59 (SW)

EXISTING WELL TO BE CAPPED AND ABANDONED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH RULE 40D-3.531, F.A.C.

CONTRACTOR SHALL COORDINATE WITH TECO PEOPLE GAS FOR GAS SERVICE

PROPOSED ELECTRICAL TRANSFORMER
 108 LF 6" PVC FIRE LINE
 105 LF 2" PVC WATER SERVICE LINE

WETLAND JURISDICTIONAL LIMITS

EXISTING CATEGORY I WETLAND

CONTRACTOR TO MAINTAIN 18" VERTICAL SEPARATION BETWEEN SANITARY AND WATER LINES

SEE WATER AND SANITARY CONNECTION DETAIL ON THIS SHEET

PROPERTY BOUNDARY

PROPOSED GAS LINE. CONTRACTOR SHALL COORDINATE WITH TECO PEOPLE GAS FOR GAS SERVICE

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 INV.=49.82 (E)
 INV.=49.85 (SE)
 INV.=50.59 (SW)

CONTRACTOR TO MAINTAIN 18" VERTICAL SEPARATION BETWEEN SANITARY AND WATER LINES

SEE WATER AND SANITARY CONNECTION DETAIL ON THIS SHEET

PROPERTY BOUNDARY

PROPOSED GAS LINE. CONTRACTOR SHALL COORDINATE WITH TECO PEOPLE GAS FOR GAS SERVICE

MANHOLE NO. 2
 RIM= 53.00
 INV.=49.72 (W)
 INV.=49.82 (E)
 INV.=49.85 (SE)
 INV.=50.59 (SW)

CONTRACTOR TO MAINTAIN 18" VERTICAL SEPARATION BETWEEN SANITARY AND WATER LINES

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SEE WATER AND SANITARY CONNECTION DETAIL ON THIS SHEET

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 RIM= 53.00
 INV.=49.72 (W)
 INV.=49.82 (E)
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CONTRACTOR TO MAINTAIN 18" VERTICAL SEPARATION BETWEEN SANITARY AND WATER LINES

SEE WATER AND SANITARY CONNECTION DETAIL ON THIS SHEET

PROPERTY BOUNDARY

PROPOSED GAS LINE. CONTRACTOR SHALL COORDINATE WITH TECO PEOPLE GAS FOR GAS SERVICE

MANHOLE NO. 2
 RIM= 53.00
 INV.=49.72 (W)
 INV.=49.82 (E)
 INV.=49.85 (SE)
 INV.=50.59 (SW)

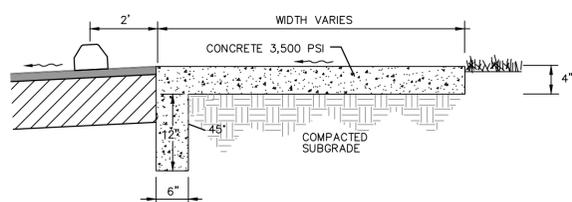
CONTRACTOR TO MAINTAIN 18" VERTICAL SEPARATION BETWEEN SANITARY AND WATER LINES

SEE WATER AND SANITARY CONNECTION DETAIL ON THIS SHEET

PROPERTY BOUNDARY

PROPOSED GAS LINE. CONTRACTOR SHALL COORDINATE WITH TECO PEOPLE GAS FOR GAS SERVICE

MANHOLE NO. 2
 RIM= 53.00
 INV.=49.72 (

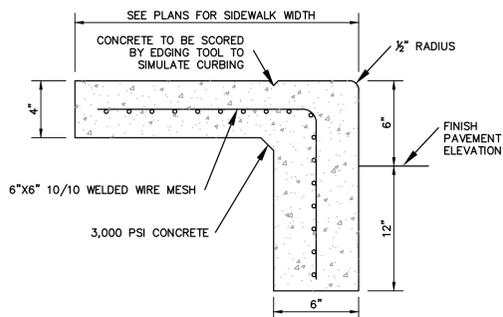


NOTE: USE 1/2" ASPHALT IMPREGNATED EXPANSION JOINT MATERIAL AT 50' O.C. SAW CUT CONTROL JOINTS AT 10' O.C.

FOR USE ADJACENT TO CONCRETE OR FLEXIBLE PAVEMENT, CONCRETE SHOWN. EXPANSION JOINT, PREFORMED JOINT FILLER AND JOINT SEAL ARE REQUIRED BETWEEN CURBS AND CONCRETE PAVEMENT ONLY.

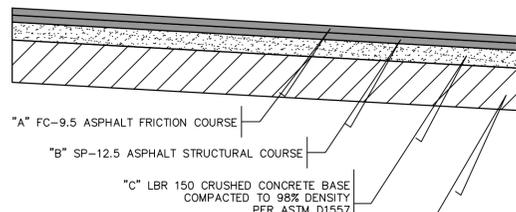
FLUSH SIDEWALK TO ADJACENT ROADWAY

N.T.S.



SIDEWALK/CURB DETAIL

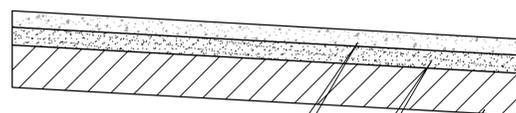
N.T.S.



"A" FC-9.5 ASPHALT FRICTION COURSE
 "B" SP-12.5 ASPHALT STRUCTURAL COURSE
 "C" LBR 150 CRUSHED CONCRETE BASE COMPACTED TO 98% DENSITY PER ASTM D1557
 "D" STABILIZED SUB-BASE TYPE "B" STABILIZED TO LBR-40 AND COMPACTED TO 98% DENSITY PER ASTM D1557

	"A"	"B"	"C"	"D"
STANDARD DUTY	1.0"	1.0"	6.0"	6.0"
HEAVY DUTY	1.0"	1.5"	8.0"	8.0"

ASPHALT PAVEMENT SECTION



6.0" PORTLAND CEMENT CONCRETE WITH A 4,000 PSI COMPRESSION STRENGTH AT 28 DAYS WHEN TESTED ACCORDING TO ASTM C-39.
 8.0" LBR 150 CRUSHED CONCRETE BASE COMPACTED TO 98% DENSITY PER AASHTO T-100
 8" STABILIZED SUB-BASE TYPE "B" STABILIZED TO LBR-40 AND COMPACTED TO 98% DENSITY PER AASHTO T-180

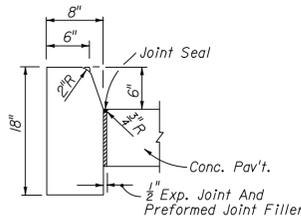
CONCRETE PAVEMENT SECTION (4)

NOTES:

- (1) REFER TO GEOTECHNICAL CONSULTANTS RECOMMENDATIONS WHEN EXISTING ASPHALT/CONCRETE EXISTS AT A DEPTH THAT WILL INCLUDE BASE OR SUBBASE.
- (2) ASPHALTIC CONCRETE SHALL BE PLACED & COMPACTED IN ACCORDANCE WITH THE LATEST FDOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
- (3) ASPHALTIC DENSITY & THICKNESS SHALL BE DETERMINED BY THE EXTRACTED CORE SAMPLE METHOD. CORE SAMPLES FOR COMPLIANCE TESTING SHALL BE OBTAINED EVERY 5,000 SF OF PAVEMENT AREA.
- (4) CONTRACTOR SHALL PROVIDE SHOP DRAWING FOR CONCRETE JOINT SPACING

TYPICAL PAVEMENT SECTION

N.T.S.

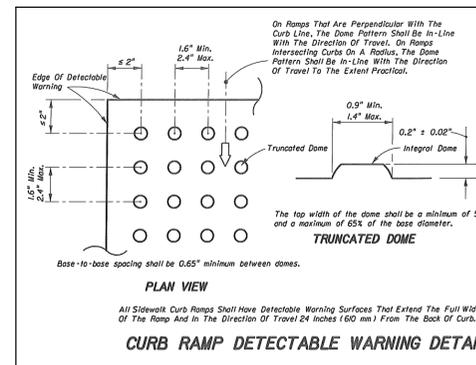


TYPE D

Note: For use adjacent to concrete or flexible pavement, concrete shown. Expansion joint, preformed joint filler and joint seal are required between curbs and concrete pavement only, see diagram right.

CONCRETE CURB

N.T.S.



PLAN VIEW

All Sidewalk Curb Ramps Shall Have Detectable Warning Surfaces That Extend The Full Width Of The Ramp And In The Direction Of Travel 24 Inches (60 mm) From The Back Of Curb.

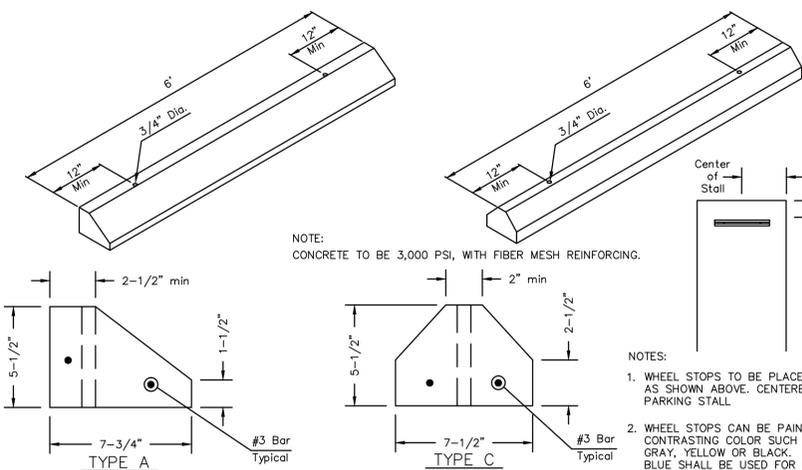
CURB RAMP DETECTABLE WARNING DETAIL

FLORIDA DEPARTMENT OF TRANSPORTATION STORM TABULATION FORM

Project Name: Buffalo Wild Wings
 Location: PASCO COUNTY, FL
 Prepared By: GL Date: 10/20/14

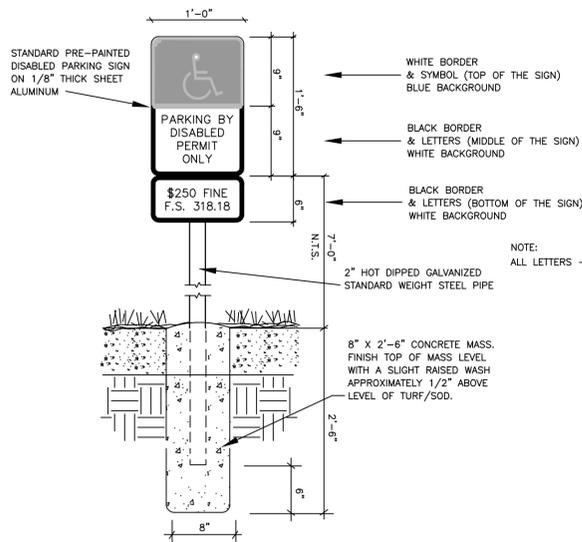
Technical Notes:
 FDOT Zone: 6
 Design Freq: 10 yr
 Mn. Tc: 15 min

LOCATION OF UPPER END	UPPER LOWER	STRUCTURE NUMBER	TYPE OF STRUCTURE	MATERIAL	LENGTH (FT)	DRAINAGE AREA (AC)		TIME OF CONCENTRATION (MIN)	TIME OF FLOW IN SECTION (MIN)	INTENSITY (IN/HR)	TOTAL RUNOFF CVA	TOTAL RUNOFF (CFS)	INLET ELEVATION (FT)	FREEBOARD (FT)	1. HGL ELEVATION			D.S. INV ADJUSTMENT (F)	HGL CONTROL	PIPE RISE (IN)	PIPE SPAN (IN)	EQ. PIPE DIA (IN)	1. HGL		SLOPE (%)	VELOCITY (FT/SEC)	REMARKS
						UPPER END ELEVATION (FT)	LOWER END ELEVATION (FT)								FALL (FT)	2. PHYSICAL	3. MIN. PHYSICAL										
S01	TO	MES	FOOT	RCP	25	0.10	1.88	1.69	15.0	0.1	7	1.72	12.0	52.00	0.7		51.26	51.20	0.06	0.0	D.S.	24	24	24	0.239%	3.8	Outlet to pond at W-5120
						47.83	47.88	0.15									0.600%										
						51.31	51.26	0.05									0.102%										
S02	TO	FOOT	Type E	ERCP	78	0.58	0.95	0.88	15.0	0.6	7	0.88	6.1	52.10	0.8		49.58	47.58	0.05	0.0	D.S.	18	30	24	0.652%	2.0	
						48.50	48.00	0.50									0.102%										
						51.37	51.35	0.02									0.046%										
S03	TO	FOOT	Type D	RCP	41	0.00	0.00	0.00	15.0	0.5	7	0.35	2.5	52.10	0.7		49.00	48.85	0.15	0.0	D.S.	18	18	18	0.370%	1.4	
						47.50	47.35	0.15									0.150%										
						51.38	51.37	0.01									0.009%										
S04	TO	FOOT	Type D	RCP	100	0.00	0.00	0.00	15.0	2.7	7	0.15	1.1	52.30	0.9		49.70	48.10	0.80	0.0	D.S.	18	18	18	0.800%	0.6	
						48.20	47.60	0.60									0.150%										
						51.68	51.65	0.01									0.009%										
S05	TO	FOOT	Type D	RCP	100	0.00	0.00	0.00	15.0	2.7	7	0.15	1.1	52.30	0.8		49.90	49.40	0.50	0.0	D.S.	18	18	18	0.500%	0.6	
						48.40	47.90	0.50									0.150%										
						51.65	51.53	0.12									0.145%										
S06	TO	FOOT	Type D	RCP	86	0.00	0.00	0.00	15.0	0.6	7	0.62	4.3	52.15	0.5		49.30	49.00	0.30	0.0	D.S.	18	18	18	0.350%	2.5	
						47.80	47.50	0.30									0.150%										
						49.78	49.75	0.01									0.004%										
S07	TO	FOOT	Type D	RCP	116	0.00	0.00	0.00	15.0	4.5	7	0.11	0.8	52.10	2.3		50.35	49.75	0.60	0.0	D.S.	18	18	18	0.620%	0.4	
						48.85	48.25	0.60									0.150%										
						51.20	51.20	0.00									0.003%										
S08	TO	FOOT	MH R8	RCP	23	0.00	0.00	0.00	19.5	1.1	5.71	0.11	0.6	52.90	1.7		49.65	49.51	0.14	0.0	D.S.	18	18	18	0.600%	0.3	
						48.15	48.01	0.14									0.150%										
						51.35	51.31	0.04									0.037%										
S11	TO	FOOT	MH R8	RCP	108	0.00	0.00	0.00	15.5	1.4	6.3	0.35	2.2	52.95	1.6		48.75	48.40	0.35	0.0	D.S.	18	18	18	0.324%	1.3	
						47.25	46.90	0.35									0.150%										
						51.63	51.28	0.27									0.218%										
S12	TO	FOOT	Type D	RCP	123	0.13	0.82	0.74	15.0	0.7	7	0.78	5.3	52.70	1.2		48.90	48.50	0.40	0.0	D.S.	18	18	18	0.325%	3.0	
						47.40	47.00	0.40									0.150%										



REINFORCED CONCRETE WHEEL STOPS

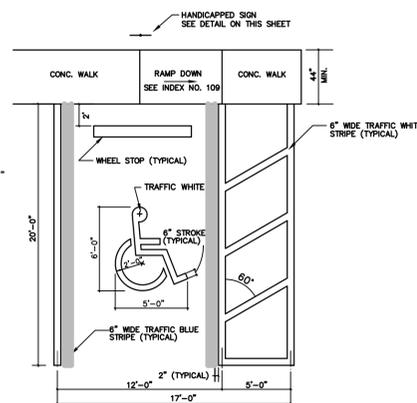
N.T.S.



HANDICAP SIGNS

PER F.D.O.T. INDEX #17355

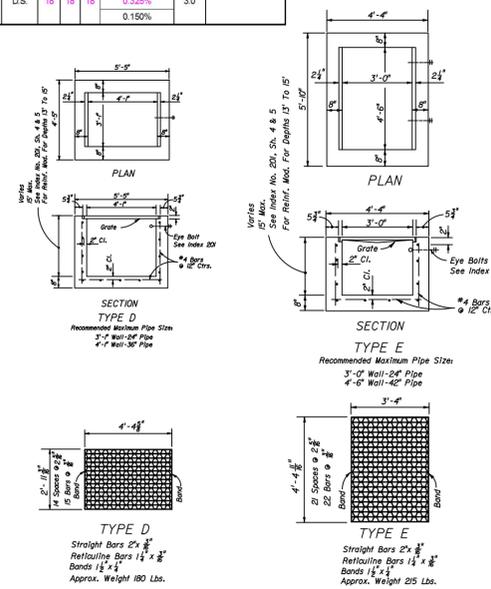
N.T.S.



HANDICAP PARKING DETAIL

PER F.D.O.T. INDEX #17346

N.T.S.



TYPE 'D' INLET

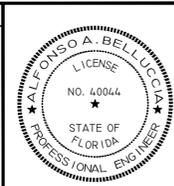
F.D.O.T. INDEX #232 N.T.S.

TYPE 'E' INLET

F.D.O.T. INDEX #232 N.T.S.

NOTE: Steel Grates Are Required On Inlets With Traversable Slots And On Inlets Where Bicycle Traffic Is Anticipated.

NOTE: TYPE "E" (MODIFIED) - ADJUST AS REQUIRED TO ACCEPT PIPE INSTALLATION AS INDICATED



PROJECT NO.	2014-0010
DATE	07-22-2014
DESIGNED BY	GL
CHECKED BY	FG
DATE	11/20/14
PROJECT NAME	ADDED SHEET 10A, BUS SHELTER MAINTENANCE OF TRAFFIC DETAIL SHEET
DATE	10/05/14
PROJECT NAME	UPDATE PER PASCO COUNTY REVIEW
DATE	
PROJECT NAME	
DATE	

DESIGNED FOR: **DIVERSIFIED RESTAURANT HOLDINGS, INC.**
 2780 FRANKLIN ROAD
 SOUTHFIELD, MICHIGAN 48034
 PHONE: (800) 223-9100 FAX: (800) 737-8888

PROJECT NAME: **BUFFALO WILD WINGS - CYPRESS CREEK-PARCEL 11A**

SHEET NAME: **PAVING, GRADING, AND STORM SEWER DETAILS**

FLORIDA DESIGN CONSULTANTS, INC.
 THINK IT. ACHIEVE IT.

707 N. FRANKLIN STREET, 6TH FLOOR, TAMPA, FLORIDA 34605
 PHONE: (800) 532-1047 FAX: (727) 848-3648 WWW.FLDESIGN.COM C.A. NO. 7421





NO.	2014-0010
REV.	569
DATE	07-22-2014
DESIGNED BY	GL
CHECKED BY	FG
DATE	11/10/14
DESCRIPTION	ADDED SHEET 10A, BUS SHELTER MAINTENANCE OF TRAFFIC DETAIL SHEET
DATE	11/10/14
DESCRIPTION	ADDED TEMP. WATER SERVICE DETAIL
DATE	
DESCRIPTION	

NO.	2014-0010
REV.	569
DATE	07-22-2014
DESIGNED BY	GL
CHECKED BY	FG
DATE	11/10/14
DESCRIPTION	ADDED SHEET 10A, BUS SHELTER MAINTENANCE OF TRAFFIC DETAIL SHEET
DATE	11/10/14
DESCRIPTION	ADDED TEMP. WATER SERVICE DETAIL
DATE	
DESCRIPTION	

DESIGNED FOR: **DIVERSIFIED RESTAURANT HOLDINGS, INC.**
 2780 FRANKLIN ROAD
 SOUTHFIELD, MICHIGAN 48034
 PHONE: (800) 223-9100 FAX: (800) 737-8688

PROJECT NAME: **BUFFALO WILD WINGS - CYPRESS CREEK-PARCEL 11A**
 SHEET NAME: **UTILITY DETAILS**

FLORIDA DESIGN CONSULTANTS, INC.
 THINK IT. ACHIEVE IT.
 707 N. FRANKLIN STREET, TAMPA, FLORIDA 34605
 PHONE: (800) 532-1047 FAX: (727) 848-3648 WWW.FLDESIGN.COM C.A. NO. 7421



MATERIALS

ITEM	QUANT.	DESCRIPTION
1	1	2" BACKFLOW PREVENTER ASSEMBLY, REDUCED PRESSURE ZONE
2	1	2" METER FURNISHED BY PASCO COUNTY UTILITIES
3	2	BRASS-METER FLANGES OR ADAPTORS
4	2	2" ELBOWS - GALV. 90°
5	2	2" RISER - GALV.
6	*	CONCRETE SLAB
7	1	2" VALVE - BRASS OR S.S.
8	2	TEE / VALVES - BRASS OR S.S.
9	1	2" GATE VALVE - BRASS OR S.S.
10	1	PIPE STAND (SUPPORT)
11	2	M.J. CAP WITH 2" TAP

NOTE: - CONTRACTOR/CUSTOMER SHALL APPLY AT PASCO COUNTY UTILITIES CUSTOMER SERVICE FOR TEMPORARY WATER SERVICE AT LEAST THREE DAYS PRIOR TO REQUIRED SERVICE DATE.
 - THE METER WILL BE FURNISHED, INSTALLED AND INITIAL READING TAKEN BY PASCO COUNTY UTILITIES. ALL FITTINGS, PIPING, VALVES AND MATERIALS INCLUDING THE PASCO COUNTY APPROVED REDUCED PRESSURE BACKFLOW PREVENTION DEVICE SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR/CUSTOMER.
 - CONTRACTOR/CUSTOMER FURNISHED REDUCED PRESSURE BACKFLOW PREVENTION DEVICE MUST BE INSTALLED BEFORE THE METER IS INSTALLED BY PASCO COUNTY UTILITIES. THE APPROVED BACKFLOW PREVENTION DEVICE SHALL BE TESTED AND CERTIFIED BY PASCO COUNTY UTILITIES CERTIFIED BACKFLOW PREVENTION TECHNICIAN AT TIME OF METER INSTALLATION.
 - CONTRACTOR/CUSTOMER SHALL PROTECT THE JUMPER/METER ASSEMBLY FROM DAMAGE.
 - CONTRACTOR/CUSTOMER IS RESPONSIBLE FOR BACTERIOLOGICAL TESTING AFTER CONNECTION OF TEMPORARY WATER SERVICE.
 - TEMPORARY CONSTRUCTION JUMPER/METER ASSEMBLY SHALL NOT BE REMOVED UNTIL SYSTEM IS ACCEPTED AND DEPARTMENT OF HEALTH CERTIFICATION AND CLEARANCE FOR SERVICE FORM HAS BEEN RECEIVED BY PASCO COUNTY UTILITIES.
 - WHEN THE NEW SYSTEM IS ACCEPTED AND THE FINAL METER READING TAKEN BY PASCO COUNTY, THE TEMPORARY CONSTRUCTION JUMPER/METER ASSEMBLY MUST BE COMPLETELY REMOVED FROM M.J. CAP TO M.J. CAP AND A NEW WATER MAIN IS TO BE CHLORINATED AND INSTALLED COMPLETING THE FINAL CONNECTION.
 - BY APPLYING FOR SERVICE, CONTRACTOR/CUSTOMER AGREES TO TAKE WATER SERVICE FROM PASCO COUNTY UTILITIES IN ACCORDANCE WITH THE APPROPRIATE RATE SCHEDULE AND IN ACCORDANCE WITH PASCO COUNTY UTILITIES RULES AND REGULATION.

CREATED: 11/18/05
 REVISED: _____
 PASCO COUNTY UTILITIES
 DETAIL 01

MATERIALS

ITEM	QUANT.	DESCRIPTION
1	1	BACKFLOW PREVENTER ASSEMBLY, REDUCED PRESSURE ZONE
2	2	UNIONS - GALV.
3	2	NIPPLES - BRASS
4	2	ELBOWS - GALV. 90°
5	2	RISER - GALV.
6	*	CONCRETE SLAB
7	2	BALL VALVES - BRASS OR S.S. (PROVIDED WITH BFP ASS'Y)

NOTE: - FIELD ADJUST AND CUT ITEM 5 TO THE PROPER LENGTH.
 - MINIMUM CLEARANCE OF 24" TO BE MAINTAINED AROUND DEVICE FOR TESTING.
 - ENTIRE ASSEMBLY TO BE PAINTED SAFETY BLUE.
 - CONCRETE SLAB TO EXTEND 12" MIN. AROUND ENTIRE DEVICE.
 - DEVICE MUST BE LISTED WITH THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH.

CREATED: 02/24/03
 REVISED: _____
 PASCO COUNTY UTILITIES
 DETAIL 12

MATERIALS

ITEM	QUANT.	DESCRIPTION
1	1	BACKFLOW PREVENTER ASSEMBLY, REDUCED PRESSURE ZONE
2	2	UNIONS - GALV.
3	2	NIPPLES - BRASS
4	2	ELBOWS - GALV. 90°
5	2	RISER - GALV.
6	*	CONCRETE SLAB
7	2	BALL VALVES - BRASS OR S.S. (PROVIDED WITH BFP ASS'Y)

NOTE: - MECHANICAL JOINTS/UNDERGROUND PIPING SHALL BE RESTRAINED AS SPECIFIED IN JOINT RESTRAINT TABLE (DETAIL 46)
 - VALVE EXTENSION ROD SHALL BE UTILIZED, AS NECESSARY, SO THAT VALVE OPERATING NUT IS A MAXIMUM OF 3" BELOW GRADE.

CREATED: 02/24/03
 REVISED: _____
 PASCO COUNTY UTILITIES
 DETAIL 28

MATERIALS

ITEM	QUANT.	DESCRIPTION
1	1	BACKFLOW PREVENTER ASSEMBLY, REDUCED PRESSURE ZONE
2	2	UNIONS - GALV.
3	2	NIPPLES - BRASS
4	2	ELBOWS - GALV. 90°
5	2	RISER - GALV.
6	*	CONCRETE SLAB
7	1	2" VALVE - BRASS OR S.S.
8	2	TEE / VALVES - BRASS OR S.S.
9	1	2" GATE VALVE - BRASS OR S.S.
10	1	PIPE STAND (SUPPORT)
11	2	M.J. CAP WITH 2" TAP

NOTE: - CONTRACTOR/CUSTOMER SHALL APPLY AT PASCO COUNTY UTILITIES CUSTOMER SERVICE FOR TEMPORARY WATER SERVICE AT LEAST THREE DAYS PRIOR TO REQUIRED SERVICE DATE.
 - THE METER WILL BE FURNISHED, INSTALLED AND INITIAL READING TAKEN BY PASCO COUNTY UTILITIES. ALL FITTINGS, PIPING, VALVES AND MATERIALS INCLUDING THE PASCO COUNTY APPROVED REDUCED PRESSURE BACKFLOW PREVENTION DEVICE SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR/CUSTOMER.
 - CONTRACTOR/CUSTOMER FURNISHED REDUCED PRESSURE BACKFLOW PREVENTION DEVICE MUST BE INSTALLED BEFORE THE METER IS INSTALLED BY PASCO COUNTY UTILITIES. THE APPROVED BACKFLOW PREVENTION DEVICE SHALL BE TESTED AND CERTIFIED BY PASCO COUNTY UTILITIES CERTIFIED BACKFLOW PREVENTION TECHNICIAN AT TIME OF METER INSTALLATION.
 - CONTRACTOR/CUSTOMER SHALL PROTECT THE JUMPER/METER ASSEMBLY FROM DAMAGE.
 - CONTRACTOR/CUSTOMER IS RESPONSIBLE FOR BACTERIOLOGICAL TESTING AFTER CONNECTION OF TEMPORARY WATER SERVICE.
 - TEMPORARY CONSTRUCTION JUMPER/METER ASSEMBLY SHALL NOT BE REMOVED UNTIL SYSTEM IS ACCEPTED AND DEPARTMENT OF HEALTH CERTIFICATION AND CLEARANCE FOR SERVICE FORM HAS BEEN RECEIVED BY PASCO COUNTY UTILITIES.
 - WHEN THE NEW SYSTEM IS ACCEPTED AND THE FINAL METER READING TAKEN BY PASCO COUNTY, THE TEMPORARY CONSTRUCTION JUMPER/METER ASSEMBLY MUST BE COMPLETELY REMOVED FROM M.J. CAP TO M.J. CAP AND A NEW WATER MAIN IS TO BE CHLORINATED AND INSTALLED COMPLETING THE FINAL CONNECTION.
 - BY APPLYING FOR SERVICE, CONTRACTOR/CUSTOMER AGREES TO TAKE WATER SERVICE FROM PASCO COUNTY UTILITIES IN ACCORDANCE WITH THE APPROPRIATE RATE SCHEDULE AND IN ACCORDANCE WITH PASCO COUNTY UTILITIES RULES AND REGULATION.

CREATED: 02/24/03
 REVISED: _____
 PASCO COUNTY UTILITIES
 DETAIL 30

MATERIALS

ITEM	QUANT.	DESCRIPTION
1	1	3", 4", 6", 8" DOUBLE CHECK VALVE/BFP ASSEMBLY WITH DETECTOR ASSEMBLY
2	2	3", 4", 6", 8" BEND, 90° FLANGE x FLANGE
3	2	3", 4", 6", 8" SPOOL PIECE FLD. x PE. D.I.P.
4	2	3", 4", 6", 8" BEND, 90° M.J. x M.J.
5	4	3", 4", 6", 8" GLAND, RETAINER M.J. (MEGALUG)
6	2	3", 4", 6", 8" VALVE, GATE FLD. x FLD. RESILIENT WEDGE O.S. & Y.
7	2	SUPPORT (AS NEEDED)
8	1	CONCRETE SLAB (6" THICK - 42" WIDE MIN.)

NOTE: - NO THE RODS OR EYE BOLT RESTRAINERS PERMITTED ABOVE GROUND.
 - BFP ASSEMBLY TO BE INSTALLED LEVEL & PLUMB.
 - MINIMUM CLEARANCE OF 36" TO BE MAINTAINED AROUND ENTIRE DEVICE FOR TESTING.
 - ENTIRE ASSEMBLY TO BE PAINTED SAFETY BLUE.
 - DETECTOR BY-PASS ASSEMBLY TO BE FACTORY INSTALLED AND CERTIFIED.
 - ALL MECHANICAL JOINTS SHALL BE RESTRAINED WITH MEGALUGS OR APPROVED EQUAL.
 - BELL JOINT RESTRAINERS SHALL BE PROVIDED ON ALL UNDERGROUND PIPING AS SPECIFIED IN JOINT RESTRAINT TABLE DETAIL 46.
 - ALL ABOVE GROUND PIPING SHALL BE FLANGED DUCTILE IRON PIPE (NO GALVANIZED OR PVC).
 - ITEM 3 SHALL BE FIELD CUT TO PROPER LENGTH TO ACHIEVE DESIGNATED GROUND CLEARANCE.
 - IF SO SPECIFIED, ENTIRE ASSEMBLY TO BE ENCLOSED IN 6" CHAIN LINK FENCE.
 - BFP DEVICE MUST BE LISTED WITH THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH.

CREATED: 02/24/03
 REVISED: _____
 PASCO COUNTY UTILITIES
 DETAIL 10

MATERIALS

ITEM	QUANT.	DESCRIPTION
1	1	HYDRANT, FIRE (5 1/4" VALVE MIN.), PAINTED YELLOW
2	*	6" PIPE, P.V.C. (DR-18)
3	1	BOX, VALVE SLIP TYPE
4	1	6" VALVE, GATE, M.J. RESILIENT WEDGE
5	1	TEE, ANCHORING, M.J.
6	*	6" RESTRAINER GLAND (MEGALUG)
7	*	VALVE EXTENSION ROD, AS NECESSARY (3" MAX. BELOW GRADE)

RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE TEE ALONG THE BRANCH FOR THE DISTANCE INDICATED. A MINIMUM OF 5 FEET OF RESTRAINED PIPE MUST BE INSTALLED ON BOTH RUNS OF THE TEE. MEGALUG TYPE RESTRAINERS ARE REQUIRED ON ALL JOINTS.

CREATED: 02/24/03
 REVISED: _____
 PASCO COUNTY UTILITIES
 DETAIL 27

PIPE RESTRAINT LENGTHS IN FEET TEES (BRANCH SIDE)

RUN SIZE	WATER MAINS - TEST PRESSURE 150 PSI BRANCH SIZE								
	3"	4"	6"	8"	10"	12"	16"	20"	24"
3"	6'	14'	30'	—	—	—	—	—	—
4"	2'	11'	28'	44'	—	—	—	—	—
6"	1'	2'	22'	40'	52'	—	—	—	—
8"	1'	1'	16'	35'	48'	62'	—	—	—
10"	1'	1'	10'	30'	44'	58'	83'	—	—
12"	1'	1'	3'	25'	40'	55'	80'	103'	—
16"	1'	1'	1'	14'	31'	48'	75'	98'	119'
20"	1'	1'	1'	2'	22'	40'	69'	94'	116'
24"	1'	1'	1'	1'	11'	31'	63'	89'	111'

RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE FITTING ALONG THE PIPE IN BOTH DIRECTIONS (EXCEPT DEAD ENDS).

CREATED: 02/24/03
 REVISED: _____
 PASCO COUNTY UTILITIES
 DETAIL 32

PIPE RESTRAINT LENGTHS IN FEET COMMON FITTINGS

PIPE SIZE	WATER MAINS - TEST PRESSURE 150 PSI FITTING TYPE				
	11-1/4°	22-1/2°	45°	90°	DEAD END
4"	2'	4'	8'	20'	45'
6"	3'	6'	12'	28'	63'
8"	4'	7'	15'	36'	82'
10"	4'	9'	18'	43'	98'
12"	5'	10'	21'	50'	116'
16"	6'	13'	26'	63'	148'
20"	7'	15'	31'	76'	179'
24"	9'	17'	36'	87'	208'

PIPE SIZE	FORCE MAINS - TEST PRESSURE 100 PSI FITTING TYPE				
	11-1/4°	22-1/2°	45°	90°	DEAD END
4"	1'	3'	6'	13'	30'
6"	2'	4'	8'	19'	42'
8"	2'	5'	10'	24'	55'
10"	3'	6'	12'	29'	66'
12"	3'	7'	14'	34'	77'
16"	4'	8'	18'	42'	99'
20"	5'	10'	21'	50'	119'
24"	6'	11'	24'	58'	139'

RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE FITTING ALONG THE PIPE IN BOTH DIRECTIONS (EXCEPT DEAD ENDS).

CREATED: 02/24/03
 REVISED: _____
 PASCO COUNTY UTILITIES
 DETAIL 31



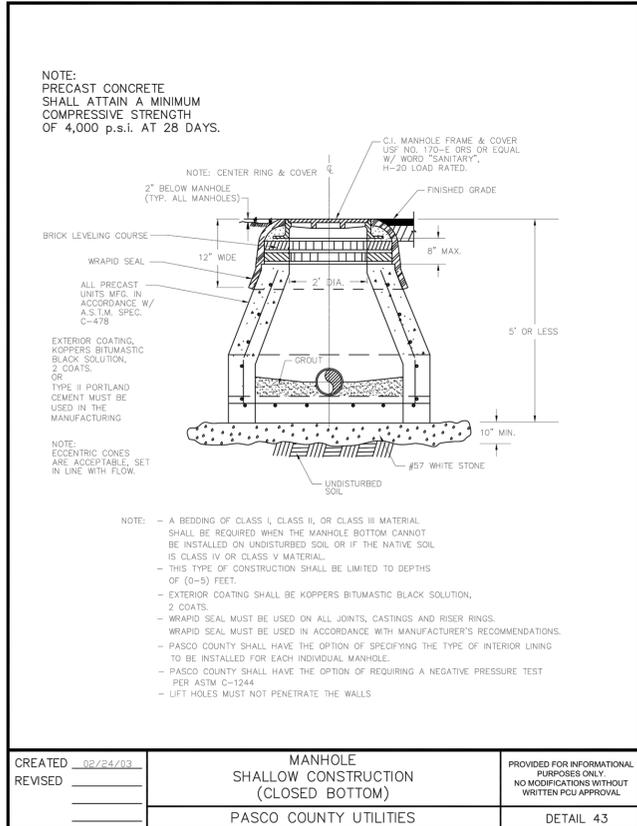
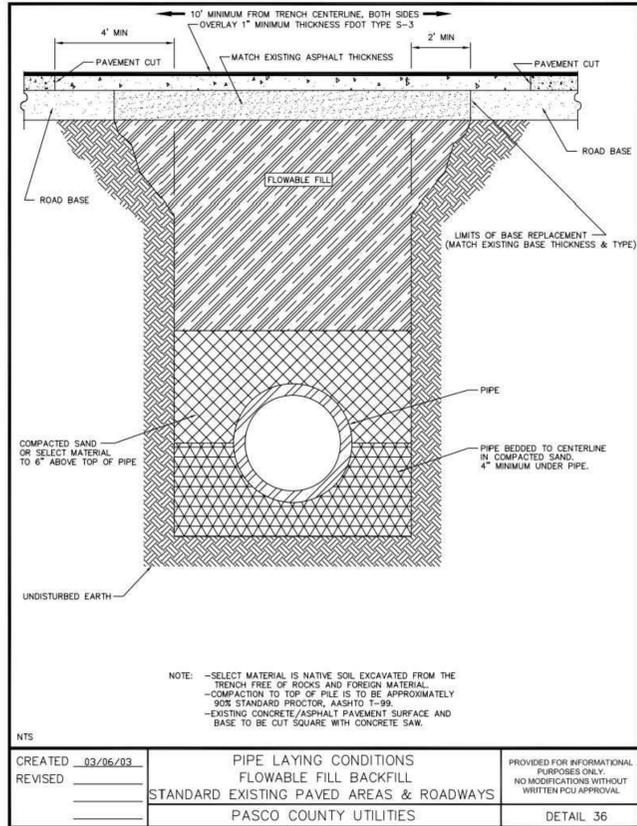
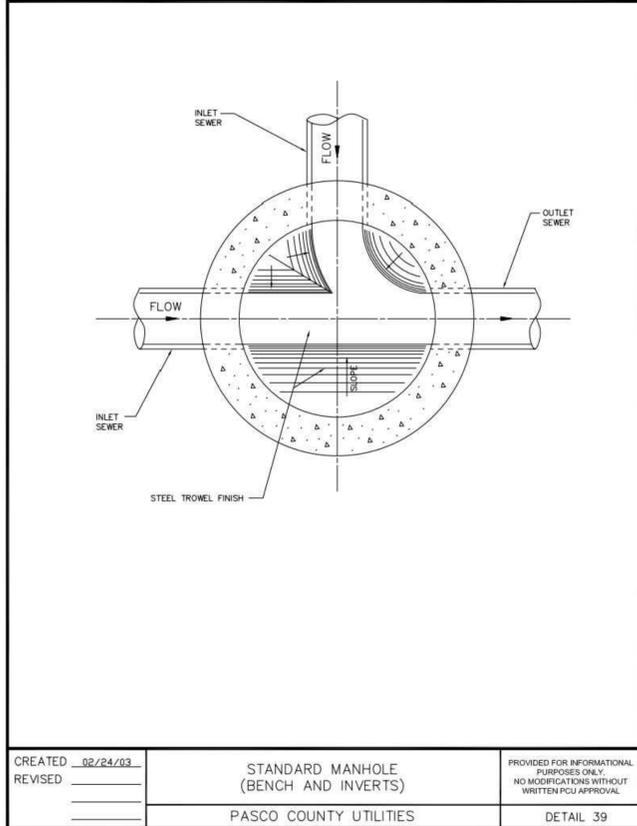
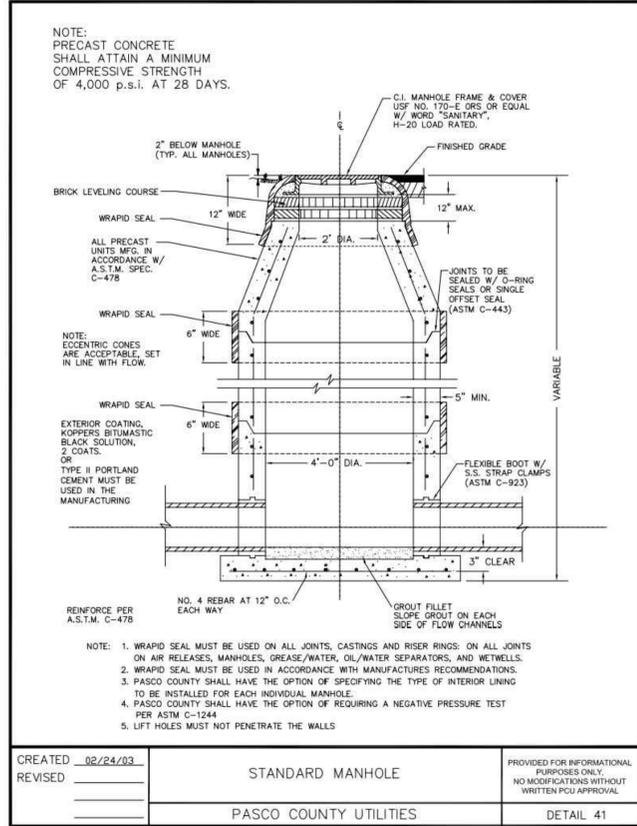
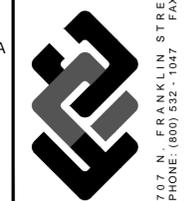
PROJECT NO.	2014-0010
DATE	07-22-2014
DESIGNED BY	FG
CHECKED BY	FG
DATE	
PROJECT NAME	11/20/14 ADDED SHEET 10A, BUS SHELTER MAINTENANCE OF TRAFFIC SHEET
DATE	
PROJECT NAME	
DATE	
PROJECT NAME	
DATE	

DESIGNED FOR: **DIVERSIFIED RESTAURANT HOLDINGS, INC.**
 2780 FRANKLIN ROAD
 SOUTHFIELD, MICHIGAN 48034
 PHONE: (800) 223-9100 FAX: (800) 737-8888

PROJECT NAME: **BUFFALO WILD WINGS - CYPRESS CREEK-PARCEL 11A**
 SHEET NAME: **UTILITY DETAILS**

FLORIDA DESIGN CONSULTANTS, INC.
 THINK IT. ACHIEVE IT.

707 N. FRANKLIN STREET, 6TH FLOOR, TAMPA, FLORIDA 34655
 PHONE: (800) 532-1047 FAX: (727) 848-3648 WWW.FLDESIGN.COM C.A. NO. 7421



PASCO COUNTY UTILITIES DATA SHEET FOR SIZING WATER METERS
 Customer: Buffalo Wild Wings
 Type of Occupancy: Retail #1
 Property Identification No. 26-26-19-0000-00100-0140

Fixture	Fixture Value at 35 psi	No. of Fixtures	Fixture Value
Bathtub	8	x	=
Drinking Fountain (Public)	2	x	=
Combination Sink & Tray	3	x	=
Dental Unit	1	x	=
Dental Lavatory	2	x	=
Water Filter	2	x	=
Coffee/Tea Brewer	1	x	=
3-Comp Sink - 1/2" connection	4	x	=
4-Comp Bar Sink - 1/2" connection	4	x	=
Lavatory - 3/8" connection	2	x	=
Blender Station	2	x	=
Hand Sinks (Bar, Kitchen & Drop-In)	2	x	=
Produce Sink	4	x	=
Ice Machine	1	x	=
Service Sink (Mop Sink) - 1/2" connection	3	x	=
Urinal - Pedestal Flush Valve	5	x	=
Water Closet - Flush Valve	10	x	=
Dishwasher (Dish & Glass Washer) - 1/2" connection	4	x	=
Washing Machine - 1/2" connection	5	x	=
Hose connection - 1/2"	6	x	=
Hose (50 ft.) - 1/2"	6	x	=
- 3/4"	9	x	=
- 1"	12	x	=

Page 3B of 7 Pages

Combined Fixture Value Total (Pages 3A+3B+3C) = 167
 Customer Peak demand from Curves = 59 gpm
 Enter Line Pressure and Pressure Factor: 65, 1.38
 Customer Peak demand from Curves X Pressure Factor = 81 gpm*
 *Total Usage (Potable Meter)

PASCO COUNTY UTILITIES DATA SHEET FOR SIZING WATER METERS
 Customer: Buffalo Wild Wings
 Address: _____
 Type of Occupancy: Restaurant and Retail
 Property Identification No. 26-26-19-0000-00100-0140

Additional Equipment Peak Usage (gpm): _____

Irrigation with separate meter, 50 gpm maximum per zone (see below): _____

Total of Additional Usage = N/A gpm

Irrigation Largest Zone or Combination of Zones = 50 gpm

TOTAL OF CUSTOMER USAGE, EQUIPMENT & IRRIGATION = N/A gpm

Notes or Comments: _____

Total Customer Usage = 81 gpm, Required Potable Meter Size = 1.5" (80 gpm maximum - PCU Recommended 1.5" Meter)
 Required Irrigation Meter Size = 1 1/2" (80 gpm maximum)

Page 4 of 7 Pages

PASCO COUNTY UTILITIES DATA SHEET FOR SIZING WATER METERS
 Customer: Buffalo Wild Wings
 Type of Occupancy: Restaurant
 Property Identification No. 26-26-19-0000-00100-0140

Fixture	Fixture Value at 35 psi	No. of Fixtures	Fixture Value
Bathtub	8	x	=
Drinking Fountain (Public)	2	x	=
Combination Sink & Tray	3	x	=
Dental Unit	1	x	=
Dental Lavatory	2	x	=
Water Filter	2	x	=
Coffee/Tea Brewer	1	x	=
3-Comp Sink - 1/2" connection	4	x	=
4-Comp Bar Sink - 1/2" connection	4	x	=
Lavatory - 3/8" connection	2	x	=
Blender Station	2	x	=
Hand Sinks (Bar, Kitchen & Drop-In)	2	x	=
Produce Sink	4	x	=
Ice Machine	1	x	=
Service Sink (Mop Sink) - 1/2" connection	3	x	=
Urinal - Pedestal Flush Valve	5	x	=
Water Closet - Flush Valve	10	x	=
Dishwasher (Dish & Glass Washer) - 1/2" connection	4	x	=
Washing Machine - 1/2" connection	5	x	=
Hose connection - 1/2"	6	x	=
Hose (50 ft.) - 1/2"	6	x	=
- 3/4"	9	x	=
- 1"	12	x	=

Page 3A of 7 Pages

PASCO COUNTY UTILITIES DATA SHEET FOR SIZING WATER METERS
 Customer: Buffalo Wild Wings
 Type of Occupancy: Retail #2
 Property Identification No. 26-26-19-0000-00100-0140

Fixture	Fixture Value at 35 psi	No. of Fixtures	Fixture Value
Bathtub	8	x	=
Drinking Fountain (Public)	2	x	=
Combination Sink & Tray	3	x	=
Dental Unit	1	x	=
Dental Lavatory	2	x	=
Water Filter	2	x	=
Coffee/Tea Brewer	1	x	=
3-Comp Sink - 1/2" connection	4	x	=
4-Comp Bar Sink - 1/2" connection	4	x	=
Lavatory - 3/8" connection	2	x	=
Blender Station	2	x	=
Hand Sinks (Bar, Kitchen & Drop-In)	2	x	=
Produce Sink	4	x	=
Ice Machine	1	x	=
Service Sink (Mop Sink) - 1/2" connection	3	x	=
Urinal - Pedestal Flush Valve	5	x	=
Water Closet - Flush Valve	10	x	=
Dishwasher (Dish & Glass Washer) - 1/2" connection	4	x	=
Washing Machine - 1/2" connection	5	x	=
Hose connection - 1/2"	6	x	=
Hose (50 ft.) - 1/2"	6	x	=
- 3/4"	9	x	=
- 1"	12	x	=

Page 3C of 7 Pages

