

PASCO COUNTY, FLORIDA
INTEROFFICE MEMORANDUM

TO: Joaquin Servia
Development Review Manager

DATE: 5/14/15 FILE: PDD15-1050

SUBJECT: The Prayer House Ropes
Homeless Shelter –
Preliminary Site/Construction
Plan and Stormwater
Management Plan and Report
(Project No. SML15-018)
Recommendation: Approval
with Conditions (Attachment
No. 1)

FROM: 
Beverly Trudell
Senior Development Review
Technician

REFERENCES: Land Development Code,
Sections 300, Procedures;
403, Site Development;
and 900, Development
Standards; Comm. Dist. 5.

PROJECT DESCRIPTION:

Commission District:	Honorable Jack Mariano
Project Name:	The Prayer House Ropes Homeless Shelter
Developer's Name:	Prayer House, Inc.
Location:	On the north side of Rhodes Road and east of U.S. Highway 19 (7839 Rhodes Road, Hudson FL 34667-3362 (Attachment No. 2)
Parcel ID No.:	27-24-16-0180-00000-0030
Land Use Classification:	ROR – Retail/Office/Residential
Zoning District:	C-2 Commercial District
Acreage:	.55 Acre, m.o.l.
Use/Square Feet:	20 Beds Group Living Facility Homeless Shelter/2,403 Square Feet/One-Story
Flood Zone:	“AE”
Water/Sewage:	Hudson/Hudson
Transportation Analysis Zone:	12
Mobility Fee Assessment District:	A
Mobility Fee Collection/Benefit District:	1
Roads:	Public
Certificate of Capacity:	Initial

DEVELOPER'S' REQUEST:

The applicant/developer of The Prayer House Ropes Homeless Shelter is requesting Preliminary Site/Construction Plan and Stormwater Management Plan and Report for a 20 bed Homeless Shelter (Attachment No. 3).

BACKGROUND AND FINDINGS OF FACT:

See Attachment No. 4

CONCURRENCY ANALYSIS:

An Initial Certificate of Capacity is being issued for a homeless shelter for 20 beds. Any conditions required pursuant to the issuance of the certificate are attached to the Initial Certificate of Capacity.

RECOMMENDATION:

The Planning and Development Department recommends approval of the Preliminary Site/ Construction Plan and Stormwater Management Plan and Report request with the attached conditions.

ATTACHMENTS:

1. Conditions of Approval
2. Location Map
3. Site Plan
4. Background and Findings of Fact
5. Initial Certificate of Capacity

PLANNING AND DEVELOPMENT DEPARTMENT ACTION:

APPROVED

B.C.C.
 D.R.C.
 P.D.D.

Pasco County

By: *[Signature]* Date 5-14-15
 For Substantial Compliance With
 The Applicable Provisions of Pasco County
 Land Development Regulations
 And Their Intent

ATTACHMENT NO. 1 – CONDITIONS OF APPROVAL

The Prayer House Ropes Homeless Shelter

Hard-Copy Site Development Permit

1. Before commencing approved construction activities, the applicant/developer shall obtain from the Planning and Development Department an authorization to commence approved construction, a.k.a. "a hard copy Site Development Permit." To obtain said authorization, the following, as applicable, must be submitted to the Planning and Development Department:
 - a. The completed notarized acknowledgment portion of the attached agenda memorandum. The owner/developer are hereby notified that the effective date of this development approval shall be the date of the final County action; however, no activity shall commence on site until such time as the acknowledgment portion of this document is completed (including notarization) and received by the Planning and Development Department.

No construction shall commence until the permit has been properly posted on the site.

Specific Conditions

2. Based on the submitted Substandard Roadway Analysis (SSRA) review by County staff, the applicant/owner shall pay \$3,098.50 for the first 20 beds prior to obtaining the Hard Copy Site Development Permit. Prior to the use of the site for an additional 20 beds (40 total) the applicant/owner shall pay an additional \$3,098.50 for a total of \$6,197.00.
3. Prior to adding additional beds, a building permit and additional site plan review will be required for any additional square-footage.
4. Should the "stabilized parking surface" area be paved, the applicant/owner shall provide the Planning and Development Department a revised plan for review and final determination, showing all required landscaping as a result from paving the area.
5. Prior to issuance of the Certificate of Occupancy (CO), the applicant/owner shall provide a certification from the Geotechnical Engineer stating that the proposed project complies with the geotechnical engineering report recommendations.

General Conditions

6. Any roadway construction required herein as a condition of development approval shall not be entitled to transportation impact fee (TIF) or mobility fee credits unless such credits have been granted pursuant to prior written agreement or as provided herein.
7. The developer acknowledges that approval of this Preliminary Site Plan (PSP) does not establish vested rights with respect to construction of the project. Further, the developer acknowledges that no permit shall be issued or plat approved without the issuance of a Final Certificate of Capacity.

8. All construction work, including roads, drainage, and utilities, shall be constructed in accordance with County design standards and tested in compliance with the Engineering Services Department's *Testing Specifications for Construction of Roads, Storm Drainage, and Utilities*.
9. The applicant/developer shall acknowledge that should the County collect funds under a guarantee document, the developer shall authorize the County or its designee access to the property in question to complete the required work.
10. The applicant/developer shall acknowledge that should the County be required to institute legal proceedings in order to collect any funds under a guarantee document, the developer shall be responsible for attorney's fees and court costs incurred by the County in such action.
11. The developer acknowledges that an appeal may be filed against the decision of the within 30 days of the date of this approval. Any development that takes place within the 30-day-appeal deadline shall not establish vested rights with respect to construction of the project.
12. Site plans approved by the Planning and Development Department are the final approved documents. Changes/additions/deletions to approved site plans; i.e., building size, location, loading zones, etc., require revised site plan submittal, review fee, and approval in accordance with the Land Development Code (LDC), Sections 300, 403, and 900.
13. The applicant/developer or project contractor shall notify the Project Management Division at least five working days prior to commencing any activity on the site.
14. Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to combustibles being brought on site (National Fire Protection Association, NFPA-1, 16.4.3.1.3).

Construction Plan

15. Section 316.0745, Florida Statutes, requires that all traffic-control signing and markings on private property opened to the general public be in conformance with the Florida Department of Transportation's FDOT's *Manual on Uniform Traffic Control Devices* and FDOT standards.
16. All handicapped parking spaces shall be signed and marked in accordance with the Florida Department of Transportation (FDOT) standards index. All regular/standard parking spaces shall be striped in white.
17. Any construction within the County right-of-way will require a Right-of-Way Use Permit. The review and issuance of the Right-of-Way Use Permit shall be conducted in accordance with the LDC, Section 406.5, Right-of-Way Use Permit, and must be obtained prior to commencement of construction. The developer shall ensure that any improvements installed in rights-of-way are constructed to County standards

18. Prior to any construction activity, the developer shall ensure that proper erosion and sediment control measures are in place. The applicant/developer or project contractor shall notify the Stormwater Management Division at least two working days prior to commencing any site preparation, including clearing and grubbing work, for a preinspection of the sediment and erosion-control devices. The developer shall control all fugitive dust originating from the project site and shall indicate on the construction drawings the manner in which fugitive dust is to be controlled. Further, all retention pond side slopes and associated swales shall be sodded to prevent soil erosion.
19. The applicant/developer acknowledge, in accordance with the LDC, Section 905.2, Landscaping and Buffering, wooden fences are not allowed as a visual screen in any of the buffer areas. If the applicant/developer proposes the use of a fence for a visual screen within any buffer area, vinyl fencing or chain-link fencing with black-out fabric or slats shall be used.
20. The applicant/developer acknowledge, in accordance with the LDC, Section 905.2, Landscaping and Buffering, any plant materials of whatsoever type and kind required by the Landscape and Buffering regulations and this approval, shall be replaced within thirty days of their demise and/or removal.
21. If, during construction activities, any evidence of historic resources including, but not limited to, aboriginal or historic pottery, prehistoric stone tools, bone or shell tools, historic trash pits, or historic building foundation, are discovered, work shall come to an immediate stop, and the Florida Department of Historic Resources (State Historic Preservation Officer) and the County shall be notified within two working days of the resources found on the site.
22. If, during construction activities, any evidence of the presence of State and Federally protected plant and/or animal species is discovered, work shall come to an immediate stop, and the County shall be notified within two working days of the plant and/or animal species found on the site.

Development Standards

23. The commercial dimensional standards are in accordance with the appropriate zoning district regulations and uses contained within the LDC for specific parcel.

Building Permit/Certificate of Occupancy

24. Prior to the issuance of the first Building Permit, the development shall be included into a Pasco County Municipal Fire Service Taxing Unit to provide fire protection. In no case shall a Building Permit be issued until such a petition has been received by the Emergency Services Director.
25. Site plans submitted with Building Permit applications are invalid as to final site approval unless stamped approved by the Planning and Development Department. These plans are submitted to show building location in regard to property line, other buildings, etc.,

only. The site must conform to those plans submitted and/or approved by the Planning and Development Department in accordance with the Land Development Code (LDC), Sections 300 and 403.

26. The applicant/developer acknowledge that a Building Permit shall be obtained for all structures that have a footer, regardless of size, through the Central Permitting Division; i.e., including, but not inclusive of, buildings, accessories, dumpster walls, and retaining walls.
27. A Registered Landscape Architect or other person as authorized by Chapter 481, Florida Statutes, as amended or other type of professional as approved by the County Administrator or designee shall conduct a final field inspection. A Certificate of Compliance shall be provided to the County prior to platting, or where platting is not required, prior to issuance of the CO.
28. A copy of the right-of-way conveyance document, including access easements, for feet from the centerline of construction of recorded with the Pasco County Clerk & Comptroller shall be provided to the Planning and Development Department prior to the issuance of the first Certificate of Occupancy (CO)
29. The owner/developer shall arrange for a final site inspection approval by the Engineering Services Department prior to the issuance of the Certificate of Occupancy.

OWNER'S/DEVELOPER'S ACKNOWLEDGMENT:

The owner/developer acknowledges that they have read, understood, and accepted the conditions of approval.

_____ Date

_____ Signature

_____ Print Name

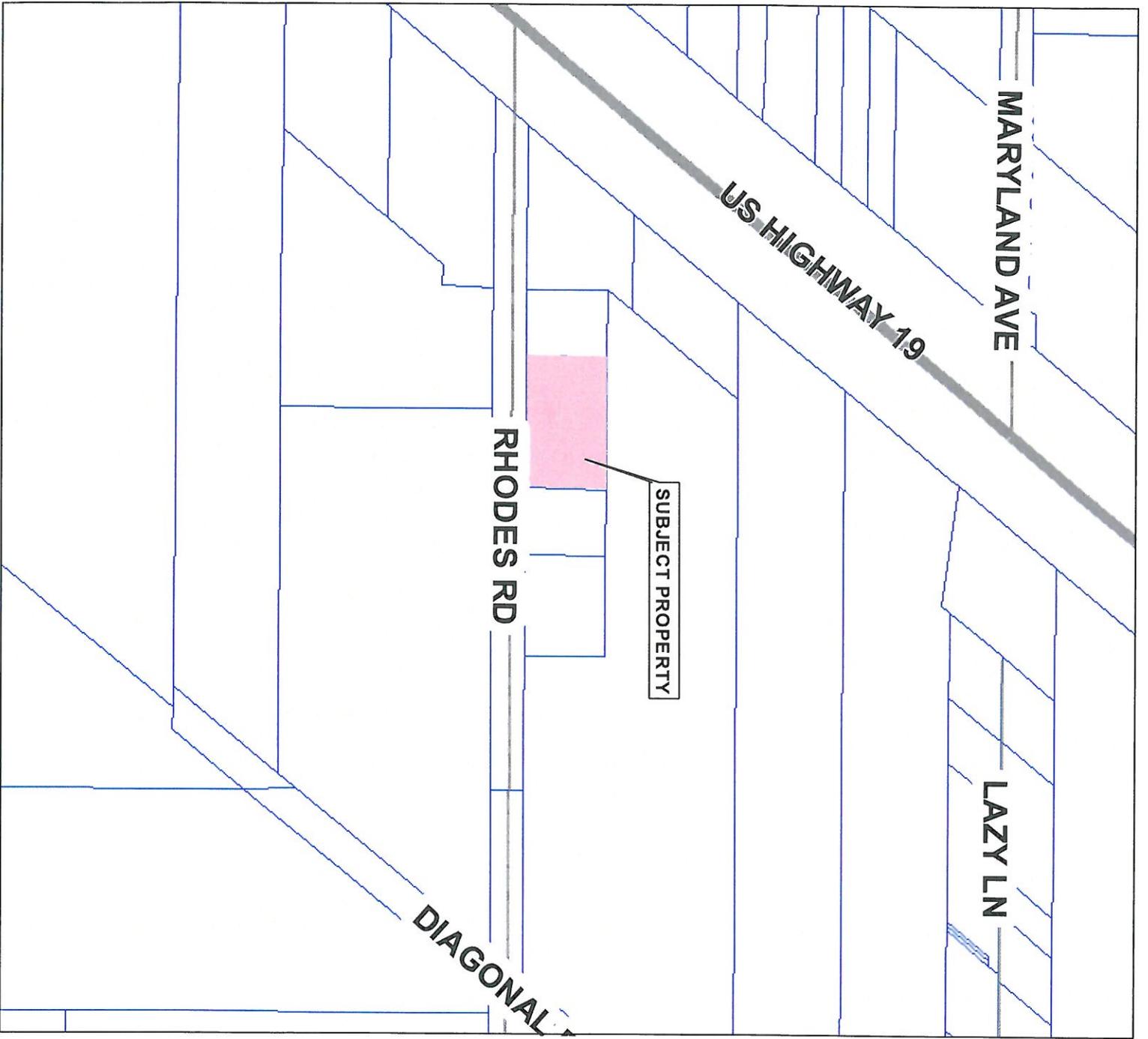
_____ Title

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me the _____
(date), by _____ (name of person
acknowledging), who is personally known to me or who has produced
_____ (type of identification) as identification.

Seal:

_____ NOTARY



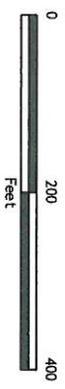
SML15-018
Prayer House

27 24 16 0180 00000 0030

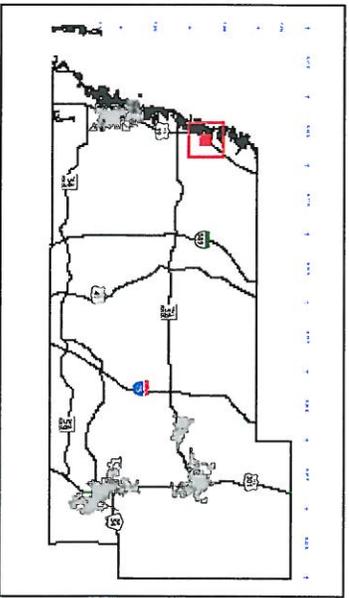
PHYSICAL ADDRESS:
 7839 RHODES RD

TAZ - 12
COMMISSION DISTRICT: 5

 **SUBJECT PROPERTY**



Pasco County GIS | 2/13/2016 | aikhuor@a



ATTACHMENT NO. 4
BACKGROUND AND FINDINGS OF FACT
The Prayer House Ropes Homeless Shelter

BACKGROUND:

On November 9, 2004 the Board of County Commissioners approved a rezoning from R-2 to C-2, Petition No. 6266.

FINDINGS OF FACT:

1. Presently, the subject site is unimproved.
2. The Preliminary Site/Construction Plan and Stormwater Management Plan and Report have been reviewed by the Planning and Development Department, and it has been determined that the proposed use is consistent with the above-referenced zoning district's permitted uses and with the Pasco County applicable provisions of the Comprehensive Plan, as submitted.
3. On May 6, 2015, a building permit application, number 46603, was approved for 2,400 square-feet with a maximum of 12 occupants per the 2010 Florida Building Code and Florida Fire Prevention Code, Fifth Edition. Any increase in occupancy that requires an increase in building square footage shall require additional review by the Planning and Development Department.
4. On December 2, 2014, Southwest Florida Water Management District determined that an Environmental Resource Permit (ERP) will not be required, File Number 704956.
5. The Preliminary Site/Construction Plan and Stormwater Management Plan and Report for the above-subject project were prepared for by The Sustainability Group, LLC and consist of 12 sheets dated April 24, 2015; the sheets were last revised on March 23, 2015. The plans were originally received by the Planning and Development Department on February 3, 2015, and final revisions were received on April 28, 2015.
6. A Timing and Phasing Application was submitted and found to be exempt from the requirement to provide a Timing and Phasing Analysis.
7. Based on the "windshield survey" conducted in February of 2015, the subject section of Rhodes Road was determined to be structurally deficient and in need of resurfacing. The estimated cost to mitigate the observed deficiencies was determined and the fair share cost of this mitigation as calculated for the Prayer House homeless shelter is \$3,098.50 for the first 20 beds which shall be paid prior to Hard Copy Site Development Permit. An additional \$3,098.50, for a total of \$6,197.00, shall be paid prior to the use of the site for an additional 20 beds (for a total of 40 beds)).

The Planning and Development Department's approval of this Preliminary Site/Construction Plan and Stormwater Management Plan and Report constitutes a finding by the Planning and

Development Department that the Preliminary Site/Construction Plan and Stormwater Management Plan and Report, as conditioned, are consistent with those Goals, Objectives, and Policies of the Comprehensive Plan and those provisions of the LDC that are applicable to approvals. This action is based on the office review of the plans, supporting documentation, and certifications of the Engineer of Record.

INITIAL CERTIFICATE OF CAPACITY

REQUIRED FOR PRELIMINARY SITE PLANS, PRELIMINARY DEVELOPMENT PLANS,
NONRESIDENTIAL SUBDIVISION, RESIDENTIAL SUBDIVISION INTO MORE THAN ONE DWELLING UNIT
PER LOT, AND PUBLIC SCHOOL COMPREHENSIVE PLAN CONSISTENCY REVIEW

To Be Completed By Department Responsible for Approval Sought;
Completed Certificate Must Be Attached to the Agenda Item and Approval Document

Complete Application (Date):	2/4/15 5/11/15 Revised/Bev T.	Certificate Completed by:	PJB
Parcel ID No(s):	27-24-16-0180-00000-0030		(attach survey if project includes portion of parcel)
Project Name:	The Prayer House Homeless Shelter		No: SML15-018
Applicant Name, Address, and Telephone Number:	The Prayer House, Inc. c/o Richard J. Marcel, The Sustainability Group, LLC, 6320 Rowan Rd., New Port Richey, FL 34652 (727) 488-1002		
Job Site Address:	US 19 - East side; New Jersey Ave - North side (7839 Rhodes Rd)		
Does the applicant want to opt out of the mobility fee system pursuant to LDC 1302? <input type="checkbox"/> Yes <input type="checkbox"/> No (If Yes, then transportation concurrency will apply and TIS application is required.)			
Project subject to Development of Regional Impact (DRI) Development Order or to a Development Agreement? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Approval Sought (Check All that apply):			
<input type="checkbox"/>	Preliminary Development Plan	<input type="checkbox"/>	Nonresidential Subdivision
<input checked="" type="checkbox"/>	Preliminary Site Plan	<input type="checkbox"/>	Residential Subdivision into more than one dwelling unit
<input type="checkbox"/>		<input type="checkbox"/>	Public School (Comprehensive Plan Consistency Review)

TYPE OF DEVELOPMENT

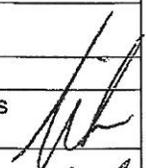
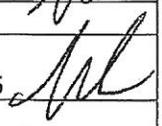
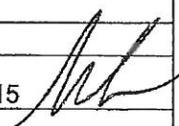
Number of Units	Unit Measure	Description
20	Beds	Homeless Shelter

Expiration (1300 LDC)		
All facilities (other than roads and schools) expire on:	5/14/2021	(6 yrs from issuance)
Roads(Only applies if project subject to transportation concurrency) Certificate of Capacity expires or is subject to additional review on: (click N/A if transportation concurrency does not apply)		or N/A <input checked="" type="checkbox"/>
Schools: Certificate of Capacity expires or is subject to additional review on:		or N/A <input checked="" type="checkbox"/>
Issuance Date:	5/14/15	Bev T. Rudell

Completed Certificate of Capacity which has been issued to be distributed as follows:

- 1) Applicant 2) Shared Directory: 1-LOS, and 3) Project File.

INITIAL CERTIFICATE OF CAPACITY

	Yes	No	Conditional Approval	Review Standards	Reviewed By & Authorized Signature/Date
Roads <input checked="" type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.D and Chapter 7 Transportation Analysis	
Water/Water Supply (Utilities) or <input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.A and Chapter 10 Public Facilities Element	N/A Hudson Water Works Mike Kirkpatrick 5/12/15 
Sewer (Utilities) or <input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.A and Chapter 10 Public Facilities Element	N/A Ni-Florida/PCU Mike Kirkpatrick 5/12/15 
Parks/Recreation(Parks) <input type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.B and Chapter 5 Recreation and Open Space Element	
Solid Waste (Utilities) Or <input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.A and Chapter 10 Public Facilities Element	Mike Kirkpatrick 5/12/15 
School or <input checked="" type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.C & Chapter 8 Public School Facilities Element and School District Concurrency Implementation Procedures Manual	

[Type or Copy and Paste Below]

The Prayer House Homeless Shelter	Parcel# 27-24-16-0180-00000-0030	PCU# 14-103.19
Water:		
<p align="center">Potable water service for this project is provided by Hudson Water Works Service Area. The applicant should be aware that water impact fees are required by Hudson Water Works for any new connections. Contact Hudson Water works directly to provide capacity statements. The telephone number is (727) 868-1382.</p>		
Wastewater:		
<p align="center">Wastewater service for this project is not provided by the Pasco County Utilities Services Branch. The appropriate utility service provider, Ni Florida must be contacted directly to provide capacity statements. The telephone number is (727) 863-0205.</p>		
Solid Waste:		
<p align="center">The provision of solid waste service is contingent upon the County receiving all the necessary permits and approvals necessary to implement and construct the County's planned disposal system improvements and facility expansions needed to serve the development, and the Developer's and its successors or assigns, compliance with the conditions of Pasco County Code Chapter 90 and other applicable regulatory requirements.</p>		

Completed Certificate of Capacity which has been issued to be distributed as follows:

- 1) Applicant 2) Shared Directory: 1-LOS, and 3) Project File.

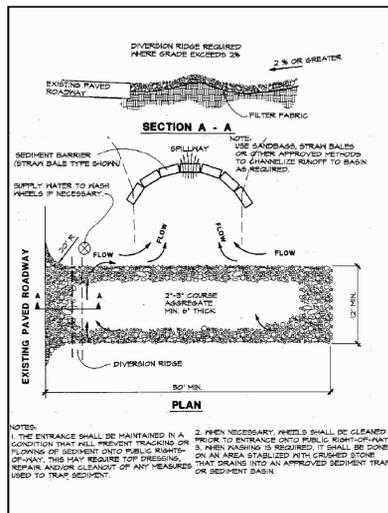


Figure 4.3a. Temporary Gravel Construction Entrance
Source: Erosion Draw

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GEOTECHNICAL NOTES:

- SHOULD ANY NOTICEABLE SOIL SLUMPING OR SINKHOLE FORMATION BECOME EVIDENT, THE APPLICANT/DEVELOPER SHALL IMMEDIATELY NOTIFY THE COUNTY, TAMPA BAY WATER (TBW), AND SWFWMD, AND ADOPT ONE OR MORE OF THE FOLLOWING PROCEDURES AS DETERMINED TO BE APPROPRIATE BY THE COUNTY AND SWFWMD.
 - IF THE SLUMPING OR SINKHOLE FORMATION BECOMES EVIDENT BEFORE OR DURING CONSTRUCTION ACTIVITIES, STOP ALL WORK (EXCEPT FOR MITIGATION ACTIVITIES) IN THE AFFECTED AREA AND REMAIN STOPPED UNTIL THE COUNTY AND SWFWMD APPROVE RESUMING CONSTRUCTION ACTIVITIES.
 - TAKE IMMEDIATE MEASURES TO ENSURE NO SURFACE WATER DRAINS INTO THE AFFECTED AREAS.
 - VISUALLY INSPECT THE AFFECTED AREA.
 - EXCAVATE AND BACKFILL OR GROUT AS REQUIRED TO FILL THE AFFECTED AREA AND PREVENT FURTHER SUBSIDENCE.
 - USE SOIL REINFORCEMENT MATERIALS IN THE BACKFILLING OPERATION, WHEN APPROPRIATE.
 - IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA, MAINTAIN A MINIMUM DISTANCE OF TWO FEET FROM THE BOTTOM OF THE RETENTION POND TO THE SURFACE OF THE LIME-ROCK OR KARST CONNECTION.
 - IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA AND THE ABOVE METHODS DO NOT STABILIZE THE COLLAPSE, RELOCATE THE RETENTION AREA.
- DISCHARGE OF STORM-WATER INTO DEPRESSIONS WITH DIRECT OR DEMONSTRATED HYDROLOGIC CONNECTION TO THE FLORIDAN AQUIFER SHALL BE PROHIBITED.

FUTIGITE DUST, EXOTIC, INVASIVE SPECIES REMOVAL NOTES:

- THE PLANTING OF SPECIES LISTED IN RULE 5B 57.007, FLORIDA ADMINISTRATIVE CODE, AS AMENDED, OR CLASSIFIED AS INVASIVE BY THE FLORIDA EXOTIC PEST PLANT COUNCIL, IS PROHIBITED. INVASIVE SPECIES LOCATED WITHIN THE AREA OF THE PROJECT PROPOSED TO BE DEVELOPED ARE REQUIRED TO BE REMOVED.
- ALL EXOTIC SPECIES, I.E., BRAZILIAN PEPPER (SCHINUS TEREBINTHIFOLIUS), PINK TREES (MELALEUCA QUINQUEMARTA), AND CHINESE YALLOW (SAPLUM SEBIFERUM) MUST BE REMOVED AS A CONDITION OF SITE DEVELOPMENT. WHERE NECESSARY DUE TO THEIR PROXIMITY OF EXISTING PROTECTED PLANT MATERIAL, HAND REMOVAL WILL BE REQUIRED. SHOULD THIS REMOVAL BE TO A DEGREE THAT A POTENTIAL FOR EROSION IS CREATED, THE AREA MUST BE RESTABILIZED WITH SUITABLE MATERIAL.
- FUGITIVE DUST CONTROL: IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION, OR OTHER ACCEPTABLE METHODS.

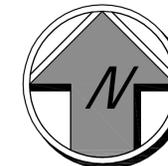
"INVESTIGATE BEFORE YOU EXCAVATE"



CONTRACTOR SHALL CALL SUNSHINE @ 1-800-432-4770 FOR RIGHT-OF-WAY & ON-SITE UTILITY LOCATIONS. FL. STATUTE 553.851 (1979) REQUIRES A MIN. OF 2 DAYS AND MAX. OF 5 DAYS NOTICE BEFORE YOU EXCAVATE.

LEGEND

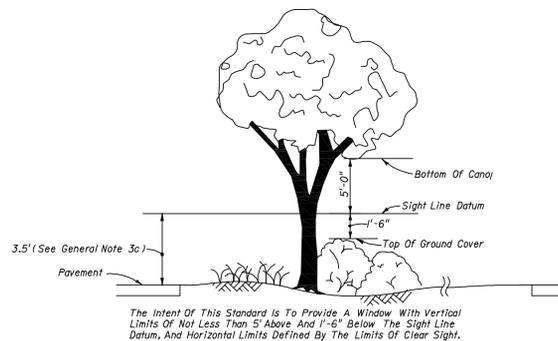
- PROPERTY LINE
- TEMPORARY SILT FENCE
- EXISTING PAVEMENT SECTION, CURB, ETC. TO BE REMOVED
- UTILITIES TO BE REMOVED



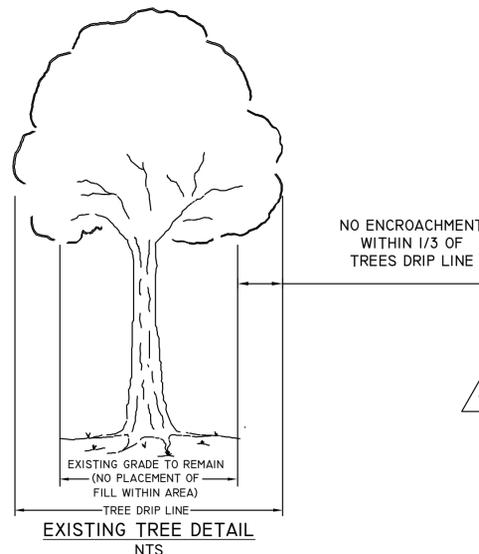
SCALE: 1" = 20' GRAPHIC SCALE

DEMOLITION NOTES:

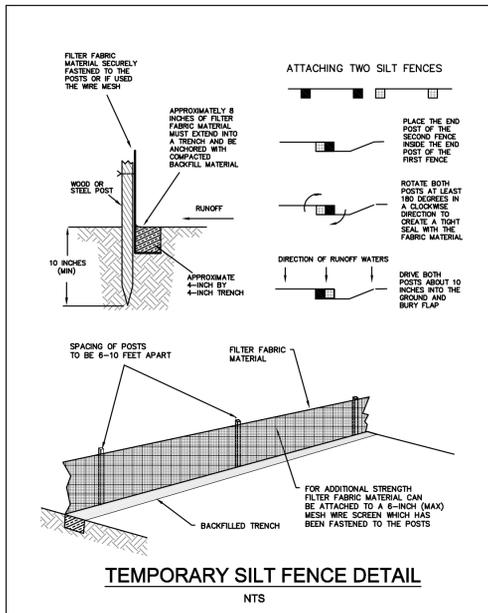
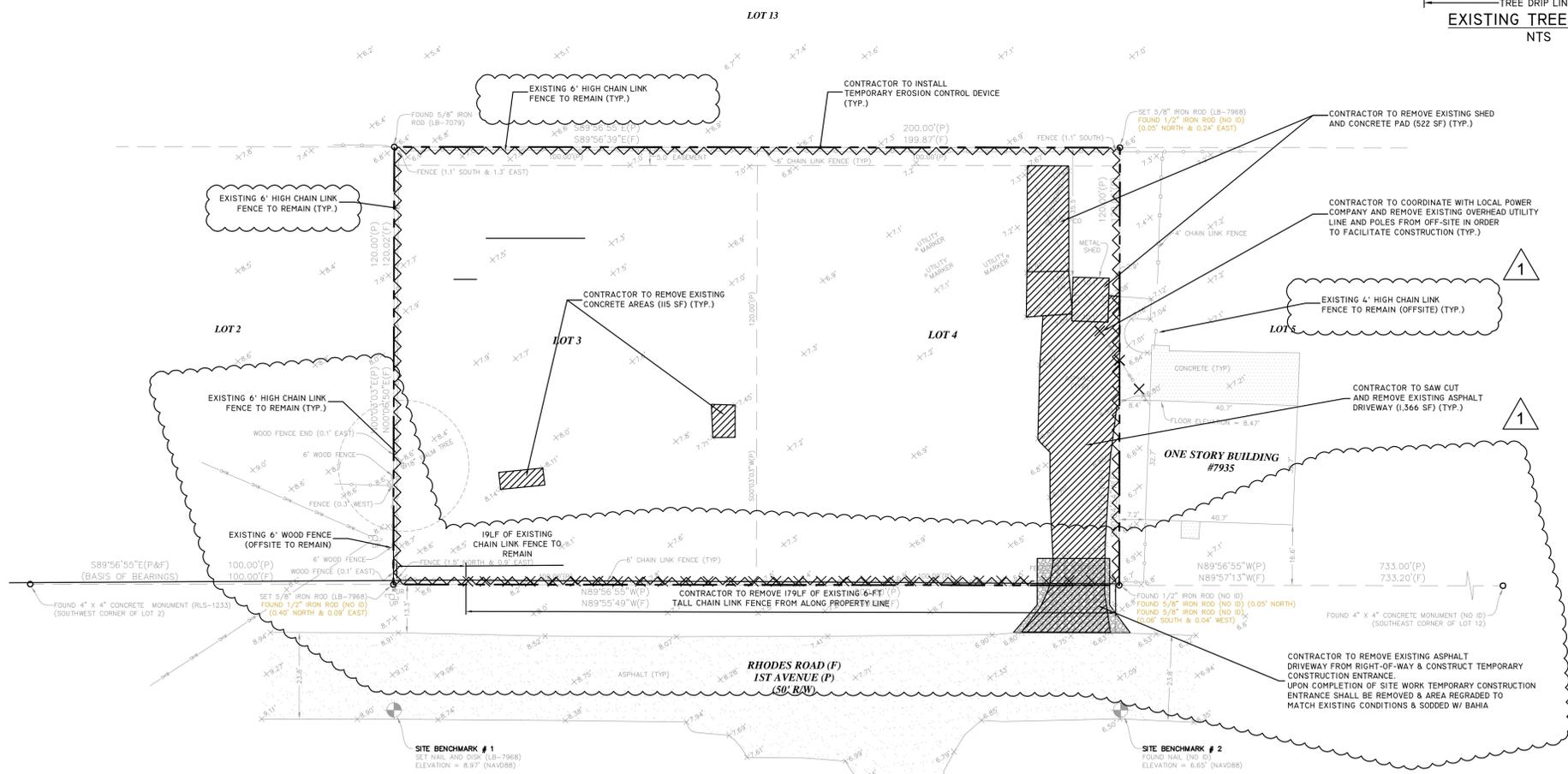
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ENVIRONMENTAL TESTING REQUIRED PRIOR TO DEMOLITION.
- CONTRACTOR SHALL LOCATE, REMOVE AND/OR RELOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO STARTING WORK.
- INSTALL SILT FENCE PER MANUFACTURER'S SPECIFICATIONS. SILT FENCE SHALL HAVE A BACKFILLED TRENCH.
- CONTRACTOR TO INSTALL TREE BARRICADES PRIOR TO ISSUANCE OF BUILDING PERMIT.
- ALL CAVITY AND EXCAVATION RESULTING FROM REMOVAL OF TREES, SHRUBS, SHRUBS, PIPES, INLETS, GREASE TRAPS, ETC. SHALL BE FILLED WITH APPROVED SUITABLE MATERIAL AND COMPACTED IN 12-INCH LIFTS TO 95% OF MAXIMUM DENSITY.
- REQUIRED PLANTINGS SHALL BE REPLACED WITHIN 30 DAYS OF DEMISE AND/OR REMOVAL.
- OFF-SITE DISPOSAL OF STRUCTURES, UTILITIES, CONCRETE, AND CONSTRUCTION DEBRIS SHALL OCCUR IN SOLID WASTE DISPOSAL FACILITIES APPROVED BY FDEP AND PASCO COUNTY.
- CONTRACTOR SHALL PREPARE SITE IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS.
- PRIOR TO THE START OF THE CLEARING AND GRUBBING, OR ANY SOIL DISTURBANCE CONTACT PASCO COUNTY STORMWATER MANAGEMENT AT (727)834-3611 FOR A SOIL EROSION AND SEDIMENT CONTROL PRE-INSPECTION MEETING.



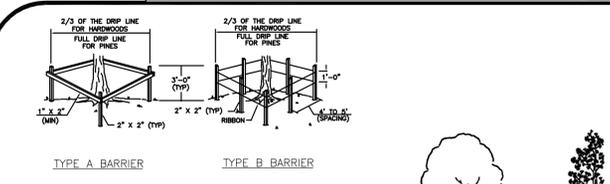
CLEAR WINDOW DETAIL PER FDOT INDEX #546



EXISTING TREE DETAIL NTS



TEMPORARY SILT FENCE DETAIL NTS



TREE PROTECTION

- NO TREE SHALL BE REMOVED UNLESS SPECIFICALLY FLAGGED FOR REMOVAL BY THE ENGINEER.
- THE CONTRACTOR SHALL TAKE SPECIAL CARE NOT TO DAMAGE TREES THAT ARE TO REMAIN.
- ROOTS GREATER THAN 1" DIAMETER SHALL NOT BE CUT UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- TREE ROOTS OF 1" DIAMETER OR LARGER THAT NEED TO BE CUT SHALL BE CUT NEATLY.
- STOCKPILED MATERIALS OR UNNECESSARY VEHICULAR TRAFFIC SHALL NOT BE ALLOWED OVER ANY TREE ROOTS SYSTEM.
- TYPE-A BARRIERS OR TYPE-B BARRIERS SHALL BE CONSIDERED WHEN CALLED FOR ON PLANS OR DIRECTED BY THE ENGINEER. BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL REMOVAL OF ALL TREE BARRICADES SHALL BE INCLUDED IN PAY ITEM 120-1100 (GRADING).

PROJECT MANAGEMENT, PLANNING, SUSTAINABLE, CIVIL AND LANDSCAPE DESIGN

The SG Sustainability Group, LLC

6320 ROWAN ROAD, NEW PORT RICHEY, FL 34656
PHONE: (727) 468-1002 WWW.SGROUPLLC.COM
RICHARD@SGROUPLLC.COM

THE DESIGN AND IDEAS INCORPORATED AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS THE PROPERTY OF THE SUSTAINABILITY GROUP, LLC. IT CAN NOT BE USED OR COPIED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE SUSTAINABILITY GROUP, LLC. DIMENSIONS SHOULD NOT BE OBTAINED BY USING SCANNING OF THIS DRAWING. DIMENSIONS CAN BE OBTAINED BY CONTACTING THE SUSTAINABILITY GROUP, LLC DIRECTLY. © 2015

CERTIFICATE OF AUTHORIZATION #29400

FOUR SEASONS DESIGN & REMODELING CENTER
11765 MINNIEOLA DR.
NEW PORT RICHEY, FL 34654

THE PRAYER HOUSE HOMELESS SHELTER
PROJECT LOCATION:
7839 RHODES ROAD
HUDSON, FL 34667

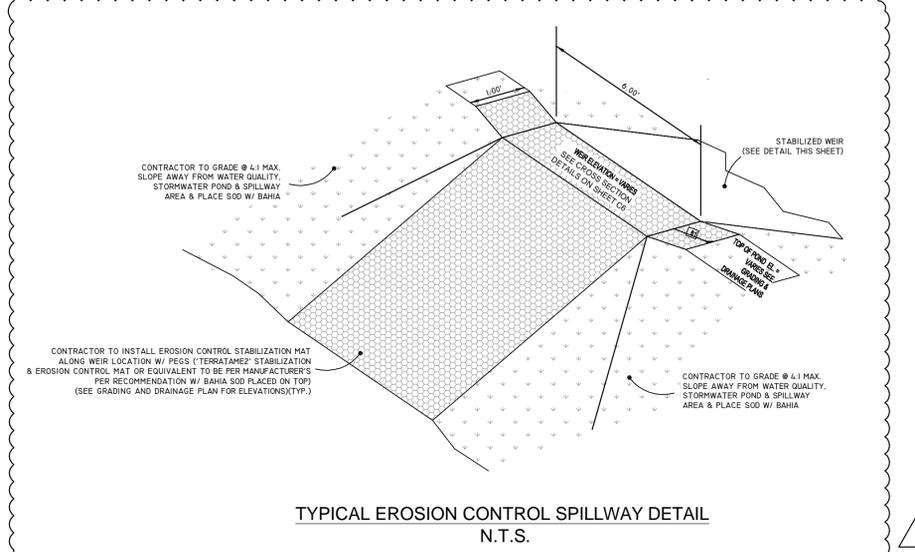
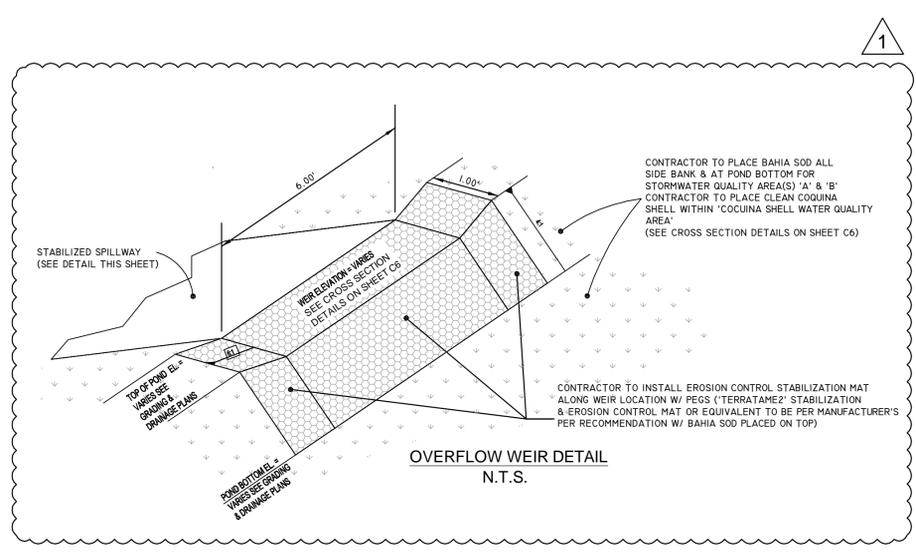
DEMOLITION & EROSION CONTROL PLAN

NO.	DATE	DESCRIPTION	REV.	PER COUNTY, HUDSON WATER & W/FLORIDA COMMENTS	RM/BJ
1	03.23.15				

PROJECT NAME: PRAYER HOUSE
ORIGINAL DATE: 01.30.15
CHECKED BY: RM
DESIGNED BY: RM

SHEET NO. C3 of C12

JASON D. BOYD
REGISTERED PROFESSIONAL ENGINEER
NO. 68878
FLORIDA
APRIL 24, 2015
NOT VALID WITHOUT ELECTRONIC SEAL
SUSTAINABILITY GROUP, LLC

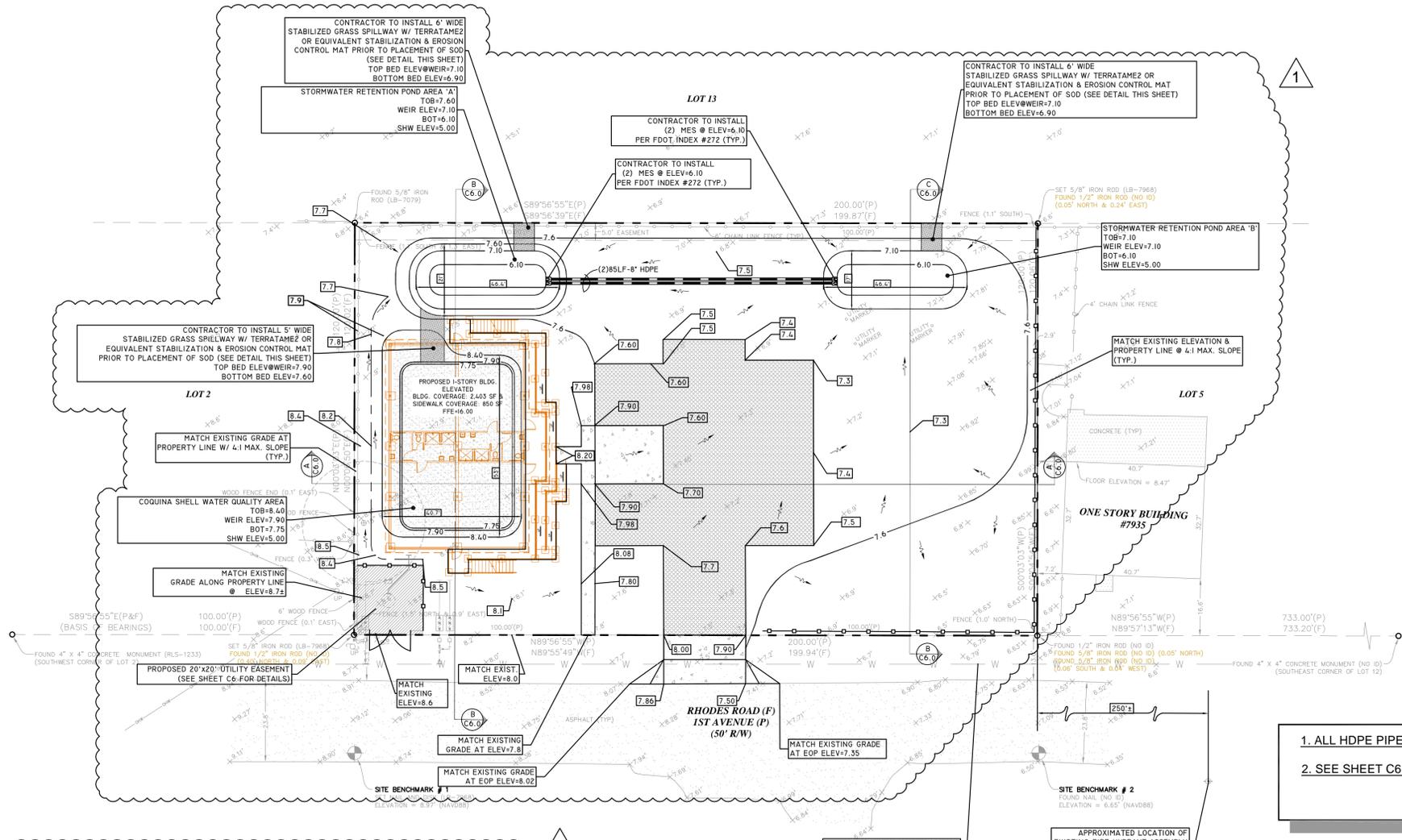


LEGEND

- PROPERTY LINE
- EXISTING 6" HIGH FENCE TO BE SCREENED
- PROPOSED TOPOGRAPHIC CONTOUR
- EXISTING TREE TO BE PRESERVED
- PROPOSED GRADE ELEVATION
- DIRECTIONAL FLOW ARROWS
- FFE FINISH FLOOR ELEVATION
- EXISTING EASEMENT

SCALE: 1" = 20'
GRAPHIC SCALE

- GRADING & DRAINAGE NOTES:**
- SEE GENERAL NOTES SHEET, & TREE PRESERVATION PLAN FOR EROSION AND SILTATION CONTROL ALONG WITH GENERAL NOTES.
 - SEE SITE PLAN/HORIZONTAL CONTROL SHEET FOR SITE DATA.
 - SEE BOUNDARY & TOPOGRAPHIC SURVEY FOR TEMPORARY BENCH MARK (TBM) LOCATIONS.
 - THE CONTRACTOR SHALL MEET ALL APPLICABLE REQUIREMENTS OUTLINED IN THE LATEST EDITION OF THE ACCESSIBILITY REQUIREMENTS MANUAL PREPARED BY THE FLORIDA BOARD OF BUILDING CODES & STANDARDS, FEDERAL ADA STANDARDS, PASCO COUNTY LAND DEVELOPMENT CODE STANDARDS, ALL LATEST EDITIONS.
 - THIS PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE(S):
AE (ELEV-12) - PER FEMA FLOOD PANEL MAP #12101C0181F - 9/26/2014
 - ALL DISTURBED AREAS WITH IN ROW OR PRIVATE PROPERTY SHALL BE SODDED AND RESTORED TO ORIGINAL OR BETTER CONDITION.
 - THE SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL THE SITE IS PERMANENTLY STABILIZED.
 - PRIOR TO CONSTRUCTION, A BUILDING PERMIT SHALL BE OBTAINED FOR ALL STRUCTURES THAT HAVE A FOOTER, REGARDLESS OF SIZE, THROUGH PASCO COUNTY CENTRAL PERMITTING. (I.E. INCLUDING BUT NOT INCLUSIVE BUILDINGS, ACCESSORIES, AND RETAINING WALLS).
 - ALL SODDED SLOPES OVER 4:1, SHALL HAVE SOD PEGS INSTALLED.
 - ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF.
 - IT IS THE OWNERS RESPONSIBILITY TO INSPECT, REPLACE & MAINTAIN VEGETATION OF GRASS PARKING STALL SYSTEM ON A REGULAR BASIS TO PREVENT EROSION AND FUGITIVE DUST AS REQUIRED BY PASCO COUNTY LAND DEVELOPMENT CODE, LATEST EDITION.
 - TYPICAL NOTE FFE NOTE: ALL FIRST FLOOR ELEVATIONS SHALL BE A MINIMUM OF 1 FT. ABOVE THE BASE FLOOD ELEVATION OR AS REQUIRED BY LCD SECTION 701. SEE STRUCTURAL AND ARCHITECTURAL PLANS FOR BUILDING DESIGN, FINAL FFE, AND DETAILS (TYP.).
 - ANY OFF SITE DISTURBANCE SHALL BE RESTORED TO THE PRE OR BETTER CONDITION (SEE GENERAL NOTES SHEET FOR MORE DETAILS).
 - SLOPES OVER 3:1 REQUIRE HAVING RETENTION MATS, RETAINING WALLS OR AN APPROVED EQUAL.
 - CONTRACTOR SHALL INSTALL SEDIMENT SCREEN TRAPS WITHIN ALL COUNTY OWNED INLETS WITHIN THE RIGHT-OF-WAY DIRECTLY ADJACENT TO THE SUBJECT PROPERTY.
 - OWNER SHALL PERFORM REQUIRED MAINTENANCE, INSPECTION AND CLEANING PROCEDURES ON REGULAR BASIS FOR ALL STORMWATER AND/OR WATER QUALITY AREAS.
 - ALL ROOF DRAINS SHALL BE DIRECTED TOWARDS WATER QUALITY AREA UNDERNEATH THE PROPOSED ELEVATED STRUCTURE.
- GEOTECHNICAL / GEOLOGICAL ENGINEERING NOTES**
- CONTRACTOR SHALL PREPARE THE SITE IN ACCORDANCE WITH GEOTECHNICAL REPORT ISSUED BY PSI.
 - CONTRACTOR SHALL IMPLEMENT DESIGN CRITERIA IN ACCORDANCE WITH GEOTECHNICAL REPORT ISSUED BY PSI.
 - SHOULD ANY NOTICEABLE SOIL SLUMPING OR SINKHOLE FORMATION BECOME EVIDENT, THE APPLICANT/DEVELOPER SHALL IMMEDIATELY NOTIFY THE COUNTY, TBW, (TAMPA BAY WATER) AND SWFWMD, AND ADOPT ONE OR MORE OF THE FOLLOWING PROCEDURES AS DETERMINED TO BE APPROPRIATE BY THE COUNTY AND SWFWMD:
 - IF THE SLUMPING OR SINKHOLE FORMATION BECOMES EVIDENT BEFORE OR DURING CONSTRUCTION ACTIVITIES, STOP ALL WORK (EXCEPT FOR MITIGATION ACTIVITIES) IN THE AFFECTED AREA AND REMAIN STOPPED UNTIL THE COUNTY AND SWFWMD APPROVE RESUMING CONSTRUCTION ACTIVITIES.
 - TAKE IMMEDIATE MEASURES TO ENSURE NO SURFACE WATER DRAINS INTO THE AFFECTED AREAS.
 - VISUALLY INSPECT THE AFFECTED AREA.
 - EXCAVATE AND BACKFILL OR GROUT AS REQUIRED TO FILL THE AFFECTED AREA AND PREVENT FURTHER SUBSIDENCE.
 - USE SOIL REINFORCEMENT MATERIALS IN THE BACKFILLING OPERATION, WHEN APPROPRIATE.
 - IF THE AFFECTED AREA IS IN THE VICINITY OF WATER-RETENTION AREA, MAINTAIN A MINIMUM DISTANCE OF TWO FEET FROM THE BOTTOM OF THE RETENTION POND TO THE SURFACE OF THE LIMEROCK OR KARST CONNECTION.
 - IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA AND THE ABOVE METHODS DO NOT STABILIZE THE COLLAPSE, RELOCATE THE RETENTION AREA.
 - DISCHARGE OF STORM-WATER INTO DEPRESSIONS WITH DIRECT OR DEMONSTRATED HYDROLOGIC CONNECTION TO THE FLORIDA AQUIFER SHALL BE PROHIBITED. UPON COMPLETION OF THE LAND DEVELOPMENT CONSTRUCTION, A PROFESSIONAL ENGINEER SHALL PROVIDE CERTIFICATION TO PASCO COUNTY THAT THE PROJECT, INCLUDING THE BUILDING PAD AREA, COMPLIES WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL/GEOLOGICAL ENGINEERING REPORT.



- CONTRACTOR TO GRADE ALL SIDEWALKS & PEDESTRIAN PATHWAYS WITH A 5.0% MAXIMUM LONGITUDINAL SLOPE & 2.0% MAXIMUM CROSS SLOPE PER FDOT DESIGN STANDARDS (LATEST EDITION).
- CONTRACTOR TO MAINTAIN 2.0% CROSS SLOPE WITHIN ALL DIRECTIONS OF ACCESSIBLE STALL & 5' WIDE STAGING AREA.

FUGITIVE DUST CONTROL:
FUGITIVE DUST CONTROL: IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION, OR OTHER ACCEPTABLE METHODS.

- ALL HDPE PIPE SHALL HAVE A 'SMOOTH' WALL INTERIOR
- SEE SHEET C6 FOR CROSS SECTIONS

CONTRACTOR SHALL EXCAVATE AND FIELD VERIFY EXISTING SANITARY SEWER AND STORMWATER CONNECTIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND PREPARATION OF REQUIRED SHOP DRAWINGS.

IF ANY DISCREPANCIES OCCUR CONTACT THE SUSTAINABILITY GROUP OFFICE OF THE ENGINEER IMMEDIATELY.

"INVESTIGATE BEFORE YOU EXCAVATE"

CONTRACTOR SHALL CALL SUNSHINE @ 1-800-432-4770 FOR RIGHT-OF-WAY & ON-SITE UTILITY LOCATIONS.
FL. STATUTE 553.851 (1979), REQUIRES A MIN. OF 2 DAYS AND MAX. OF 5 DAYS NOTICE BEFORE YOU EXCAVATE.

PROJECT MANAGEMENT, PLANNING, SUSTAINABLE, CIVIL AND LANDSCAPE DESIGN

The SG Sustainability Group, LLC
6520 ROMAN ROAD, NEW PORT RICHEY, FL 34656
PHONE: (727) 468-1002 WWW.SGROUPLLC.COM
RICHARD@SGROUPLLC.COM

THE DESIGN AND IDEAS INCORPORATED AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS THE PROPERTY OF THE SUSTAINABILITY GROUP, LLC. IT CAN NOT BE USED OR COPIED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE SUSTAINABILITY GROUP, LLC. DIMENSIONS SHOULD NOT BE OBTAINED BY USING SCANNING OF THE DRAWING. DIMENSIONS CAN BE OBTAINED BY CONTACTING THE SUSTAINABILITY GROUP, LLC. DIRECTLY @ 2013. CERTIFICATE OF AUTHORIZATION #29400

FOUR SEASONS DESIGN & REMODELING CENTER
11765 MINNIEOLA DR.
NEW PORT RICHEY, FL 34654

THE PRAYER HOUSE HOMELESS SHELTER
PROJECT LOCATION: 7839 RHODES ROAD HUDSON, FL 34667
PROJECT NAME: GRADING AND DRAINAGE PLAN

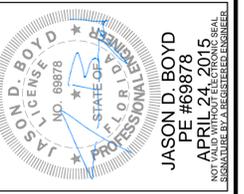
NO.	DATE	DESCRIPTION	BY:	RM/BJ
1	03/23/15	REV. PER COUNTY, HUDSON WATER & FLORIDA COMMENTS		

JASON D. BOYD
PE #69878
APRIL 24, 2015
NOT VALID WITHOUT ELECTRONIC SEAL AND SIGNATURE OF REGISTERED ENGINEER

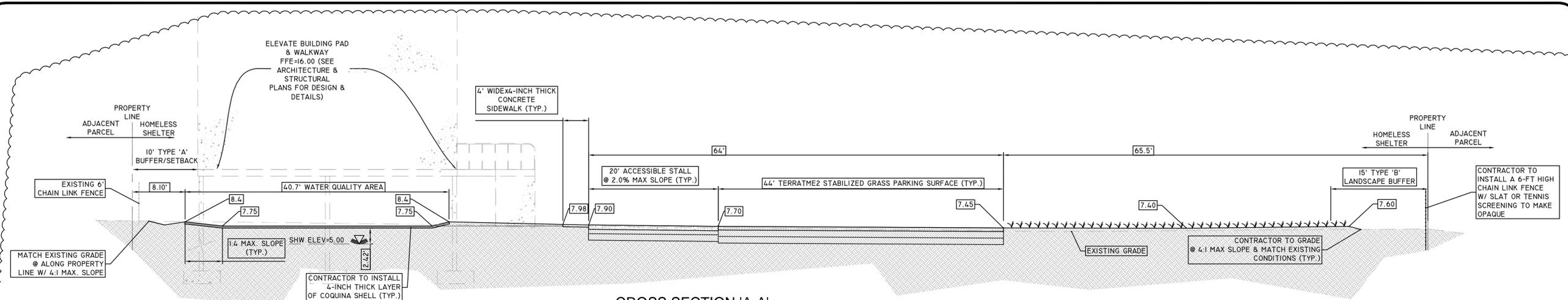
PROJECT #: PRAYER HOUSE
ORIGINAL DATE: 01/30/15
CHECKED BY: RM
DESIGNED BY: RM

SHEET NO. **C5** of C12

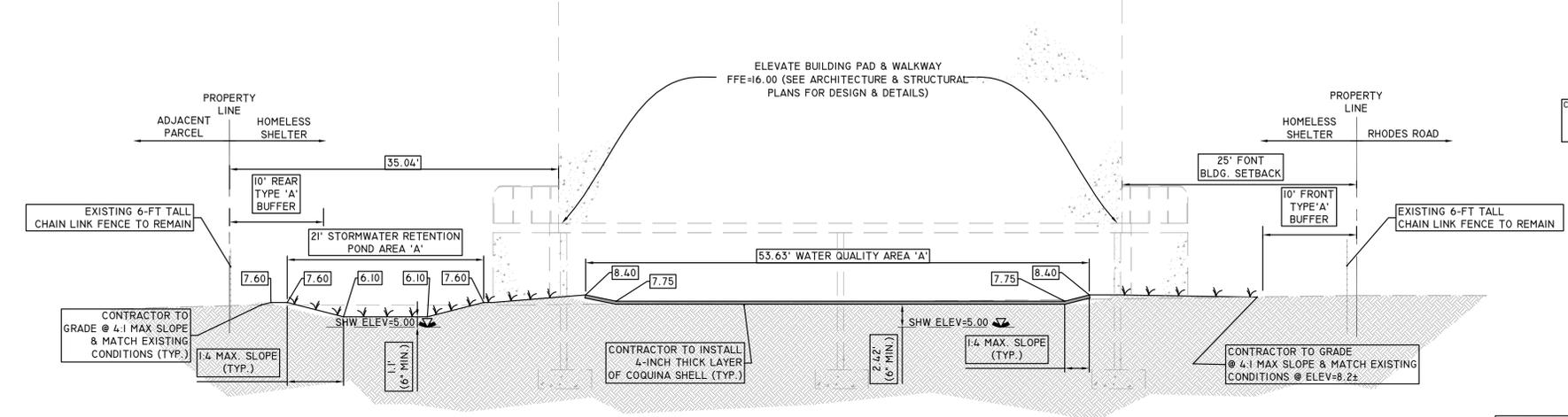
NO.	DATE	DESCRIPTION	BY:
1	03.23.15	REV. PER COUNTY, HUDSON WATER & UTILITIES COMMENTS	RM/BJ
R E V I S I O N S			



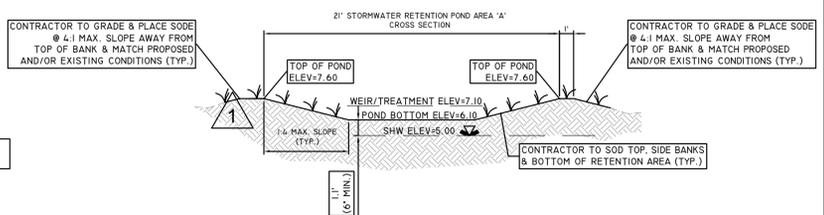
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ORIGINAL DATE:	01.30.15
CHECKED BY:	RM
DESIGNED BY:	RM
SHEET NO.	C6 of C12



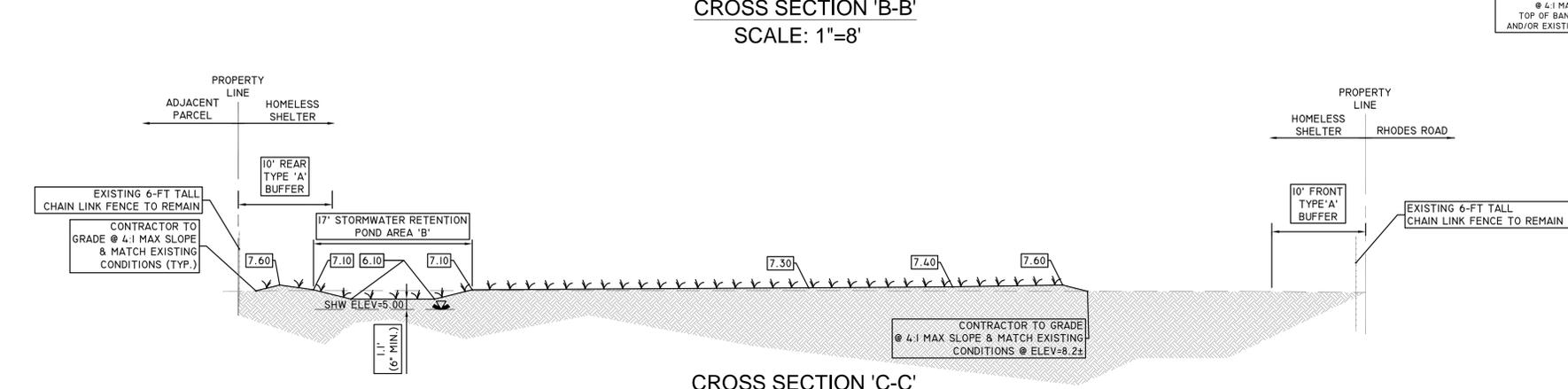
CROSS SECTION 'A-A'
 SCALE: 1"=8'



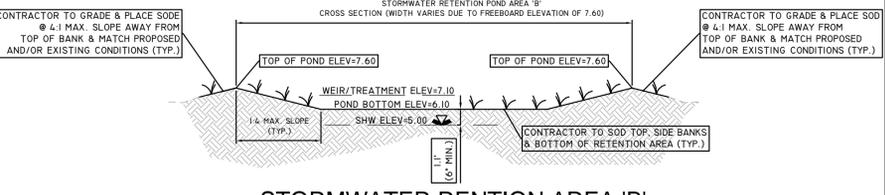
CROSS SECTION 'B-B'
 SCALE: 1"=8'



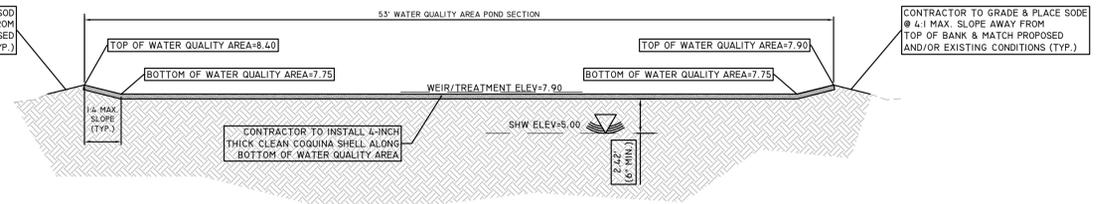
STORMWATER RENTION AREA 'A' TYPICAL CROSS SECTION
 SCALE: 1"=6'



CROSS SECTION 'C-C'
 SCALE: 1"=8'



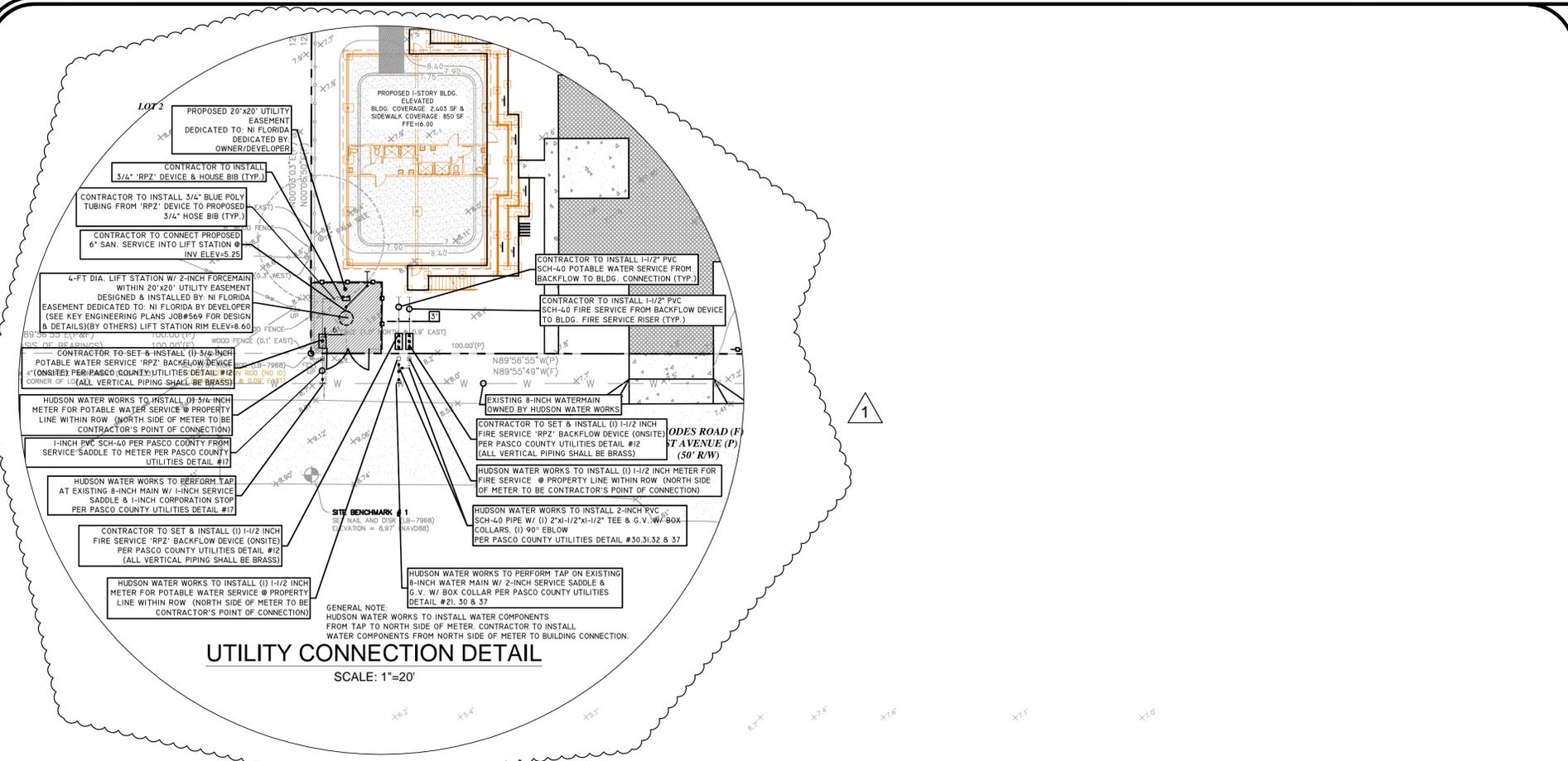
STORMWATER RENTION AREA 'B' TYPICAL CROSS SECTION
 SCALE: 1"=6'



COQUINA SHELL WATER QUALITY AREA TYPICAL CROSS SECTION
 SCALE: 1"=6'

"INVESTIGATE BEFORE YOU EXCAVATE"

CONTRACTOR SHALL CALL SUNSHINE @ 1-800-432-4770 FOR RIGHT-OF-WAY & ON-SITE UTILITY LOCATIONS
 FL. STATUTE 553.851 (1979), REQUIRES A MIN. OF 2 DAYS AND MAX. OF 5 DAYS' NOTICE BEFORE YOU EXCAVATE.



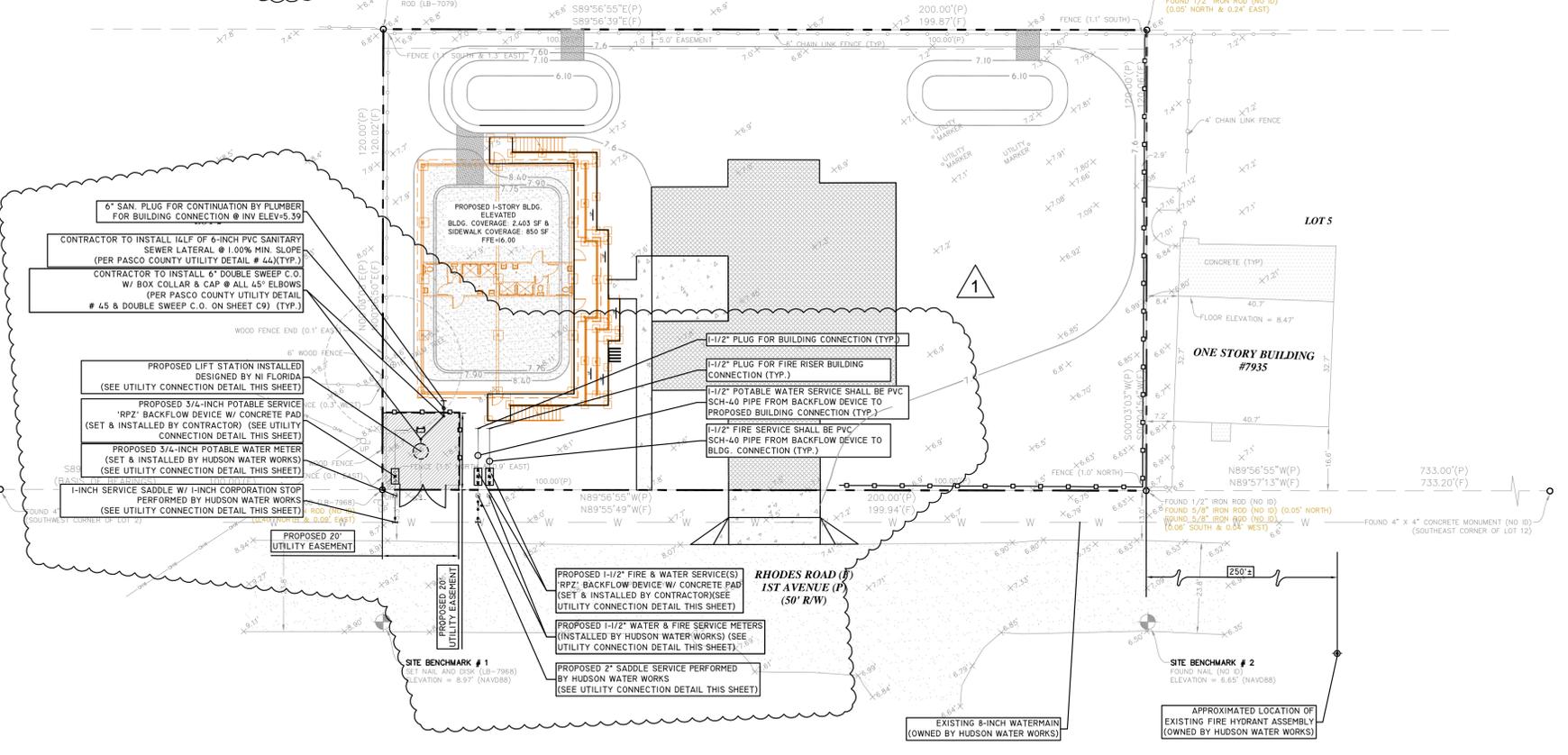
UTILITY CONNECTION DETAIL
SCALE: 1"=20'

LEGEND

- PROPERTY LINE
- - - - - PROPOSED 6' HIGH OPAQUE FENCE
- W WATER MAIN
- SAN SANITARY SEWER LINE
- - - - - EXISTING EASEMENT

SCALE: 1"= 20'
GRAPHIC SCALE

- UTILITY NOTES**
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES.
 - UTILITIES HAVE BEEN OBTAINED FROM NI FLORIDA AND HUDSON WATER WORKS.
 - POTABLE WATER SERVICE WILL BE PROVIDED BY: HUDSON WATER WORKS
 - SEWER SERVICE SERVICE WILL BE PROVIDED BY: NI FLORIDA
 - FIRE SERVICE WILL BE PROVIDED BY: HUDSON WATER WORKS
 - ELECTRICAL POWER SHALL BE SUPPLIED BY WITHLACOCOCHEE RIVER ELECTRIC
 - SEE SITE BOUNDARY AND TOPOGRAPHIC SURVEY FOR LOCATION OF OTHER EXISTING UTILITIES.
 - SEE GENERAL NOTES SHEET FOR ADDITIONAL UTILITY NOTES.
 - INFORMATION DEPICTED REGARDING EXISTING UTILITIES IS APPROXIMATE AND IS NOT FIELD VERIFIED. PRIOR TO COMMENCEMENT OF CONSTRUCTION, CONTRACTOR WILL FIELD LOCATE & VERIFY EXISTING UTILITIES e.g. TYPE OF UTILITY, INVERT, CONDUIT MATERIAL ETC. AND CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES AND/OR CONFLICTS.
 - UNDERGROUND WATERMANS AND HYDRANTS SHALL BE INSTALLED, AND COMPLETED AND IN SERVICE PRIOR TO CONSTRUCTION AS PER NFPA 241.
 - THE OWNER/DEVELOPER ACKNOWLEDGES THAT THIS APPROVAL DOES NOT INCLUDE ANY WORK IN THE COUNTY RIGHT-OF-WAY. ALL RIGHT-OF-WAY WORK SHALL BE A FUNCTION OF AN APPROVED PASCO RIGHT-OF-WAY USE PERMIT.
 - PER NFPA-1, 16.4.3.1.3: WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
 - PER THE FLORIDA PLUMBING CODE SANITARY LATERALS SHALL HAVE CLEANOUTS (C.O.) PLACED EVERY 100 LF FOR THE LENGTH OF THE PIPE UNTIL INTERCEPTED BY SANITARY MANHOLE (M.H.).
 - A SEPARATE PLAN AND PERMIT: ISSUED TO A CONTRACTOR LICENSED BY THE FLORIDA STATE FIRE MARSHALS OFFICE, IS REQUIRED FOR THE INSTALLATION OF UNDERGROUND FIRE LINES.
 - ALL SEWER UTILITIES AND PIPING WITHIN THE PROJECT SITE SHALL BE PRIVATELY OWNED AND MAINTAINED.
 - OWNER SHALL DEDICATE PROPOSED 20'X20' UTILITY EASEMENT TO NI FLORIDA.
 - ALL BACKFLOW DEVICES SHALL BE INSTALLED WITH A RPZ IN ACCORDANCE WITH PASCO COUNTY UTILITY DEPARTMENT SPECIFICATIONS.
 - ALL UTILITIES SHALL HAVE (2) #10 SOLID COPPER TRACER WIRES INSTALLED WITH THE UTILITY AND COLOR CODED TO THE TYPE OF UTILITY. THE TRACER WIRES SHALL TERMINATE INSIDE VALVE BOXES OR TEST STATIONS. THE DISTANCE BETWEEN TEST STATIONS OR VALVES SHALL NOT EXCEED 500 LF.
 - FIRE HYDRANT GENERAL NOTE: HYDRANT SHALL BE FLOW-TESTED AND COLOR-CODED BASED ON FLOW RESULTS.
 - ALL UTILITY SYSTEM-DESIGN MATERIALS AND WORKMANSHIP SHALL COMPLY WITH STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER, AND RECLAIMED WATER FACILITIES SPECIFICATIONS, LATEST EDITION.
 - CONNECTION INTO AN EXISTING HUDSON WATER WORKS SYSTEM SHALL PERFORMED BY HUDSON WATER WORKS.
 - TAPS SHALL BE PERFORMED EXCLUSIVELY BY HUDSON WATER WORKS AT THE DEVELOPER'S EXPENSE.
 - HUDSON WATER WORKS SHALL INSTALL WATER SYSTEM COMPONENTS FROM THE MAIN TAP TO THE NORTH SIDE OF THE PROPOSED WATER METERS.
 - ALL RPZ DEVICES SHALL ADHERE TO PASCO COUNTY UTILITY DETAIL #12
 - ALL POTABLE WATER AND FIRE SERVICE LINES SHALL BE METERED.
 - 1-1/2" METERS TO BE INSTALLED ABOVE GRADE BY HUDSON WATER WORKS & 3/4" METER SHALL BE INSTALLED BELOW GRADE BY HUDSON WATER WORKS.
 - VERTICAL PIPING ASSOCIATED WITH RPZ BACKFLOW DEVICES(S) SHALL BE BRASS.
 - CONCRETE PADS SHALL BE INSTALLED AROUND ALL BACKFLOW DEVICES PER PASCO COUNTY UTILITY DETAIL #12
 - UTILITY SPECIFICATIONS SHALL ADHERE TO PASCO COUNTY UTILITY STANDARDS FOR DESIGN & CONSTRUCTION 2006 EDITION OR LATEST.
 - SEE SHEET C9 FOR UTILITY SPECIFICATION DETAILS BY PASCO COUNTY UTILITIES DEPARTMENT.
 - ALL TRENCHING SHALL ADHERE TO PASCO COUNTY UTILITIES DETAIL #35 & 36
 - PIPE RESTRAINTS SHALL ADHERE TO PASCO COUNTY UTILITIES DETAIL #31 & 32.
 - SEE SHEET C9.1 FOR WATER, WASTEWATER AND FIRE SERVICE HYDRAULIC CALCULATIONS.



ALL UTILITIES SHALL BE IN ACCORDANCE W/ PASCO COUNTY UTILITIES DEPARTMENT STANDARDS FOR DESIGN & CONSTRUCTION OF WATER, WASTEWATER, AND RECLAIMED WATER FACILITIES, 2006 EDITION OR LATER

CONTRACTOR SHALL EXCAVATE AND FIELD VERIFY ALL UTILITY CONNECTIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND PREPARATION OF REQUIRED SHOP DRAWINGS.

IF ANY DISCREPANCIES OCCUR CONTACT THE SUSTAINABILITY GROUP OFFICE OF THE ENGINEER IMMEDIATELY.

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FL. STATUTE 553.851 (1979), REQUIRES A MIN. OF 2 DAYS AND MAX. OF 5 DAYS NOTICE BEFORE YOU EXCAVATE.

PROJECT MANAGEMENT, PLANNING, SUSTAINABLE, CIVIL AND LANDSCAPE DESIGN

The SG Sustainability Group, LLC

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RICHARD@SGROUPLLC.COM

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CERTIFICATE OF AUTHORIZATION #29400

FOUR SEASONS DESIGN & REMODELING CENTER
11765 MINNIEOLA DR.
NEW PORT RICHEY, FL 34654

THE PRAYER HOUSE HOMELESS SHELTER
PROJECT LOCATION:
7839 RHODES ROAD
HUDSON, FL 34667

PROJECT NAME:
UTILITY PLAN

NO.	DATE	DESCRIPTION	BY:
1	03.23.15	REV. PER COUNTY, HUDSON WATER & NI FLORIDA COMMENTS	RM/BJB

JASON D. BOYD
LICENSE NO. 69878
FLORIDA PROFESSIONAL ENGINEER

JASON D. BOYD
PE #69878
APRIL 24, 2015
NOT VALID WITHOUT ELECTRONIC SEAL
SUSTAINABILITY GROUP, LLC ENGINEER

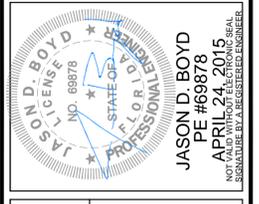
PROJECT #: PRAYER HOUSE
ORIGINAL DATE: 01.30.15
CHECKED BY: RM
DESIGNED BY: RM

SHEET NO.
C7 of C12

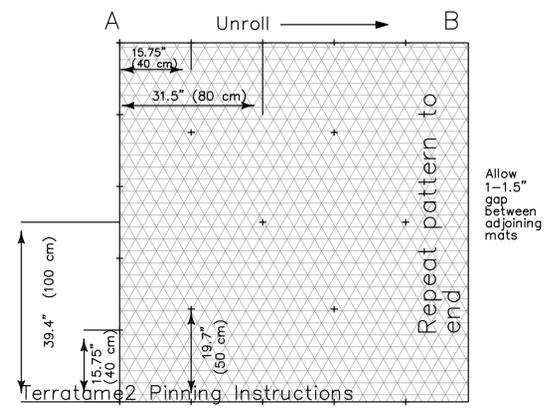
FOUR SEASONS DESIGN & REMODELING CENTER
 11765 MINNIEOLA DR.
 NEW PORT RICHEY, FL 34654

PROJECT NAME: **THE PRAYER HOUSE HOMELESS SHELTER**
 PROJECT LOCATION: **7839 RHODES ROAD HUDSON, FL 34667**
 SHEET NAME: **DEMOLITION, SITE, GRADING DETAILS**

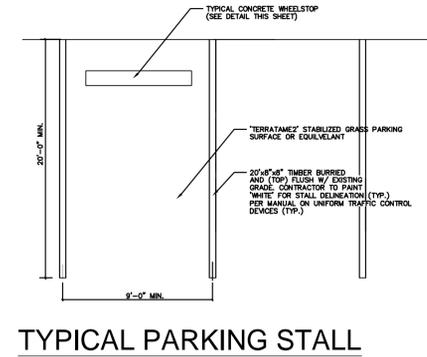
NO.	DATE	DESCRIPTION	BY:	RM/AB
1	03.23.15	REV. PER COUNTY, HUDSON WATER & UTILITIES COMMENTS		
R E V I S I O N S				



PROJECT #:	PRAYER HOUSE
ORIGINAL DATE:	01.30.15
CHECKED BY:	RM
DESIGNED BY:	RM



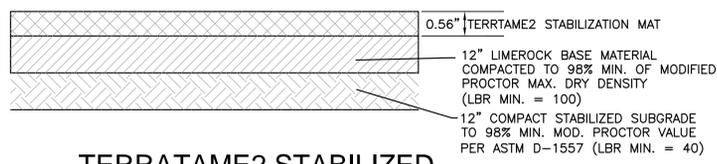
- TERRATAME2 Pinning Instructions**
- 250 anchors supplied per 430 sq ft (40 sq m)
 Size and type of anchor may vary for different applications
- Unroll A to B
 - Place anchors as shown along A
 - Place anchor inside channel so anchor does not bridge over brown top of product (do not puncture mat)
 - Pull tight toward B
 - Temporarily anchor mat at B
 - Place anchors as shown with fixing pin at each cross +
 - Place extra anchors around perimeter of site (leading edge) and in high traffic or turn areas
 - Allow blanket to settle for 48 hours. Return and add pins in areas of expansion
 - SIGNAGE SHALL BE PLACED ON SITE WARNING OF: 'under wet conditions parking area can become slippery, if wearing high heels shoes use caution due to stabilized surface'
 - Heavy wheeled vehicles except for emergency personal shall not be allowed on site.
- TERRATAME2 PINNING INSTRUCTIONS**



TYPICAL PARKING STALL

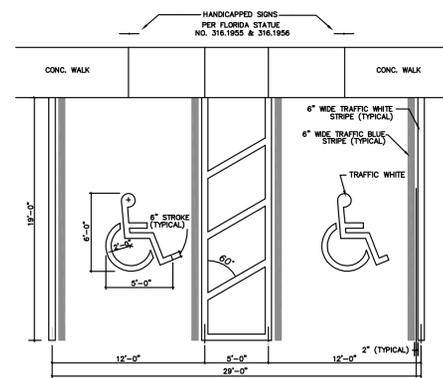
TERRATAME2 STABILIZED PARKING SURFACE STRUCTURAL NUMBER

Description	in	SN per in	Subtotal
TERRATAME2 STABILIZATION MAT	0.56	0.1	0.056
Asphalt pavement (SP 12.5)	0	0.44	0
Base (Crushed Concrete or Limerock)	12	0.18	2.16
Sub Base (Type A)	12	0.08	0.96
TOTAL =			3.176



TERRATAME2 STABILIZED PAVEMENT DETAIL (TYP.)

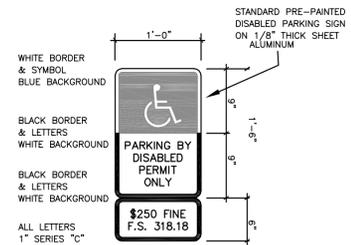
* SEE TERRATAME2 PINNING DETAIL



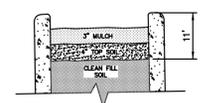
HANDICAP STALL DETAIL

NOTE: H.C. PAVEMENT MARKINGS TO BE 6\"/>

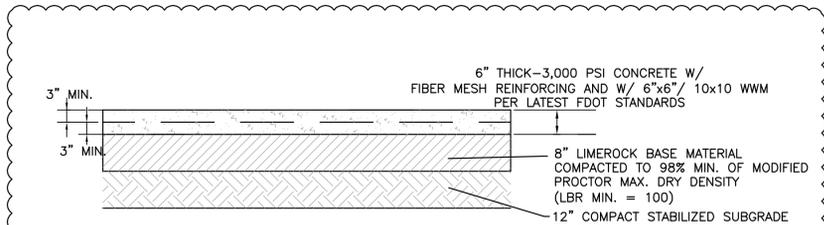
GENERAL STRIPING NOTE: ALL OTHER PAVEMENT MARKINGS ON SITE SHALL BE PAINTED WITH WHITE TRAFFIC PAINT IN ACCORDANCE W/ M.U.T.C.D. STANDARDS (LATEST EDITION)



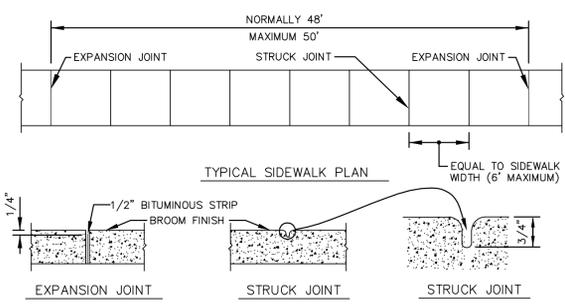
HANDICAP SIGN DETAIL



PLANTING ISLAND DETAIL

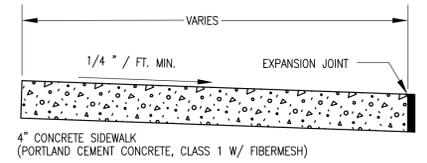


HANDICAP PARKING STALL



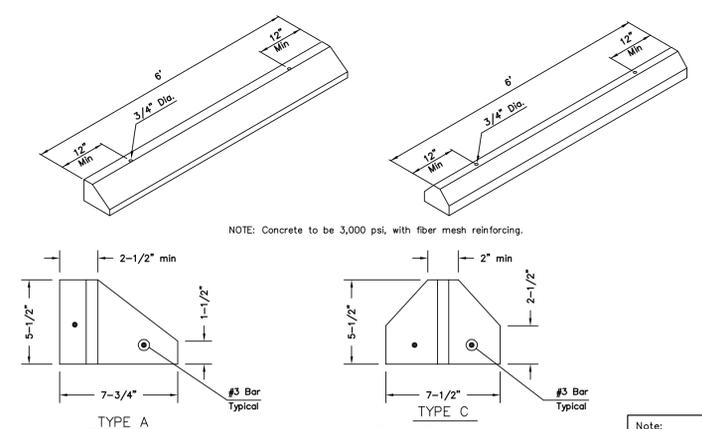
- CONCRETE SIDEWALK CONSTRUCTION DETAIL**
- NOTES:
- SIDEWALKS SHALL HAVE TOOLED EDGES.
 - CONSTRUCTION JOINTS SHALL BE LOCATED AT STRUCK JOINTS OR EXPANSION JOINTS ONLY.
 - EXPANSION JOINTS SHALL BE INSTALLED AS SHOWN AND ALONG EDGE ABUTTING CURB.
 - EXPANSION JOINTS SHALL CONSIST OF CONTINUOUS 1/2\"/>

CONCRETE SIDEWALK CONSTRUCTION DETAIL



- SIDEWALK TYPICAL SECTION 3000 PSI CONCRETE**
- SIDEWALK TO BE MINIMUM 4\"/>
 - SIDEWALK TO HAVE 1/2\"/>
 - CONTRACTION JOINTS TO BE A MINIMUM OF 1 1/2\"/>
 - EXPANSION JOINTS ARE REQUIRED BETWEEN SIDEWALKS AND CURBING, DRIVEWAYS AND ALL FIXED OBJECTS AND AT INTERVALS SPECIFIED BY FDOT.
 - EXPANSION JOINTS SHALL CONSIST OF CONTINUOUS 1/2\"/>
 - MINIMUM CROSS SLOPE 1/4\"/>
 - AREA UNDER PROPOSED SIDEWALKS TO BE COMPACTED PER FDOT STANDARD SPECIFICATIONS 128-9.2
 - DISTURBED AREAS TO BE SODDED AS DIRECTED BY THE ENGINEER UNLESS INDICATED OTHERWISE.
 - SIDEWALK TO HAVE BROOM FINISH.
 - CONCRETE SHALL BE CURED PER FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 520-8

SIDEWALK TYPICAL SECTION 3000 PSI CONCRETE

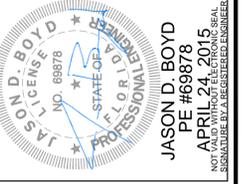


WHEEL STOP DETAIL

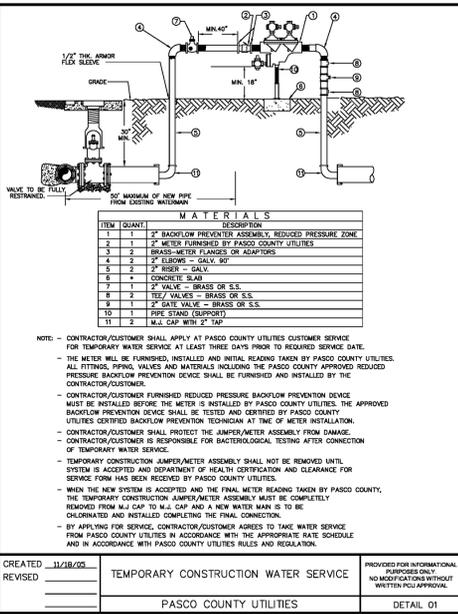
Note: Centerline of wheel stops to be 30\"/>

PROJECT NAME: THE PRAYER HOUSE HOMELESS SHELTER
 PROJECT LOCATION: 7839 RHODES ROAD HUDSON, FL 34667
 SHEET NAME: UTILITY DETAILS

NO.	DATE	DESCRIPTION	BY:	REV.	PER COUNTY:	FLORIDA COMMENTS
1	03.23.15	WATER & FLORIDA COMMENTS				
R E V I S I O N S						



JASON D. BOYD
 PE #69878
 APRIL 24, 2015
 NOT VALID WITHOUT ELECTRONIC SEAL
 SUSTAINABLE DESIGN ENGINEER LICENSE

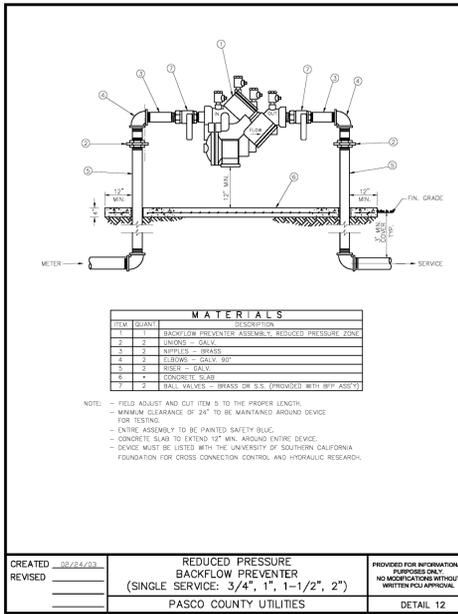
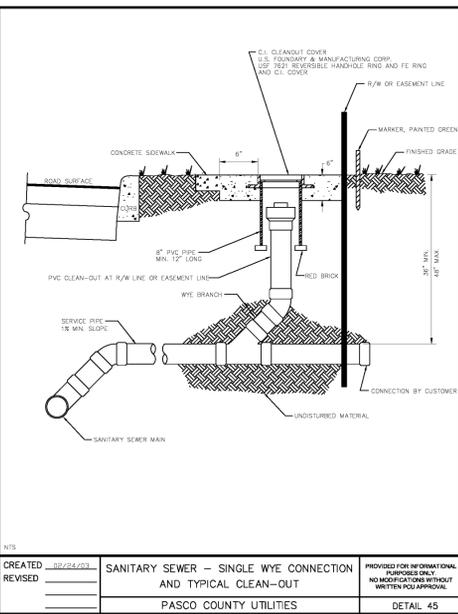


PIPE RESTRAINT LENGTHS IN FEET COMMON FITTINGS

PIPE SIZE	WATER MAINS - TEST PRESSURE 150 PSI				
	11-1/4"	22-1/2"	45"	90"	DEAD END
4"	2'	4'	8'	20'	45'
6"	3'	6'	12'	28'	63'
8"	4'	7'	15'	36'	82'
10"	4'	9'	18'	43'	98'
12"	5'	10'	21'	50'	116'
16"	6'	13'	26'	63'	148'
20"	7'	15'	31'	76'	179'
24"	9'	17'	36'	87'	208'

PIPE SIZE	FORCE MAINS - TEST PRESSURE 100 PSI				
	11-1/4"	22-1/2"	45"	90"	DEAD END
4"	1'	3'	6'	13'	30'
6"	2'	4'	8'	19'	42'
8"	2'	5'	10'	24'	55'
10"	3'	6'	12'	29'	66'
12"	3'	7'	14'	34'	77'
16"	4'	8'	18'	42'	99'
20"	5'	10'	21'	50'	119'
24"	6'	11'	24'	58'	139'

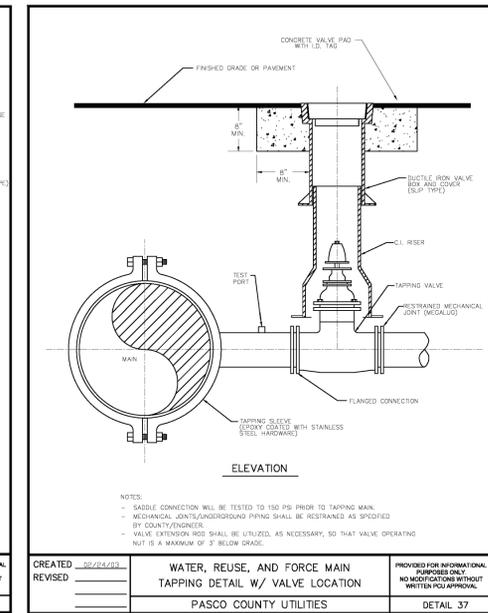
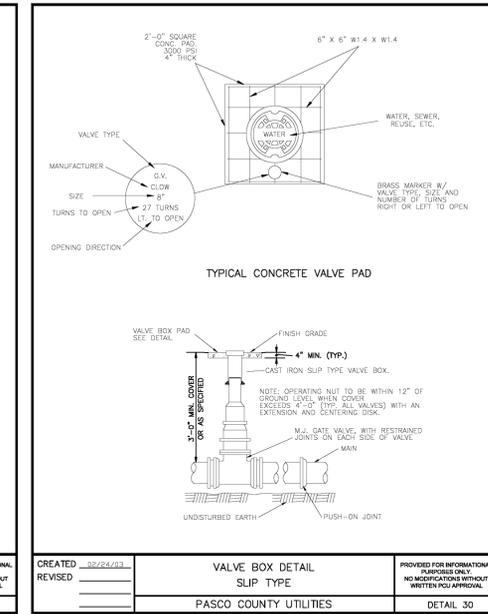
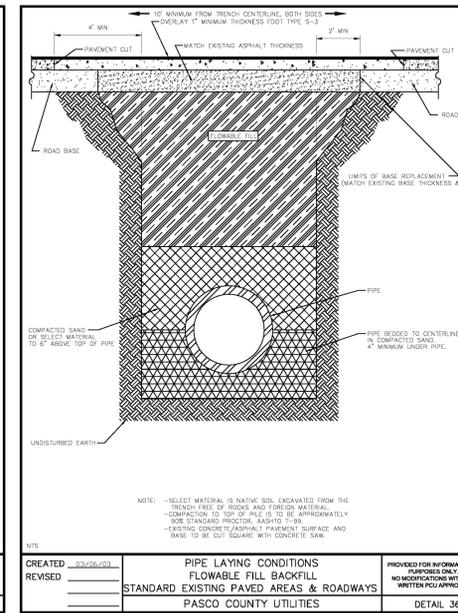
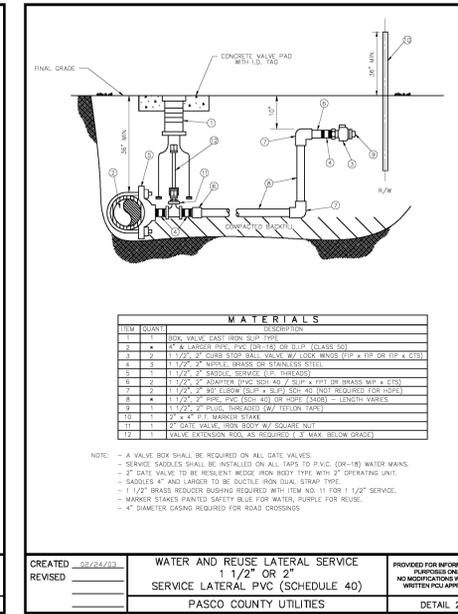
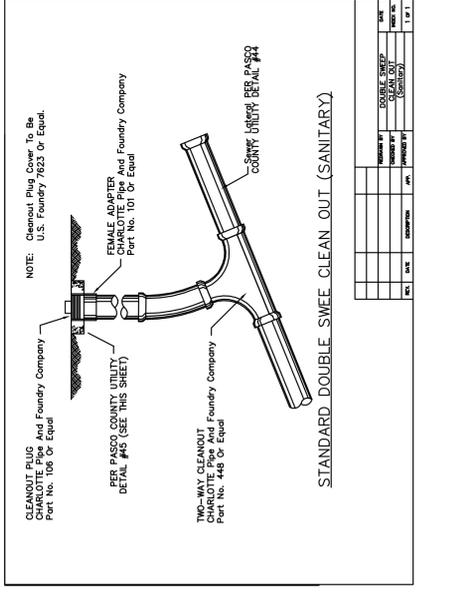
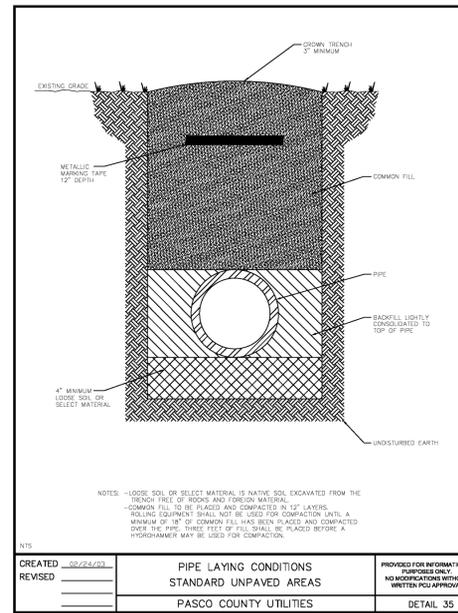
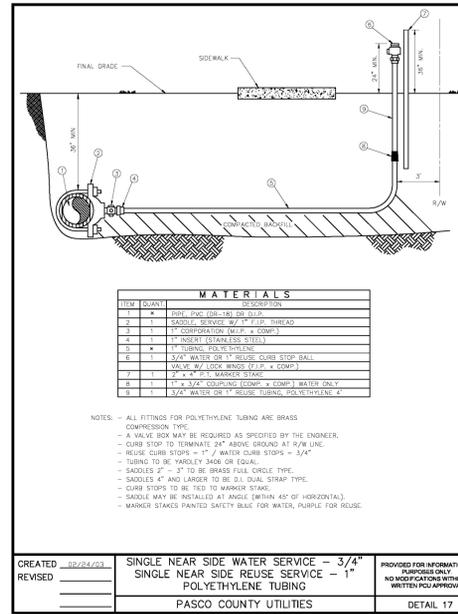
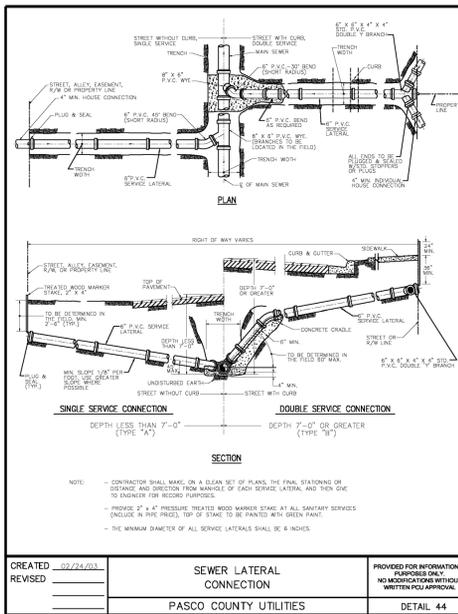
RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE FITTING ALONG THE PIPE IN BOTH DIRECTIONS (EXCEPT DEAD ENDS).



PIPE RESTRAINT LENGTHS IN FEET TEES (BRANCH SIDE)

RUN SIZE	WATER MAINS - TEST PRESSURE 150 PSI								
	3"	4"	6"	8"	10"	12"	16"	20"	24"
3"	6'	14'	30'	—	—	—	—	—	—
4"	2'	11'	28'	44'	—	—	—	—	—
6"	1'	2'	22'	40'	52'	—	—	—	—
8"	1'	1'	18'	35'	48'	62'	—	—	—
10"	1'	1'	10'	30'	44'	58'	83'	—	—
12"	1'	1'	3'	25'	40'	55'	80'	103'	—
16"	1'	1'	1'	14'	31'	48'	75'	98'	119'
20"	1'	1'	1'	2'	22'	40'	69'	94'	116'
24"	1'	1'	1'	1'	11'	31'	63'	89'	111'

RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE TEE ALONG THE BRANCH FOR THE DISTANCE INDICATED. A MINIMUM OF 8 FEET OF RESTRAINED PIPE MUST BE INSTALLED ON BOTH RUNS OF THE TEE. MEGALUG TYPE RESTRAINERS ARE REQUIRED ON ALL JOINTS.





Commercial FIRE & Communications, Inc.

6510-12th Avenue N, Largo, FL 33773

Prayer House Shelter, 7839 Rhodes Road, Hudson, FL 34667

Preliminary Fire Sprinkler Hydraulic Calculations

Pipe Schedule

Table with columns: Node, Location, Size, Type. Row 1: 9, CWM to Backflow, 1 1/2", PVC, DR-14/18. Row 2: 8, Backflow to BCR, 1 1/2", PVC, DR-14/18.

LAWICO, INC. ENGINEERING CONSULTING CERTIFICATE OF AUTHORIZATION #9222

P.O. BOX 41481, ST. PETERSBURG, FLORIDA 33743

PROFESSIONAL SEAL: FRANK BOYD, FLORIDA P.E. 5478

Full Service Alarm & Communications Contractor License # 50901100012004

FIRE FLOW HYDRAULIC CALCULATIONS

COMMERCIAL FIRE & COMMUNICATIONS, INC. HYDRAULIC DESIGN INFORMATION SHEET

Name: Prayer House Shelter, Location: 7839 Rhodes Road, Hudson, FL 34667, Date: March 19, 2015, System No.: 11864, Contract No.: 11864, Drawing No.: 0.00

Building: Commercial Fire & Communications, Inc., File Name: Prayer House.the, Construction: Noncombustible, Occupancy: Residential, AHJ: Pasco County

SYSTEM DESIGN: NFPA 13, Light Hazard, Ordinary Hazard Group: 1, Extra Hazard Group: 0, Filling Type Legend: T = Tee (flow turned 90 degrees), E = 90 degree standard elbow, CV = Swing check valve, BV = Butterfly valve

WATER SUPPLY INFORMATION: Static (psi): 60.00, Residual (psi): 38.00, @ (gpm): 1,000.00, Hose (gpm): 0.00, System req. (gpm): 60.83, @ (psi): 51.87, Supply available: 59.88 psi, Safety margin: 8.02 psi

WATER FLOW TEST: Date: 2-26-15, Time: 8:00, Static: 60 psi, Residual: 38 psi, Flowing: 1030 gpm

PUMP DATA: Rated Capacity: gpm, At: psi, Elevation: ft, TANK OR RESERVOIR: Capacity: gals, Elevation: ft, WELL: Proof Flow: gpm

Location: 7912 Rhodes Rd, Hudson, FL 34667, Source of Information: Hudson Water Works - Fire Hydrant Test

COMMODITY STORAGE: Class: Location: Storage Height: Area: Storage Method: Solid Pallet: %

RACK STORAGE: Single Row, Double Row, Multiple Row, Conventional Pallet, Automatic Storage, Solid Shelving, Encapsulated, Nonencapsulated

FLUE SPACING: Longitudinal: in, Transverse: in, Clearance from top of storage to ceiling: in

Horizontal Barriers Provided:

Hydraulic Summary

Maximum velocity in the system is: 13.01 ft/sec in the pipe between Nodes: 5 and 6, Continuity at all nodes satisfied to: 0.01 gpm

Pipe Type Legend: 40 = Schedule 40, Filling Type Legend: T = Tee (flow turned 90 degrees), E = 90 degree standard elbow, CV = Swing check valve, BV = Butterfly valve

NOTES:

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WATER & WASTEWATER CALCULATIONS

ACWWA Water Demand Estimate and Meter Sizing Using Fixture Values

(Based on ACWWA M22 Manual, Second Edition and ACWWA Rules and Regulations)

ACWWA Project Number: THE PRAYER HOUSE HOMELESS SHELTER

Building address or number: 7839 RHODES ROAD, HUDSON, FL

Residential or Non-Residential: Non-Residential

Pressure Zone at Project: (Obtained from ACWWA or Hydrant Test)

Fixture or Appliance: Fixture Value (at 80 psi), Number of Fixtures, Subtotal Fixture Value

Toilet (tank): 4, 4, 16; Toilet (flush valve): 16, 0, 0; Urinal (wall or stall): 16, 0, 0; Urinal (flush valve): 30, 0, 0; Bidet: 2, 0, 0; Shower (single head): 2.5, 4, 10; Sink (restroom): 1.5, 8, 0; Kitchen Sink: 2.2, 0, 0; Utility Sink: 4, 0, 0; Dishwasher: 2, 0, 0; Bathub: 8, 0, 0; Clothes Washer: 6, 0, 0

Hose connections (with 50 ft of hose): 1/2 in.: 5, 2, 10; 3/4 in.: 9, 0, 0; 1 in.: 12, 1, 12

Miscellaneous: Beepin washers: 10, 0, 0; Drinking fountains: 2, 0, 0; Dental units: 2, 0, 0

Combined Fixture Value: 57

Demand (gpm): 45

Pressure Adjustment Factor: 1.5

Total Adjusted demand (gpm): 45

Required ACWWA Meter Size: 1 1/2"

ESTIMATED SEWAGE FLOWS (PER FDP 64E-6.00)

TYPE OF ESTABLISHMENT: COMMERCIAL

Peak Factor: 2.50

Peak Flow: 6.66 GPM

Min. Flowing Rate (GPM PEAK): 2.63 GPM

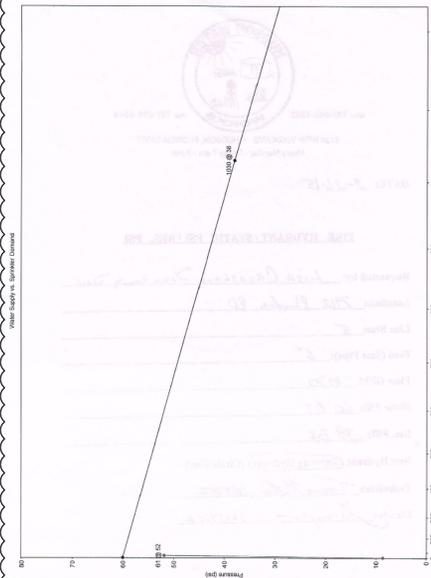
Max. Flowing Rate (GPM PEAK): 3.47 GPM

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HUDSON WATER WORKS logo and contact information. Work 727-869-1382, Fax 727-869-8544. 8724 NEW YORK AVE., HUDSON, FLORIDA 34667. Hours Monday - Friday 7 am - 3 pm. DATE: 2-26-15. FIRE HYDRANT/STATIC PSI/RES. PSI. Requested by: Lisa Crenshaw Pasco County Dept. Location: 7839 Rhodes Rd. Line Size: 8". Feed (Size Pipe): 6". Flow GPM: 1230. Static PSI: 60 PSI. Res. PSI: 38 PSI. New Hydrant (Existing Hydrant) (Circle One). Technician: James Miller 02/12/22. Director: [Signature] 0003162.

WATER & WASTEWATER CALCULATIONS. ACWWA Water Demand Estimate and Meter Sizing Using Fixture Values. (Based on ACWWA M22 Manual, Second Edition and ACWWA Rules and Regulations). THE PRAYER HOUSE HOMELESS SHELTER. 7839 RHODES ROAD, HUDSON, FL. Non-Residential. Pressure Zone at Project: (Obtained from ACWWA or Hydrant Test). Fixture or Appliance: Toilet (tank), Toilet (flush valve), Urinal (wall or stall), Urinal (flush valve), Bidet, Shower (single head), Sink (restroom), Kitchen Sink, Utility Sink, Dishwasher, Bathub, Clothes Washer, Hose connections (with 50 ft of hose), Miscellaneous, Combined Fixture Value, Demand (gpm), Pressure Adjustment Factor, Total Adjusted demand (gpm), Required ACWWA Meter Size.

Table with columns: NO., DATE, DESCRIPTION, REV. PER COUNTY, HUDSON, REV. PER FLORIDA COMMENTS, RM, LB. Row 1: 1, 03/23/15, WATER & WASTEWATER CALCULATIONS.

PROJECT MANAGEMENT, PLANNING, SUSTAINABLE, CIVIL AND LANDSCAPE DESIGN. The SG Sustainability Group, LLC. 6520 ROMAN ROAD, NEW PORT RICHEY, FL 34656. PHONE: (727) 468-1002. WWW.SGROUPLLC.COM. RICHARD@SGROUPLLC.COM. CERTIFICATE OF AUTHORIZATION #29400.

FOUR SEASONS DESIGN & REMODELING CENTER. 11765 MINNIEOLA DR. NEW PORT RICHEY, FL 34654.

PROJECT NAME: THE PRAYER HOUSE HOMELESS SHELTER. PROJECT LOCATION: 7839 RHODES ROAD HUDSON, FL 34667. SHEET NAME: UTILITY WATER, WASTEWATER & FIRE SERVICE CALCULATIONS.

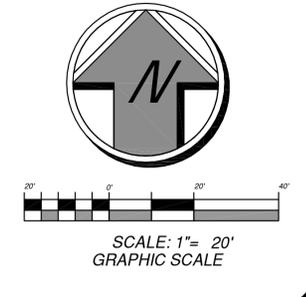
JASON D. BOYD, PE #69878, APRIL 24, 2015. NOT VALID WITHOUT ELECTRONIC SEAL. SIGNED BY: JASON D. BOYD. LICENSE NO. 69878. STATE OF FLORIDA. PROFESSIONAL ENGINEER. PROJECT #: PRAYER HOUSE. ORIGINAL DATE: 01/30/15. CHECKED BY: RM. DESIGNED BY: RM.

"INVESTIGATE BEFORE YOU EXCAVATE"

CONTRACTOR SHALL CALL SUNSHINE @ 1-800-432-4770 FOR RIGHT-OF-WAY & ON-SITE UTILITY LOCATIONS. FL. STATUTE 553.851 (1879) REQUIRES A MIN. OF 2 DAYS AND MAX. OF 5 DAYS NOTICE BEFORE YOU EXCAVATE.

LEGEND

- PROPERTY LINE
- LANDSCAPE BUFFER EXISTING 6FT TALL CHAIN LINK FENCE TO BE SCREENED
- PROPOSED CONCRETE SIDEWALK
- STABILIZED PARKING SURFACE
- EXISTING TREE TO BE PRESERVED
- PROPOSED VEHICULAR LANDSCAPE AREA



PROJECT MANAGEMENT, PLANNING, SUSTAINABLE, CIVIL AND LANDSCAPE DESIGN

The Sustainability Group, LLC

6320 ROWAN ROAD, NEW PORT RICHEY, FL 34656
 WWW.SGROUPLLC.COM
 PHONE: (727) 468-1002 RICHARD@SGROUPLLC.COM

THE DESIGN AND IDEAS INCORPORATED AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS THE PROPERTY OF THE SUSTAINABILITY GROUP, LLC. IT CAN NOT BE USED OR COPIED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE SUSTAINABILITY GROUP, LLC. DATES/ISSUES SHOULD NOT BE OBTAINED BY USING SCALING OF THE DRAWING. ANY CHANGES CAN BE OBTAINED BY CONTACTING THE SUSTAINABILITY GROUP, LLC DIRECTLY @ 2013.

CERTIFICATE OF AUTHORIZATION #29400

FOUR SEASONS DESIGN & REMODELING CENTER

11765 MINNIEOLA DR.

NEW PORT RICHEY, FL 34654

THE PRAYER HOUSE HOMELESS SHELTER

7839 RHODES ROAD HUDSON, FL 34667

LANDSCAPE PLAN

GENERAL NOTES:

- OWNER/DEVELOPER: PRAYER HOUSE, INC. 7839 RANCH RD. PORT RICHEY, FL 34668-2324
- ENGINEER/LANDSCAPE DESIGNER: THE SUSTAINABILITY GROUP, LLC. 6320 ROWAN ROAD NEW PORT RICHEY, FL 34653 (P/P) 727.645.5105 WWW.SGROUPLLC.COM
- SURVEYOR: DAVIS, INC. 5830 NEBRASKA AVENUE NEW PORT RICHEY, FL 34652 (P) 727.232.3800
- PARCEL ID(S) & INFORMATION: 27-24-15-010-0000-0000
 PARCEL ADDRESS: 7839 RHODES RD, HUDSON, FL 34667-3362
 PARCEL SIZE #1: 23,996.12 SF (0.55 AC)
 ZONING DESIGNATION: C2 - GENERAL COMMERCIAL
 LAND USE DESIGNATION: RETAIL OFFICE/RESIDENTIAL
 REZONING ACTIONS: RZ2688 (R2 TO C2) - DATE: 11/09/04
 FLOOD ZONE DESIGNATIONS: *AE (ELEV+12' - PER FEMA FLOOD PANEL MAP #121010181F - 02/20/14)
 HURRICANE EVACUATION ZONE: 'B'
 MOBILITY ZONE: 'A'
 PROPOSED USE: VACANT
 PRESENT USE: VACANT
 CORRIDOR: US19 REDEVELOPMENT/CONCURRENCY
- SURROUNDING ZONING:
 NORTH: UNASSIGNED
 ADDRESS: 6.56 ADRES OF VACANT LAND
 PARCEL OWNER: G EDWARDS PROPERTIES, INC. 8841 SOUTH AVENUE FORT MYERS, FL 33912
 ZONING: C2
 CLASSIFICATION: MIXED RANGELAND
 SOUTH: RHODES ROAD (50 FT ROW)
 PARCEL OWNER: PASCO COUNTY FACILITIES MANAGEMENT DEPARTMENT 7220 OSTEEN ROAD NEW PORT RICHEY, FL 34653
 ZONING: C2
 CLASSIFICATION: RESIDENTIAL MEDIUM DENSITY
 EAST: ADDRESS: 7839 RHODES ROAD, HUDSON, FL 34667
 PARCEL OWNER: THE PRAYER HOUSE, INC. 7835 RANCH ROAD PORT RICHEY, FL 34668
 ZONING: R2
 CLASSIFICATION: RESIDENTIAL MEDIUM DENSITY
 WEST: ADDRESS: 7837 RHODES ROAD, HUDSON, FL 34667
 PARCEL OWNER: FIRST CHOICE ROOFING, INC. 7837 RHODES ROAD HUDSON, FL 34667
 ZONING: C1
 CLASSIFICATION: RESIDENTIAL MEDIUM DENSITY
- SITE DATA TABLE:

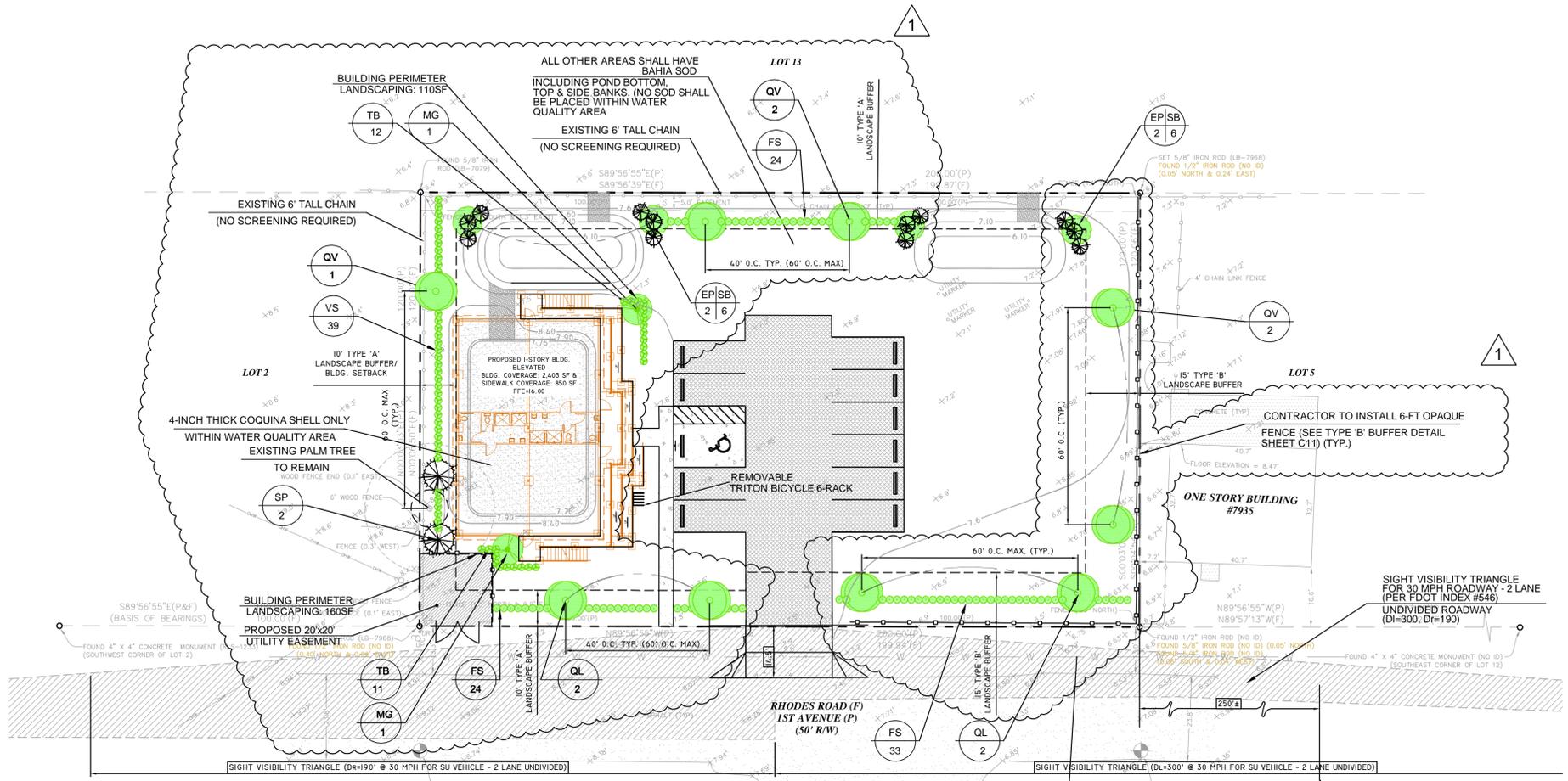
	EXISTING	PROPOSED
A. PARCEL SIZE:	23,996.12 SF (0.55 AC)	23,996.12 SF (0.55 AC)
B. SHED COVERAGE AREA:	522.00 SF (2.17%)	0.00 SF (0.00%)
C. CONCRETE SIDEWALKS & MISC.:	115.00 SF (0.47%)	642.00 SF (2.67%)
D. ASPHALT/CONCRETE PAVEMENT:	1,366.00 SF (5.69%)	0.00 SF (0.00%)
E. TOTAL IMPERVIOUS:	2,003.00 SF (8.33%)	642.00 SF (2.67%)
F. ELEVATED BUILDING & WALKWAY COVERAGE:	0.00 SF (0.00 AC)	3,253.00 SF (13.58%)
G. OTHER PERVIOUS (GRASS, ETC.):	21,993.12 SF (91.66%)	20,101.12 SF (84.46 AC) (83.78%)
H. TOTAL PERVIOUS:	21,993.12 SF (91.66%)	23,354.12 SF (97.32%)
- PARKING SPACES REQUIRED: THERE SHALL BE (1) SPACE FOR EVERY (4) PER BEDS PLUS (1) SPACE PER FACILITY VEHICLE AND (1) SPACE PER EMPLOYEE.
 I.A. (20 PROPOSED BEDS) / 4 BEDS/STALL) = 5 STALLS (1 H.C.)
 I.B. (1 STALL PER EMPLOYEE) (1 EMPLOYEE) = 1 STALL (6)
 I.C. (1 SPACES PER FACILITY VEHICLE) (0 VEHICLES) = 0 STALLS (6)
 I.D. TOTAL REQUIRED = 6 STALLS (1 H.C.)
 I.E. PROVIDED = 11 STALLS (1 H.C.) + 6 STALL BICYCLE RACK
 J. GROSS BUILDING FLOOR AREA (GFA) (FFE=16.00): (1-STORY) FLOOR AREA: 2,403 SF (10%)
 J.A. ELEVATED RAMP AND WALKWAY: 850 SF (3.54%)
 PROVIDED: 270 SF (1.16%)
- POND LANDSCAPING PERIMETER CALCULATION:
 10% OF THE BUILDING SQUARE FOOTAGE SHALL BE LANDSCAPED WITH TREES, SHRUBS AND GROUND COVER REQUIRED: (2,403 SF x 10) = 240.3 SF
 PROVIDED: 270 SF (10.16%)
- POND LANDSCAPING PERIMETER CALCULATION:
 FOR EVERY 50 SF OF POND PERIMETER THERE SHALL BE 1 TREE PLUS 3 SHRUBS INSTALLED.
 REQUIRED: 4 TREES + 12 SHRUBS
 PROVIDED: 4 TREES + 12 SHRUBS
- PARKING PERIMETER LANDSCAPING NOT REQUIRED.

NOTE:

- GROUND COVER SHALL BE INSTALLED TO PROVIDE A FINISHED APPEARANCE AND ADEQUATE COVERAGE WITHIN 45 DAYS, AS TO SUPPRESS FUGITIVE DUST.
- OWNER TO MAINTAIN PERIMETER BUILDING TREES AT 8' FT. MAX HEIGHT.

GENERAL BUFFER DETAIL NOTE:

- SEE SHEET C11 FOR TYPE 'A', 'B' AND 'D' BUFFER DETAILS (PLANTING, GRADES, GROUND COVER, DETAILS, ETC.)



- Pasco County Landscaping Standard Notes (Pasco LDC 905.2)**
- MAINTENANCE RESPONSIBILITY: THE COUNTY IS NOT RESPONSIBLE FOR MAINTENANCE OF ANY LANDSCAPING UNLESS APPROVED THROUGH A COUNTY MAINTENANCE AGREEMENT. (LDC 905.2-C.1.A)
 - CLEAR-SIGHT TRIANGLE: WHERE A DRIVEWAY/ACCESSWAY INTERSECTS A ROAD RIGHT-OF-WAY OR WHERE TWO (2) ROAD RIGHTS-OF-WAY INTERSECT, VEGETATION, STRUCTURES, AND NON-VEGETATIVE VISUAL SCREENS SHALL NOT BE LOCATED SO AS TO INTERFERE WITH THE CLEAR-SIGHT TRIANGLE AS REFERRED IN THIS CODE OR THE FLORIDA DEPARTMENT OF TRANSPORTATION, MANUAL OF UNIFORM MINIMUM STANDARDS, MOST RECENT EDITION (GREEN BOOK), WHOEVER IS MORE RESTRICTIVE. (LDC 905.2-C.1.B)
 - SUSTAINABLE PRACTICES: LANDSCAPING SHALL BE INSTALLED SO THAT LANDSCAPING MATERIALS MEET THE CONCEPT OF RIGHT MATERIAL/RIGHT PLACE. INSTALLED TREES AND PLANTS SHALL BE GROUPED INTO ZONES ACCORDING TO WATER, SOIL, CLIMATE, AND LIGHT REQUIREMENTS. PLANT GROUPINGS BASED ON WATER REQUIREMENTS ARE DROUGHT TOLERANT, NATURAL, AND OASIS. (LDC 905.2-C.1.C)
 - DIVERSITY: A MAXIMUM OF 50 PERCENT OF THE PLANT MATERIALS USED, OTHER THAN TREES, MAY BE NON-DROUGHT TOLERANT. A MINIMUM OF 30 PERCENT OF THE PLANT MATERIALS, OTHER THAN TREES AND TURFGRASS, USED TO FULFILL THE REQUIREMENTS OF THIS SUBSECTION SHALL BE NATIVE FLORIDIAN SPECIES, SUITABLE FOR GROWTH IN THE COUNTY. (LDC 905.2-C.1.D)
 - DIVERSITY: NO ONE PLANT SPECIES OF SHRUBS OR GROUND COVER PLANTS, EXCLUDING TURFGRASS, SHALL CONSTITUTE MORE THAN 25 PERCENT COVERAGE OF THE OVERALL LANDSCAPE AREA. (LDC 905.2-C.1.D.1)
 - QUALITY: ALL PLANT MATERIALS SHALL BE FLORIDA NO. 1 GRADE PER GRADES AND STANDARDS FOR NURSERY PLANTS; FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES (FDACS), WHICH IS INCORPORATED HEREIN BY REFERENCE. (LDC 905.2-C.2.A)
 - AVOID EASEMENTS: TREES SHALL NOT BE PLANTED WITHIN ANY EASEMENT SO AS TO INTERFERE WITH THE USE OF THAT EASEMENT, NOR UNDER ANY PRESENT OR PLANNED OVERHEAD UTILITY, NOR IN ANY RIGHT-OF-WAY WITHOUT COUNTY APPROVAL, THROUGH THE ASSOCIATED REVIEW PROCESS. (LDC 905.2-C.3.C)
 - MULCH SHALL BE USED IN CONJUNCTION WITH LIVING PLANT MATERIALS SO AS TO COVER EXPOSED SOIL. MULCH SHALL BE INSTALLED TO A MINIMUM DEPTH OF THREE (3) INCHES. THE MULCH SHOULD NOT BE PLACED DIRECTLY AGAINST THE PLANT STEM OR TREE TRUNK. MULCH SHALL NOT BE REQUIRED FOR ANNUAL BEDS. STONE OR GRAVEL MAY BE USED TO COVER A MAXIMUM OF 30 PERCENT OF THE LANDSCAPED AREA. (LDC 905.2-C.3.B)
 - QUALITY PRACTICES: ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH STANDARDS AND PRACTICES OF THE FLORIDA NURSERY, GROWERS, AND LANDSCAPE ASSOCIATION AND THE FLORIDA CHAPTER OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE. (LDC 905.2-C.3.E)
 - ALL PORTIONS OF A LOT UPON WHICH DEVELOPMENT HAS COMMENCED, BUT NOT CONTINUED FOR A PERIOD OF 30 DAYS, SHALL BE PLANTED WITH A GRASS SPECIES OR LANDSCAPE COVER TO PREVENT EROSION AND PRODUCE SOIL STABILIZATION, ADEQUATE COVERAGE, SO AS TO SUPPRESS FUGITIVE DUST, SHALL BE ACHIEVED WITHIN 45 DAYS. (LDC 905.2-C.3.G)
 - ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY CONDITION IN PERPETUITY IN ACCORDANCE WITH THIS CODE. (LDC 905.2-E.3)
 - ONGOING MAINTENANCE TO PREVENT THE ESTABLISHMENT OF PROHIBITED EXOTIC SPECIES IS REQUIRED. (LDC 905.2-E.4)

SITE BENCHMARK # 1
 FOUND NAIL (NO ID)
 ELEVATION = 5.3' (NAV098)

SITE BENCHMARK # 2
 FOUND NAIL (NO ID)
 ELEVATION = 6.6' (NAV098)

CONTRACTOR SHALL EXCAVATE AND FIELD VERIFY EXISTING SANITARY SEWER AND STORMWATER CONNECTIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND PREPARATION OF REQUIRED SHOP DRAWINGS.

IF ANY DISCREPANCIES OCCUR CONTACT THE SUSTAINABILITY GROUP OFFICE OF THE ENGINEER IMMEDIATELY.

PLANT LIST:

SYMBOL	NO.	SCIENTIFIC NAME	COMMON NAME	SIZE REQUIREMENTS	CONTAINER SIZE	NATIVE FLORIDA	DROUGHT TOLERANT
SHADE TREES							
SP	2	SABAL PALMETTO	SABAL PALM	10' C.T.H. (MIN.)	45 GAL.	YES	YES
MG	2	MAGNOLIA GRANDIFLORA	'LITTLE GEM'	2' CAL. (8' HT. MIN.)	45 GAL.	YES	YES
OV	5	QUERCUS VIRGINIANA	LIVE OAK	2' CAL. (8' HT. MIN.)	45 GAL.	YES	YES
EP	4	ILEX X ATTENUATA 'EAST PALATKA'	'EAST PALATKA' HOLLY	2' CAL. (8' HT. MIN.)	45 GAL.	YES	YES
QL	4	QUERCUS LAURIFOLIA	LAUREL OAK	2' CAL. (8' HT. MIN.)	45 GAL.	YES	YES
SHRUBS							
VS	39	VIBURNUM SUSPENSUM	SANDANAKHA VIBURNUM	18" HT. (24" O.C.)	3 GAL.	NO	YES
FS	81	FORESTIERIA SEGREGATA	FLORIDA PRIVET	18" HT. (24" O.C.)	3 GAL.	NO	YES
TB	12	PITTOSPORUM TOBIRA	'VARIGATED TOBIRA'	18" HT. (24" O.C.)	3 GAL.	YES	YES
SB	12	SPARTINA BAKERI	SAND CORDGRASS	18" HT. (24" O.C.)	3 GAL.	YES	YES
PS	20	PENNETSETUM SETACEUM	FOUNTAIN GRASS	18" HT. (24" O.C.)	3 GAL.	NO	YES

BAHIA SOD SHALL BE USED FOR RESTORATION AND IN ALL BARE AREAS. IRRIGATION SHALL BE OFF ON-SITE WELL (DESIGN, DETAILS AND INSTALLATION BY OTHERS).

PROJECT NAME: THE PRAYER HOUSE HOMELESS SHELTER

PROJECT LOCATION: 7839 RHODES ROAD HUDSON, FL 34667

SHEET NAME: LANDSCAPE PLAN

NO.	DATE	DESCRIPTION	BY:	REV.	PER COUNTY, HUDSON WATER & FLORIDA COMMENTS	RM/AB
1	03.23.15					

R L L V I S I O N S

JASON D. BOYD
 PROFESSIONAL LANDSCAPE ARCHITECT
 NO. 08978
 STATE OF FLORIDA

JASON D. BOYD
 PE #69878
 APRIL 24, 2015
 NOT VALID WITHOUT ELECTRONIC SEAL
 SIGNED BY: JASON D. BOYD
 REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT

PROJECT #: PRAYER HOUSE
 ORIGINAL DATE: 01.30.15
 CHECKED BY: RM
 DESIGNED BY: RM

SHEET NO.
C10 of C12

PLANT INSTALLATION & MAINTENANCE STANDARDS

(A) INSTALLATION. PLANT MATERIALS MUST BE INSTALLED IN SOIL CONDITIONS THAT ARE CONDUCTIVE TO THE PROPER GROWTH OF THE PLANT MATERIAL. LIMEROCK LOCATED WITHIN PLANTING AREAS MUST BE REMOVED AND REPLACED WITH NATIVE OR GROWING QUALITY SOIL BEFORE PLANTING.

A PLANT'S GROWTH HABIT MUST BE CONSIDERED IN ADVANCE OF CONFLICTS THAT MIGHT BE CREATED (E.G. VIEWS, SIGNAGE, OVERHEAD POWER LINES, LIGHTING, CIRCULATION). TREES MAY NOT BE PLACED WHERE THEY INTERFERE WITH SITE DRAINAGE, SUBSURFACE UTILITIES, OR OVERHEAD UTILITY LINES, OR WHERE THEY WILL REQUIRE FREQUENT PRUNING IN ORDER TO AVOID INTERFERENCE WITH OVERHEAD POWER LINES.

ALL LANDSCAPE MATERIALS MUST BE INSTALLED IN A RECOGNIZED HORTICULTURAL CORRECT MANNER. AT A MINIMUM, THE FOLLOWING INSTALLATION REQUIREMENTS MUST BE MET:

- (1) ALL LANDSCAPE AREAS MUST BE MULCHED WITH 3" OR MORE UNLESS VEGETATIVE COVER IS ALREADY ESTABLISHED.
- (2) TREES AND SHRUBS USED IN BUFFERS MUST BE PLANTED IN A MINIMUM WIDTH AREA OF 8'x8' IN SIZE OR 100 SF IN SIZE.
- (3) ALL LANDSCAPED AREAS MUST BE PROVIDED PROTECTION FROM ENCROACHMENT BY ANY TYPE OF VEHICLE.
- (4) ALL REQUIRED PLANTS USED IN BUFFERS AND LANDSCAPING MUST BE INSTALLED USING XERISCAPE PRINCIPLES. XERISCAPE PRINCIPLES INCLUDE WATER CONSERVATION THROUGH DROUGHT-TOLERANT LANDSCAPING, THE USE OF APPROPRIATE PLANT MATERIAL, MULCHING, AND THE REDUCTION OF TURF AREAS.
- (5) UTILITY OR DRAINAGE EASEMENTS MAY OVERLAP REQUIRED BUFFERS; HOWEVER, NO BUFFER TREES OR SHRUBS MAY BE LOCATED IN ANY UTILITY DRAINAGE OR STREET EASEMENT OR RIGHT-OF-WAY. TO AVOID CONFLICTS WITH OVERHEAD UTILITY LINES, ONLY TREES LESS THAN 20 FEET IN HEIGHT AT MATURITY MAY BE USED DIRECTLY ADJACENT TO AN OVERHEAD LINE. VARIANCES OR DEVIATIONS FROM THE REQUIREMENTS OF THIS SUBSECTION ARE PROHIBITED, EXCEPT WHEN INCLUDED IN AN APPROVED ALTERNATE LANDSCAPE BETTERMENT PLAN.

(6) 20'x20' CLEAR ZONE SIGHT DISTANCE TRIANGLES AT INTERSECTIONS AND VEHICLE CONNECTIONS, WHERE AN ACCESS WAY INTERSECTS A RIGHT-OF-WAY OR WHEN A PROPERTY ADJUTS THE INTERSECTION OF TWO OR MORE RIGHTS-OF-WAY, A MINIMUM SAFE SIGHT DISTANCE TRIANGULAR AREA MUST BE ESTABLISHED. WITHIN THIS AREA, VEGETATION MUST BE PLANTED AND MAINTAINED IN A WAY THAT PROVIDES UNOBSTRUCTED VISIBILITY AT A LEVEL BETWEEN 30 INCHES AND EIGHT FEET ABOVE THE CROWN OF THE ADJACENT ROADWAY. LANDSCAPING MUST BE LOCATED IN ACCORDANCE WITH THE ROADSIDE RECOVERY AREA PROVISIONS OF THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE OF STREETS AND HIGHWAYS (FOOT GREEN BOOK) WHERE APPROPRIATE.

(B) MAINTENANCE OF LANDSCAPING. THE OWNER IS RESPONSIBLE FOR MAINTAINING THE REQUIRED LANDSCAPING IN A HEALTHY AND VIGOROUS CONDITION AT ALL TIMES. TREE AND PALM STAKING MUST BE REMOVED WITHIN 12 MONTHS AFTER INSTALLATION. ALL LANDSCAPES MUST BE KEPT FREE OF REFUSE, DEBRIS, DISEASE, PESTS, AND WEEDS. ONGOING MAINTENANCE TO PROHIBIT THE ESTABLISHMENT OF PROHIBITED INVASIVE EXOTIC SPECIES IS REQUIRED.

(C) PRUNING. VEGETATION REQUIRED BY THIS CODE MAY ONLY BE PRUNED TO PROMOTE HEALTHY, UNIFORM, NATURAL GROWTH OF THE VEGETATION (EXCEPT WHERE NECESSARY TO PROMOTE HEALTH, SAFETY, AND WELFARE) AND BE IN ACCORDANCE WITH "PRUNING STANDARDS (REVISED 1988)" OF THE NATIONAL ARBORIST ASSOCIATION. TREES MUST NOT BE SEVERELY PRUNED TO PERMANENTLY MAINTAIN GROWTH AT A REDUCED HEIGHT OR SPREAD. PRUNING MUST NOT INTERFERE WITH THE DESIGN INTENT OF THE ORIGINAL INSTALLATION. SEVERELY PRUNED TREES MUST BE REPLACED BY THE PROPERTY OWNER. A PLANT'S GROWTH HABIT MUST BE CONSIDERED IN ADVANCE OF CONFLICTS WHICH MIGHT ARISE (I.E. VIEWS, SIGNAGE, OVERHEAD POWER LINES, LIGHTING, CIRCULATION, SIDEWALKS, BUILDINGS, AND SIMILAR CONFLICTS).

(7) REQUIRED PLANTINGS SHALL BE REPLACED WITHIN 30 DAYS OF DEMISE AND/OR REMOVAL.

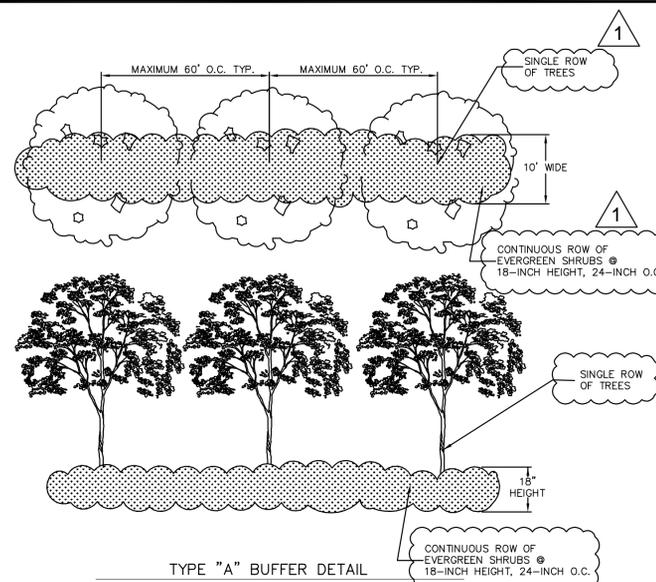
(8) ALL PLANTINGS SHALL BE IN ACCORDANCE WITH PASCO COUNTY LDC 905.

LANDSCAPE NOTES:

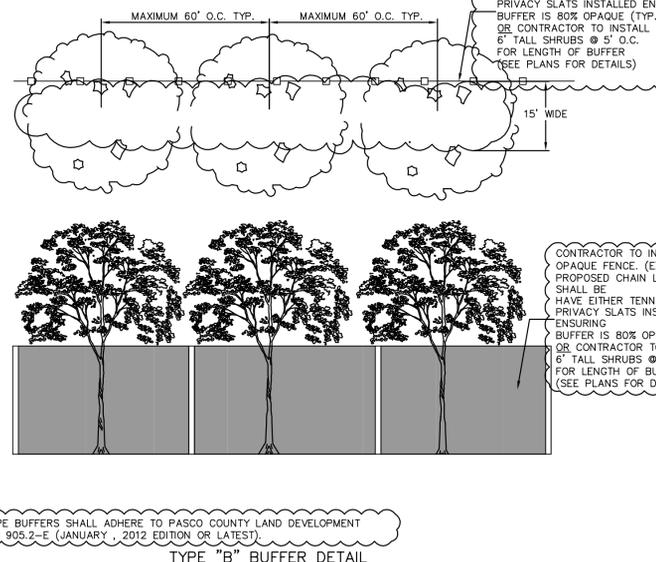
1. TREES, SHRUBS, AND GROUND COVERS SHALL CONFORM TO FLORIDA NO.1 QUALITY, OR BETTER, AS DEFINED IN GRADES AND STANDARDS FOR NURSERY PLANTS, VOLUME I AND II, FLORIDA DEPARTMENT OF AGRICULTURE & LDC 905.
2. CONTRACTOR SHALL LOCATE AND MARK ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION.
3. CONTRACTOR SHALL ENSURE THAT ALL TREES ARE MAINTAINED STRAIGHT AND PLUMB THROUGHOUT THE GUARANTEE PERIOD.
4. SOD SHALL BE LAID WITHIN 72 HOURS OF BEING CUT. THE SOD SHALL BE CLEAN AND FREE OF WEEDS AND NOXIOUS PESTS OR DISEASES.
5. PLANT BEDS SHALL BE DRESSED WITH A 3" LAYER OF SHREDDED CYPRESS MULCH.
6. PLANTS SHALL MEET SIZE, CONTAINER, AND SPACING SPECIFICATIONS PER PASCO COUNTY STANDARDS. ANY MATERIAL NOT MEETING SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
7. TREES PROPOSED FOR INSTALLATION MUST NOT CONFLICT WITH UTILITY LINES, STRUCTURES, EASEMENTS, OR OTHER AREAS WHICH MAY REQUIRE EXCAVATION IN THE EVENT OF SYSTEM FAILURE.
8. ANY STORAGE AREAS INCLUDING "TEMPORARY" STORAGE, MODULAR UNITS, TRACTOR-TRAILER, POOLS, COLLECTION BINS, OR THE LIKE ARE REQUIRED TO BE SCREENED. IF THERE IS A POSSIBILITY SUCH UNITS WILL BE USED IN THE FUTURE, THERE MUST BE AN AREA DESIGNATED PARKING SPACES, DRIVE AISLE AREAS, OPEN SPACE OR SIMILAR REQUIRED AREAS. THIRTY DAYS OR LONGER USE OF STORAGE AREAS REQUIRES A BUILDING PERMIT.

IRRIGATION NOTES

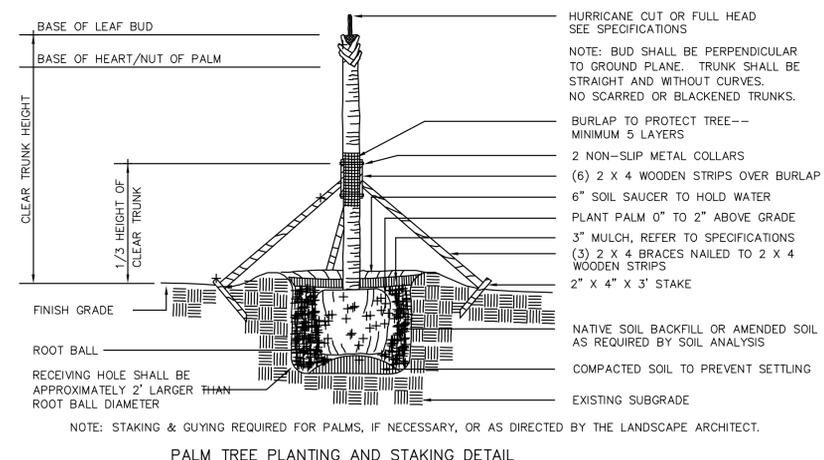
1. A low volume irrigation system, that provides 100% coverage to all proposed plantings, will be designed and installed by the Contractor.
2. The proposed Irrigation System must meet or exceed all applicable County code requirements. (i.e., Back Flow Prevention, Automatic Rain Shutoff Device, etc...)
3. Irrigation shop drawings must be submitted and approved by the County prior to the development order.
4. Irrigation system must be inspected and accepted by County Project Manager prior to installation of mulch. Irrigation must provide 100% coverage and include a rain sensor and timer.
5. Irrigation as-built drawings, which accurately and clearly identify all modifications &/or substitutions, must be submitted prior to final inspection and acceptance.
6. The Landscape Contractor must coordinate the placement and power supply for the irrigation control timer with the General Contractor.
7. The following irrigation system components will be utilized, per each manufacturers' specifications.
 - Toro-Netafim TechLine Self Cleaning, Pressure-Compensating Emitter Line
 - HARDIE - Rainial 6 Station Outdoor Control Timer
 - Richdale - 214APR 1" Electric Valve
 - Amtec - 10" Round Valve Box.
8. Irrigation system shall be designed to comply with Sect. 15.C of pasco county's Landscape and Irrigation Ordinances & shall be provided via irrigation meter supplied by Florida Governmental Authority (AKA Aloha Utilities).



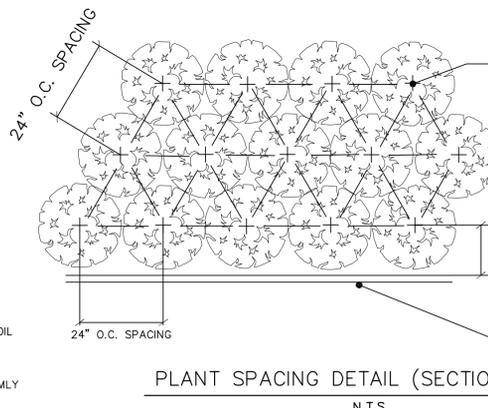
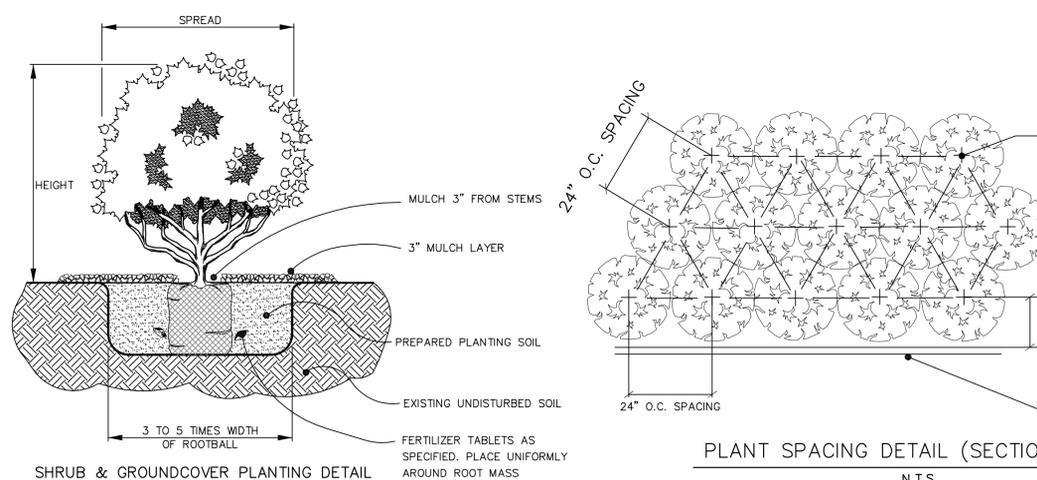
ALL LANDSCAPE BUFFERS SHALL ADHERE TO PASCO COUNTY LAND DEVELOPMENT CODE SECTION 905.2-E (JANUARY, 2012 EDITION OR LATEST).



ALL LANDSCAPE BUFFERS SHALL ADHERE TO PASCO COUNTY LAND DEVELOPMENT CODE SECTION 905.2-E (JANUARY, 2012 EDITION OR LATEST).



HURRICANE CUT OR FULL HEAD SEE SPECIFICATIONS
NOTE: BUD SHALL BE PERPENDICULAR TO GROUND PLANE. TRUNK SHALL BE STRAIGHT AND WITHOUT CURVES. NO SCARRED OR BLACKENED TRUNKS.
BURLAP TO PROTECT TREE-- MINIMUM 5 LAYERS
2 NON-SLIP METAL COLLARS
(6) 2 X 4 WOODEN STRIPS OVER BURLAP
6" SOIL SAUCER TO HOLD WATER
PLANT PALM 0" TO 2" ABOVE GRADE
3" MULCH, REFER TO SPECIFICATIONS
(3) 2 X 4 BRACES NAILED TO 2 X 4 WOODEN STRIPS
2" X 4" X 3' STAKE
NATIVE SOIL BACKFILL OR AMENDED SOIL AS REQUIRED BY SOIL ANALYSIS
COMPACTED SOIL TO PREVENT SETTLING



PROJECT MANAGEMENT, PLANNING, SUSTAINABLE, CIVIL AND LANDSCAPE DESIGN

The SG Sustainability Group, LLC

6320 ROWAN ROAD, NEW PORT RICHEY, FL 34656
PHONE: (727) 468-1002 WWW.SGROUPLLC.COM
RICHARD@SGROUPLLC.COM

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FOUR SEASONS DESIGN & REMODELING CENTER
11765 MINNIEOLA DR.
NEW PORT RICHEY, FL 34654

PROJECT NAME: THE PRAYER HOUSE HOMELESS SHELTER
PROJECT LOCATION: 7839 RHODES ROAD HUDSON, FL 34667
SHEET NAME: LANDSCAPE DETAILS

NO.	DATE	DESCRIPTION	BY:	REV.	PER COUNTY, HUDSON WATER & FLORIDA COMMENTS	RM/BJ
1	03.23.15					

REVISED

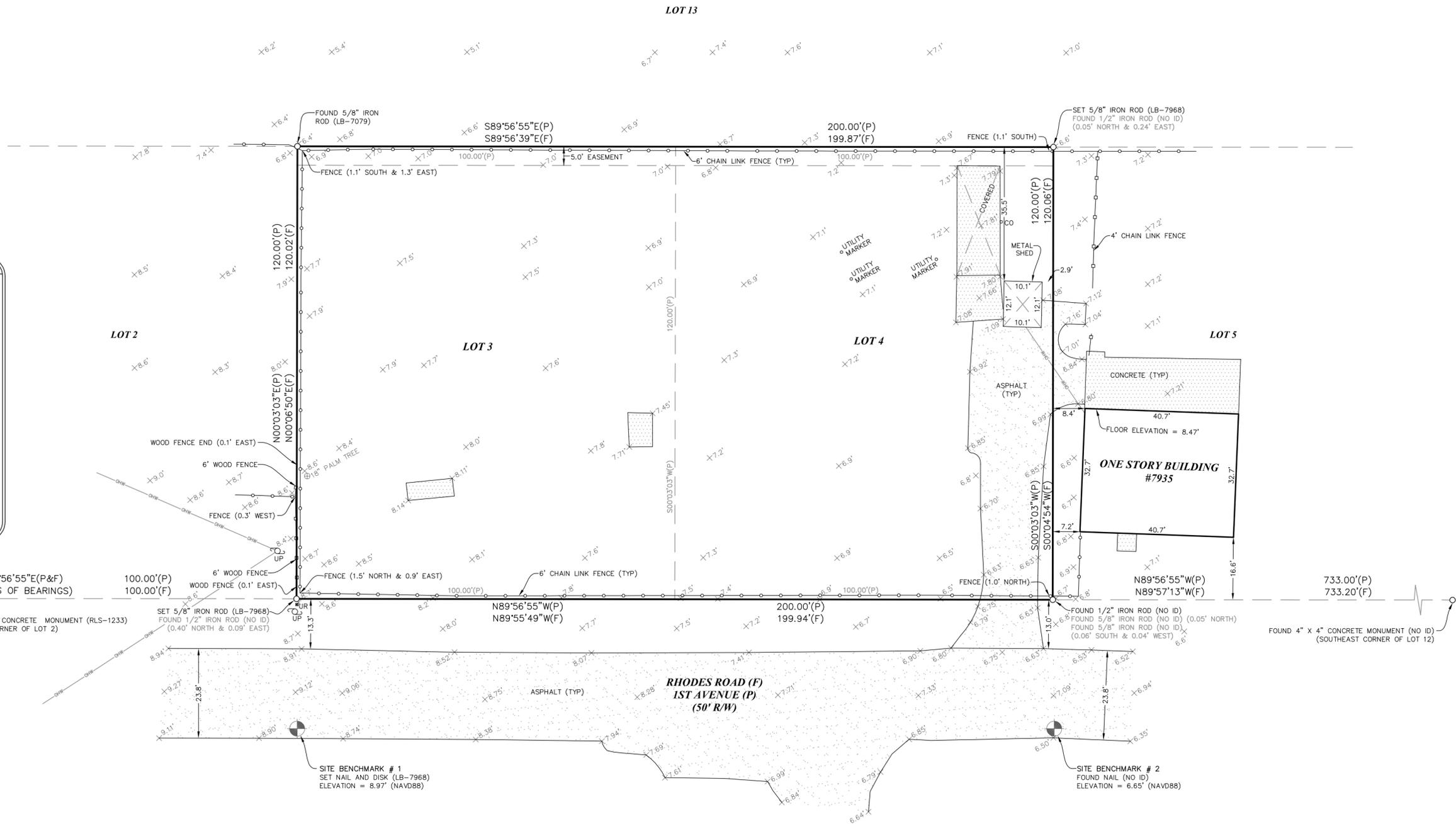
JASON D. BOYD
PE #69878
APRIL 24, 2015
NOT VALID WITHOUT ELECTRONIC SEAL
SUSTAINABILITY GROUP, LLC

PROJECT #: PRAYER HOUSE
ORIGINAL DATE: 01.30.15
CHECKED BY: RM
DESIGNED BY: RM
SHEET NO. C11 of C12

PLAT NORTH

SCALE: 1" = 20'

LEGEND	
(C)	CALCULATED MEASUREMENT
(D)	DESCRIPTION MEASUREMENT
(F)	FIELD MEASUREMENT
(P)	PLAT MEASUREMENT
(R)	RECORD MEASUREMENT
A/C	AIR CONDITIONER
BC	BACK OF CURB
BFP	BACK FLOW PREVENTER
CO	CLEAN-OUT
CONC	CONCRETE
CMP	CORRUGATED METAL PIPE
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
HDPE	HIGH-DENSITY POLYETHYLENE
HYD	FIRE HYDRANT
ID	IDENTIFICATION
INV	INVERT
LB	LICENSED BUSINESS NUMBER
LP	LIGHT POLE
OR	OFFICIAL RECORDS
OHV	OVERHEAD WIRE
NAVD	NORTH AMERICAN VERTICAL DATUM
PSM	PROFESSIONAL SURVEYOR AND MAPPER
RCF	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
TSB	TRAFFIC SIGNAL BOX
TYP	TYPICAL
UB	UTILITY BOX
UP	UTILITY POLE
UR	UTILITY RISER
WM	WATER METER
WV	WATER VALVE
+0.00'	SPOT ELEVATION



BENCHMARKS

CONTROL BENCHMARK: STAINLESS STEEL ROD WITH A NGS LOGO CAP STAMPED M 622 2005. LOCATED ON THE SOUTHEAST SIDE OF U.S. HIGHWAY 19, APPROXIMATELY 90.5' SOUTHEAST OF THE APPROXIMATE CENTERLINE OF U.S. HIGHWAY 19 NORTHBOUND LANES, 68.0' NORTHEAST OF THE APPROXIMATE CENTERLINE OF A MOBILE HOME SALES LOT DRIVEWAY AT 14816 U.S. HIGHWAY 19, 3.2' SOUTHWEST OF A CHAIN LINK FENCE CORNER AND 0.9' WEST OF A CARSONITE WITNESS POST. ELEVATION = 6.07' (NAVD88)

SITE BENCHMARK # 1: SET NAIL AND DISK (LB-7968). LOCATED ON THE SOUTH SIDE OF RHODES ROAD, 2.6' NORTH OF THE SOUTH EDGE OF PAVEMENT OF RHODES ROAD AND DUE SOUTH OF THE SOUTHWEST CORNER OF SUBJECT PARCEL. ELEVATION = 8.97' (NAVD88)

SITE BENCHMARK # 2: FOUND NAIL (NO ID). LOCATED ON THE SOUTH SIDE OF RHODES ROAD, 2.5' NORTH OF THE SOUTH EDGE OF PAVEMENT OF RHODES ROAD AND DUE SOUTH OF THE SOUTHWEST CORNER OF SUBJECT PARCEL. ELEVATION = 6.65' (NAVD88)

TYPE OF SURVEY: BOUNDARY AND TOPOGRAPHIC
 DATE OF SURVEY: OCTOBER 31, 2013
 CERTIFIED TO: THE PRAYER HOUSE
 PASCO COUNTY COMMUNITY DEVELOPMENT
 FOUR SEASONS DESIGN & REMODELING CENTER

SURVEYOR'S NOTES:

- THIS SURVEY MAP AND/OR REPORT OR THE COPIES HEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- BASIS OF BEARINGS: PLAT BEARING OF S89°56'55"E, ALONG THE NORTH RIGHT-OF-WAY LINE OF RHODES ROAD, AS SHOWN HEREON.
- THIS OFFICE HAS NOT ABSTRACTED THIS FOR ANY RECORDED CLAIMS OF TITLE EASEMENTS OR RESTRICTIONS. THE PRESENCE OR ABSENCE OF ANY SUCH CLAIMS IS NOT CERTIFIED HEREON.
- NO UNDERGROUND IMPROVEMENTS OR UTILITIES WERE LOCATED EXCEPT THOSE SHOWN HEREON.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- UNLESS NOTED OTHERWISE, NO UNDERGROUND FOUNDATIONS LOCATED.



I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARD REQUIREMENTS OF CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.

Christopher C. Chittum
 Christopher C. Chittum
 PSM #51167

November 11, 2013
 Date of Signature

BOUNDARY AND TOPOGRAPHIC SURVEY

DAVRIS, INC.
 CERTIFICATE OF AUTHORIZATION # 7968
 6630 Nebraska Ave.
 New Port Richey, FL 34652
 Phone: (727) 232-3800



7839 RHODES ROAD
 HUDSON, FLORIDA

FILE: 13199.dwg

PROJECT NUMBER:
13199

SHEET NO.
 1
 OF 1