

LOCATION MAP



CONSTRUCTION PLANS

FOR STARBUCKS @ MITCHELL RANCH SHOPPING CENTER

SECTION 25, TOWNSHIP 26 SOUTH, RANGE 16 EAST
PASCO COUNTY, FLORIDA

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MAP REFERENCES

BOUNDARY AND TOPOGRAPHIC SURVEY

INFORMATION TAKEN FROM "BOUNDARY AND TOPOGRAPHIC SURVEY FOR STARBUCKS & VITAMIN SHOPPE @ MITCHELL RANCH SHOPPING CENTER PREPARED BY ALEX B. THOMPSON JR., PLS. OF XTREME SURVEYING OF FLORIDA, INC. DATED 11-14-14.

Prepared For:

HB RETAIL LITTLE, LLC

907 SOUTH FORT HARRISON AVENUE, SUITE 102
CLEARWATER, FLORIDA 33759
PHONE: (727) 210-1900

Prepared By:



CIVIL ENGINEERING 2300 CURLEW ROAD STE 201
LAND PLANNING PALM HARBOR, FLORIDA
TRAFFIC/TRANSPORTATION 34683
SURVEYING
GIS PHONE (727) 789-9500
FAX (727) 784-6662
AVIDGROUP.COM



SITE DATA

PROPERTY OWNER:
HANGCOCK BANK
C/O REAL ESTATE TAX GROUP LLC
5500 PRYTANIA ST PMB 521
NEW ORLEANS LA 70115-4237

CONTRACT BUYER:
HB RETAIL LITTLE, LLC
907 SOUTH FORT HARRISON, SUITE 102
CLEARWATER, FLORIDA 33759

PROPERTY LOCATION:
2914 LITTLE ROAD
NEW PORT RICHEY, FLORIDA 34655-4420

PROPERTY FOLIO NUMBER:
25-26-0000-00400-0031

LEGAL DESCRIPTION:
SEE BOUNDARY SURVEY

PROPERTY ZONING:
C-2

BUILDING SETBACK REQUIREMENTS:
FRONT: 25FT
SIDE: 0FT
REAR: 0FT

PROPERTY USE:

USE:	EXISTING		PROPOSED	
	USE:	VACANT - BANK	RESTAURANT W/ DRIVE THRU - RETAIL	

MAXIMUM BUILDING HEIGHT:

HEIGHT:	ALLOWED		PROPOSED	
	HEIGHT:	60FT	35FT	

LOT COVERAGE CALCULATIONS:

	EXISTING		PROPOSED	
	EXISTING	PROPOSED	EXISTING	PROPOSED
BUILDING & SIDEWALK AREA	7,215 SF	15.42%	6,540 SF	13.98%
VEHICLE USE AREA	24,060 SF	51.43%	26,780 SF	57.24%
TOTAL IMPERVIOUS AREA	31,275 SF	66.85%	33,320 SF	71.22%
TOTAL PERVIOUS AREA	15,507 SF	33.15%	13,462 SF	28.78%
TOTAL SITE AREA	46,782 SF	100.00%	46,782 SF	100.00%

PARKING (REQUIRED):
1 PARKING SPACE PER 150 SF OF FLOOR AREA
2,100 SF + 430 SF (outdoor seating) / 150 = 17 SPACES REQUIRED
1 PARKING SPACE PER 300 SF OF FLOOR AREA
2,880 SF / 300 = 10 SPACES REQUIRED
1 BICYCLE PARKING PER 0.02 VEHICULAR SPACE
48 SPACES PROVIDED x 0.02 = 1 BICYCLE REQUIRED
HC SPACES REQUIRED: 2
STANDARD STALL SIZE = 9' x 20'
HC STALL SIZE = 12' x 20'

PARKING (PROPOSED):
STANDARD PARKING SPACES = 34
COMPACT PARKING SPACES = 12
HC SPACES = 2
TOTAL PARKING SPACES = 48
2 BICYCLE PARKING PROVIDED

FLOOD ZONE:
THIS PROPERTY LIES IN FLOOD ZONE "X", AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP; COMMUNITY PANEL No. 120230 0360 F, DATED 09/26/14.

PROFESSIONAL TEAM

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PALM HARBOR, FLORIDA 34683
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TRAFFIC ENGINEERS:
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GEOTECHNICAL ENGINEERS:
UNIVERSAL ENGINEERING SCIENCES
9802 PALM RIVER ROAD
TAMPA, FLORIDA 33619
PHONE: (813) 740-8506

ARCHITECT:
NAME
ADDRESS
CITY, STATE ZIP
PHONE: ()

LANDSCAPE ARCHITECT:
AVID GROUP
2300 CURLEW ROAD SUITE 201
PALM HARBOR, FLORIDA 34683
PHONE: (727) 789-9500

SURVEYORS:
EXTREME SURVEYING OF FLORIDA, INC
29340 RHODIN PLACE
WESLEY CHAPEL, FLORIDA 33545
PHONE: (813) 973-2082

UTILITY COMPANIES

GAS:
NAME
ADDRESS
CITY, STATE ZIP
PHONE: ()

POWER:
DUKE ENERGY
ADDRESS
CITY, STATE ZIP
PHONE: ()

TELEPHONE:
NAME
ADDRESS
CITY, STATE ZIP
PHONE: ()

SEWER:
PASCO COUNTY UTILITIES
7536 STATE ST. SUITE 213
NEW PORT RICHEY, FL 34654
PHONE: (727) 847-8145

CABLE:
NAME
ADDRESS
CITY, STATE ZIP
PHONE: ()

WATER:
PASCO COUNTY UTILITIES
7536 STATE ST. SUITE 213
NEW PORT RICHEY, FL 34654
PHONE: (727) 847-8145

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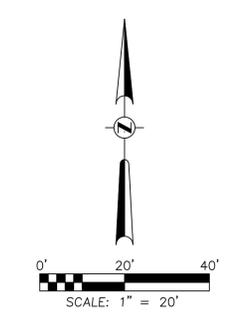
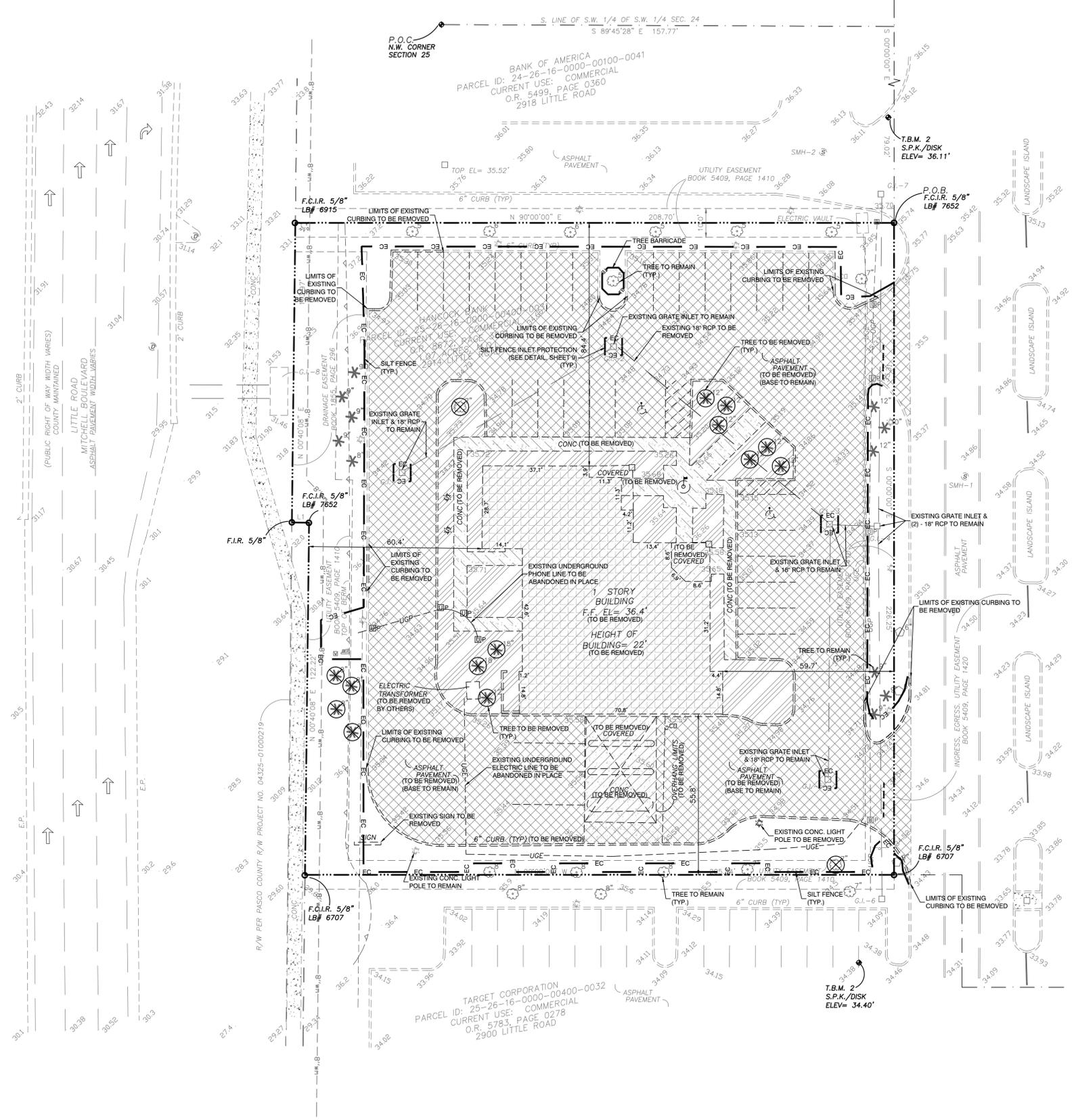
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DEMOLITION LEGEND

- SITE BOUNDARY LINE
- CENTER LINE OF ROAD
- RIGHT-OF-WAY
- EXISTING EDGE OF PAVEMENT
- TB --- TREE BARRICADE
- EC --- EROSION CONTROL
- EC --- EXISTING CURBING & PAVEMENT TO BE REMOVED (BASE LAYER TO REMAIN)
- EC --- EXISTING STRUCTURE TO BE REMOVED
- EC --- EXISTING CONC. S/W TO BE REMOVED
- EC --- EXISTING LANDSCAPE ISLAND TO BE CLEARED AND GRUBBED
- X --- TREE REMOVAL
- TYP --- TYPICAL
- HC --- HANDICAP
- S/W --- SIDEWALK
- LF --- 5' RADIUS
- LF --- LINEAR FEET
- SF --- SQUARE FEET

DEMOLITION NOTES:

1. CONTRACTOR TO DEMOLISH AND REMOVE ALL IMPROVEMENTS WITHIN LIMITS OF DEMOLITION SHOWN UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO ESTABLISH AND PROPERLY FLAG PROPERTY LINES PRIOR TO DEMOLITION.
3. THE CONTRACTOR SHALL UTILIZE SUITABLE EROSION CONTROL DURING DEMOLITION AND ALL PHASES OF CONSTRUCTION. SEE GENERAL NOTES AND DETAILS.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF ALL DEMOLITION DEBRIS.
5. UTILITIES TO BE PLUGGED SHALL BE FILLED WITH A MINIMUM 1.0 CUBIC FT. OF NON SHRINK GROUT OR AS OTHERWISE APPROVED BY ENGINEER.
6. TREES SHOWN TO REMAIN SHALL MAINTAIN PROTECTIVE BARRIERS DURING DEMOLITION AND CONSTRUCTION. THESE BARRIERS SHALL BE IN ACCORDANCE WITH CURRENT CITY/COUNTY STANDARDS.
7. THE CONTRACTOR SHALL BARRICADE THE SITE AND CONTROL TRAFFIC PER CURRENT FOOT TRAFFIC CONTROL STANDARDS.
8. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO DEMOLITION AND WILL BE RESPONSIBLE FOR THE DAMAGE OF ANY ON-SITE OR OFF-SITE UTILITIES THAT ARE NOT A PART OF THIS PROJECT OR ARE NOT IDENTIFIED TO BE REMOVED.
9. THE CONTRACTOR SHALL BARRICADE THE SITE AND CONTROL TRAFFIC PER CURRENT FOOT TRAFFIC CONTROL STANDARDS.
10. REMOVAL OF ASBESTOS CONTAINING MATERIALS SHALL BE IN ACCORDANCE WITH THE REGULATORY STANDARDS AND RECOMMENDATIONS OUTLINED IN THE LIMITED ASBESTOS SURVEY REPORT PERFORMED FOR THIS SITE.
11. REMOVAL OF ALL EXISTING WATER METERS, DOUBLE CHECK VALVE ASSEMBLIES, AND GATE VALVES TO BE COORDINATED WITH THE WATER DEPT.
12. CONTRACTOR TO COORDINATE REMOVAL/RELOCATION OF EXISTING POWER POLES AND OVERHEAD WIRES.
13. REMOVE ALL FOUNDATIONS OF BUILDINGS AND SIGN POSTS TO BE DEMOLISHED.
14. CONTRACTOR IS RESPONSIBLE FOR THE PROPER OFFSITE DISPOSAL OF ALL SPILL MATERIALS REMOVED FROM THE PROJECT SITE.
15. ANY WELLS ENCOUNTERED ON-SITE SHALL BE CAPPED BY A LICENSED WATER WELL CONTRACTOR IN ACCORDANCE WITH RULE 40D-3.531(2), F.A.C.
16. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE SOODED.

SILT FENCE NOTE:

1. NON-TRENCHED SILT FENCES IN AREAS WHERE EXISTING TREES ARE TO BE PRESERVED.
2. SILT FENCE LOCATED ADJACENT TO BOUNDARY SHALL BE STAKED AT 1 FT. OFF PROPERTY LINE.

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PROFESSIONAL ENGINEER

ROAD J. JOUDREY

NO. 9892

STATE OF FLORIDA

11/26/2014

PROFESSIONAL ENGINEER

PROJECT MANAGER

R.C. KELLEY

TRAIL #

319-015

DATE: 11/26/2014

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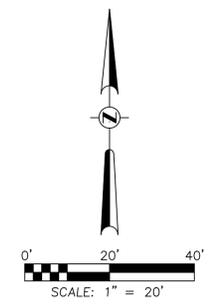
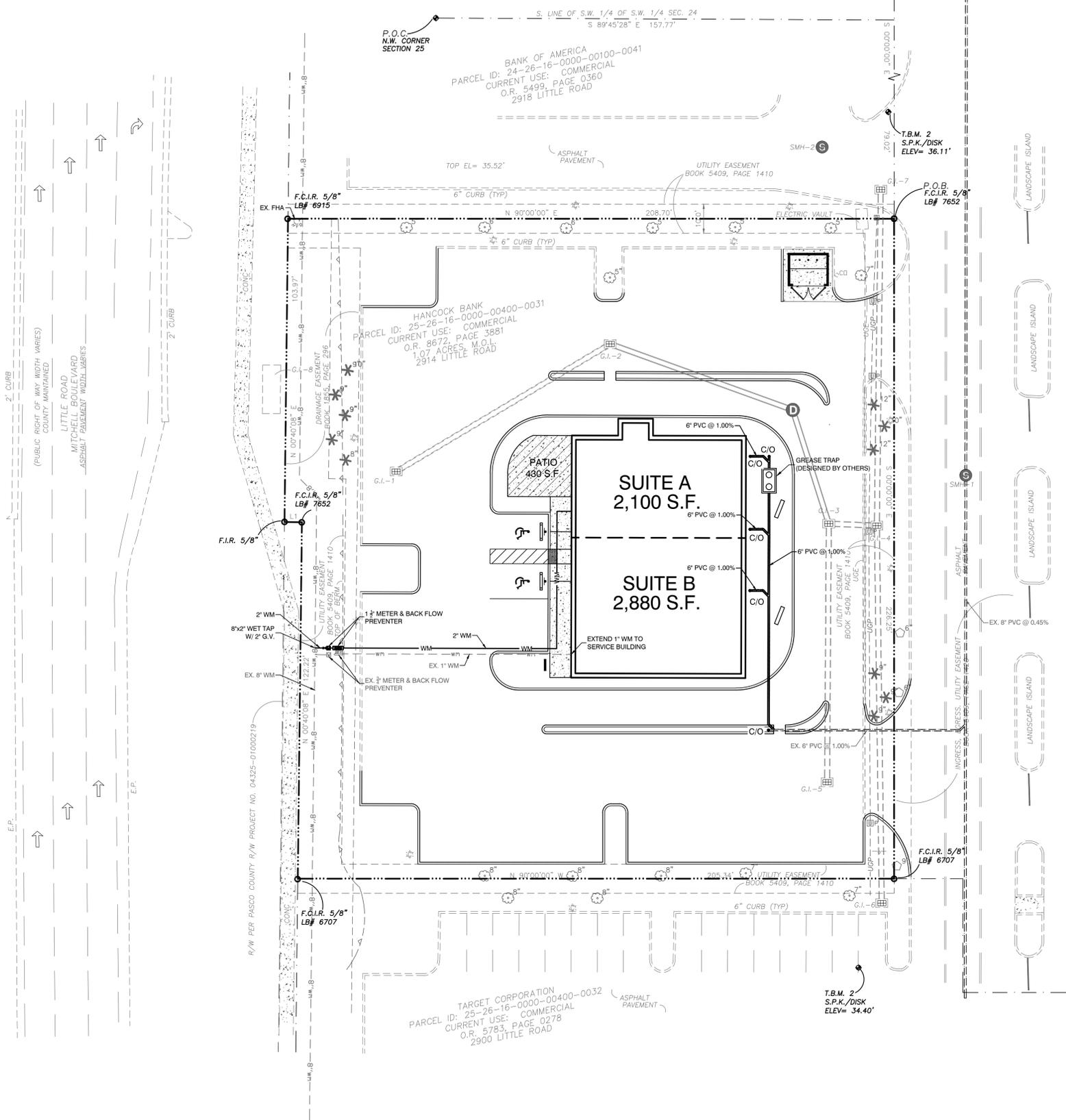
STARBUCKS @ MITCHELL RANCH SHOPPING CENTER

PASCO COUNTY, FLORIDA

DEMOLITION PLAN

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UTILITY LEGEND:

SS	SANITARY SEWER
•	CLEANOUT - CO
✕	GATE VALVE
◆	FIRE HYDRANT
●	REDUCER
●	BLOWOFF
⊗	WATER METER
⊞	BACKFLOW PREVENTER
WM	WATER MAIN

- STANDARD FIRE PROTECTION NOTES:**
- ALL PROJECT MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE NO. 46-51.
 - FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.
 - PER THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA-1, 16.4.3.1.3: WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
 - PER NFPA-1, 18.3.4.1: CLEARANCES OF 7 1/2 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4-FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.

SERVICE LATERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR DURING THE INSTALLATION OF ALL SERVICE LATERALS (SEWER AND WATER) TO COORDINATE ALL VERTICAL CLEARANCES/CONFLICTS WITH EXISTING AND PROPOSED PIPING, CONDUITS, AND SOFT UTILITIES (EXISTING AND FUTURE).

EXISTING UTILITIES NOTE:
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES AND SHALL NOTIFY THE ENGINEER OF ANY DEVIATION FROM THE PLANS PRIOR TO PROCEEDING WITH ANY PROPOSED CONSTRUCTION. EXISTING WATER MAIN LOCATIONS ARE BASED UPON PASCO COUNTY ATLAS INFORMATION. EXISTING SEWER SERVICE LOCATIONS ARE BASED UPON EXTREME SURVEYING OF FLORIDA SURVEY.

DATUM NOTE:
ELEVATIONS FOR THIS PROJECT ARE BASED ON N.A.V.D. 1988.

- UTILITY NOTES:**
- CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR RESPONSIBLE FOR ALL UNDERGROUND CONDUITS AND WIRING TO SIGNS AND LIGHTING.
 - SEE ARCHITECTURAL/MECHANICAL ENGINEERING PLANS FOR FIRE PROTECTION DESIGNS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN PROXIMITY OF ALL UTILITIES. EXISTING UTILITY LOCATIONS SHOWN ON PLANS ARE NOT EXACT OR GUARANTEED.

NOTE TO CONTRACTORS:
BEFORE BEGINNING SITE WORK, THE CONTRACTOR IS REQUIRED TO FIELD VERIFY THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES AND OTHER FEATURES. THE CONTRACTOR MAY CONSULT THE UTILITY OWNER'S RECORD DRAWINGS, BUT THE UTILITY OWNER AND THE ENGINEER DO NOT GUARANTEE, BY IMPLICATION OR OTHERWISE, THE ACCURACY OF THESE UTILITY OWNERS RECORD DRAWINGS. SITE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ANY MODIFICATION REQUIRED OTHER THAN SHOWN ON PLANS.

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PROFESSIONAL ENGINEER
 RICHARD J. JOUDREY
 NO. 88192
 STATE OF FLORIDA
 11/26/2014
 PROJECT MANAGER
 R.C. KELLEY
 TRAC # 319-015
 DATE: 11/26/2014

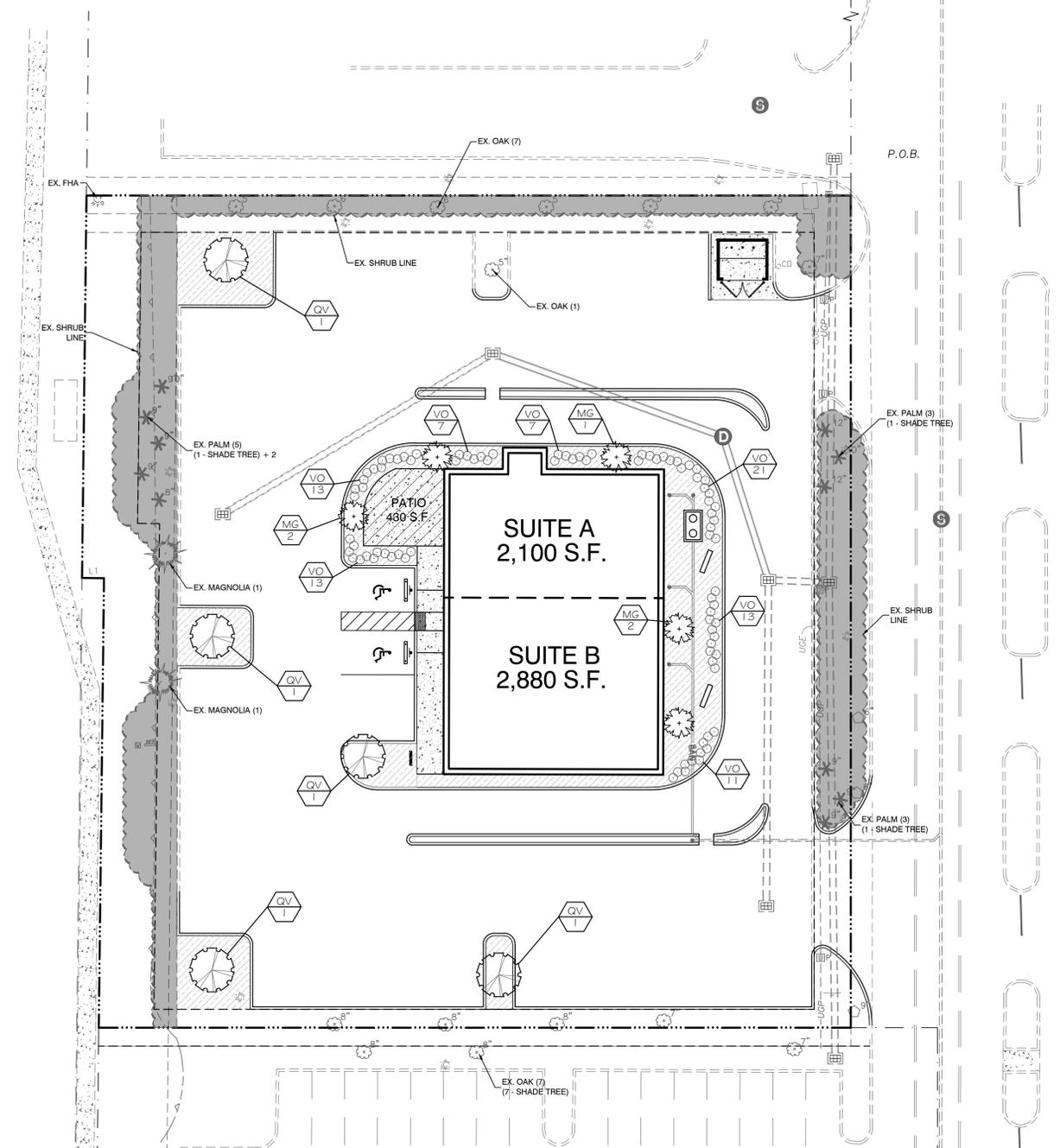
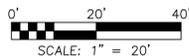
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STARBUCKS @ MITCHELL RANCH SHOPPING CENTER
 PASCO COUNTY, FLORIDA
UTILITY PLAN

6

LANDSCAPING LEGEND

APPROXIMATE AREA FOR EXISTING SHRUBS



QUALITY OF TREES
ALL TREES TO BE PLANTED SHALL BE FLORIDA GRADE NO. 1 OR BETTER PURSUANT TO THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, GRADES, AND STANDARDS FOR NURSERY PLANTS, WHICH IS INCORPORATED HEREIN BY REFERENCE.

B. INVASIVE SPECIES
(1) THE PLANTING OF SPECIES LISTED IN RULE 68.57.007, FLORIDA ADMINISTRATIVE CODE, AS AMENDED, OR CLASSIFIED AS INVASIVE BY THE FLORIDA EXOTIC PEST PLANT COUNCIL, IS PROHIBITED.
(2) INVASIVE SPECIES LOCATED WITHIN THE AREA OF THE PROJECT PROPOSED TO BE DEVELOPED ARE REQUIRED TO BE REMOVED.

C. SHADE TREES
ALL SHADE TREES USED TO SATISFY LANDSCAPING REQUIREMENTS SHALL HAVE A TWO (2) INCH CALIPER TRUNK AND BE A MINIMUM OF SIX (6) FEET IN HEIGHT AT THE TIME OF INSTALLATION. ALL REQUIRED SHADE TREES SHALL BE A SPECIES HAVING AN AVERAGE MATURE SPREAD OF GREATER THAN TWENTY (20) FEET.
WHERE INTERFERENCE WITH OVERHEAD UTILITY LINES IS PROBABLE, UNDERSTORY SHADE TREES SHALL BE PLANTED WITH A MAXIMUM SPACING OF THIRTY (30) FEET ON CENTER, TO AVOID A POWERLINE CONFLICT. VEGETATION THAT EXCEEDS TWENTY FIVE (25) FEET IN HEIGHT AT MATURITY SHALL NOT BE PLANTED CLOSER THAN TWENTY (20) FEET OF THE VERTICAL PLANE OF AN EXISTING POWERLINE, EXCLUDING SERVICE WIRES. CONSULTATION WITH THE AFFECTED UTILITY SHOULD OCCUR FOR ASSISTANCE WITH THE SELECTION OF SUITABLE VEGETATIVE SPECIES.

D. MULTIPLE-TRUNK TREES
ALL PROPOSED MULTIPLE-TRUNK TREES SHALL HAVE NO LESS THAN THREE (3) TRUNKS, EQUAL TO OR GREATER THAN THREE (3) INCHES CALIPER, AND SHALL BE A MINIMUM OF SIX (6) FEET IN HEIGHT AT THE TIME OF INSTALLATION.

E. PALMS
PALM TREES MAY BE SUBSTITUTED FOR SHADE TREES AT A RATE OF THREE (3) PALM TREES, GROUPED TOGETHER, FOR ONE (1) SHADE TREE. PALM TREES MAY BE SUBSTITUTED FOR UP TO THIRTY (30) PERCENT OF THE REQUIRED SHADE TREES. EXCEPTIONS MAY BE MADE FOR THE PHOENIX (NOT INCLUDING ROEBELII), WHICH MAY BE PLANTED INDIVIDUALLY. PALMS MUST HAVE A MINIMUM OF TEN (10) FEET OF CLEAR TRUNK AT THE TIME OF INSTALLATION.

F. SHRUBS
(1) SHRUBS, GROWN IN THE APPROPRIATE SIZED CONTAINERS, SHALL HAVE THE ABILITY TO BE A MINIMUM OF TWENTY-FOUR (24) INCHES WITHIN ONE (1) YEAR OF PLANTING AND SHALL MAINTAIN THAT HEIGHT. SHRUBS SHALL BE A MINIMUM OF EIGHTEEN (18) INCHES IN HEIGHT AT THE TIME OF INSTALLATION. SHRUBS SHALL BE SPACED A DISTANCE APPROPRIATE TO THE SPECIES TO CREATE A CONTINUOUS APPEARANCE WITHIN ONE (1) YEAR OF PLANTING, BUT AT NO MORE THAN THIRTY-SIX (36) INCHES ON CENTER AT THE TIME OF INSTALLATION, UNLESS THE APPLICANT CAN DEMONSTRATE THAT THE GROWTH STRUCTURE OF A PROPOSED SPECIES WILL OBTAIN A CONTINUOUS APPEARANCE WITHIN ONE (1) YEAR OF PLANTING.
(2) DWARF VARIETY OF SHRUBS, GROWN IN THE APPROPRIATE-SIZED CONTAINERS, SHALL BE A MINIMUM OF FOURTEEN (14) INCHES IN HEIGHT AT THE TIME OF INSTALLATION. DWARF SHRUBS SHALL BE SPACED A DISTANCE APPROPRIATE TO THE SPECIES TO CREATE A CONTINUOUS APPEARANCE WITHIN ONE (1) YEAR OF PLANTING, BUT AT NO MORE THAN THIRTY-SIX (36) INCHES ON CENTER AT THE TIME OF INSTALLATION, UNLESS THE APPLICANT CAN DEMONSTRATE THAT THE GROWTH STRUCTURE OF THE PROPOSED SPECIES WILL OBTAIN A CONTINUOUS APPEARANCE WITHIN ONE (1) YEAR OF PLANTING.

G. GROUND COVER
GROUND COVER PLANTS SHALL BE SPACED SO AS TO PRESENT A FINISHED APPEARANCE AND TO OBTAIN A REASONABLY COMPLETE COVERAGE WITHIN ONE (1) YEAR AFTER PLANTING. NONLIVING GROUND COVER, SUCH AS MULCH, GRAVEL, ROCKS, ETC., SHALL BE USED IN CONJUNCTION WITH LIVING PLANTS SO AS TO COVER EXPOSED SOIL AND SUPPRESS FUGITIVE DUST.

3. INSTALLATION OF PLANTING MATERIALS

A. AVOID UTILITY CONFLICTS. LANDSCAPE INSTALLATIONS SHALL BE PLACED TO AVOID CONFLICT WITH THE EXISTING AND/OR PROPOSED UTILITIES, BOTH UNDERGROUND AND OVERHEAD.

B. GOOD CONDITION. ALL TREES SHALL BE PLANTED ACCORDING TO THE FLORIDA CHAPTER, INTERNATIONAL SOCIETY OF ARBORICULTURE STANDARDS FOR PLANTING, WHICH IS INCORPORATED HEREIN BY REFERENCE. ALL TREES MUST BE MAINTAINED IN GOOD CONDITION AND PLANTED IN LOCATIONS WITH ADEQUATE OPEN SPACE TO ALLOW FOR MATURE TREE-CANOPY DEVELOPMENT.

C. AVOID EASEMENTS. TREES SHALL NOT BE PLANTED WITHIN ANY EASEMENT SO AS TO INTERFERE WITH THE USE OF THAT EASEMENT, NOR UNDER ANY PRESENT OR PLANNED OVERHEAD UTILITY, NOR IN ANY RIGHTS-OF-WAY WITHOUT COUNTY APPROVAL THROUGH THE ASSOCIATED REVIEW PROCESS.

D. MULCH. MULCH SHALL BE USED IN CONJUNCTION WITH LIVING PLANT MATERIALS SO AS TO COVER EXPOSED SOIL. MULCH SHALL BE INSTALLED TO A MINIMUM DEPTH OF THREE (3) INCHES. THE MULCH SHOULD NOT BE PLACED DIRECTLY AGAINST THE PLANT STEM OR TREE TRUNK. MULCH SHALL NOT BE REQUIRED FOR ANNUAL BEDS. STONE OR GRAVEL MAY BE USED TO COVER A MAXIMUM OF TWENTY (20) PERCENT OF THE LANDSCAPED AREA.

E. QUALITY PRACTICES. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH STANDARDS AND PRACTICES OF THE FLORIDA NURSERY, GROVERS, AND LANDSCAPE ASSOCIATION AND THE FLORIDA CHAPTER OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.

F. HEIGHT. ALL HEIGHT REQUIREMENTS SHALL BE BASED ON THE FINISHED GRADE OF THE LANDSCAPED AREA AND MEASURED AT THE MAIN STEM.

G. ALL PORTIONS OF A LOT UPON WHICH DEVELOPMENT HAS COMMENCED, BUT NOT CONTINUED FOR A PERIOD OF THIRTY (30) DAYS, SHALL BE PLANTED WITH A GRASS SPECIES OR GROUND COVER TO PREVENT EROSION AND ENCOURAGE SOIL STABILIZATION. ADEQUATE COVERAGE, SO AS TO SUPPRESS FUGITIVE DUST, SHALL BE ACHIEVED WITHIN FORTY-FIVE (45) DAYS.

D. SPECIFIC PLANTING REQUIREMENTS

1. GENERALLY, THE FOLLOWING GENERAL STANDARDS AND THE SPECIFIC PLANTING STANDARDS BELOW SHALL APPLY TO ALL SITES:
A. ALL PORTIONS OF EACH SITE, WHICH ARE NOT DEVOTED TO BUILDINGS, SIDEWALKS, PAVING, OR SPECIAL LANDSCAPE FEATURES SHALL BE GRASSED. HOWEVER, NO MORE THAN THIRTY (30) PERCENT OF THE REQUIRED LANDSCAPE AREA MAY BE GRASSED. THE BALANCE SHALL BE LANDSCAPED IN SHRUBS AND GROUND COVER PLANTS.

B. SIDEWALKS AND OTHER IMPERVIOUS AREAS SHALL NOT BE LOCATED WITHIN A REQUIRED BUFFER EXCEPT:

(1) DRIVEWAYS AND SIDEWALKS ARE CONSTRUCTED PERPENDICULAR TO THE BUFFER AND PROVIDE DIRECT ACCESS TO THE PARCEL OR ADJACENT PARCELS.

(2) A MEANDERING SIDEWALK, BIKE TRAIL, OR NATURE TRAIL IS PROVIDED WITHIN THE BUFFER AND THE BUFFER WIDTH IS INCREASED BY THE EQUIVALENT SIDEWALK OR TRAIL WIDTH.

4. BUILDING PERIMETERS

THE INTENT AND PURPOSE OF BUILDING PERIMETER LANDSCAPING IS TO PROVIDE FOR VISUAL INTEREST, PREVENT MONOTONY, BREAK UP WALL AND PAVEMENT EXPANSES, AND CLEARLY DEFINE ENTRYWAYS. BUILDING PERIMETER LANDSCAPING SHALL BE PLACED SUCH THAT A MINIMUM OF FIFTY (50) PERCENT OF THE BUILDING PERIMETER IS LANDSCAPED.

A. ALL SHOPPING CENTER, RETAIL, OFFICE, APARTMENT, CONDOMINIUM, TOWNHOUSE, CLUBHOUSE, AND SIMILAR USES SHALL PROVIDE PERIMETER BUILDING LANDSCAPED BEDS IN A MINIMUM AMOUNT EQUAL TO TEN (10) PERCENT OF THE PROPOSED BUILDING GROUND-LEVEL FLOOR AREA.

B. THESE BUILDING PERIMETER LANDSCAPINGS SHALL BE LOCATED ADJACENT TO THE BUILDING AND SHALL CONSIST OF LANDSCAPED AREAS, RAISED PLANTERS, OR PLANTER BOXES THAT ARE A MINIMUM OF FIVE (5) FEET WIDE. THESE LANDSCAPED AREAS SHALL INCLUDE SHADE TREES, UNDERSTORY TREES AND/OR PALMS, SHRUBS, DWARF SHRUBS, AND GROUND COVER PLANTS.

ALTERNATIVE DESIGN SOLUTIONS FOR THESE BUILDING PERIMETER LANDSCAPING REQUIREMENTS THAT MEET OR EXCEED THE INTENT AND PURPOSE OF THIS SECTION MAY BE APPROVED THROUGH THE ALTERNATIVE STANDARDS REVIEW PROCESS.

5. PERIMETER LANDSCAPE BUFFERING AND SCREENING

THE INTENT AND PURPOSE OF PROVIDING LANDSCAPE BUFFERING AND SCREENING IS TO PROVIDE FOR AN AESTHETICALLY PLEASING DEVELOPED ENVIRONMENT AND SEPARATION BETWEEN USES AND INTENSITIES WHERE APPROPRIATE. GENERALLY, PERIMETER LANDSCAPING IS REQUIRED ON ALL SIDES OF A LOT, WITH THE EXCEPTION OF SINGLE, TWO (2), AND MOBILE HOME LOTS WHERE THE LANDSCAPING SHALL BE REQUIRED ON INDIVIDUAL LOTS AND AROUND THE PROJECT AS A WHOLE. BUFFER TYPE REQUIRED IS BASED ON THE SUBJECT PROPERTY'S DISTRICT USE AND THE ADJACENT DISTRICT USE AS SHOWN IN TABLES 905.2-D AND 905.2-E.

A. WHERE THE BUFFERS ARE LOCATED WITHIN SUBDIVISIONS, THE BUFFERS SHALL BE INDICATED AS TRACTS AND THE APPLICABLE MINIMUM SIDE OR REAR YARD SHALL BE MEASURED FROM THE TRACT LINE.

FOR RESIDENTIAL USES WHERE THE BUFFERS ARE NOT LOCATED WITHIN A SUBDIVISION, THEY SHALL BE DELINEATED BY AN EASEMENT AND THE APPLICABLE SIDE OR REAR YARD SHALL BE INCREASED BY THE WIDTH OF THE REQUIRED BUFFER. ADDITIONALLY, WHERE THE BUFFER IS LOCATED WITHIN AN EASEMENT, THE APPLICABLE SIDE-OR REAR-YARD SETBACK, AS REQUIRED BY THE ZONING DISTRICT, SHALL BE MEASURED FROM THE EASEMENT LINE. FURTHER, WHEN A BUFFER IS LOCATED WITHIN AN EASEMENT, ADDITIONAL CONDITIONS RELATING TO THE MAINTENANCE AND DISCLOSURE OF THE BUFFER REQUIREMENTS TO THE LOT OWNER MAY BE IMPOSED BY THE COUNTY.

TYPE A

TEN (10) FEET WIDE SINGLE ROW OF TREES; MAXIMUM SIXTY (60) FEET ON CENTER. CONTINUOUS ROW OF EVERGREEN SHRUBS.

TYPE D NONLOCAL ROADWAY LANDSCAPE BUFFER SHALL BE REQUIRED:
• ADJACENT TO ANY ROAD RIGHT-OF-WAY EXTERNAL TO THE DEVELOPMENT.
• ADJACENT TO ANY NONLOCAL ACCESS ROADS INTERNAL TO A DEVELOPMENT.
• ADJACENT TO ALL DOUBLE-FRONTAGE LOTS.

THE MINIMUM WIDTH WILL VARY ACCORDING TO THE ULTIMATE WIDTH OF ABUTTING RIGHT-OF-WAY AND PROJECT SIZE AS FOLLOWS:
RIGHT-OF-WAY WIDTH BUFFER REQUIRED
0-90 FEET 10 FEET
100 OR MORE 15 FEET
15 ACRES OR LARGER PROJECT
REGARDLESS OF RIGHT-OF-WAY WIDTH 20 FEET

WHEN A CORRIDOR RIGHT-OF-WAY IS DEDICATED IN ACCORDANCE WITH THIS CODE, THE TYPE D BUFFER WIDTH MAY BE REDUCED TO NO LESS THAN TEN (10) FEET AS PART OF PLAN REVIEW, PROVIDED THE PURPOSE AND INTENT OF THIS SECTION ARE MET. SHADE AND UNDERSTORY TREES SHALL BE PLANTED AT AN AVERAGE OF THIRTY (30) FEET APART. MINIMUM SPACING TWENTY (20) FEET; MAXIMUM FORTY-FIVE (45) FEET. THE REMAINDER OF THE BUFFER SHALL BE LANDSCAPED WITH SHRUBS AT A MINIMUM RATE OF FIVE (5) SHRUBS PER TREE OR PALM AND GROUND COVER PLANTS. WHERE A VEHICULAR USE AREA ABUTS THE RIGHT-OF-WAY BUFFER, THE BUFFER SHALL ALSO CONTAIN AN EARTHEN BERM A MINIMUM OF EIGHTEEN (18) INCHES IN HEIGHT; SHALL BE PLANTED SO AS TO FORM A CONTINUOUS, UNBROKEN, SOLID VISUAL SCREEN WITHIN ONE (1) YEAR OF TIME OF PLANTING. GROUND COVER PLANTS SHALL BE PLANTED AT AN AVERAGE OF THIRTY (30) FEET APART. BERMS AND LANDSCAPING SHALL BE EIGHTY (80) PERCENT OPAQUE AND SHALL BE A MINIMUM OF THREE (3) FEET IN HEIGHT AT THE TIME OF PLANTING AND ALL TIMES THEREAFTER. BERM MAY BE UNDULATING TO ALLOW TREE PLACEMENT AND PROMOTE VISUAL INTEREST. BERM SHALL NOT BE REQUIRED WITHIN CLEAR-SIGHT TRIANGLE AREA. NO MORE THAN THIRTY (30) PERCENT OF THE REQUIRED LANDSCAPE AREA SHALL BE GRASSED. WOODEN FENCES SHALL BE PROHIBITED.

WHERE A WALL IS USED:
• THE MASONRY OR OTHER ORNAMENTAL WALL, NOT TO EXCEED EIGHT (8) FEET IN HEIGHT, MAY BE LOCATED WITHIN A REQUIRED TYPE D BUFFER (RIGHT-OF-WAY BUFFER) TO SEPARATE A RESIDENTIAL DEVELOPMENT FROM THE ROADWAY.
• THE MASONRY OR OTHER ORNAMENTAL WALL SHALL BE INSTALLED SO AS TO ALLOW THE REQUIRED LANDSCAPING TO BE PROVIDED ALONG THE RIGHT-OF-WAY SIDE OF THE WALL.
• ANY SIDEWALK LOCATED ADJACENT TO THE SAID MASONRY OR OTHER ORNAMENTAL WALL SHALL BE SEPARATED FROM THE MASONRY OR OTHER ORNAMENTAL WALL BY A SINGLE ROW OF TREES SPACED THIRTY (30) FEET ON CENTER.

• THE TREES SHALL BE PLANTED SO AS TO PROVIDE SHADE ALONG THE SIDEWALK. VINES AND GROUND COVER MAY ALSO BE INCORPORATED INTO THE LANDSCAPING. IT IS NOT THE INTENT OF THIS REQUIREMENT TO OBTAIN VIEW DECORATIVE ELEMENTS, SUCH AS EMBLEMS, TILE MOLDING, AND PROMPT IRON.

D. JOINT LANDSCAPE AREAS. WHEN SIDE OR REAR PERIMETER LANDSCAPE AREAS ARE REQUIRED ON ADJACENT PROPERTIES, THE COUNTY ADMINISTRATOR OR DESIGNEE MAY APPROVE A JOINT LANDSCAPE AREA PERMITTING INSTALLATION OF ONE (1) SUCH LANDSCAPE AREA ON THE ADJACENT BOUNDARY, AS LONG AS SUCH AGREEMENT IS BINDING ON BOTH PROPERTY OWNERS AND THEIR SUCCESSORS IN INTEREST, AND IS APPROVED AS PART OF THE PERMIT APPLICATION BY THE COUNTY ADMINISTRATOR OR DESIGNEE. IT IS INTENDED THAT JOINT LANDSCAPE AREAS BE UTILIZED WHERE ADJACENT USES HAVE SIMILAR DENSITIES AND INTENSITIES.

E. LANDSCAPE MAINTENANCE AND PROHIBITIONS

1. ALL LANDSCAPING, INCLUDING THOSE AREAS LOCATED IN THE PUBLIC RIGHT-OF-WAY AS APPROVED THROUGH THE APPLICABLE DEVELOPMENT REVIEW PROCESS, SHALL BE MAINTAINED BY AN ENTITY OTHER THAN THE COUNTY.

2. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY CONDITION IN PERPETUITY IN ACCORDANCE.

3. ALL INSTALLED LANDSCAPING SHALL BE NEAT AND ORDERLY IN APPEARANCE AND KEPT FREE OF REFUSE, DEBRIS, DISEASE, PESTS, AND WEEDS, AND SHALL BE FERTILIZED AND IRRIGATED AS NEEDED TO MAINTAIN PLANTS IN A HEALTHY CONDITION.

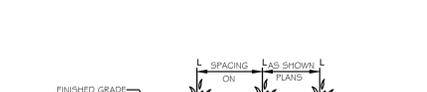
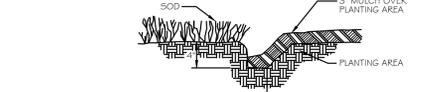
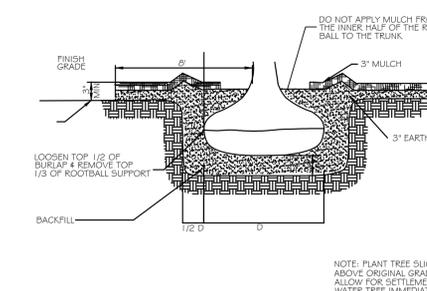
4. ONGOING MAINTENANCE TO PREVENT THE ESTABLISHMENT OF PROHIBITED, INVASIVE SPECIES IS REQUIRED.

5. ANY PLANT MATERIALS OF WHATSOEVER TYPE AND KIND REQUIRED BY THESE REGULATIONS SHALL BE REPLACED WITHIN THIRTY (30) DAYS OF THEIR DEMISE AND/OR REMOVAL.

6. PAVING, TREATING, OR COVERING A REQUIRED LANDSCAPE AREA IN ANY WAY THAT RENDERS IT IMPERVIOUS IS PROHIBITED.

7. PARKING OF VEHICLES SHALL NOT BE PERMITTED IN REQUIRED LANDSCAPE AREAS.

VEHICULAR USE AREA: 26,780 SF
26,780 SF x 0.10 = 2,678 SF REQUIRED INTERIOR LANDSCAPING
2,678 SF / 200 SF = 14 SHADE TREES REQUIRED
2,678 SF x .70 = 1,875 SF REQUIRED GROUND COVER

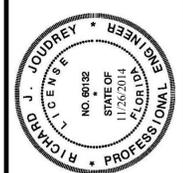


PLANT LIST

Key	Botanical / Common Name	Quantity	Native	Spacing	Size (height/spread)
MG	MAGNOLIA GRANDIFLORA / SOUTHERN MAGNOLIA	5	YES	AS SHOWN	2" CAL., 6' HT. (FLORIDA GRADE #1 OR BETTER)
QV	QUERCUS VIRGINIANA / LIVE OAK	5	YES	AS SHOWN	2" CAL., 6' HT. (FLORIDA GRADE #1 OR BETTER)
SHRUBS					
VO	VIBURNUM OBOVATUM / WALTER VIBURNUM	85	YES	30' O.C.	18" x 30", 3 GAL.
GROUNDCOVER					
PS	PLUMBAGO SCANDENS / WILD PLUMBAGO	2,715	YES		12" x 12", 1 GAL.
SOD	ST. AUGUSTINE FLORATAM SOD		YES		

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PROJECT MANAGER: R.C. KELLEY
DATE: 11/26/2014
11/26/2014
319-015

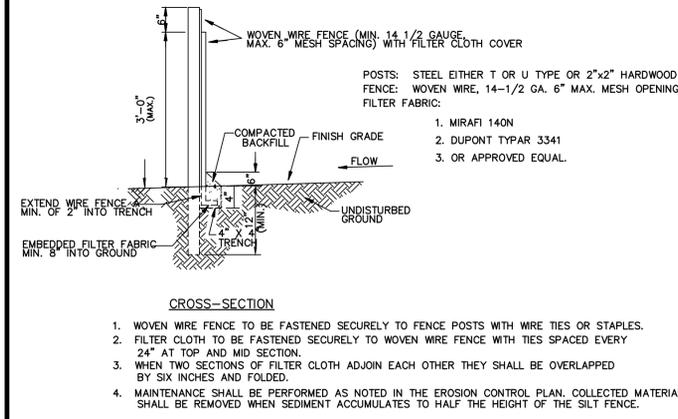
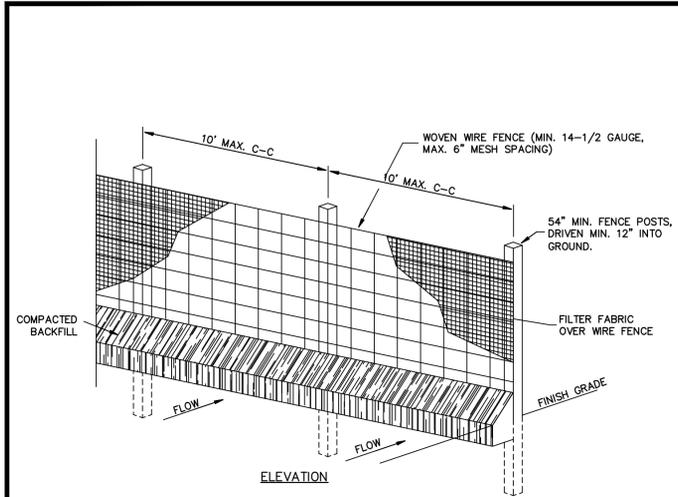


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TRAFFIC/TRANSPORTATION SURVEYING
PHONE (727) 784-9500
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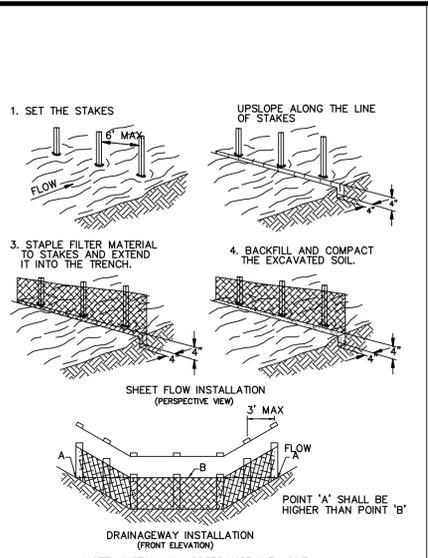
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STARBUCKS @ MITCHELL RANCH SHOPPING CENTER
PASCO COUNTY, FLORIDA
LANDSCAPING PLAN

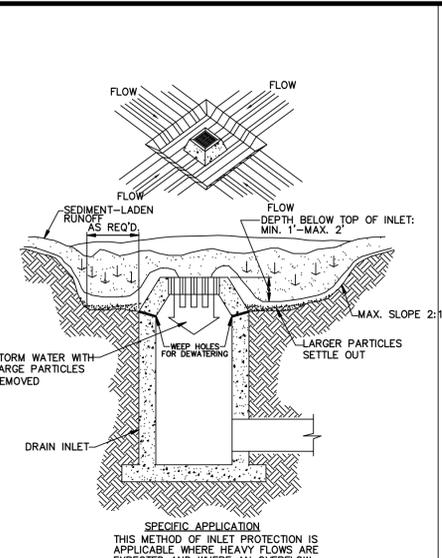
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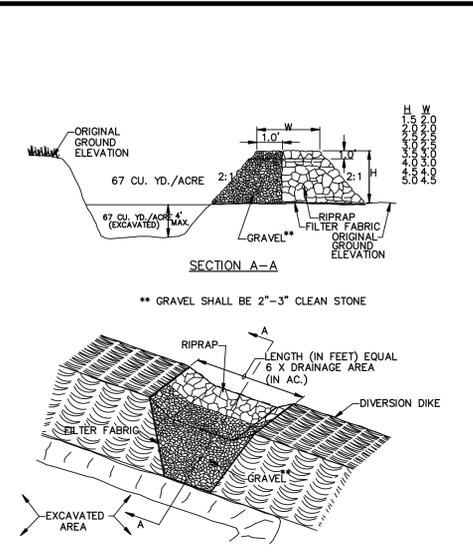
SEDIMENTATION/SILT FENCE W/ WIRE SUPPORT
N.T.S.



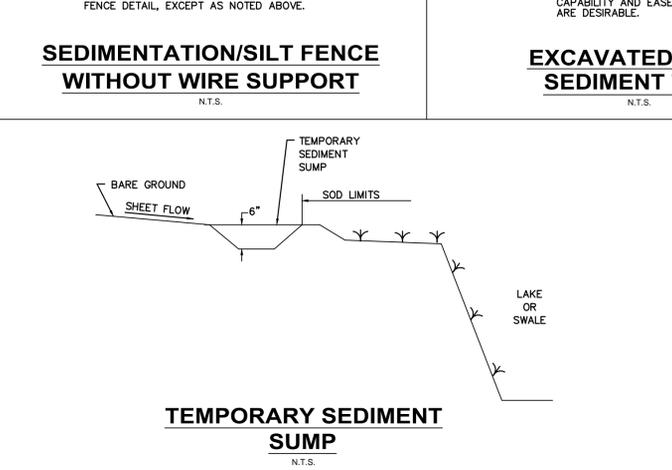
SEDIMENTATION/SILT FENCE WITHOUT WIRE SUPPORT
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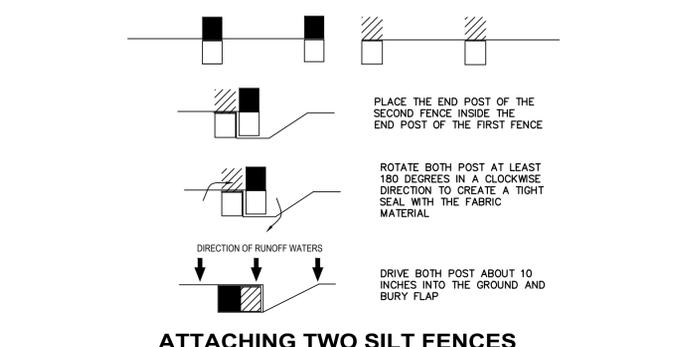
EXCAVATED INLET SEDIMENT TRAP
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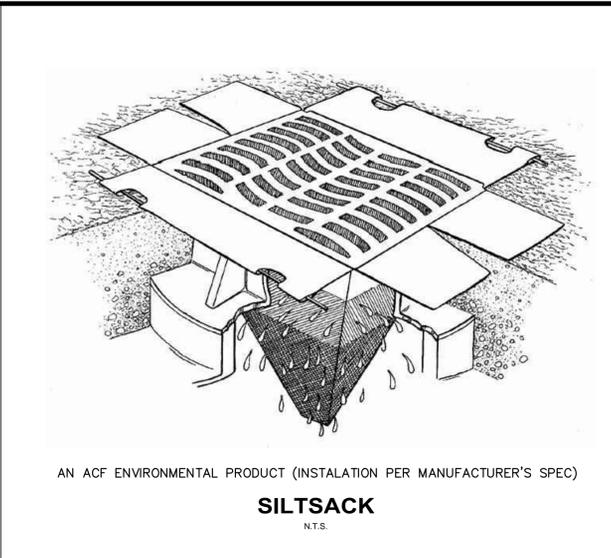
TEMPORARY SEDIMENT TRAP
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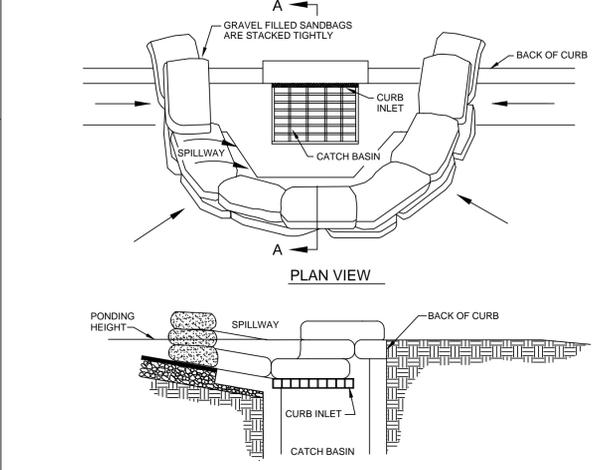
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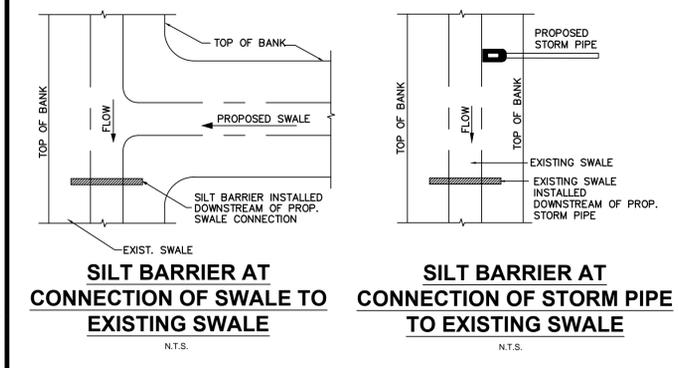
ATTACHING TWO SILT FENCES



SILTSACK
N.T.S.

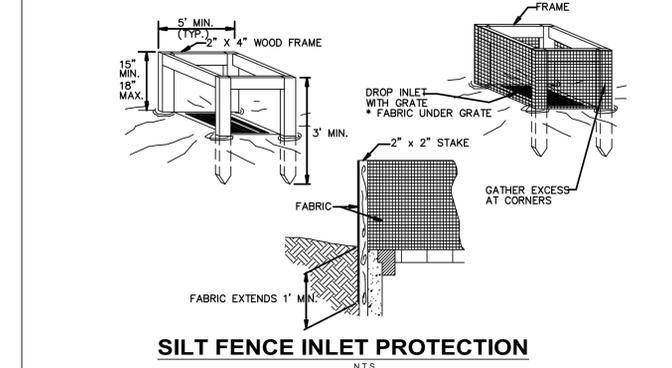


CURB INLET PROTECTION DETAIL
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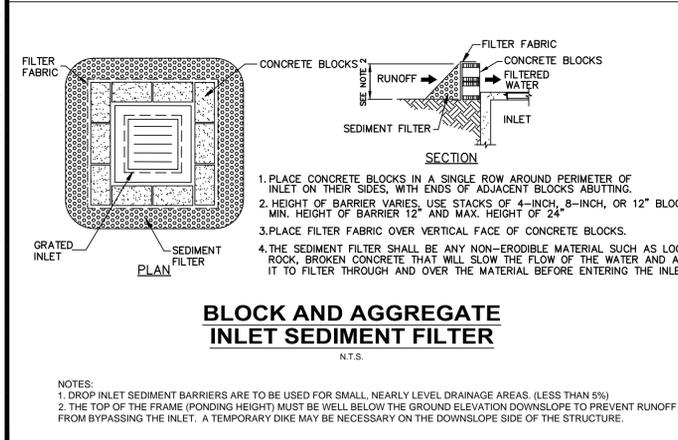


SILT BARRIER AT CONNECTION OF SWALE TO EXISTING SWALE
N.T.S.

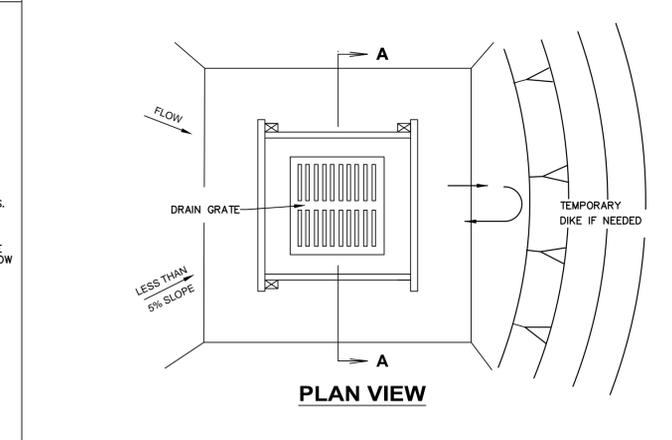
SILT BARRIER AT CONNECTION OF STORM PIPE TO EXISTING SWALE
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SILT FENCE INLET PROTECTION
N.T.S.

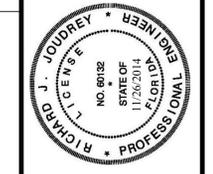


BLOCK AND AGGREGATE INLET SEDIMENT FILTER
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TEMPORARY CONSTRUCTION ACCESS DETAIL
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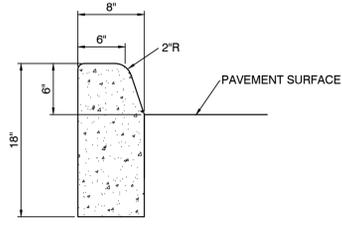
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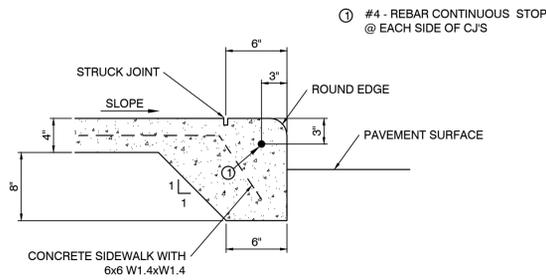
NPDES DETAILS

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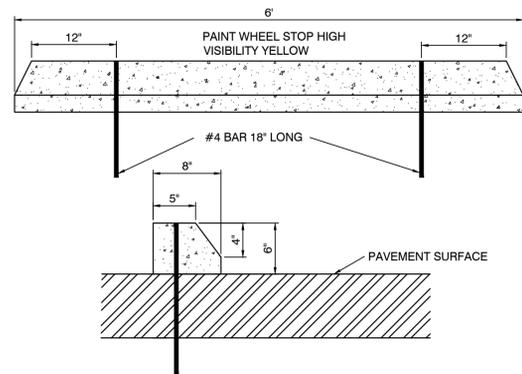
FOR MORE NOTES AND DETAILS SEE FDOT INDEX NO. 300

TYPE "D" CURB



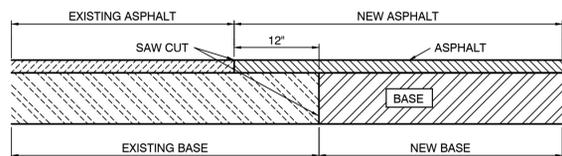
INTEGRAL CURB & SIDEWALK

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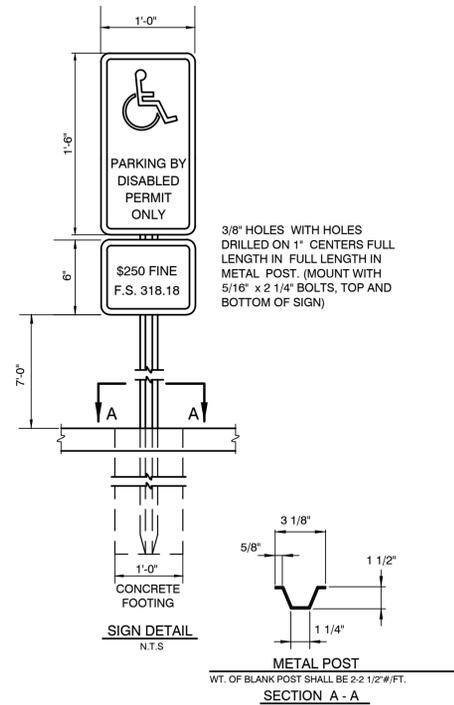
PRECAST CONCRETE WHEEL STOP

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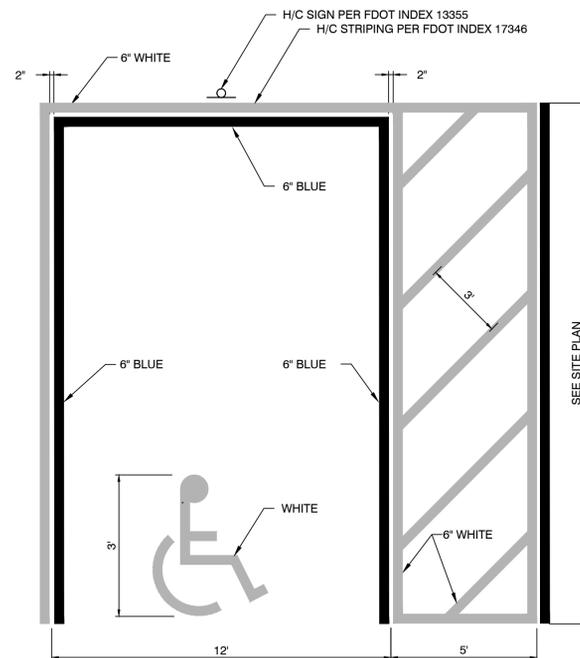
PAVEMENT CONNECTION

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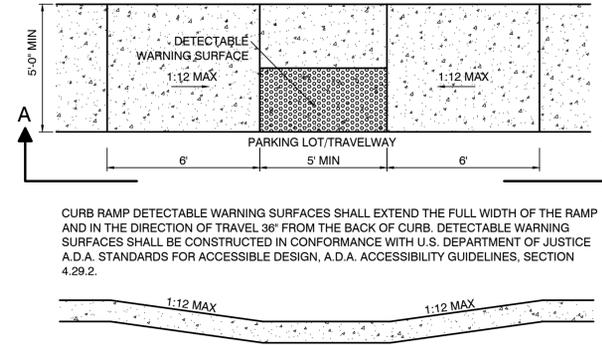
HANDICAP PARKING SIGN DETAIL

NTS



HANDICAP PARKING PAVEMENT MARKING

NTS



HANDICAPPED RAMP

NTS

SPECIFICATION REQUIREMENTS ON LAYER THICKNESS FOR TYPE SP STRUCTURAL COURSES

THE LAYER THICKNESS MUST BE CONSISTENT WITH THE FOLLOWING THICKNESS RANGES:

FINE MIXES

TYPE MIX	MINIMUM	MAXIMUM
SP-9.5	1"	1.5"
SP-12.5	1.5"	2.5"
SP-19.0	2"	3"

IN ADDITION TO THE MINIMUM AND MAXIMUM THICKNESS REQUIREMENTS, THE FOLLOWING RESTRICTIONS ARE PLACED ON THE RESPECTIVE MATERIAL WHEN USED AS A STRUCTURAL COURSE:

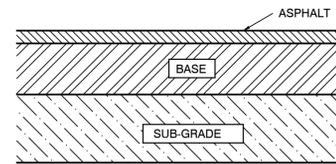
- SP-9.5 LIMITED TO THE TOP TWO STRUCTURAL LAYERS, TWO LAYERS MAXIMUM.
- SP-9.5 MAY NOT BE USED ON TRAFFIC LEVEL D AND F APPLICATIONS.
- SP-19.0 MAY NOT BE USED IN THE FINAL (TOP) STRUCTURAL LAYER.

ASPHALT COMPACTION REQUIREMENTS

- SP COARSE GRADED 90% IN ACCORDANCE TO FM 1-T 166
- SP FINE GRADED 93% IN ACCORDANCE TO FM 1-T 166

TYPE III OR S-1 95% OF THE MARSHAL DESIGN DENSITY

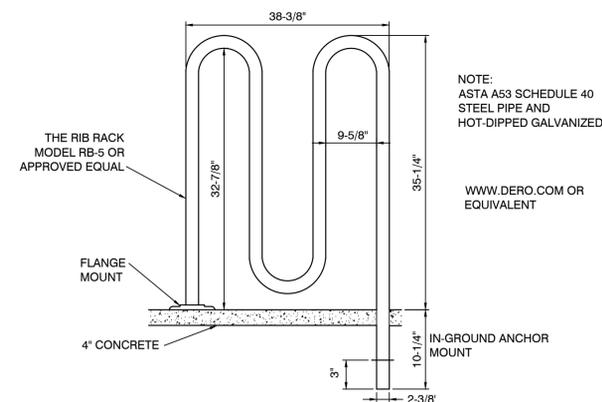
OR OTHER FDOT PROCEDURE AS APPROVED BY THE ENGINEER.



	NORMAL	HEAVY DUTY	
ASPHALT	1.5"	2.0"	USE TYPE S-1
BASE	6"	8"	LIMEROCK LBR-100, COMPACTED TO 98% OF AASHTO T-180 OR CRUSHED CONCRETE, LBR-100, PER FDOT STANDARD SPEC 204-2.2, COMPACTED TO 100% OF AASHTO T-180
SUB-GRADE	12"	12"	LBR-40, COMPACTED TO 98% AASHTO T-180

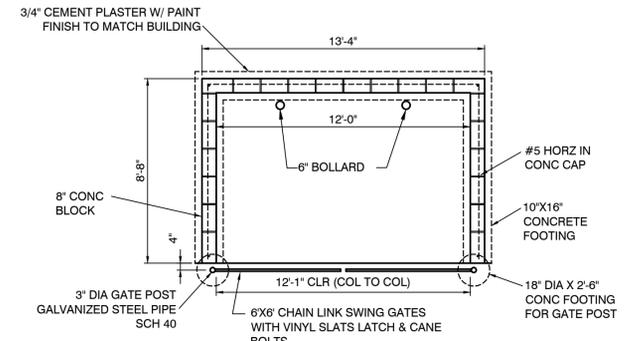
TYPICAL ASPHALT PAVEMENT SECTION

NTS

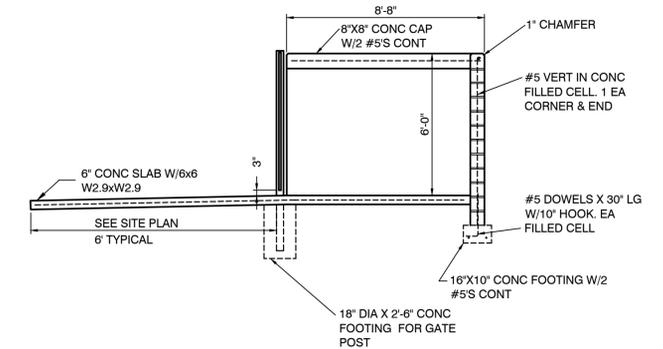


BICYCLE RACK DETAILS

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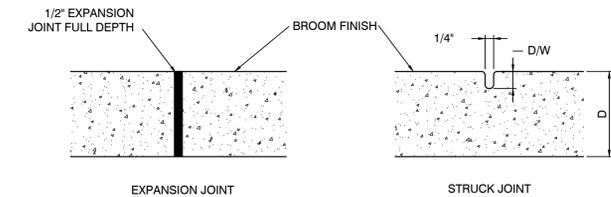
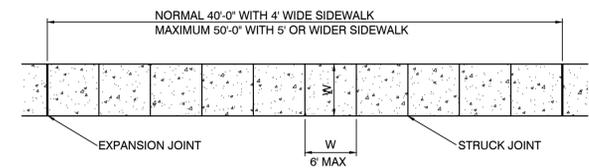
PLAN



SECTION

TRASH ENCLOSURE

NTS



NOTES:

- SIDEWALK EXPANSION JOINTS TO BE AT ALL TIES TO CONCRETE OTHER THAN DRIVEWAYS. MAXIMUM SPACING SHALL BE 50'.
- EXPANSION JOINT MATERIAL SHALL BE ASPHALT FIBER IMPREGNATED PRE FORMED JOINT FILLER, TO FILL DEPTH OF CONCRETE.

TYPICAL SIDEWALK

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 AVID GROUP, INC.
 PROJECT MANAGER: R.C. KELLEY
 TRAIL # 319-015
 DATE: 11/28/2014



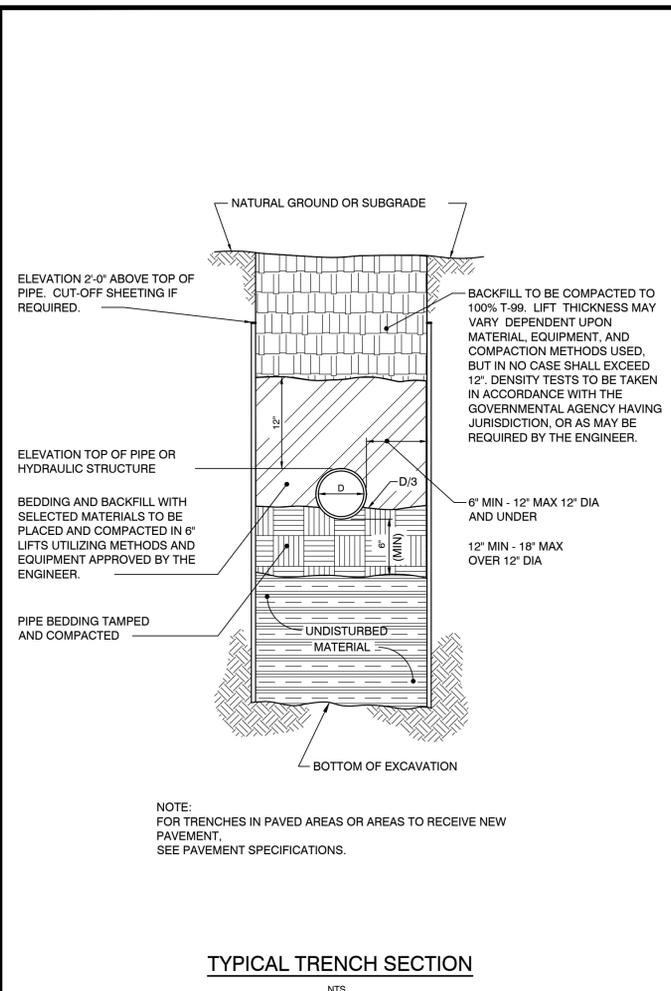
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 PASCO COUNTY, FLORIDA 34885
 TRAFFIC/TRANSPORTATION SURVEYING
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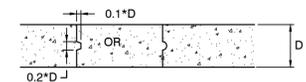
STARBUCKS @ MITCHELL RANCH SHOPPING CENTER PASCO COUNTY, FLORIDA

SITE DETAILS

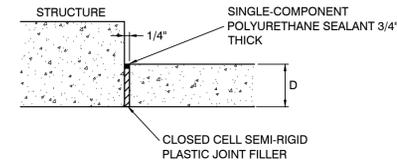
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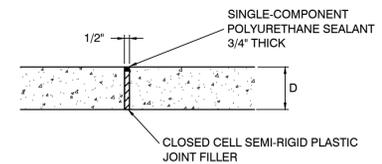
TYPICAL TRENCH SECTION
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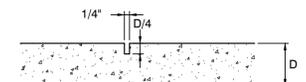
CONSTRUCTION JOINT



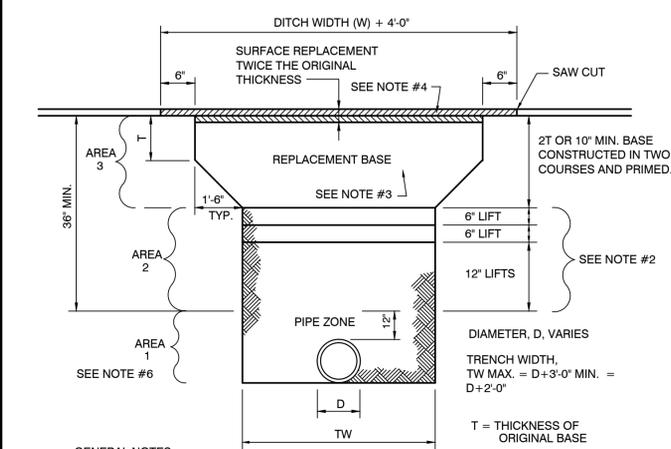
1/4" EXPANSION JOINT



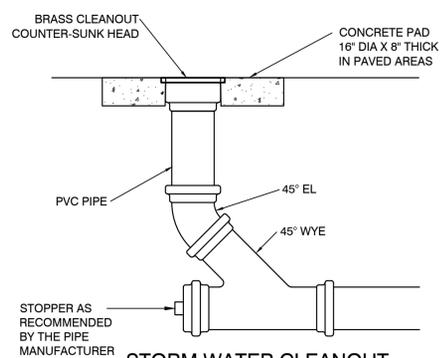
1/2" EXPANSION JOINT



CONTROL JOINT
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OPEN CUT DETAIL
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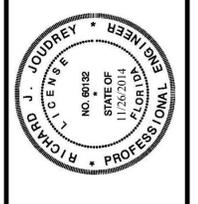


STORM WATER CLEANOUT
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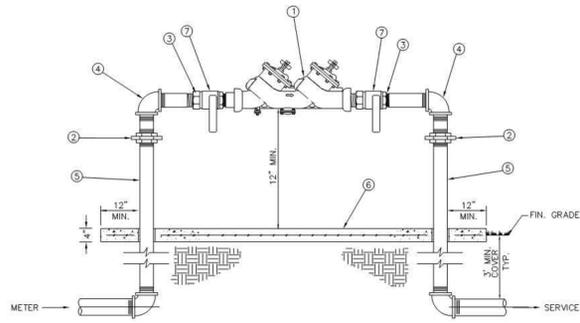
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 SURVEYING GIS
 PASCO COUNTY, FLORIDA

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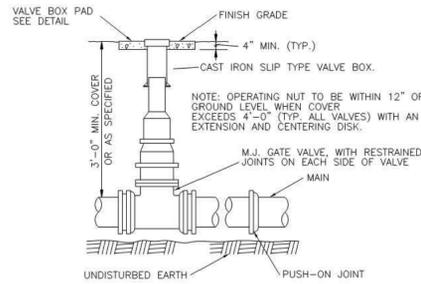
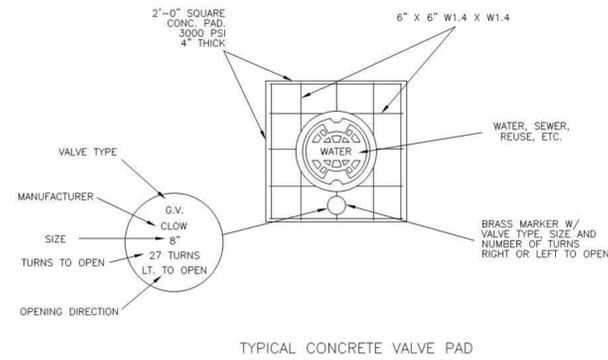
PAVING, GRADING & DRAINAGE
DETAILS



MATERIALS		
ITEM	QUANT.	DESCRIPTION
1	1	BACKFLOW PREVENTER ASSEMBLY, DOUBLE CHECK VALVE
2	2	UNIONS - GALV.
3	2	NIPPLES - BRASS
4	2	ELBOWS - GALV. 90°
5	2	RISE - GALV.
6	1	CONCRETE SLAB
7	2	BALL VALVES - BRASS OR S.S. (PROVIDED WITH BFP ASS'Y)

NOTE: - FIELD ADJUST AND CUT ITEM 5 TO THE PROPER LENGTH.
 - BFP DEVICE TO BE INSTALLED LEVEL AND PLUMB
 - MINIMUM CLEARANCE OF 24" TO BE MAINTAINED AROUND DEVICE FOR TESTING.
 - ENTIRE ASSEMBLY TO BE PAINTED SAFETY BLUE.
 - CONCRETE SLAB TO EXTEND 12" MIN. AROUND ENTIRE DEVICE.
 - DEVICE MUST BE LISTED WITH THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH.

CREATED	02/24/03	DOUBLE CHECK VALVE ASSEMBLY/BACKFLOW PREVENTER (SINGLE SERVICE: 3/4", 1", 1-1/2", 2")	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 13



CREATED	02/24/03	VALVE BOX DETAIL SLIP TYPE	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 30

PIPE RESTRAINT LENGTHS IN FEET COMMON FITTINGS

WATER MAINS - TEST PRESSURE 150 PSI					
PIPE SIZE	FITTING TYPE				
	11-1/4°	22-1/2°	45°	90°	DEAD END
4"	2'	4'	8'	20'	45'
6"	3'	6'	12'	28'	63'
8"	4'	7'	15'	36'	82'
10"	4'	9'	18'	43'	98'
12"	5'	10'	21'	50'	116'
16"	6'	13'	26'	63'	148'
20"	7'	15'	31'	76'	179'
24"	9'	17'	36'	87'	208'

FORCE MAINS - TEST PRESSURE 100 PSI					
PIPE SIZE	FITTING TYPE				
	11-1/4°	22-1/2°	45°	90°	DEAD END
4"	1'	3'	6'	13'	30'
6"	2'	4'	8'	19'	42'
8"	2'	5'	10'	24'	55'
10"	3'	6'	12'	29'	66'
12"	3'	7'	14'	34'	77'
16"	4'	8'	18'	42'	99'
20"	5'	10'	21'	50'	119'
24"	6'	11'	24'	58'	139'

RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE FITTING ALONG THE PIPE IN BOTH DIRECTIONS (EXCEPT DEAD ENDS).

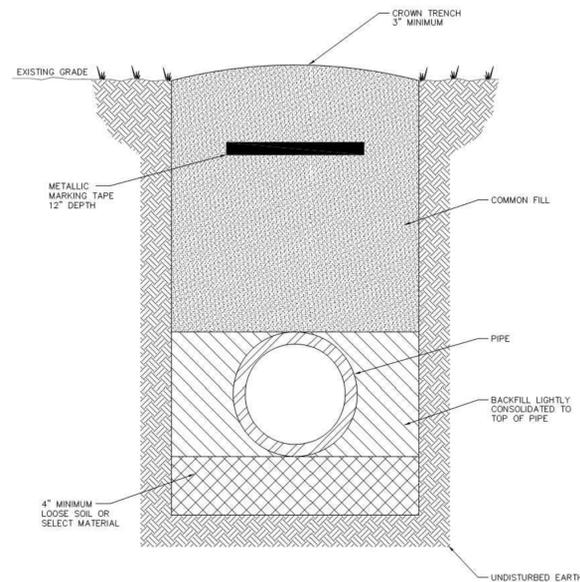
CREATED	02/24/03	RESTRAINED JOINT TABLE COMMON FITTINGS	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 31

PIPE RESTRAINT LENGTHS IN FEET TEES (BRANCH SIDE)

WATER MAINS - TEST PRESSURE 150 PSI									
RUN SIZE	BRANCH SIZE								
	3"	4"	6"	8"	10"	12"	16"	20"	24"
3"	6'	14'	30'	—	—	—	—	—	—
4"	2'	11'	28'	44'	—	—	—	—	—
6"	1'	2'	22'	40'	52'	—	—	—	—
8"	1'	1'	16'	35'	48'	62'	—	—	—
10"	1'	1'	10'	30'	44'	58'	83'	—	—
12"	1'	1'	3'	25'	40'	55'	80'	103'	—
16"	1'	1'	1'	14'	31'	48'	75'	98'	119'
20"	1'	1'	1'	2'	22'	40'	69'	94'	116'
24"	1'	1'	1'	1'	11'	31'	63'	89'	111'

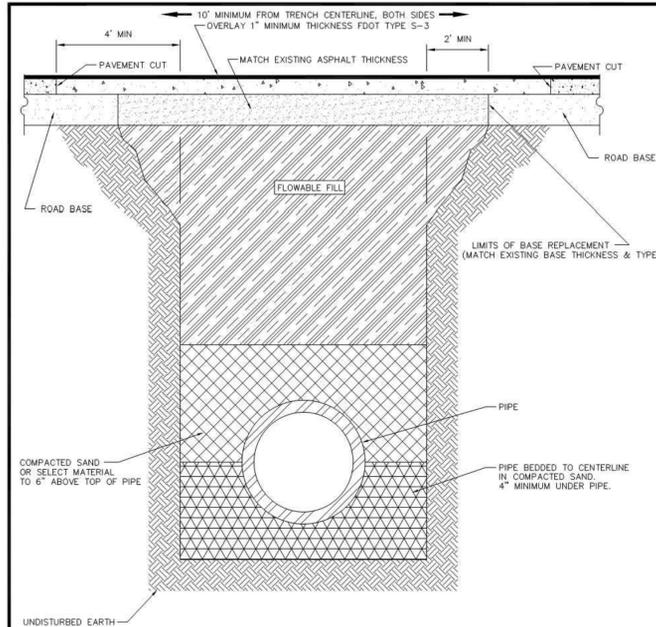
RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE TEE ALONG THE BRANCH FOR THE DISTANCE INDICATED. A MINIMUM OF 5 FEET OF RESTRAINED PIPE MUST BE INSTALLED ON BOTH RUNS OF THE TEE. MEGALUG TYPE RESTRAINERS ARE REQUIRED ON ALL JOINTS.

CREATED	02/24/03	RESTRAINED JOINT TABLE TEES (BRANCH SIDE)	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 32



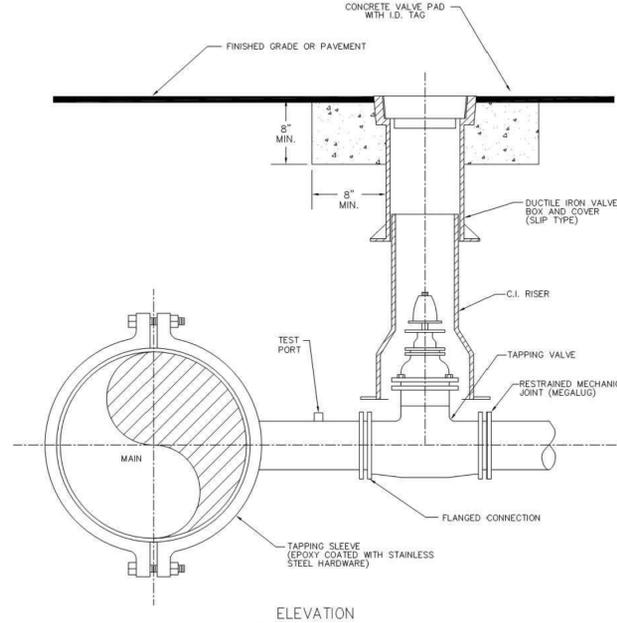
NOTES: -LOOSE SOIL OR SELECT MATERIAL IS NATIVE SOIL EXCAVATED FROM THE TRENCH FREE OF ROCKS AND FOREIGN MATERIAL.
 -COMMON FILL TO BE PLACED AND COMPACTED IN 12" LAYERS.
 -ROLLING EQUIPMENT SHALL NOT BE USED FOR COMPACTION UNTIL A MINIMUM OF 18" OF COMMON FILL HAS BEEN PLACED AND COMPACTED OVER THE PIPE. THREE FEET OF FILL SHALL BE PLACED BEFORE A HYDROHAMMER MAY BE USED FOR COMPACTION.

CREATED	02/24/03	PIPE LAYING CONDITIONS STANDARD UNPAVED AREAS	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 35



NOTE: -SELECT MATERIAL IS NATIVE SOIL EXCAVATED FROM THE TRENCH FREE OF ROCKS AND FOREIGN MATERIAL.
 -COMPACTION TO TOP OF PIPE IS TO BE APPROXIMATELY 90% STANDARD PROCTOR, AASHTO T-99.
 -EXISTING CONCRETE/ASPHALT PAVEMENT SURFACE AND BASE TO BE CUT SQUARE WITH CONCRETE SAW.

CREATED	03/06/03	PIPE LAYING CONDITIONS FLOWABLE FILL BACKFILL STANDARD EXISTING PAVED AREAS & ROADWAYS	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 36



NOTES: - SADDLE CONNECTION WILL BE TESTED TO 150 PSI PRIOR TO TAPPING MAIN.
 - MECHANICAL JOINTS/UNDERGROUND PIPING SHALL BE RESTRAINED AS SPECIFIED BY COUNTY/ENGINEER.
 - VALVE EXTENSION ROD SHALL BE UTILIZED, AS NECESSARY, SO THAT VALVE OPERATING NUT IS A MAXIMUM OF 3' BELOW GRADE.

CREATED	02/24/03	WATER, REUSE, AND FORCE MAIN TAPPING DETAIL W/ VALVE LOCATION	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 37

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

Other Pipe	Horizontal Separation	Crossings (1)	Joint Spacing @ Crossings (Full Joint Centered)
Storm Sewer, Stormwater Force Main, Reclaimed Water (2)	Water Main 3 ft. minimum	Water Main 12 inches is the minimum, except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 3 ft. minimum
Vacuum Sanitary Sewer	Water Main 10 ft. preferred 3 ft. minimum	Water Main 12 inches preferred 6 inches minimum	Alternate 3 ft. minimum
Gravity or Pressure Sanitary Sewer, Sanitary Force Main, Reclaimed Water (4)	Water Main 10 ft. preferred 6 ft. minimum (3)	Water Main 12 inches is the minimum, except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft. minimum
On-Site Sewage Treatment & Disposal System	10 ft. minimum		

NOTES: (1) Water main should cross above other pipe. When water main must be below other pipe, the minimum separation is 12 inches.
 (2) Reclaimed water regulated under Part III of Chapter 62-610, F.A.C.
 (3) 3 ft. for gravity sanitary sewer where the bottom of the water main is laid at least 6 inches above the top of the gravity sanitary sewer.
 (4) Reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

Disclaimer - This document is provided for your convenience only. Please refer to F.A.C. Rule 62-555.314 for additional construction requirements.

STARBUCKS @ MITCHELL RANCH
 SHOPPING CENTER
 PASCO COUNTY, FLORIDA
 WATER DETAILS

HB RETAIL LITTLE, LLC

CIVIL ENGINEERING 2300 CUREWY ROAD STE 201
 TAMPA, FLORIDA 33606
 TRAFFIC/TRANSPORTATION 3488
 SURVEYING
 PHONE (727) 784-9500
 FAX (727) 784-6662
 AVIDGROUP.COM



NOT VALID WITHOUT ORIGINAL SEAL
 REGISTERED PROFESSIONAL ENGINEER
 AVID GROUP, INC.
 TRAFFIC/TRANSPORTATION
 R.C. KELLEY
 TRAFFIC MANAGER
 TRAFFIC # 319-015
 DATE: 11/28/2014

NO.	DATE	DESCRIPTION
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