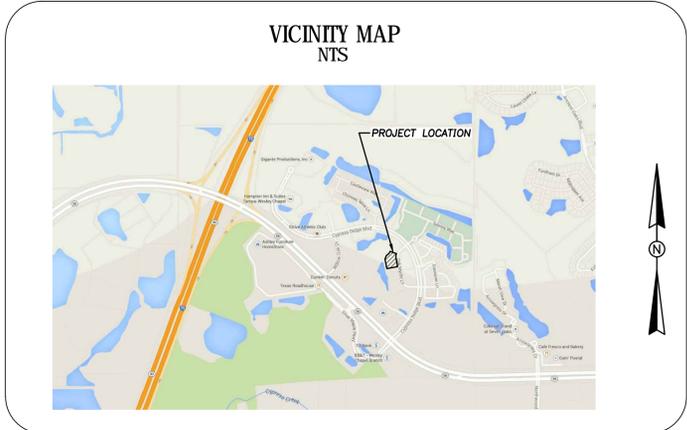


CONSTRUCTION PLANS

FOR:

AMBAY ESTHETICS



3409 W. LEMON STREET
TAMPA, FL 33609

LB #8474

TEL (813) 250-3535
FAX (813) 250-3636

DRAWING INDEX

1 OF 2	MAP OF BOUNDARY & TOPOGRAPHIC SURVEY
2 OF 2	MAP OF BOUNDARY & TOPOGRAPHIC SURVEY
C1.0	NOTES & LEGEND
C2.0	DEMOLITION PLAN
C3.0	SITE PLAN
C4.0	GRADING & DRAINAGE PLAN
C4.1	SWPPP PLAN
C5.0	UTILITY PLAN
C6.0	DETAILS
C6.1	DETAILS
L-1	LANDSCAPE PLAN
L-2	IRRIGATION PLAN
L-3	LANDSCAPE & IRRIGATION SPECIFICATIONS

OWNER/DEVELOPER

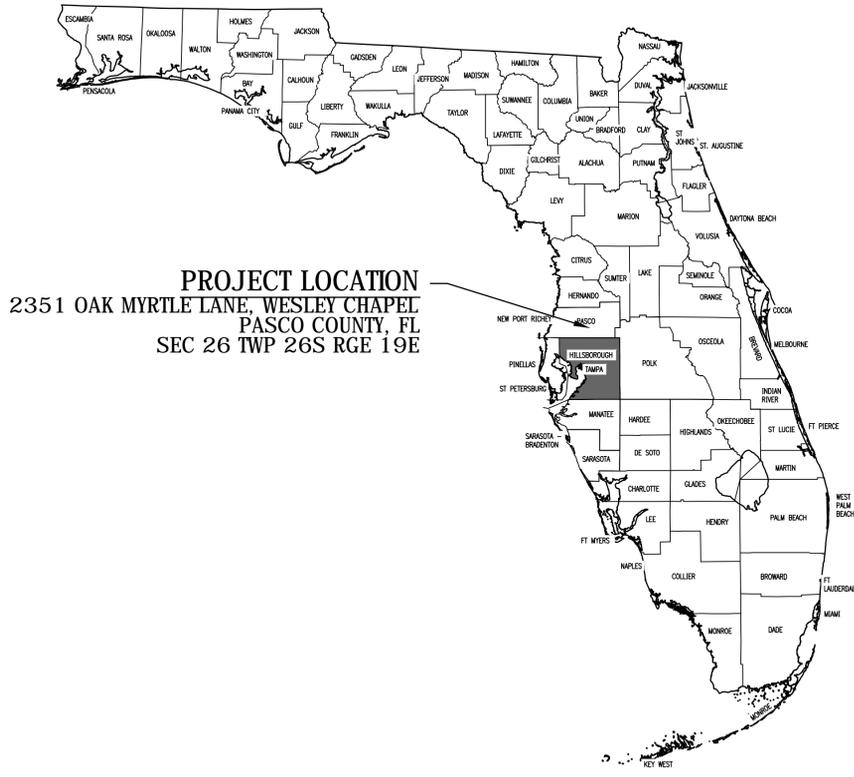
RAJ S. AMBAY, MD, DDS
27716 CASHFORD CIRCLE
WESLEY CHAPEL, FL . 33544
(814)406-4448

ENGINEER/SURVEYOR

HAMILTON ENGINEERING & SURVEYING, INC.
3409 W. LEMON STREET
TAMPA, FLORIDA 33609
(813) 250-3535
(813) 250-3636 (FAX)

ARCHITECT

ROBERT REID WEDDING
ARCHITECTS * PLANNERS, AIA, INC.
4112 CYPRESS STREET - TAMPA, FL 33607
FLORIDA LICENSE #'S
ARCHITECTURAL/INTERIOR DESIGN: AA-COO1123
ENGINEERING: 00002655



REQUIRED PERMITS	SUBMITTED	PERMIT GRANTED	PERMIT NUMBER	EXPIRATION
S.W.F.W.M.D ENVIRONMENTAL RESOURCE PERMIT COUNTY				
XXXXXX CONSTRUCTION PLAN APPROVAL				
F.D.E.P. WATER DISTRIBUTION WASTEWATER COLLECTION/TRANSMISSION				

DRAINAGE FACILITIES:
DRAINAGE PLAN WAS BASED ON THE EXISTING
FIELD CONDITIONS OF THE ABUTTING PROPERTY

CALL BEFORE YOU DIG #: (800) 432-4770
SURVEY UTILITY CALL TICKET #: 082505577-000

UTILITY/GOVERNING AGENCIES CONTACTS	
GAS	LUIS CASTELLANO TECO PEOPLES GAS- TAMPA 1400 CHANNELSIDE DR TAMPA, FL 33605
TELEPHONE	MIKE KIKER BRIGHT HOUSE NETWORKS 38455 SR 54 WESLEY CHAPEL, FL 33543 813-862-0522 Ext: 84283 DAVID WYNNIS VERIZON FLORIDA INC 7701 E. TELECOM PKWY TEMPLE TERRACE, FL 33637 813-978-2164
ELECTRIC	COREY LITTLEFIELD WITHLACOCHEE RIVER ELECTRIC COOPERATIVE 30461 COMMERCE DRIVE SAN ANTONIO, FL 33528 352-288-5115
SANITARY SEWER	PAUL HAMAR PASCO COUNTY UTILITIES 7530 LITTLE RD SUITE 205 NEW PORT RICHEY, FL 34654 727-847-8145
WATER	DANIELLE KERSEY TAMPA BAY WATER 2575 ENTERPRISE RD CLEARWATER, FL 33763 813-959-6552
STORM SEWER	PAUL HAMAR PASCO COUNTY UTILITIES 7530 LITTLE RD SUITE 205 NEW PORT RICHEY, FL 34654 727-847-8145
TRAFFIC	ROBERT W BECK PASCO COUNTY TRAFFIC OPERATIONS DIVISION 7536 STATE ST PUBLIC WORKS BLDG SUITE 124 NEW PORT RICHEY, FL 34654 727-847-8139

J:\1501 To 2000\01975 Robert Wedding Architects\0001 - Dr. Ambay's Office\ENGR\1 - DWGs\Construction\COVER.dwg (COVER).edric: Mar 27, 2015 - 3:12pm

Description: (As provided by client)

Fee Parcel

A parcel of land lying in the Southeast ¼ of Section 26, Township 26 South, Range 19 East, Pasco County, Florida and being more particularly described as follows:

Commence at a found 5/8" capped iron rod LB 6429 marking the Northwest corner of the Southeast ¼ of said Section 26; thence S.00°31'59"W., on the West line of the Southeast ¼ of said Section 26 a distance of 752.03 feet to a point on the North right of way line of State Road No. 56; thence S.47°05'54"E., on the North right of way line of said State Road No. 56 a distance of 71.86 feet; thence S.48°23'39"E., continuing on the North right of way line of said State Road No. 56 a distance of 362.74 feet; thence S.42°45'25"E., continuing on the North right of way line of said State Road No. 56 a distance of 167.38 feet; thence S.45°54'41"E., continuing on the North right of way line of said State Road No. 56 a distance of 501.78 feet; thence S.46°24'57"E., continuing on the North right of way line of said State Road No. 56 a distance of 566.54 feet to a point at the intersection of the North right of way line of said State Road No. 56 and the Westerly right of way line of Cypress Ridge Boulevard; thence N.43°49'04"E., on the Westerly right of way line of said Cypress Ridge Boulevard a distance of 218.80 feet to the point of curvature of a curve to the left, thence continuing on the Westerly right of way line of said Cypress Ridge Boulevard and on said curve to the left, having: a radius of 950.00 feet, a central angle of 39°06'00", a tangent length of 337.35 feet, a chord bearing of N.24°16'04"E. and a chord length of 635.79 feet; thence along the arc of said curve, an arc length of 648.30 feet to the end of said curve; thence N.44°13'33"W., departing the Westerly right of way line of said Cypress Ridge Boulevard a distance of 57.04 feet; thence N.89°13'33"W., a distance of 106.36 feet to the point of tangency of a curve to the right, having: a radius of 150.00 feet, a central angle of 78°59'12", a tangent length of 123.62 feet, a chord bearing of N.49°43'57"W. and a chord length of 190.80 feet; thence along the arc of said curve, an arc length of 206.79 feet to the point of tangency of said curve; thence N.10°14'21"W., a distance of 224.49 feet to the Point of Beginning; thence S.79°45'39"W., a distance of 206.48 feet; thence N.10°19'28"W., a distance of 185.58 feet; thence N.44°21'09"E., a distance of 4.30 feet; thence N.20°35'02"E., a distance of 58.09 feet; thence N.47°32'30"E., a distance of 68.70 feet; thence N.30°43'06"E., a distance of 46.97 feet; thence S.69°07'40"E., a distance of 124.10 feet to a point on a curve to the left, having: a radius of 150.00 feet, a central angle of 31°11'14", a tangent length of 41.86 feet, a chord bearing of S.05°21'17"W. and a chord length of 80.65 feet; thence along the arc of said curve, an arc length of 81.65 feet to the point of tangency of said curve; thence S.10°14'21"E., a distance of 168.26 feet to the Point of Beginning.

Easement Parcel 1:

TOGETHER WITH those certain perpetual, non-exclusive easements for utilities, stormwater drainage, pedestrian and vehicular access and maintenance of the Common Property, all as more particularly described in that certain Declaration of Covenants, Restrictions and Easements recorded in Official Records Book 5340, Page 1531, Public Records of Pasco County, Florida.

Easement Parcel 2:

ALSO TOGETHER WITH an easement over and across the following described lands created by Declaration of Covenants, Restrictions and Easements for Parcel 13 of Cypress Creek North recorded in Official Records Book 6080, Page 996, of the Public Records of Pasco County, Florida.

NOTES: The above description appears to have an incorrect call taking you to the Point of Beginning. After pulling the adjoining deeds to the North described in Official Records Book 6410, Page 1832 and to the South described in Official Records Book 8082, Page 1488 the call "N 10°14'21" W, a distance of 224.49" feet should read "N 10°14'21" W, a distance of 257.81" feet.

Easement Parcel 1 affects the subject property and is blanket in nature.

Easement Parcel 2 is shown on the survey.

VICINITY MAP NOT TO SCALE



REVISED TO ADD WETLAND LINE JANUARY 14, 2015



Surveyor's Notes: (AS APPLICABLE)

ACCORDING TO CURRENT FLOOD INSURANCE MAPS ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THE PROPERTY SHOWN APPEARS TO LIE WITHIN ZONES "AE" (EL 50.4) AND "X" PANEL NO. 12101C0428F DATED SEPTEMBER 26, 2014. THE APPROXIMATE FLOOD ZONE TRANSITION, IF APPLICABLE, HAS BEEN OBTAINED AND PLOTTED FROM LARGE SCALE MAPS AND IS DEPICTED AS ACCURATELY AS POSSIBLE. THIS SURVEY BY NO MEANS REPRESENTS A DETERMINATION ON WHETHER PROPERTIES WILL OR WILL NOT FLOOD. LAND WITHIN THE BOUNDARIES OF THIS SURVEY MAY OR MAY NOT BE SUBJECT TO FLOODING; THE BUILDING DEPARTMENT OR OTHER CUSTODIAL AGENCY FOR FLOOD DETERMINATION WITHIN THIS MUNICIPALITY MAY HAVE ADDITIONAL INFORMATION REGARDING FLOODING AND RESTRICTIONS ON DEVELOPMENT.

- 1) BEARINGS SHOWN HEREON ARE BASED ON THE WESTERLY RIGHT OF WAY LINE OF OAK MYRTLE LANE HAVING A BEARING OF S 10°12'56" E.
- 2) ELEVATIONS SHOWN HEREON ARE BASED ON HILLSBOROUGH COUNTY CONTROL MONUMENT "E-680" HAVING A PUBLISHED ELEVATION OF 56.11 FEET NAVD88.
- 3) THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR TITLE COMMITMENT AND IS SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS AND/OR EASEMENTS OF RECORD. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS OF WAY, AND/OR OWNERSHIP WERE FURNISHED THIS SURVEYOR EXCEPT AS SHOWN.
- 4) THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS AFFECTING THIS PROPERTY THAT MAY NOT BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- 5) NO INFORMATION ON ADJACENT PROPERTY OWNERS OR ADJOINING PROPERTY RECORDING INFORMATION WAS PROVIDED TO THIS SURVEYOR.
- 6) THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- 7) THE BOUNDARY CORNERS AND LINES DEPICTED BY THIS SURVEY WERE ESTABLISHED PER INFORMATION AS FURNISHED.
- 8) UNLESS OTHERWISE SHOWN HEREON, NO JURISDICTIONAL WETLAND AREAS OR OTHER PHYSICAL TOPOGRAPHIC FEATURES HAVE BEEN LOCATED.
- 9) UNDERGROUND ENCROACHMENTS, SUCH AS UTILITIES, STRUCTURES, INSTALLATIONS, IMPROVEMENTS AND FOUNDATIONS THAT MAY EXIST, HAVE NOT BEEN FIELD LOCATED EXCEPT AS SHOWN.
- 10) THIS MAP DOES NOT DETERMINE OR REFLECT OWNERSHIP OF PROPERTY, BOUNDARY LINES AFFECTED BY ADVERSE USE, LINES OF CONFLICTING DEEDS, OR OTHER LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.
- 11) UNDERGROUND UTILITY LOCATIONS AND IDENTIFICATIONS SHOWN HEREON ARE BASED UPON VISIBLE ABOVE GROUND APPURTENANCES AND DO NOT NECESSARILY SHOW ALL UTILITY LOCATIONS. NO SUBTERRANEAN EXCAVATION HAS BEEN MADE TO DETERMINE UNDERGROUND UTILITY LOCATIONS.
- 12) THE MEASURED MATHEMATICAL CLOSURE OF THE SURVEYED BOUNDARY EXCEEDS THE ACCURACY STANDARDS FOR AN URBAN CLASS SURVEY AS DEFINED BY THE AMERICAN CONGRESS ON SURVEYING AND MAPPING AND THE AMERICAN LAND TITLE ASSOCIATION.
- 13) TIES FROM BUILDING CORNERS, FENCE CORNERS, SHED CORNERS, ETC., ARE NOT TO BE USED TO REESTABLISH PROPERTY BOUNDARIES.
- 14) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS MADE BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- 15) THIS SURVEY HAS BEEN PREPARED EXPRESSLY FOR THE NAMED ENTITIES AND IS NOT TRANSFERABLE. NO OTHER PERSON OR ENTITY IS ENTITLED TO RELY UPON AND/OR REUSE THIS SURVEY FOR ANY OTHER PURPOSE WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF HAMILTON ENGINEERING & SURVEYING AND THE CERTIFYING PROFESSIONAL SURVEYOR AND MAPPER.
- 16) NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO ON THIS SURVEY.
- 17) FENCE OWNERSHIP NOT DETERMINED.
- 18) PRINTED DIMENSIONS SHOWN ON THE MAP OF SURVEY SUPERSEDE SCALED DIMENSIONS. THERE MAY BE ITEMS DRAWN OUT OF SCALE TO GRAPHICALLY SHOW THEIR LOCATION.
- 19) REPRODUCTION OF THIS SURVEY IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION FROM THE SIGNING SURVEYOR.
- 20) THE WORD "CERTIFIED" IS UNDERSTOOD TO BE AN EXPRESSION OF THE PROFESSIONAL SURVEYOR'S OPINION BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT THUS CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY, EITHER EXPRESSED OR IMPLIED.
- 21) THIS SURVEY IS A REPRESENTATION OF EXISTING FIELD CONDITIONS AT THE TIME OF THE FIELD SURVEY DATE AND IS BASED ON FOUND EXISTING MONUMENTATION IN THE FIELD.
- 22) TREES SIZE 10" DBH AND GREATER WERE LOCATED. THE TREES SHOWN HEREON WERE LOCATED UTILIZING METHODS ADEQUATE FOR THEIR ACCURATE LOCATION AND IDENTIFICATION. HOWEVER, THIS COMPANY AND THE SIGNING SURVEYOR RESERVES THE RIGHT TO VERIFY THE LOCATION OF ALL TREES CRITICAL TO THE DESIGN OF BUILDINGS, PARKING AND OTHER PERMANENT FEATURES. IT IS THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL TO INFORM THIS COMPANY AND/OR SIGNING SURVEYOR OF ANY TREES CRITICAL TO THEIR DESIGN SO THAT THOSE TREES CAN BE VERIFIED PRIOR TO THE COMPLETION OF THE DESIGN.
- 23) ALL GROUND ELEVATIONS ARE TO BE INTERPRETED TO THE NEAREST ONE TENTH OF A FOOT.
- 24) THE DATE OF SIGNATURE DOES NOT UPDATE OR SUPERSEDE THE DATE OF SURVEY.

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Certified to:

U.S. Small Business Administration
Florida Business Development Corporation (the certified development corporation)
Mercantile Capital Corporation
New Traditions Bank
Fidelity National Title of Florida, Inc.
Sun Trust Bank

PREPARED FOR: ROBERT R. WEDDING ARCHITECTS	JOB #: 01975.0001
FIELD BOOK/PAGE: 614/43	SEC TWP RNS: 26-26-19
QUALITY CONTROL FIELD: VINCE	SURVEY DATE: 9/30/2014
QUALITY CONTROL OFFICE: RCH	NOT VALID WITHOUT ALL SHEETS 1 OF 2

I, the undersigned, hereby certify that this survey was made in accordance with the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

ROBERT R. WEDDING, ARCHITECT
FLORIDA LICENSE NO. LS#3840
CERTIFICATE OF AUTHORIZATION LB #7013
Surveyor and Mapper

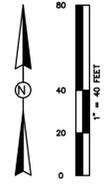
Signature Date

DRAWN BY: RCH PARTY CHIEF: VINCE

SHEET TITLE:
MAP OF BOUNDARY & TOPOGRAPHIC SURVEY
**DR. AMBY'S OFFICE
OAK MYRTLE LANE, WESLEY CHAPEL
PASCO COUNTY, FLORIDA**

HAMILTON
ENGINEERING & SURVEYING, INC.

311 NORTH NEWPORT AVENUE, SUITE 100
PALM BEACH, FL 33408
TEL: (813) 255-3535
FAX: (813) 255-3538
LB #7013



A:\1501 to 2000\01975 Robert Wedding Architects\0001 Dr. Amby's Office\Surv\Boundary_Topo_Tree\1 - Draw\01975.0001 DR. AMBY'S OFFICE.DWG (BOUNDARY SHEET 1) edited: Mar 27, 2015 - 3:13pm

Tree Legend			
SYMBOL	NAME	SYMBOL	NAME
○	OAK	○	PINE
○	PALM	⊗	OTHER
△	DEAD		

NOTE: TREE SIZES IN INCHES

ELEVATIONS SHOWN HEREON ARE NAVD 1988

LINE	BEARING	DISTANCE
L1	S 75°24'30" E	7.96'
L2	N 08°51'56" E	33.61'
L3	N 24°45'29" E	56.10'
L4	N 67°51'40" E	33.04'
L5	N 56°52'53" E	24.97'
L6	N 08°12'04" W	26.45'
L7	S 30°40'02" W	20.75'
L8	S 47°20'51" W	68.64'
L9	S 20°42'37" W	58.25'
L10	S 47°35'14" W	4.30'
L11	S 10°24'27" E	12.99'

THERE IS 1,253 SQUARE FEET MORE OR LESS IN THE WETLAND AREA

APPROXIMATE FLOODZONE TRANSITION LINE
WETLAND LINE

PARCEL CONTAINS 55,606 SQUARE FEET OR 1.28 ACRES MORE OR LESS

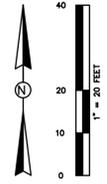
TEMPORARY BENCHMARK
NORTH RIM OF DRAINAGE
MANHOLE
ELEVATION = 52.71 NAVD88
BOTTOM = 45.64
FULL OF WATER

SANITARY MANHOLE
TOP = 52.08
NORTH INVERT 8" PVC = 47.02
SOUTH INVERT 8" PVC = 47.06
WEST INVERT 8" PVC = 47.46

TEMPORARY BENCHMARK
SQUARE CUT IN CENTER
OF CURB INLET
ELEVATION = 51.17 NAVD88

Legend: (AS APPLICABLE)

SCIR	SET CAPPED IRON ROD 1/2" LB #7013	CONC	CONCRETE	WT	WETLAND TIE
FCIR	FOUND CAPPED IRON ROD	S/W	SEWER	TYP	TYPICAL
FR	FOUND IRON ROD	CLF	CHAIN LINK FENCE	€	CENTER LINE
FCIP	FOUND CAPPED IRON PIPE	B/W	BARBED-WIRE	ID	IDENTIFICATION
FIP	FOUND IRON PIPE	OUL	OVERHEAD UTILITY LINE	N.T.S.	NOT TO SCALE
FPIP	FOUND PINCHED IRON PIPE	UP	UTILITY POLE	TBM	TEMPORARY BENCH MARK
SCM	SET CONCRETE MONUMENT (4"x4")	LP	LIGHT POLE	LB	LICENSED BUSINESS
FCM	FOUND CONCRETE MONUMENT	GA	QUIV ANCHOR	POB	POINT OF BEGINNING
SPKN&D	SET PK NAIL & DISK	EBX	ELECTRIC BOX	POC	POINT OF COMMENCEMENT
FPKN&D	FOUND PK NAIL & DISK	SGN	SIGN	POT	POINT OF TERMINUS
FRRS	FOUND RAILROAD SPIKE	TOB	TOP OF BANK		
PRM	PERMANENT REFERENCE MONUMENT	EOW	EDGE OF WATER		
WM	WATER METER	RCP	REINFORCED CONCRETE PIPE	(O)	DESCRIPTION
IRR	IRRIGATION VALVE	ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE	(C)	CALCULATED
FH	FIRE HYDRANT	CMP	CORRUGATED METAL PIPE	(P)	PLAT
WV	WATER VALVE	CPP	CORRUGATED PLASTIC PIPE	(F)	FIELD
BFP	BACK FLOW PREVENTER	EL	ELEVATION		
GI	GRATE INLET	X 99.99	EXISTING ELEVATION		
CI	CURB INLET	F.F.E.	FINISHED FLOOR ELEVATION		
MH	MANHOLE	INV	INVERT		
MES	MITERED END SECTION	A/C	AIR CONDITIONING		

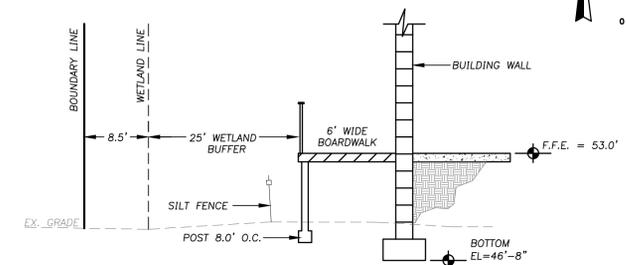
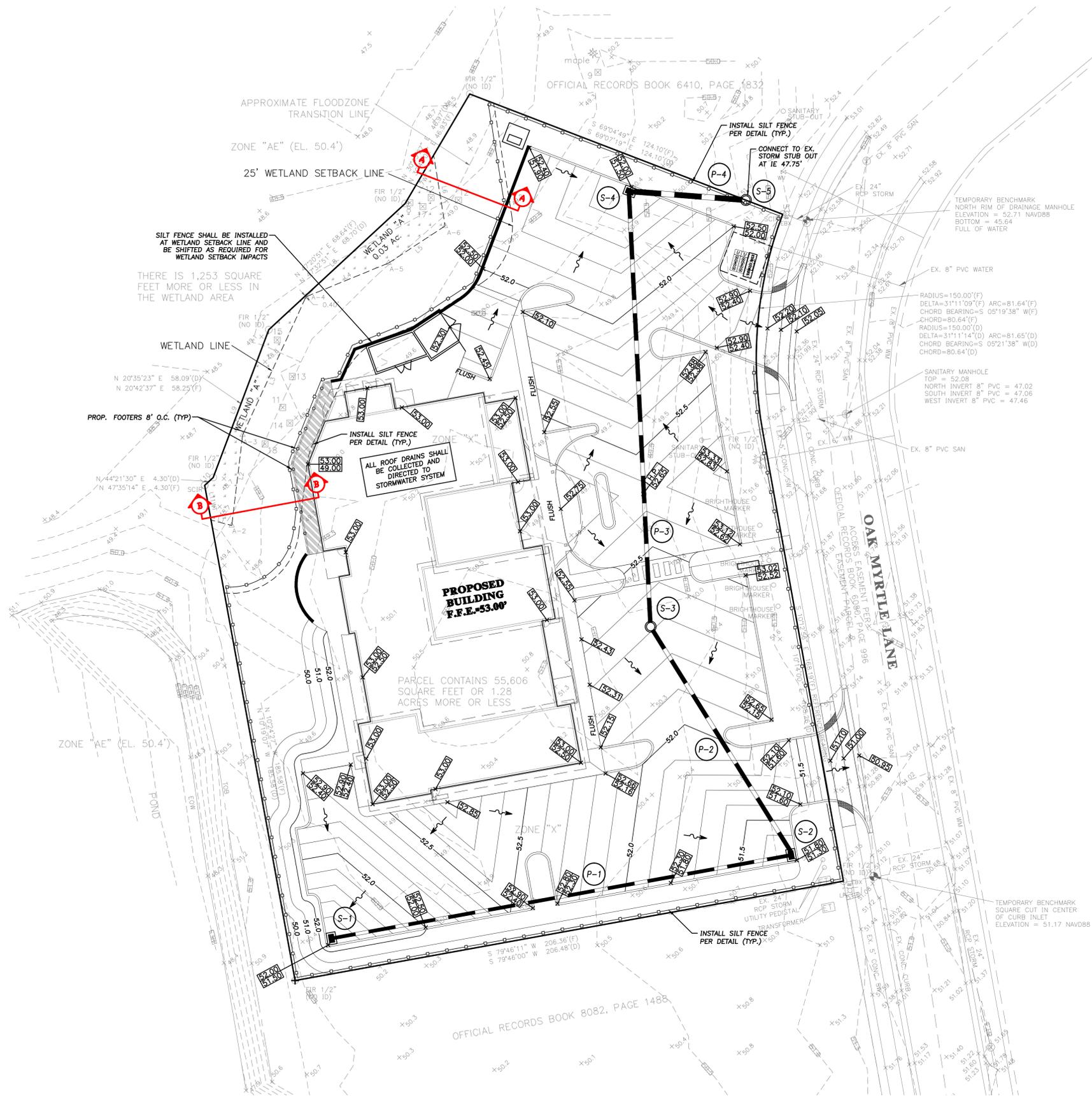


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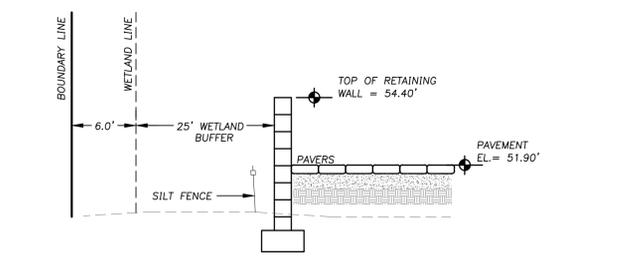
SHEET TITLE: MAP OF BOUNDARY & TOPOGRAPHIC SURVEY
DR. AMBY'S OFFICE
OAK MYRTLE LANE, WESLEY CHAPEL
PASCO COUNTY, FLORIDA COUNTY

PREPARED FOR: ROBERT R. WEDDING ARCHITECTS
FIELD BOOK/PIERS: 614/43
QUALITY CONTROL FIELD: VINCE
QUALITY CONTROL OFFICE: RCH
DRAWN BY: RCH PARTY CHIEF: VINCE
JOB #: 01975.0001
SEC TWP RNS: 26-26-19
SURVEY DATE: 9/30/2014
NOT VALID WITHOUT ALL SHEETS
2 OF 2

I:\1501_10_2000\01975_0001_Dr. Amby's Office\Surv\Boundary_Topog_Tree\1-Draw\01975.0001_DR_AMBYS_OFFICE.DWG (TOPOG SHEET 2) edited: Mar 27, 2015 - 3:13pm



SECTION B-B



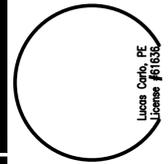
SECTION A-A

DRAINAGE STRUCTURE TABLE

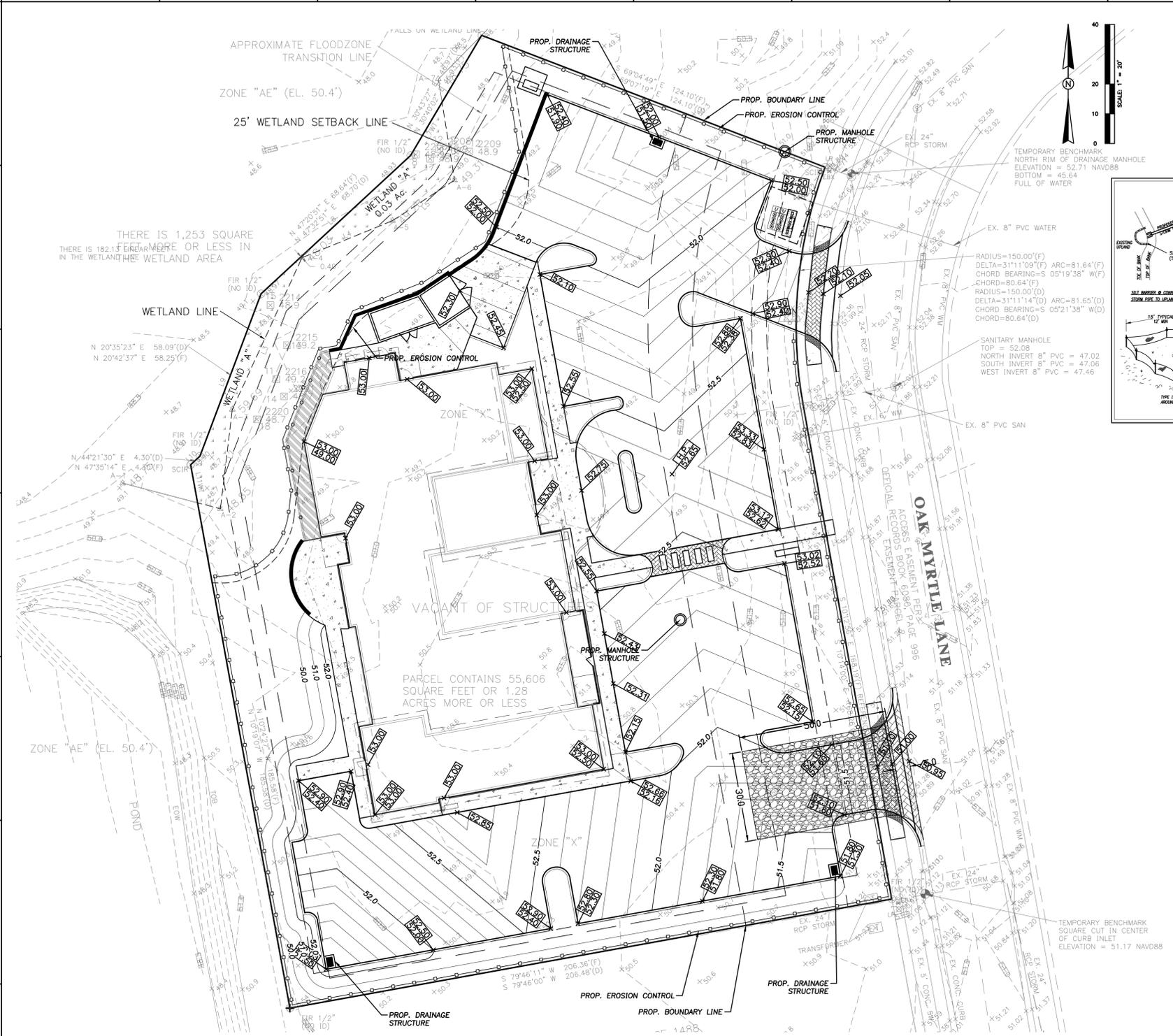
(P-1) 171 LF - 15" HDPE	(S-1) TYPE "T" INLET FDOT INDEX 233 TOP EL. 51.50 INV. EL. 49.00
(P-2) 96 LF - 18" HDPE	(S-2) TYPE "T" INLET FDOT INDEX 233 TOP EL. 51.30 INV. EL. 48.08
(P-3) 159 LF - 18" HDPE	(S-3) TYPE "P" MANHOLE TOP EL. 52.30 INV. EL. 47.56
(P-4) 40 LF - 24" HDPE	(S-4) TYPE "T" INLET FDOT INDEX 232 TOP EL. 51.50 INV. EL. 46.70
	(S-5) TYPE "P" MANHOLE TOP EL. 51.50 INV. EL. 45.75

BENCHMARK DATUM	HILLSBOROUGH COUNTY "E-680"	NAVD 1988
56.11 (NAVD88)		
FLOOD ZONE		
AE EL. 50.4' AND X, 12101C0428F, SEPTEMBER 26, 2014		

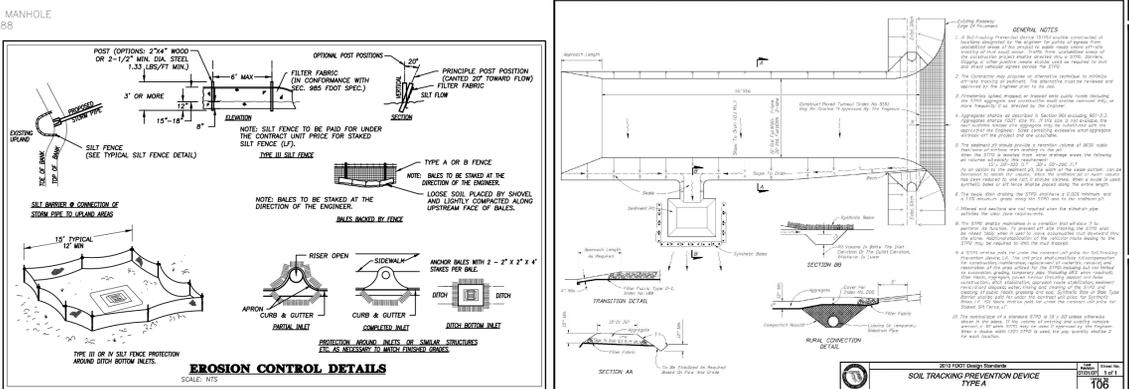
- GRADING AND DRAINAGE NOTES**
- ALL SPOT ELEVATIONS AND WALL ELEVATIONS ARE FINISH GRADES ELEVATIONS UNLESS NOTED OTHERWISE.
 - ALL PAVEMENT ELEVATIONS SHOWN ARE EDGE OF PAVEMENT ELEVATIONS.
 - ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% TO BE PITCHED TOWARD THE ADJACENT PAVEMENT OR AWAY FROM THE BUILDING, WHICHEVER APPLIES.
 - ALL SIDEWALKS AS SHOWN MEET THE ACCESSIBILITY REQUIREMENTS OF THE ADA AND FBC, AND ARE CLASSIFIED AS ACCESSIBLE ROUTES.
 - SIDEWALK GRADES SHALL NOT EXCEED 5% LONGITUDINAL SLOPE.



date	description



- PASCO COUNTY NOTES**
1. THE SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL THE SITE IS PERMANENTLY STABILIZED. (LDC 604)
 2. IT IS THE OWNER'S RESPONSIBILITY OR ("NAME OF RESPONSIBLE ENTITY") TO INSPECT AND MAINTAIN THE WATER RETENTION SYSTEM ON A REGULAR BASIS. (LDC 310.4, 605.4, 606)
 3. ALL SODDED SLOPES OVER 4 TO 1, SHALL BE INSTALLED WITH SOD PEGS. (LDC 605.3.2)
 4. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF. (LDC 200, 312, 604, 612)
 5. ALL FIRST FLOOR ELEVATIONS (FF) SHALL BE A MINIMUM OF 1" ABOVE THE BASE FLOOD ELEVATION OR AS REQUIRED BY THE LCD SECTION 701. (LDC 306.3.C, 701.8.2)
 6. ANY OFF SITE DISTURBANCE SHALL BE RESTORED TO THE PRE OR BETTER CONDITION. (LDC 605.3.D & F)
 7. AS APPLICABLE, THE OWNER/DEVELOPER WILL PROVIDE COPIES OF THE REQUIRED PERMITS FROM THE RESPECTIVE GOVERNING AGENCIES, PRIOR TO ISSUANCE OF THE SSP. (LDC 605.3.CC)
 8. ALL WORK WITHIN THE ROW WILL REQUIRE A ROW USE PERMIT. (LDC 311, 618.13)



CONTRACTOR / SUBCONTRACTOR

I, RAJ S. AMBAY, MD (OWNER), DO HEREBY CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

NAME	TITLE	COMPANY NAME, ADDRESS AND PHONE NUMBER	DATE

I, RAJ S. AMBAY, MD (OWNER), DO HEREBY CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE, AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION. THESE INCLUDE THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNATURE/TITLE _____ DATE _____

DESCRIPTION OF CONTROLS BMPs, AND MEASURES TO BE IMPLEMENTED FOR EACH SOIL DISTURBING ACTIVITY:

SILT FENCE WILL BE CONSTRUCTED AROUND THE ENTIRE PERIMETER OF THE SITE. ONE DRY DETENTION POND WILL BE CONSTRUCTED TO ACCEPT STORMWATER RUNOFF DURING AND AFTER THE COMPLETION OF CONSTRUCTION.

TEMPORARY STABILIZATION PRACTICES:

TOP OF SOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 21 DAYS SHALL BE STABILIZED WITH TEMPORARY GRASS AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY. AREAS OF THE SITE WHICH ARE TO BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING STABILIZATION AND BASE.

PERMANENT STABILIZATION PRACTICES:

ALL DISTURBED AREAS WILL BE STABILIZED WITH SOD AND / OR SEED & MULCH

STRUCTURAL CONTROLS IMPLEMENTED TO DIVERT STORMWATER FLOW FROM EXPOSED SOILS, STORE FLOWS, RETAIN SEDIMENT AND LIMIT STORMWATER RUNOFF:

THE STORMWATER MANAGEMENT SYSTEM WILL BE CONSTRUCTED FIRST INCLUDING A DRY DETENTION POND.

PERMANENT STORMWATER MANAGEMENT CONTROL SYSTEMS TO BE INSTALLED DURING CONSTRUCTION PROCESS (SUCH AS DETENTION/RETENTION SYSTEMS AND VEGETATED SWALES):

WATER QUALITY TREATMENT FOR THE FIRST 0.5" OF RUNOFF WILL BE PROVIDED IN THE ON/OFFSITE DRY DETENTION SYSTEM.

DESCRIPTION OF MAINTENANCE PLAN FOR ALL STRUCTURAL AND NON-STRUCTURAL CONTROLS:

CONTRACTOR SHALL PROVIDE ROUTINE MAINTENANCE OF PERMANENT AND TEMPORARY SEDIMENT AND EROSION CONTROL FEATURES IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS OR AS FOLLOWS, WHICHEVER IS MORE STRINGENT:

1. SILT FENCE SHALL BE INSPECTED AT LEAST WEEKLY. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
2. MAINTENANCE SHALL BE PERFORMED ON THE ROCK ENTRANCE WHEN ANY VOID SPACES ARE FULL OF SEDIMENT.
3. HAY BALES SHALL BE USED IN AREAS WHERE EFFECTIVENESS IS REQUIRED FOR LESS THAN 3 MONTHS. INSPECTION OF THE HAY BALES SHALL TAKE PLACE IMMEDIATELY AFTER EACH RAINFALL AND ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
4. INLET(S)/OUTFALLS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAIN EVENT AND ANY REQUIRED REPAIRS TO THE HAY BALES, SILT FENCE, OR FILTER FABRIC SHALL BE PERFORMED IMMEDIATELY.
5. BARE AREAS OF THE SITE THAT WERE PREVIOUSLY SEEDED SHALL BE RESEED PER MANUFACTURERS' INSTRUCTIONS.
6. MULCH AND SOD THAT HAS BEEN WASHED OUT SHALL BE REPLACED IMMEDIATELY.
7. MAINTAIN ALL OTHER AREAS OF THE SITE WITH PROPER CONTROLS AS NECESSARY.

DESCRIPTION OF INSPECTION PROCEDURES AND INSPECTION DOCUMENTATION PROCEDURES (MUST OCCUR WEEKLY AND WITHIN 24 HOURS OF STORM EVENT OF OVER 0.5"):

1. ALL CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.5-INCHES OR GREATER BY A CONTRACTORS REPRESENTATIVE.
2. ALL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.
3. BUILD UP SEDIMENT SHALL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE SILT FENCE.
4. SILT FENCE SHALL BE INSPECTED REGULARLY FOR DEPTH OF SEDIMENT AND TEARS TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
5. THE SEDIMENT BASINS SHALL BE INSPECTED DEPTH OF SEDIMENT AND BUILD UP OF SEDIMENT SHALL BE REMOVED WHEN IT REACHES 10% OF THE DESIGN CAPACITY OR AT THE END OF THE JOB.
6. TEMPORARY AND PERMANENT GRASSING AND MULCHING AND SODDING SHALL BE INSPECTED FOR BARE SPOTS AND WASHOUTS.
7. A MAINTENANCE INSPECTION REPORT SHALL BE MADE AFTER EACH INSPECTION BY THE CONTRACTOR AND SHALL BE KEPT IN AN ACTIVE LOG READILY AVAILABLE AT THE JOB SITE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE, REPAIR ACTIVITIES AND COMPLETING THE INSPECTION AND MAINTENANCE REPORT.

IDENTIFICATION AND DESCRIPTION OF ALL SOURCES OF NON-STORMWATER DISCHARGES:

- IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:
1. WATER FROM WATER LINE FLUSHING.
 2. PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).
 3. UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION). ALL NON-STORM WATER DISCHARGES SHALL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.

DESCRIBE THE NATURE OF THE CONSTRUCTION ACTIVITY	CONSTRUCTION OF A 5,928 S.F. WITH ASSOCIATED WATER, SANITARY SEWER, PARKING AND STORMWATER MANAGEMENT SYSTEM.
DESCRIBE THE SEQUENCE OF MAJOR EVENTS	1. CONSTRUCT SILT FENCE (SEE GRADING & DRAINAGE PLAN) 2. CONSTRUCT/EXCAVATE POND FOR SEDIMENT TRAPS FOR SITE RUNOFFS. 3. CONSTRUCT STORM SEWER SYSTEM. 4. BEGIN BUILDING CONSTRUCTION. 5. COMPLETE FINAL GRADING AND PAVING. 6. CONSTRUCT LANDSCAPING, AND FINAL STABILIZATION (GRASS SOD, SEED & MULCH, ETC)
TOTAL AREA OF THE SITE:	1.28 ACRES TOTAL AREA OF SITE TO BE DISTURBED: 1.28 ACRES
EXISTING DATA DESCRIBING SOIL AND STORMWATER DISCHARGE QUALITY:	FINE SANDS
ESTIMATE DRAINAGE AREA FOR EACH DISCHARGE POINT:	1.10 ACRES
LATITUDE AND LONGITUDE OF EACH DISCHARGE POINT AND IDENTITY OF EACH RECEIVING WATER OR MS4:	LATITUDE: 28° 11' 85" LONGITUDE: 82° 22' 44" PASCO COUNTY MS4

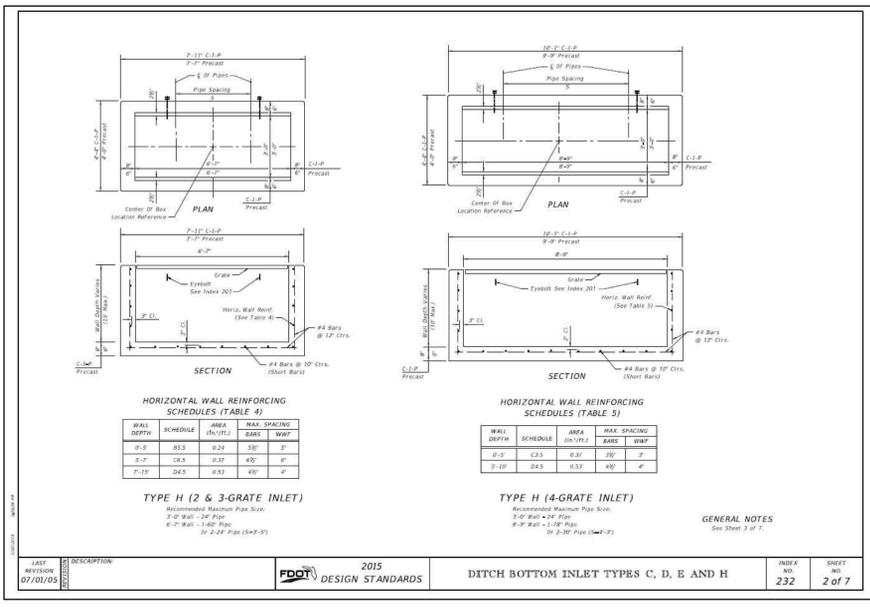
WASTE DISPOSAL, THIS MAY INCLUDE CONSTRUCTION DEBRIS, CHEMICALS, LITTER, AND SANITARY WASTES:	ALL CONSTRUCTION MATERIALS AND DEBRIS WILL BE PLACED IN A DUMPSTER AND HAULED OFF-SITE TO A LANDFILL OR OTHER PROPER DISPOSAL SITE. THE DUMPSTER SHALL BE LOCATED AS SHOWN ON THE SITE MAP. NO MATERIALS WILL BE BURIED ON SITE.
OFFSITE VEHICLE TRACKING FROM CONSTRUCTION ENTRANCES/EXITS:	OFF SITE VEHICLE TRACKING OF SEDIMENTS AND DUST GENERATION WILL BE MINIMIZED VIA A ROCK CONSTRUCTION ENTRANCE PER FDOT NUMBER 106, DAILY STREET SWEEPING AND THE USE OF WATER TO KEEP DUST DOWN.
THE PROPER APPLICATION RATES OF ALL FERTILIZERS, HERBICIDES AND PESTICIDES USED AT THE CONSTRUCTION SITE:	FERTILIZERS AND PESTICIDES WILL BE USED AT A MINIMUM AND IN ACCORDANCE WITH THE MANUFACTURER'S SUGGESTED APPLICATION RATES.
THE STORAGE, APPLICATION, GENERATION AND MIGRATION OF ALL TOXIC SUBSTANCES:	AT A MINIMUM A DOUBLE WALLED FUEL TANK WILL BE PLACED ON A DRIP PAN TO CONTAIN AND PREVENT ANY DRIPS OR LEAKS FROM BEING DISCHARGED IN STORMWATER RUNOFF. ALL PAINTS AND OTHER CHEMICALS WILL BE STORED IN A LOCKED COVERED SHED.
OTHER:	PORT-O-LETS WILL BE PLACED AWAY FROM STORM SEWER SYSTEMS, STORM INLET(S), SURFACE WATERS AND WETLANDS. NO VEHICLE MAINTENANCE SHALL BE CONDUCTED ON-SITE. A WASHDOWN AREA SHALL BE DESIGNATED AT ALL TIMES AND WILL NOT BE LOCATED IN ANY AREA THAT WILL ALLOW FOR THE DISCHARGE OF POLLUTED RUNOFF. A SMALL-VEGETATED BERM SHALL BE PLACED AROUND THE WASHDOWN AREA.

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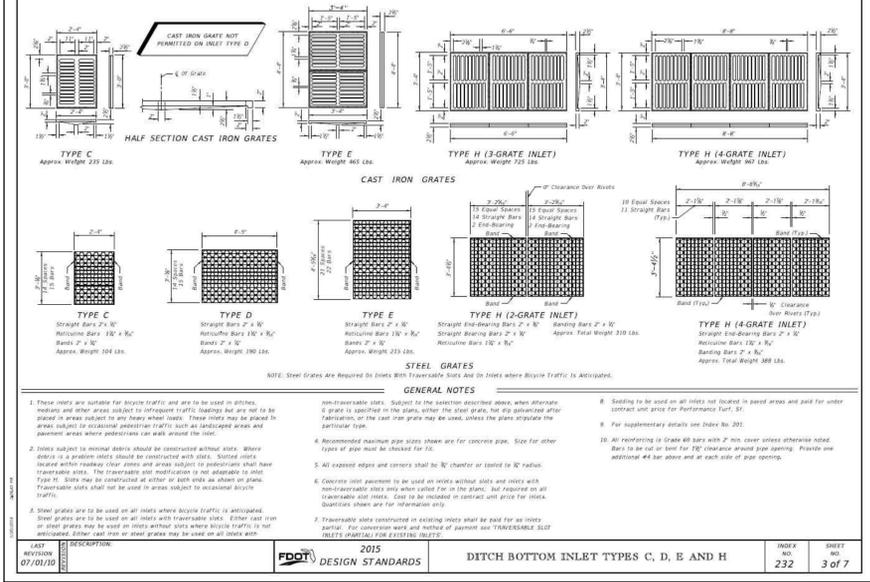
HAMILTON
ENGINEERING & SURVEYING, INC.
11112 Cypress Street - Tampa, Florida 33607 - 813-879-6906
612 South Military Trail - Deerfield Beach, Florida 33442-9544-428-9361
Florida License #s: Architectural/Interior Design: AA-C001123 - Engineering: 00002655
Lucas Carlo, PE License #61632

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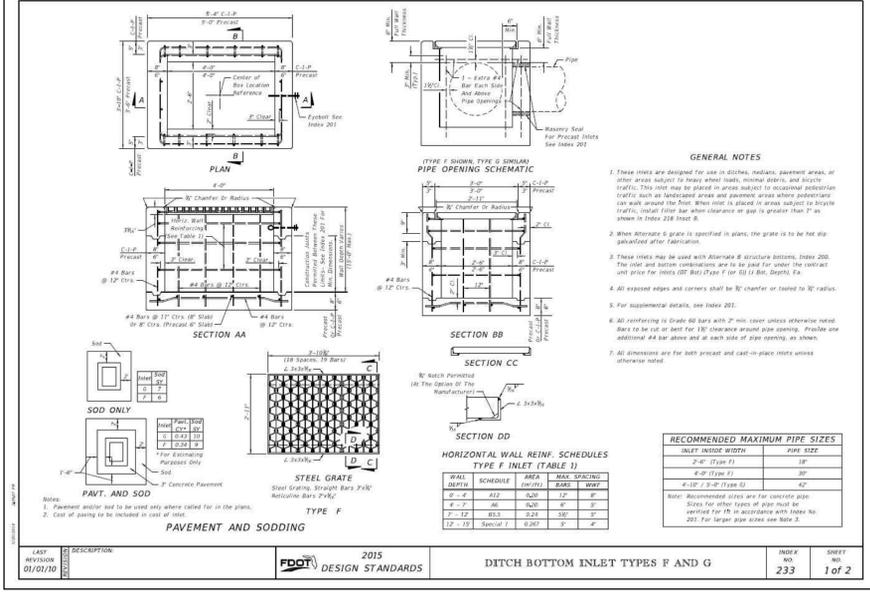
AMBAY ESTHETICS
Transformations Surgical Center
2351 OAK MYRTLE LANE
WESLEY CHAPEL, FL 33544
PASCO COUNTY
commission number 14-155



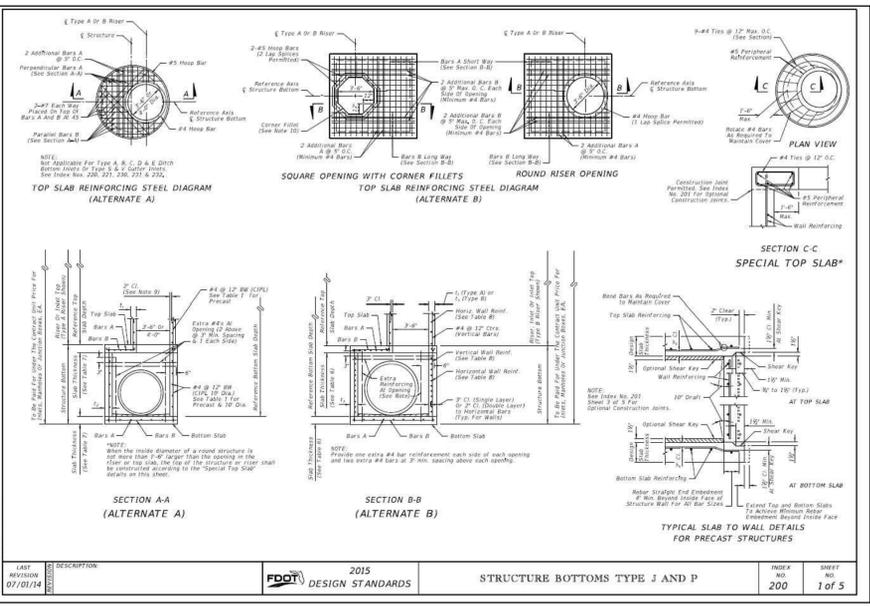
LAST REVISION	DESCRIPTION	2015 DESIGN STANDARDS	DITCH BOTTOM INLET TYPES C, D, E AND H	INDEX NO.	SHEET NO.
07/01/05				232	2 of 7



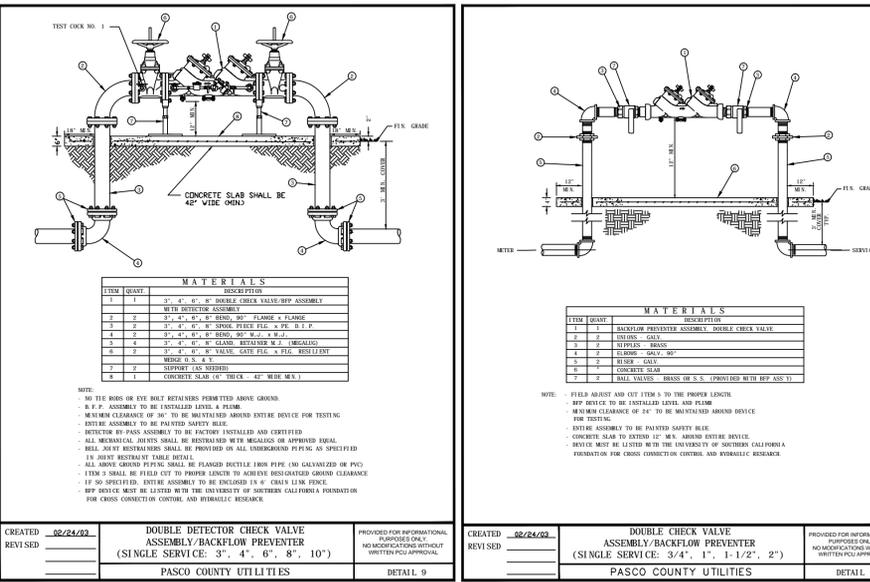
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07/01/10				232	3 of 7



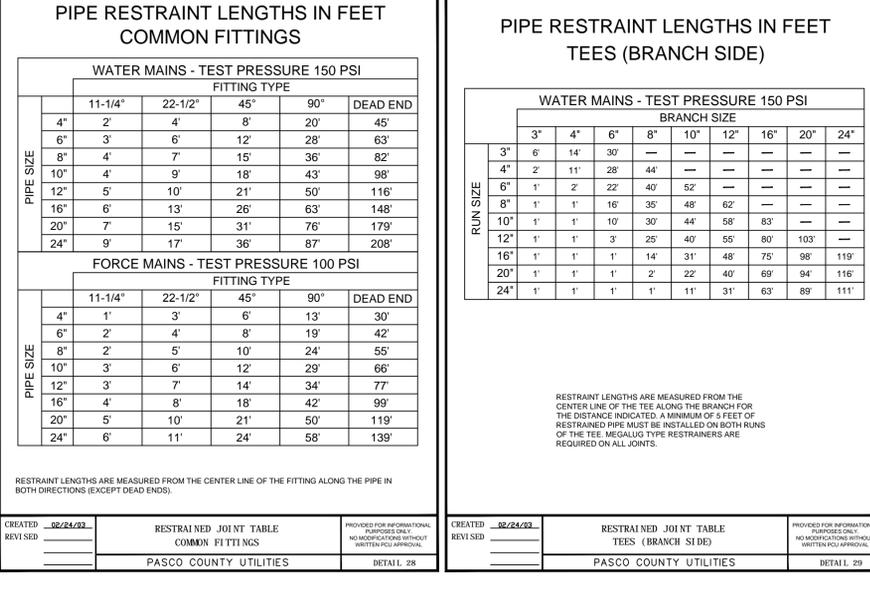
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01/01/10				233	1 of 2



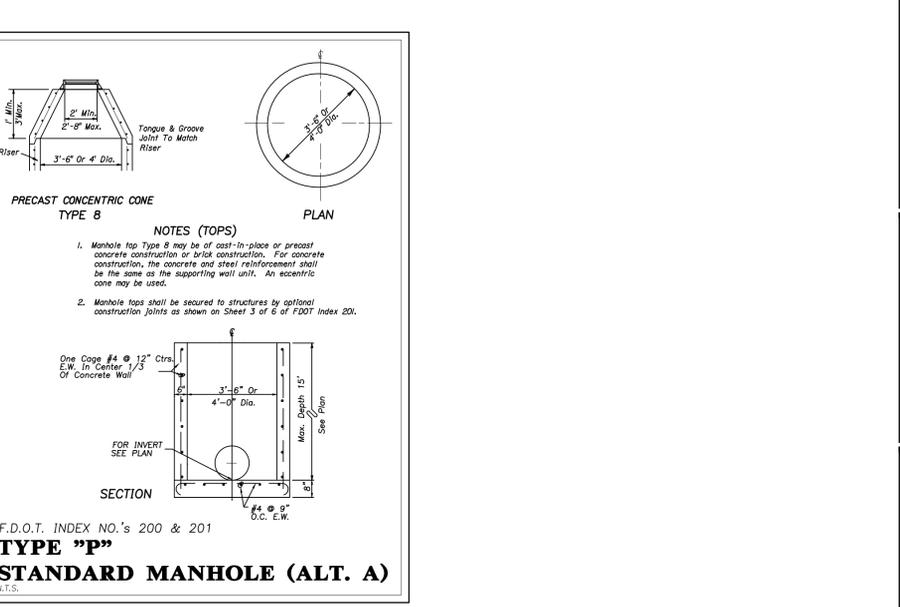
LAST REVISION	DESCRIPTION	2015 DESIGN STANDARDS	STRUCTURE BOTTOMS TYPE J AND P	INDEX NO.	SHEET NO.
07/01/14				200	1 of 5



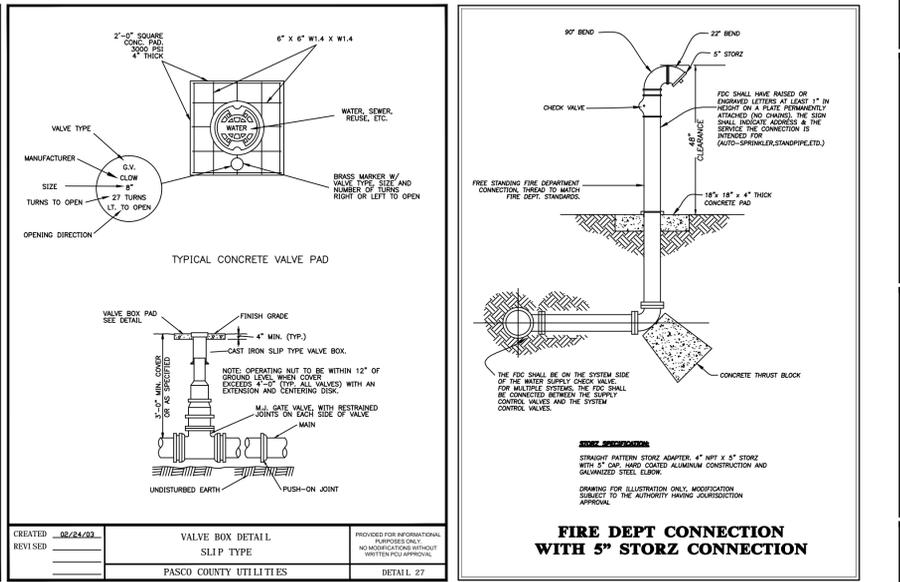
CREATED	02/24/02	DOUBLE DETECTOR CHECK VALVE ASSEMBLY/BACKFLOW PREVENTER (SINGLE SERVICE: 3", 4", 6", 8", 10")	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN P&U APPROVAL.	DETAIL: 9
REVISED				



CREATED	02/24/02	RESTRAINT JOINT TABLE COMMON FITTINGS	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN P&U APPROVAL.	DETAIL: 28
REVISED				



LAST REVISION	DESCRIPTION	2015 DESIGN STANDARDS	STRUCTURE BOTTOMS TYPE J AND P	INDEX NO.	SHEET NO.
07/01/05				200	1 of 5





Dr Ambay Office

Pasco County, Florida
Terra Tectonics design group international, inc. 727-441-4504

LANDSCAPE PLANT SCHEDULE

All Plant Materials shall be Florida #1 Grade or better.

Quantity	Symbol	Common Name	Botanical Name	Florida Native?	Specification
8	CL	Sugar hackberry	CELTUS laevigata	Y	10-12" ht x 6'-7" spr, 3" cal. measures 6" above grade from an RPG grower
1	TC	Yellow Tabebuia	TABEBUIA chrysostricha	N	30 gallon container, 10' ht x 6' spr
9	UA	Winged Elm	ULMUS alata	Y	10-12" ht x 6'-7" spr, 3" cal. measures 6" above grade from an RPG grower
10	TDI	Autum Gold Bald Cypress	TAXODIUM distichum 'Autumn Gold'	Y	10-12" ht x 6'-7" spr, 3" cal. measures 6" above grade 45 gallon cont.
10	TDI2	Autum Gold Bald Cypress	TAXODIUM distichum 'Autumn Gold'	Y	7' ht x 3' spread, 1.5" cal. measures 6" above grade 15 gallon
6	QS	Shumard Oak	QUERCUS shumardii	Y	10-12" ht x 6'-7" spr, 3" cal. measures 6" above grade 45 gallon cont.
44	Total trees planted on-site		Percent Florida native:	98%	
Shrubs					
4	IOE	Oak Leaf Holly	ILEX attenuata 'conaf'	Y	6'-7" ht 15 gallon container, 4' spread at base full to ground
4	AW	Awabuki Viburnum	VIBURNUM awabuki	N	24" ht. x 18" spr. 3 gal. 30" o.c.
51	JHB	Bar Harbor Juniper	JUNIPERUS MACRANTALIS 'Bar Harbor'	N	12" ht. x 18" spr. 3 gal. 30" o.c.
24	HM	Dwarf Hamelia	HAMELIA macrantha	N	3 gal. 12" ht x 16" spr. Full. 30" o/c
277	MF	Simpson Stopper	MYCANTHES fragrans	Y	24" ht. x 18" spr. 3 gal. 30" o.c.
40	RI	India Hawthorn	RHAPHEOLEPSIS indica	N	10" ht. x 114" spr. 3 gal. 30" o.c.
90	SB	Spartina	SPARTINA bakeri	Y	30" ht. x 10" spr. 3 gal. 36" o.c.
61	ZP	Coontie	ZAMIA pumila	Y	30" ht. x 24"-30" spr., 7 gal., 30" o.c.
551	Shrubs		Percent Florida native:	78%	
Groundcover / Vines					
256	AG	Perennial peanut	ERACHIS glabrata	N	3" ht x 12" spr. 1 gal. 18" o/c USE MINI-NUGGET MULCH 1" DEEP IN THE BED THAT CONTAIN THIS PLANT
212	DR	Drift Roses	ROAS spp "Drift"	N	8" ht. x 12" spr. 3 gal. 16" o.c.
270	DT	Variegated Flax Lily	DIANELLA tasmanica	N	1 Gal, 24" o/c
SOD					
8350	SOD	Bahia	PASPALUM notatum		(CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUFFICIENT QUANTITIES FOR COMPLETE INSTALLATION. ACTUAL AMOUNTS MAY VARY FROM AMOUNTS)
1900	SOD	EMPIRE ZOYSIA			(CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUFFICIENT QUANTITIES FOR COMPLETE INSTALLATION. ACTUAL AMOUNTS MAY VARY FROM AMOUNTS)
Total Site Irrigation:					
8350	SF +/-	Turf Irrigation			(CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUFFICIENT QUANTITIES FOR COMPLETE INSTALLATION. ACTUAL AMOUNTS MAY VARY FROM AMOUNTS)
7118	SF +/-	Shrub Irrigation			(CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUFFICIENT QUANTITIES FOR COMPLETE INSTALLATION. ACTUAL AMOUNTS MAY VARY FROM AMOUNTS)
700	LF +/-	Loop Main			(CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUFFICIENT QUANTITIES FOR COMPLETE INSTALLATION. ACTUAL AMOUNTS MAY VARY FROM AMOUNTS)
1	EA	1" EXISTING IRRIGATION WATER METER			
Miscellaneous Plant Materials And Site Work:					
63	CY	Pine Bark Mulch			(CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUFFICIENT QUANTITIES FOR COMPLETE INSTALLATION. ACTUAL AMOUNTS MAY VARY FROM AMOUNTS)
3	Bags	Pre-Emergent Herbicide		EA	
3	Bags	Fertilizer: 6-6-6			50 lb. bag
2	Bags	Fertilizer: 16-4-8			50 lb. bag

TREE PROTECTION NOTES

THE PROTECTION OF EXISTING TREES ON THE CONSTRUCTION SITE IS NECESSARY:
- TO PROTECT ALL THE ABOVE GROUND PORTIONS OF THE TREE FROM MECHANICAL DAMAGE
- TO PROTECT SOIL NEAR TREE FROM COMPACTION AND PREVENT ROOT DAMAGE

WHAT TO PROTECT
PROTECTIVE BARRIERS AND OTHER MEASURES TO PREVENT DAMAGE OF EXISTING TREES ARE REQUIRED IF TREES ARE 4" DBH (TRUNK DIAMETER MEASURED AT 4 1/2 FEET FROM THE GROUND) OR GREATER.
TREES 4" DBH AND GREATER THAT ARE LOCATED WITHIN 10' OF THE LOT UNDER CONSTRUCTION SHALL ALSO BE PROTECTED BY A BARRICADE.

WHEN TO PROTECT
ALL PROTECTIVE BARRIERS SHALL BE IN PLACE AND INSPECTED PRIOR TO ANY SITE CLEARING OR DEMOLITION AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED AND HEAVY EQUIPMENT IS OUT OF AREA.

NO STORAGE, FILL
NO EXCESS SOIL OR ADDITIONAL FILL, BUILDING MATERIALS, DEBRIS, OR LITTER SHALL BE PLACED WITHIN PROTECTIVE BARRIERS.

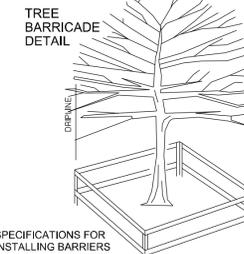
NO ATTACHMENTS
SIGNS, BUILDING PERMITS, WIRES (OTHER THAN PROTECTIVE GUY WIRES), OR OTHER ATTACHMENTS OF ANY KIND SHALL NOT BE ATTACHED TO ANY TREES OR SHRUBS WITHIN PROTECTIVE BARRIERS.

DEMOLITION/EXCAVATION
ANY DEMOLITION OR EXCAVATION WITHIN THE PROTECTIVE BARRIERS SHALL BE ACCOMPLISHED BY HAND OPERATED EQUIPMENT.
ONCE ALL MATERIAL HAS BEEN SUCCESSFULLY ENCLOSED BY HAND, HEAVY EQUIPMENT WILL BE ALLOWED ONE ENTRY INTO THE BARRIERS IN ORDER TO PUSH DEMOLITION MATERIALS BEYOND THE BARRIERS. AFTER WHICH THE BARRIERS MUST BE REINSTALLED. UNDER NO CIRCUMSTANCES SHALL THE TREES OR HEAVY MACHINERY BE ALLOWED TO WORK, PARK, OR LOCATE WITHIN BARRIER AREAS.

UNDERGROUND UTILITIES
ALL UNDERGROUND UTILITIES SHALL BE ROUTED OUTSIDE THE PROTECTIVE BARRIERS. IF THE RESULTS IN UNREASONABLE HARDSHIP, A SOLE AUGER SHALL BE USED TO TUNNEL UNDER THE PROTECTED TREES. THE LOCATION OF UTILITIES SHALL BE NOTIFIED AND AT HIS OPTION MAY REQUIRE A STAFF MEMBER PRESENT DURING THIS PROCEDURE TO ASSURE ADHERENCE TO ALL REQUIREMENTS.

INSTALLATION OF FENCES, POSTS, WALLS
INSTALLATION OF STRUCTURES SUCH AS PROTECTIVE BARRIERS, FENCES, POSTS, OR WALLS SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES. FOOTERS FOR WALLS SHALL END AT THE POINT WHERE LARGER ROOTS ARE ENCOUNTERED, AND THE ROOTS SHALL BE BRIDGED. POST HOLES AND TRENCHES LOCATED CLOSE TO PROTECTED TREES SHALL BE ADJUSTED TO AVOID DAMAGE TO MAJOR ROOTS. DESTRUCTION OR DISREGARD OF PROTECTIVE BARRIERS MAY REQUIRE THE FULL REPLACEMENT OF THE PROTECTED TREE.

TEMPORARY REMOVAL OF BARRIERS
PROTECTIVE BARRIERS MAY BE TEMPORARILY REMOVED ONLY IF REASONABLE ACCESS INTO THE SITE IS OBTAINED. REMOVAL OF BARRIERS MUST BE APPROVED AND INSPECTED BY THE CITY ARBORIST BEFORE CARRIED OUT. SHOULD REMOVAL OF THE BARRIERS RESULT IN STRESS OR DAMAGE OF THE TREE, AS DETERMINED BY THE CITY ARBORIST, REMOVAL OR REPLACEMENT OF THE TREE MAY BE REQUIRED.



SPECIFICATIONS FOR INSTALLING BARRIERS

LOCATION
PROTECTIVE BARRIERS SHALL EXTEND AT LEAST ONE (1) FOOT BEYOND THE CRIP LINE OF ALL PROTECTED TREES ON THE PROPERTY AND SHALL BE AT LEAST THREE (3) FEET HIGH. ALTERNATIVE PROTECTIVE METHODS MAY BE UTILIZED WHEN EXISTING BARRIERS BEYOND THE CRIP LINE IS NOT FEASIBLE. POSSIBLE ALTERNATIVES INCLUDE PLACING CONCRETE FROM A TRUCK THROUGH CONCRETE BARRIERS RATHER THAN DRIVING OVER ROOTS, OR BRIDGING ROOT AREAS WITH STEEL PLATES, OR PROTECTING ROOT AREAS WITH A THICK LAYER OF MULCH FROM COMPACTION. ANY PROPOSED ALTERNATIVES MUST BE DESIGNED BY A TRAINED ARBORIST AND APPROVED BY THE SOG (DEVELOPMENT COORDINATION OFFICIAL) PRIOR TO ISSUANCE OF A PERMIT.

CONSTRUCTION
PROTECTIVE BARRIERS ARE TO BE CONSTRUCTED USING NO LESS THAN 2"x4" LUMBER FOR UPRIGHT POSTS. UPRIGHT POSTS ARE TO BE AT LEAST 4" IN LENGTH WITH A MINIMUM OF ONE FOOT ANCHORED IN GROUND AND THREE FEET ABOVE GROUND. UPRIGHT POSTS ARE TO BE PLACED AT A MAXIMUM DISTANCE OF 6 FEET APART. HORIZONTAL RAILS ARE TO BE CONSTRUCTED USING NO LESS THAN 2"x4" LUMBER AND SHALL BE SECURELY ATTACHED TO THE TOP OF THE UPRIGHT POSTS. A PVC-TYPE SAFETY FENCE THE HEIGHT OF THE BARRIER SHALL BE ATTACHED TO THE UPRIGHT POSTS. THE TOP RAIL AND THE GROUND, WITH FASTENERS A MAXIMUM OF 8" (8 INCHES) APART.

Pasco County - Landscape Ordinance Calculation sheet

Terra Tectonics design group international, inc. - 727-441-4504
Dr Ambay Office
3/17/2015
ZONING: MPUD-MU

SITE AREA CALCULATIONS:

	ACRES	SQ FT	%
Total Gross Site Area	1.28	55,606	
Proposed Building and sidewalk Area	0.24	10,600	19.06%
Perimeter of prop. abutting ROW & incompatible land usage:	0.01	676	1%
Total Impervious Area	0.75	32,791	
Open Pervious Space	0.41	17,880	32.15%
Vehicular Usage Area (VUA):	0.51	22,191	39.91%
Required Interior Greenspace (10% of VUA):	0.05	2,219	
Interior Greenspace provided:	0.06	2,709	4.87% %
Type "A" Buffer =	North/South	330	
Type "D" Buffer =	East/West	460	

Landscaping equal to 10% of Impervious Vehicular Use Area
plus one shade tree per 200 sq-ft

22,191 divided by 10% =	2,219	Required Landscaping Area
2,219 divided by 200sq-ft =	11	Trees Required
Provided:	2,709	sq-ft interior landscape provided =
		12.2% of VUA
10' ht provided trees		16
Existing Trees:		0
Trees to be Transplanted within Interior		0
		13
		Total Provided trees

NOTES:
1. Landscaped area on the parking area perimeter or in the internal islands must equal or exceed a minimum of ten (10) percent of the total internal landscaped area.
2. One (1) tree must be planted or retained per 200 sq ft of internal parking area.
3. No parking space may be more than 100 feet from a tree planted in a permeable island peninsula, or a median of 8' width minimum.

Building Perimeter Landscaping:
Required: Perimeter building landscaped beds in amount equal to 10% of the proposed building ground floor area.

Proposed Building Area:	10,600	sq-ft
Required Landscaping Area:	10%	1,060
Provided:	Proposed Building Area	10,600
	Proposed Landscape Area	12%
		1,250

Perimeter Landscaping:
Required: Perimeter building landscaped beds in amount equal to 10% of the proposed building ground floor area.

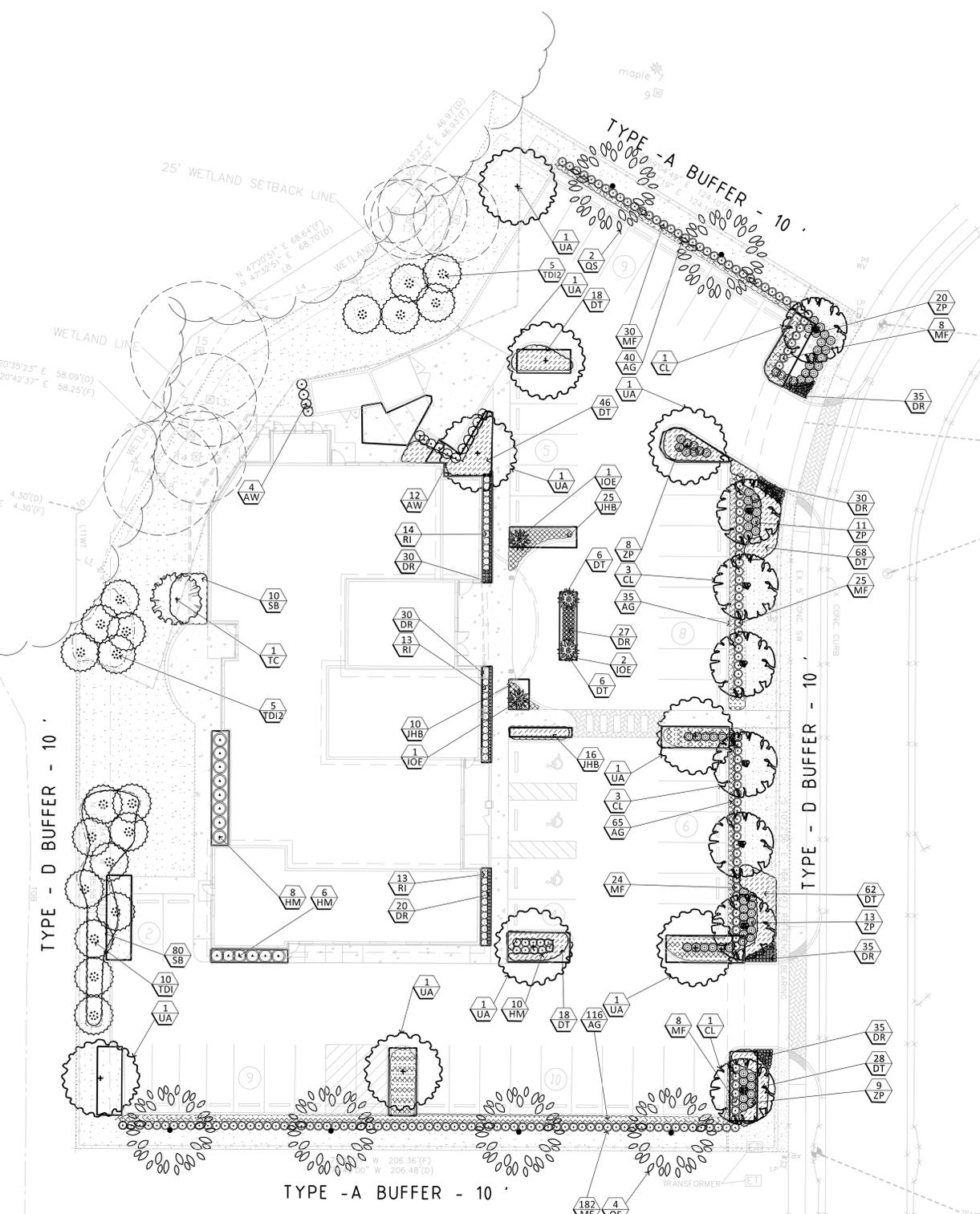
Proposed Building Area:	10,600	sq-ft
Required Landscaping Area:	10%	1,060
Provided:	Proposed Building Area	10,600
	Proposed Landscape Area	12%
		1,250

NOTE: BUFFER 'D' ALONG WEST SIDE IS REDUCED DUE TO ADJACENCY TO EXISTING WETLAND

NOTES:
1. Perimeter Planting areas must be a minimum of 5' wide to be used to meet the requirement
2. Perimeter Planting areas must be a minimum of 50% of the building perimeter
3. The planting area should be "Ground Floor Area"
4. Perimeter planting areas must equal a minimum of 10% of the area of the buildings.

NATIVE SHRUB AND GROUND COVER REQUIREMENT
OVERALL SITE: 30% Shrubs and groundcovers are required to be Native
Shrubs and GC are native= 80% % native

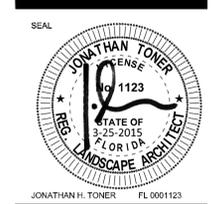
GRASSED AREA:
OVERALL SITE: MAX 30% OF REQUIRED LANDSCAPE ARE TO BE GRASSED
15% OF LANDSCAPE AREA IS GRASSED



- UTILITIES NOTE:
ALL UTILITIES TO REMAIN IN PLACE EXCEPT AS INDICATED ON THE DRAWINGS. CONTACT "ONE CALL" AT 1-800-432-4770 AT LEAST 48 HOURS PRIOR TO EXCAVATION FOR VERIFICATION OF EXISTING UTILITY LOCATIONS. NOT ALL UTILITIES ARE MEMBERS OF THE "ONE CALL" SYSTEM; THEREFORE, DIRECT CONTACT WITH THE UTILITY COMPANY MAY BE REQUIRED.
- MULCH NOTE:
A LAYER OF MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES SHALL BE PROVIDED IN PLANT BEDS AND AROUND INDIVIDUAL TREES IN TURFGRASS AREAS.
- TREE PROTECTION NOTE:
1. PROTECTIVE BARRIERS AND THE USE OF OTHER MEASURES TO PREVENT TREE DAMAGE (PESTICIDE APPLICATIONS, ROOT PRUNING, INTENSIVE MULCHING, ETC. TO REDUCE SOIL COMPACTION) WILL BE REQUIRED AS NECESSARY.
2. SITE CLEARING AND TREE REMOVAL ARE NOT TO OCCUR PRIOR TO APPROVAL AND INSPECTION OF PROTECTIVE BARRICADES, OR BEFORE THE PROJECT'S BUILDING PERMITS HAVE BEEN ISSUED.
3. ALL UTILITIES SHALL BE ROUTED AROUND PROTECTED AREAS AND EXISTING TREE DRIPLINES. NO TRENCHES SHALL BE DUG UNDER DRIPLINES OR IN PROTECTED AREAS. PLANTING INSTALLED UNDER DRIPLINES SHALL BE HAND DUG AND ROUTED AROUND ROOTS GREATER THAN 1". DO NOT CUT ANY ROOTS GREATER THAN 1".
4. ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE PRUNED BY AN ISA-CERTIFIED ARBORIST, IN ACCORDANCE WITH THE INTERNATIONAL ARBORIST ASSOCIATION (ISA) PRUNING STANDARDS, AND ANSI 300 PRUNING STANDARDS
5. ALL EXOTIC INVASIVE SPECIES AS DETERMINED BY THE STATE OF FLORIDA, I.E., BRAZILIAN PEPPER (SHINTUS TERIBINTHIFOLIA), PUNK TREES (MALELEUCA LUCADENDRON) AND CHINESE TALLOW (SAPIUM SEBIFERUM) MUST BE REMOVED AS A CONDITION OF SITE DEVELOPMENT.
WHERE NECESSARY DUE TO THEIR PROXIMITY TO PROTECTED PLANT MATERIAL, HAND REMOVAL WILL BE REQUIRED. SHOULD THIS REMOVAL BE TO A DEGREE THAT A POTENTIAL FOR EROSION IS CREATED, THE AREA MUST BE RESTABILIZED WITH SUITABLE MATERIAL AND SODDING.
FOR SUBDIVISION PROPERTIES, INVASIVE PLANT REMOVAL SHALL NOT BE REQUIRED ON A LOT UNLESS THE LOT DEVELOPMENT IS PROPOSED AS PART OF THE INFRASTRUCTURE DEVELOPMENT.
SEE WETLAND RESTORATION PLAN.
6. NATIVE PINES UNDERGO STRESS DURING CONSTRUCTION, MAKING THEM SUSCEPTABLE TO PINE BARK BEETLES. THE APPLICATION OF AN APPROVED INSECTICIDE SHALL BE APPLIED ONE WEEK PRIOR TO CONSTRUCTION ACTIVITY TO ALL PINE TREES TO REMAIN WITHIN 25 FEET OF CONSTRUCTION.
CONTRACTOR TO EMPLOY SERVICES OF FLORIDA LICENSED, BONDED AND INSURED PESTICIDE APPLICATION COMPANY WHO WILL FOLLOW APPROVED AND ESTABLISHED TECHNIQUES AND METHODS IN ACCORDANCE WITH STATE AND LOCAL ORDINANCES.
7. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE COUNTY.



LANDSCAPE CONSTRUCTION DOCUMENTS
Dr. AMBAY OFFICE
PASCO COUNTY, FLORIDA



Date: 3-23-2015
Scale: 1"=20'
Revision:
No. Date: Description:
Job No: 15-774

Sheet
NORTH
L1
Of 3 Sheets

