

PASCO COUNTY, FLORIDA
INTEROFFICE MEMORANDUM

TO: Joaquin Servia
Development Review Manager

DATE: 3/30/15 FILE: PDD15-782

SUBJECT: Small Commercial
Development Review –
Hardee's at Wesley Chapel
Preliminary Site
Plan/Construction Plan and
Stormwater Management Plan
and Report (Project No.
SML15-0002)
Recommendation: Approval
with Conditions (Attachment
No. 1)

FROM: Kathie Senior
Senior Development
Review Technician

REFERENCES: Land Development Code,
Sections 300, Procedures;
403, Site Development;
and 900, Development
Standards; Comm. Dist 2

PROJECT DESCRIPTION:

Commission District:	The Honorable Mike Moore
Project Name:	Hardee's - Wesley Chapel
Developer's Name:	OP 54, LLC c/o Florida Engineering Group, Inc.
Location:	Central Pasco County, on the south side of Wesley Chapel Boulevard, approximately 750 feet east of the intersection of Wesley Chapel Boulevard and Old Pasco Road, Section 12, Township 26, Range 19 (Attachment No. 2)
Parcel ID No.:	12-26-19-0030-00000-00A6
Land Use Classification:	Mixed Use (MU)
Zoning District:	MPUD (Master Planned Unit Development)
Transportation Corridor:	Wesley Chapel Boulevard
Acreage:	.82 Acres, m.o.l.
Use/Square Feet:	Fast Food Restaurant with drive thru/2,508 Square Feet
Flood Zone:	"X"
Water/Sewage:	Pasco
Transportation Analysis Zone:	273
Mobility Fee Assessment District:	A
Mobility Fee Collection/Benefit District:	3
Roads:	Private
Certificate of Capacity:	Initial

DEVELOPER'S REQUEST:

The applicant/developer of Hardee's – Wesley Chapel is requesting preliminary site plan (PSP)/construction plan and stormwater management plan and report approval for a 2,508 square foot fast food restaurant with drive thru (Attachment No. 3).

BACKGROUND AND FINDINGS OF FACT:

See Attachment No. 4

CONCURRENCY ANALYSIS:

An Initial Certificate of Capacity is being issued for 2,508 square foot fast food restaurant with drive thru. Any conditions required pursuant to the issuance of the certificate are attached to the Initial Certificate of Capacity (Attachment No. 5).

RECOMMENDATION:

The Planning and Development Department recommends approval of the PSP/Construction Plan and Stormwater management plan and report request with the attached conditions.

KS/wpdata/drc/hardeesweslechapel_pspcpsmpr_pdd15-782/48

ATTACHMENTS:

1. Conditions of Approval
2. Location Map
3. Site Plan
4. Background and Findings of Fact
5. Initial Certificate of Capacity

APPROVED

B.C.C.
 D.R.C.

Pasco County

By:  Date 3-30-15

For Substantial Compliance With
The Applicable Provisions of Pasco County
Land Development Regulations
And Their Intent

**ATTACHMENT NO. 1 – CONDITIONS OF APPROVAL
HARDEE'S – WESLEY CHAPEL**

Hard-Copy Site Development Permit

1. Before commencing approved construction activities, the applicant/ developer or project contractor shall obtain from the Planning and Development Department an authorization to commence approved construction, a.k.a. "a hard copy Site Development Permit." To obtain said authorization, the following, as applicable, must be submitted to the Planning and Development Department:
 - a. The completed notarized acknowledgment portion of the attached agenda memorandum. The owner is hereby notified that the effective date of this development approval shall be the date of the final County action; however, no activity shall commence on site until such time as the acknowledgment portion of this document is completed (including notarization) and received by the Planning and Development Department.
 - b. A copy of the Southwest Florida Water Management District (SWFWMD) Permit and Plan. In the event the SWFWMD Permit and Plan require any changes to the County-approved plan, an amendment to the County-approved plan shall be submitted for review and approval prior to the issuance of the Site Development Permit.
 - c. A copy of all required State and Federal permits from the appropriate agencies, including drawings, plans, etc.
 - d. National Pollutant Discharge Elimination System Permit/permit application.

No construction shall commence until the permit has been properly posted on the site.

General Conditions

2. The developer acknowledges that any provisions of Pasco County ordinances and any rezoning conditions of approval not specifically waived shall be in full force and effect, including all impact fee ordinances. In the event ordinances/resolutions are adopted by the Board of County Commissioners (BCC) including, but not limited to, solid waste, public safety, or wildlife, the developer shall be required to comply with such ordinances/resolutions.
3. The developer acknowledges that approval of this Preliminary Site Plan (PSP) does not ~~establish vested rights with respect to construction of the project. Further, the developer~~ acknowledges that no permit shall be issued or plat approved without the issuance of a Final Certificate of Capacity.

4. The developer acknowledges that in accordance with the Land Development Code (LDC), Section 1301, Concurrency, the Initial Certificate of Capacity shall expire as approved on the attached Concurrency Certificate.
5. All construction work, including roads, drainage, and utilities, shall be constructed in accordance with County design standards and tested in compliance with the Engineering Services Department's *Testing Specifications for Construction of Roads, Storm Drainage, and Utilities*.
6. The applicant/developer shall acknowledge that should the County collect funds under a guarantee document, the developer shall authorize the County or its designee access to the property in question to complete the required work.
7. The applicant/developer shall acknowledge that should the County be required to institute legal proceedings in order to collect any funds under a guarantee document, the developer shall be responsible for attorney's fees and court costs incurred by the County in such action.
8. The developer acknowledges that an appeal may be filed against the decision of the Planning and Development Department within 30 days of the date of this approval. Any development that takes place within the 30-day-appeal deadline shall not establish vested rights with respect to construction of the project.
9. Site plans approved by the Planning and Development Department are the final approved documents. Changes/additions/deletions to approved site plans; i.e., building size, location, loading zones, etc., require revised site plan submittal, review fee, and approval in accordance with the Land Development Code (LDC), Sections 300, 403, and 900.
10. The applicant/developer or project contractor shall notify the Project Management Division at least five working days prior to commencing any activity on the site.
11. In accordance with the LDC regarding Access Management Regulations, where a required/approved cross-access/frontage/reverse-frontage road is provided and shown on the approved plans, the applicant/developer acknowledges and agrees that this access shall be free and clear of any buildings, parking spaces (except as otherwise approved), landscaping, retention ponds, or any other obstruction (such as gates) that would prevent the free flow of traffic between the project and the neighboring properties, projects, or roadways. The applicant/developer acknowledges that this cross-access/frontage/reverse-frontage road is to remain open to the public, but maintained privately.
12. Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to combustibles being brought on site (National Fire Protection Association).

13. The applicant/developer acknowledges that the PSP shall expire within six years of the original approval date of the PSP if Building Permits for the entire development have not been issued. In the event that the applicant/developer does not comply with this provision, all plans related to the uncompleted portion of the PSP approval shall be deemed void, and approval shall be deemed withdrawn, unless an extension has been obtained from the County Administrator or designee prior to expiration of any of the time limits provided above. Any extension shall be applied for at least 60 days prior to expiration of any of the above time limits.

In the event the PSP is voided, all subsequent submittals shall comply with regulations in effect at the time of the said resubmittals.

Construction Plan

14. Section 316.0745, Florida Statutes, requires that all traffic-control signing and markings on private property opened to the general public be in conformance with the Florida Department of Transportation's (FDOT) *Manual on Uniform Traffic Control Devices* and FDOT standards.
15. All handicapped parking spaces shall be signed and marked in accordance with the Florida Department of Transportation (FDOT) standards index. All regular/standard parking spaces shall be striped in white.
16. All construction within non-County-maintained right-of-way will require a Driveway Connection Permit. The applicant/developer shall obtain a Driveway Connection Permit from the County.
17. In consideration of the County's agreement to provide potable water and/or reclaimed water to the subject property, the applicant/developer and their successors and assigns agree to the following:
 - a. In the event of production failure or shortfall by Tampa Bay Water (TBW), as set forth in Section 3.19 of the Interlocal Agreement creating TBW, the applicant/developer shall temporarily transfer to the County any and all water-use permits or water-use rights the applicant/developer may have to use or consume surface water or groundwater within the County for the duration of the production failure or shortfall.
 - b. Prior to the applicant/developer selling water, water-use permits, or water-use rights, the applicant/developer shall notify the County, and the County shall have a right of first refusal to purchase such water or water-use permits or water-use rights.
18. The developer shall provide fire protection in compliance with the Pasco County Code of Ordinances, Chapter 46, Article III, and any subsequent amendments. .
19. Curb ramps are required at all intersections of curbs and sidewalks and shall be constructed in conformance with the uniform *Federal Accessibility Standards* published

by the General Services Administration, Department of Housing and Urban Development, Department of Defense, and United States Postal Service (Section 336.045, Florida Statutes).

20. The Timing and Phasing Application submitted by the applicant assumed the following land use:

2508 square foot, fast food restaurant with drive thru.

Any development of land use that generates greater traffic impacts than those assumed shall require an updated Timing and Phasing Application utilizing a methodology approved by the County. The DRC, BCC, or County Administrator or designee may impose additional conditions on the applicant or developer based on the updated County-approved traffic study.

21. Prior to any construction activity, the developer shall ensure that proper erosion and sediment control measures are in place. The applicant/developer or project contractor shall notify the Stormwater Management Division at least two working days prior to commencing any site preparation, including clearing and grubbing work, for a preinspection of the sediment and erosion-control devices. The developer shall control all fugitive dust originating from the project site and shall indicate on the construction drawings the manner in which fugitive dust is to be controlled. Further, all retention pond side slopes and associated swales shall be sodded to prevent soil erosion.
22. The applicant or developer acknowledges in accordance with the LDC, Section 905.2, Landscaping and Buffering, wooden fences are not allowed as a visual screen in any of the buffer areas. If the applicant/developer proposes the use of a fence for a visual screen within any buffer area, vinyl fencing or chain-link fencing with black-out fabric or slats shall be used.
23. The applicant/developer acknowledges, in accordance with the LDC, Section 905.2, Landscaping and Buffering, any plant materials of whatsoever type and kind required by the Landscape and Buffering regulations and this approval, shall be replaced within thirty days of their demise and/or removal.
24. If, during construction activities, any evidence of historic resources including, but not limited to, aboriginal or historic pottery, prehistoric stone tools, bone or shell tools, historic trash pits, or historic building foundation, are discovered, work shall come to an immediate stop, and the Florida Department of Historic Resources (State Historic Preservation Officer) and the County shall be notified within two working days of the resources found on the site.
25. If, during construction activities, any evidence of the presence of State and Federally protected plant and/or animal species is discovered, work shall come to an immediate stop, and the County shall be notified within two working days of the plant and/or animal species found on the site.

Development Standards

26. The commercial dimensional standards shall be in accordance with the C-2 zoning district regulations and uses contained within the LDC.

Record Plat/Building Permit/Certificate of Occupancy

27. Site plans submitted with Building Permit applications are invalid as to final site approval unless stamped approved by the Planning and Development Department. These plans are submitted to show building location in regard to property line, other buildings, etc., only. The site must conform to those plans submitted and/or approved by the Planning and Development Department in accordance with the Land Development Code (LDC), Sections 300 and 403.
28. The applicant/developer acknowledges that a Building Permit shall be obtained for all structures that have a footer, regardless of size, through the Central Permitting Division; i.e., including, but not inclusive of, buildings, accessories, dumpster walls, and retaining walls.
29. A Registered Landscape Architect or other person as authorized by Chapter 481, Florida Statutes, as amended or other type of professional as approved by the County Administrator or designee shall conduct a final field inspection. A Certificate of Compliance shall be provided to the County prior to platting, or where platting is not required, prior to issuance of the Certificate of Occupancy (CO).
30. The owner/developer shall arrange for a final site inspection approval by the Engineering Services Department prior to the issuance of the Certificate of Occupancy.

(Corporate)

Date

Signature

Print Name

Title

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____
(date), by _____ (name
of corporation acknowledging) a _____
(State or place of incorporation) corporation, on behalf of the corporation. He/she is personally
known to me or who has produced _____ (type of
identification) as identification.

Seal:

NOTARY

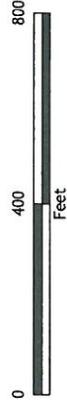
SML15-002
Hardee's at
Wesley Chapel

12 26 19 0030 00000 00A6

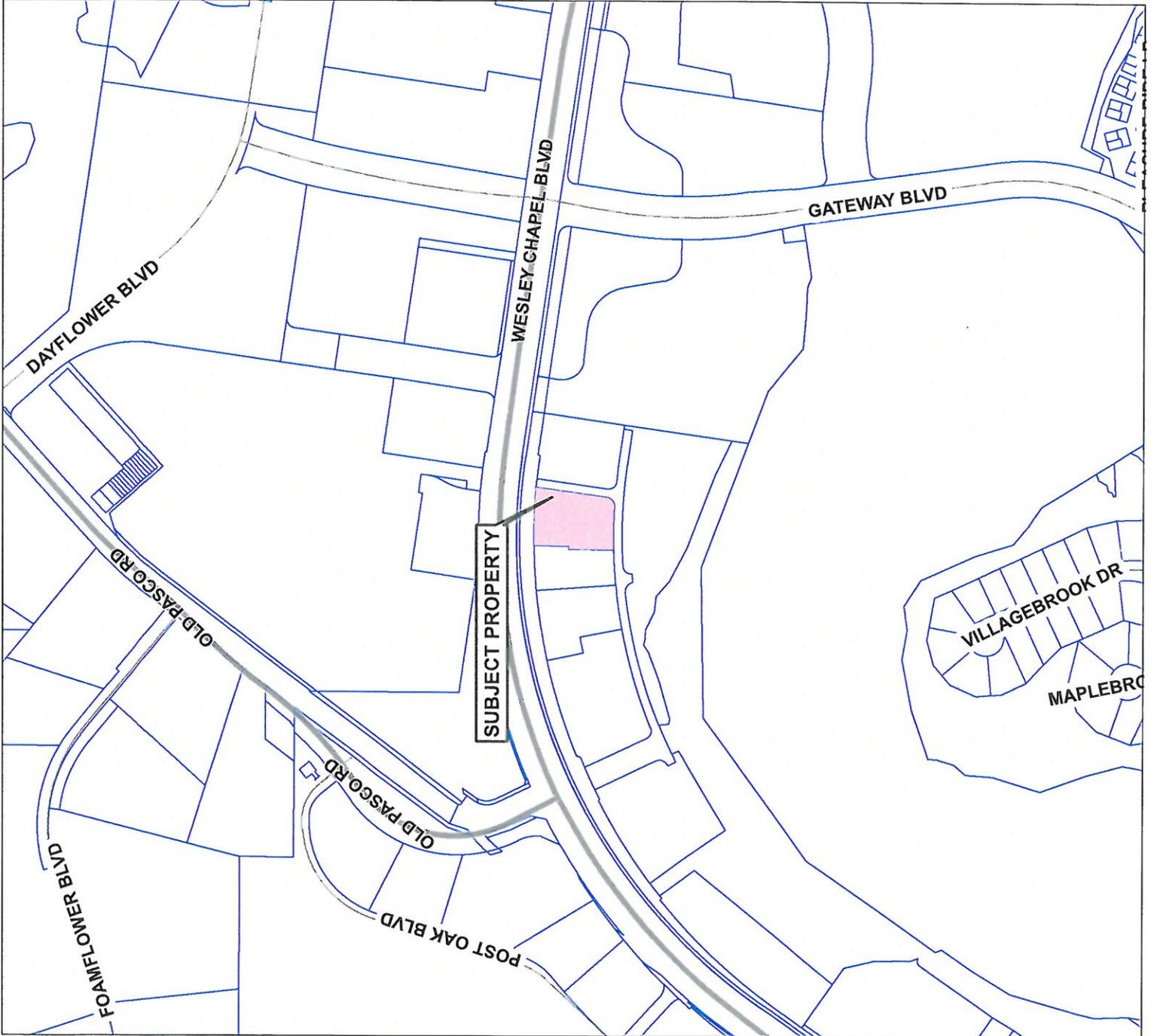
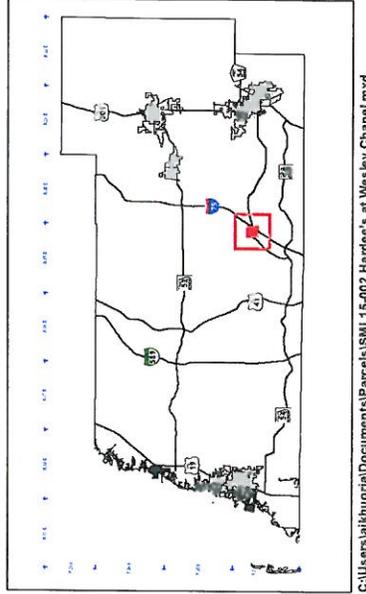
PHYSICAL ADDRESS:
27320 WESLEY CHAPEL BLVD

TAZ - 273
COMMISSION DISTRICT: 2

SUBJECT PROPERTY



Pasco County GIS | 3/25/2015 | aikhuoria



SITE, STIPING, & SIGNAGE KEYNOTES

1. All site work shall be in accordance with the approved site plan and all applicable codes and regulations.
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G SITE DRAINAGE KEYNOTES

1. All site work shall be in accordance with the approved site plan and all applicable codes and regulations.
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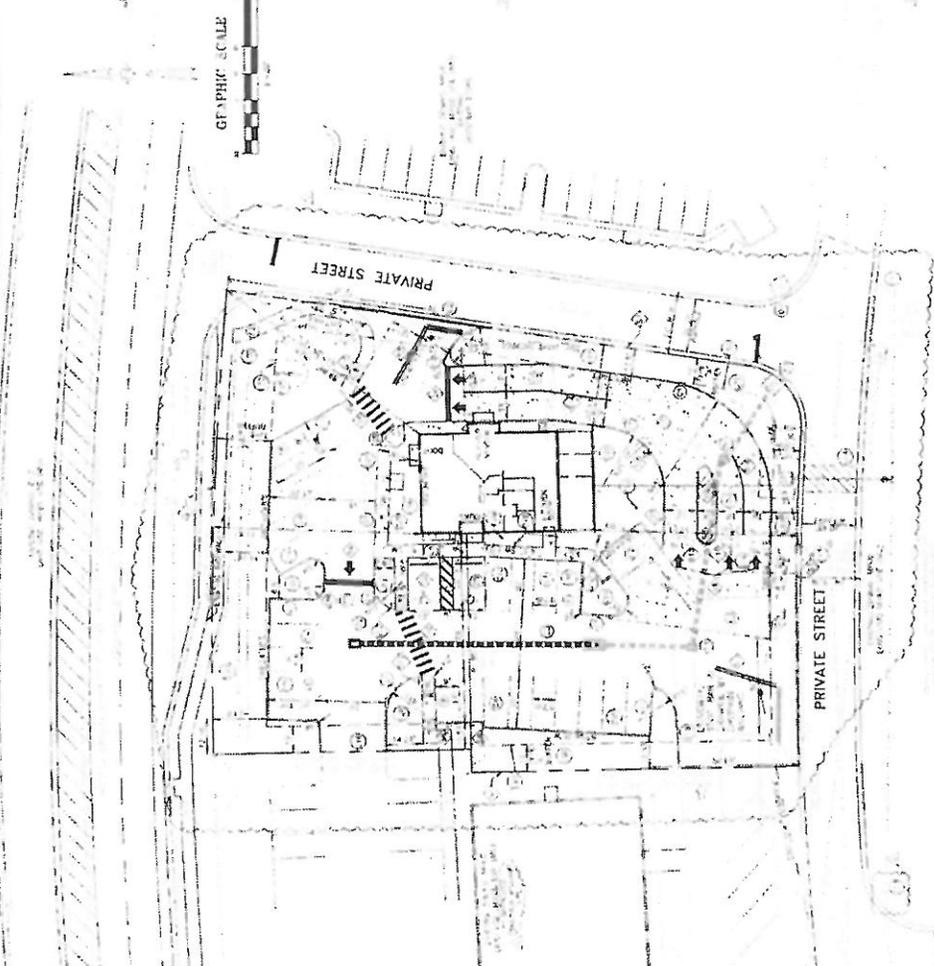
PASCO COUNTY DEVELOPMENT REVIEW STANDARD SITE PLAN NOTES

1. All site work shall be in accordance with the approved site plan and all applicable codes and regulations.
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SITE DATA
 PROPERTY LOCATION: 27323 WESLEY CHAPEL BLVD., WESLEY CHAPEL, FLORIDA 34789
 PROPERTY ZONING: MIXED USE
 PROPERTY FUTURE LAND USE DESIGNATION: FAST FOOD WITH DRIVE THRU
 PROPOSED USE: 35,769 SQ. FT.
 PROJECT AREA: 2,608 SQ. FT.
 PREPARED GROSS FLOOR AREA: 15 TO R/W
 PAR 17,508 SQ. FT. 75 TO R/W
 R.O.W. PARKING SETBACK 15 TO R/W
 R.O.W. PRINCIPAL BUILDING SETBACK 75 TO R/W
 BUILDING SETBACK (REQUIRED) BUILDING SETBACKS (PROPOSED)
 MINIMUM ALLOWABLE BUILDING HEIGHT BUILDING HEIGHT PROPOSED

GRAPHIC SCALE
 NUMBER OF FLOORS
 BUILDING CONSTRUCTION TYPE
 BUFFER YARDS
 PARKING PARKING REQUIRED
 PARKING PER FOOD
 GENERAL NOTES
 SITE AREA CALCULATIONS (SEE PAGE 4, REPROPOSED)
 FLOOD ZONE
 SOILS
 WETLAND STATEMENT
 HAZARDOUS MATERIALS STATEMENT

DUMPSTER NOTE
SIGNAGE NOTE
SITE NOTES



<p>3127 S. Orange Avenue, Suite 200 Ocala, FL 32668-2024 Tel: 352-237-1325 www.feg.com</p> <p>FEG ENGINEERING GROUP Engineering the Future</p>		<p>PROJECT: 14-078 DATE: 1-20-15 DRAWING NO.: 1714 SHEET NO.: C-7 TOTAL SHEETS: 13</p>
<p>HARDEE'S RESTAURANT PRELIMINARY SITE PLAN/CONSTRUCTION PLANS/STORMWATER MANAGEMENT PLAN PASCO COUNTY, FLORIDA</p>	<p>SITE GEOMETRY PLAN</p>	<p>DATE: _____ BY: _____ CHECKED: _____</p>

ATTACHMENT NO. 4 - BACKGROUND AND FINDINGS OF FACT
HARDEES- WESLEY CHAPEL

BACKGROUND:

1. On August 19, 1986, the BCC approved the Saddlebrook Village Development of Regional Impact (DRI)/Development Order, Resolution No. 86-258, and the MPUD Master Planned Unit Development (MPUD), Petition No. 3381. Subsequent nonsubstantial amendments have been approved by the BCC.
2. On November 24, 1987, the BCC approved, with conditions, the preliminary/construction plan for the Saddlebrook Corporate Center, Phase-1A, with 33 lots designated for Commercial/Office/Light Industrial (Memorandum No. DR88-212). The BCC also approved the Saddlebrook Corporate Center construction drawing (Memorandum No. ENA88-0069).
3. On May 18, 1989, the DRC approved the revised construction plan to have the roadways designated as public roadways (Memorandum No. DR89-937).
4. On October 5, 1989, the DRC approved a preliminary plan amendment for the Saddlebrook Corporate Center to amend the language in Condition of Approval No. 12 as it relates to record plat, ownership and maintenance of open space drainage areas, retention and detention ponds, drainage swales, buffer areas and preservation areas (Memorandum No. DR90-009). On October 17, 1989, the BCC also approved the change (Memorandum No. DR90-028).
5. On October 10, 1989, the record plat for the Saddlebrook Corporate Center, Phase-1A, was recorded by the Pasco County Clerk of the Court in Plat Book 28, Pages 034-044.
6. On October 15, 2002, the BCC approved a nonsubstantial amendment to the MPUD which changed the name of the development to Seven Oaks MPUD (Petition No. 5947).
7. On April 24, 2003, the DRC approved, with conditions, the Saddlebrook Commercial West, Lot 16, Tract A, Common Plan of Development Preliminary/Construction Site Plan to re-grade and install infrastructure (Memorandum No. DR03-1125).
8. On May 27, 2004, the DRC approved modifications to the Saddlebrook Commercial West, Lot 16, Tract A, Common Plan of Development Preliminary/Construction Site Plan to establish phase lines to construct Phase 1 containing six lots and corresponding infrastructure (Memorandum No. DR04-1532).
9. On February 10, 2005, the DRC approved a preliminary/construction site plan amendment to add an eastbound, right-turn lane and a right-in/right-out access drive onto S.R. 54 (Memorandum No. DR05-802).
10. On February 10, 2009, the BCC approved an amendment for the Seven Oaks MPUD (Petition No. 6822).

FINDINGS OF FACT:

1. Presently, the subject site is an unimproved portion of the Seven Oaks DRI No. 29, designated as W3 and proposed Lot 3 within Lot A6 of the Saddlebrook Common Plan of Development.
2. The PSP/construction plan and stormwater management plan and report has been reviewed by the Planning and Development Department, and it has been determined the proposed use is consistent with the above-referenced zoning district's permitted uses.
3. The PSP/construction plan and stormwater management plan and report for the above-subject project was prepared for OP 54, LLC by Florida Engineering Group., and consists of 13 sheets dated November 10, 2014 ; the sheets were last revised on March 9, 2015. The plans were originally received by the Planning and Development Department on November 19, 2014, and final revisions were received on March 10, 2015.
4. Access to the property is from an internal drive connecting to Wesley Chapel Boulevard, a County-maintained road which has 153 feet of right-of-way with approximately 115 feet of pavement including the median and has been designated as a 6-lane, arterial facility on Map 7-22, 2025 Future Number of Lanes and Map 7-24, 2025 Future Roadway Functional Classification, of the Comprehensive Plan.
5. A Timing and Phasing Application was submitted and found to be exempt from the requirement to provide a Timing and Phasing Analysis and a Substandard Roadway Analysis.
6. The proposed request is consistent with the Pasco County applicable provisions of the Comprehensive Plan as submitted.
7. OP 54, LLC conveyed entitlements for the construction of the 2508 square foot fast food restaurant with drive thru.
8. On February 4, 2015, Withlacoochee River Electric Cooperative issued a service availability letter for the project.

The Planning and Development Department's approval of this PSP/construction plan and stormwater management plan and report constitutes a finding by the Planning and Development Department that the PSP/construction plan and stormwater management plan and report, as conditioned, is consistent with those Goals, Objectives, and Policies of the Comprehensive Plan and those provisions of the LDC that are applicable to PSP/construction plan and stormwater management plan and report approvals. This action is based on the office review of the plans, supporting documentation, and certifications of the Engineer of Record.

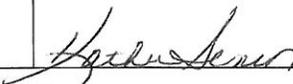
INITIAL CERTIFICATE OF CAPACITY

REQUIRED FOR PRELIMINARY SITE PLANS, PRELIMINARY DEVELOPMENT PLANS,
NONRESIDENTIAL SUBDIVISION, RESIDENTIAL SUBDIVISION INTO MORE THAN ONE DWELLING UNIT
PER LOT, AND PUBLIC SCHOOL COMPREHENSIVE PLAN CONSISTENCY REVIEW
To Be Completed By Department Responsible for Approval Sought;
Completed Certificate Must Be Attached to the Agenda Item and Approval Document

Complete Application (Date):	12-11-14	Certificate Completed by:	MC
Parcel ID No(s):	12-26-19-0030-00000-00A6		(attach survey if project includes portion of parcel)
Project Name:	Hardee's - Wesley Chapel		No: SML15-002
Applicant Name, Address, and Telephone Number:	OP 54, LLC c/o Florida Engineering Group, Inc. 407-895-0324 Bill Hockensmith		
Job Site Address:	Wesley Chapel Blvd- S side; I-75-W		
Does the applicant want to opt out of the mobility fee system pursuant to LDC 1302? <input type="checkbox"/> Yes <input type="checkbox"/> No (If Yes, then transportation concurrency will apply and TIS application is required.)			
Project subject to Development of Regional Impact (DRI) Development Order or to a Development Agreement? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Approval Sought (Check All that apply):			
<input type="checkbox"/>	Preliminary Development Plan	<input type="checkbox"/>	Nonresidential Subdivision <input type="checkbox"/> Mixed-Use Subdivision
<input checked="" type="checkbox"/>	Preliminary Site Plan	<input type="checkbox"/>	Residential Subdivision into more than one dwelling unit
<input type="checkbox"/>		<input type="checkbox"/>	Public School (Comprehensive Plan Consistency Review)

TYPE OF DEVELOPMENT

Number of Units	Unit Measure	Description
2508	sf	Fast Food w/ Drive-In

Expiration (1300 LDC)		
All facilities (other than roads and schools) expire on:	3/30/21	(6 yrs from issuance)
Roads(Only applies if project subject to transportation concurrency) Certificate of Capacity expires or is subject to additional review on: (click N/A if transportation concurrency does not apply)		or N/A <input checked="" type="checkbox"/>
Schools: Certificate of Capacity expires or is subject to additional review on:		or N/A <input checked="" type="checkbox"/>
Issuance Date:	3/30/15	

Completed Certificate of Capacity which has been issued to be distributed as follows:
1) Applicant 2) Shared Directory: 1-LOS, and 3) Project File.

INITIAL CERTIFICATE OF CAPACITY

	Yes	No	Conditional Approval	Review Standards	Reviewed By & Authorized Signature/Date
Roads <input checked="" type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.D and Chapter 7 Transportation Analysis	
Water/Water Supply (Utilities) or <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.A and Chapter 10 Public Facilities Element	
Sewer (Utilities) or <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.A and Chapter 10 Public Facilities Element	
Parks/Recreation(Parks) <input checked="" type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.B and Chapter 5 Recreation and Open Space Element	
Solid Waste (Utilities) Or <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.A and Chapter 10 Public Facilities Element	
School or <input checked="" type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.C & Chapter 8 Public School Facilities Element and School District Concurrency Implementation Procedures Manual	

[Type or Copy and Paste Below]

Completed Certificate of Capacity which has been issued to be distributed as follows:
 1) Applicant 2) Shared Directory: 1-LOS, and 3) Project File.

HARDEE'S RESTAURANT PRELIMINARY SITE PLAN/CONSTRUCTION PLANS/STORMWATER MANAGEMENT PLAN WESLEY CHAPEL BOULEVARD PASCO COUNTY, FLORIDA

FRANCHISEE PHASE THREE STAR, LLC
9434 HUNTER'S POND DRIVE
TAMPA, FLORIDA 33647
PHONE: 617-259-0263

EMAIL: EMILY@WPCAPARTNERS.COM

OWNER: OP 54, LLC
8902 N. DALE MABRY HIGHWAY, SUITE 200
TAMPA, FLORIDA 33614
PHONE: 813-960-8154

EMAIL: MITCHELL@RMCPG.COM

CONSTRUCTION MANAGEMENT VERDAD REAL ESTATE
1211 SOUTH WHITE CHAPEL
SOUTHLAKE, TEXAS 76092
PHONE: 716-863-3190

EMAIL: SBURKETT@VERTICALCM.COM

ARCHITECT: ROGUE ARCHITECTS, LLC
513 MAIN STREET, SUITE 200
FORT WORTH, TX 76102
PHONE: 817-820-0433

EMAIL: KEVIN@ROGUEARCHITECTS.COM

SURVEYOR: ALTAMAX SURVEYING
910 BELLE AVENUE, SUITE 1140
CASSELBERRY, FL 32708
PHONE: 407-677-0200

EMAIL: R.JOHNSON@ALTAMAXSURVEYING.COM

PERMITTING AGENCIES

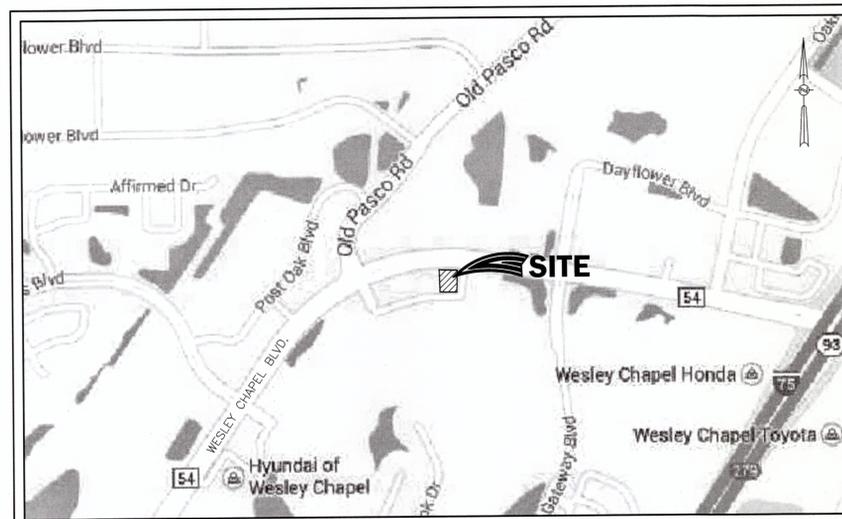
S.W.F.W.M.D.: ENVIRONMENTAL RESOURCE PERMIT
PASCO COUNTY: SITE PLANS

UTILITY COMPANIES

ELECTRIC:	(352) 588-5115	WITHLACOOCHEE RIVER ELECTRIC COOPERATIVE
SEWER:	(727) 847-8144	PASCO COUNTY UTILITIES
STORM:	(727) 847-8144	PASCO COUNTY
TELEPHONE:	(813) 627-8343	VERIZON
GAS:	(813) 275-3743	TECO PEOPLES GAS-TAMPA
WATER:	(727) 847-8144	PASCO COUNTY UTILITIES

PARCEL I.D. No. 12-26-19-0030-00000-00A6

SITE VICINITY MAP



NOT TO SCALE

APPROVED PLANS

3/30/15

PDD15-782/KS

SML15-002

PLAN INDEX

C-1	COVER SHEET
C-2	SURVEY PLAN
C-3	SURVEY PLAN
C-4	SURVEY PLAN
C-5	SITE LEGEND, NOTES AND SPECIFICATIONS
C-6	SITE DEMOLITION & POLLUTION CONTROL PLAN
C-7	SITE GEOMETRY PLAN
C-8	SITE PAVING, GRADING AND DRAINAGE PLAN
C-9	SITE UTILITY PLAN
C-10	PASCO COUNTY UTILITIES STANDARD DETAILS
C-11	SITE CONSTRUCTION DETAILS
C-12	SITE CROSS SECTIONS AND DETAILS
L-1	SITE LANDSCAPE PLAN AND DETAILS

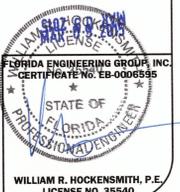
BY SIGNING AND SEALING THESE PLANS THE ENGINEER OF RECORD CERTIFIES THAT THE ROADWAY SYSTEM IS IN SUBSTANTIAL CONFORMANCE WITH THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE OF STREETS AND HIGHWAYS, STATE OF FLORIDA, IN EFFECT AT THE TIME THE PLANS WERE PREPARED.



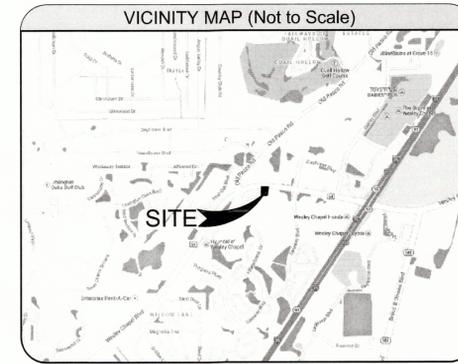
Engineering the Future

5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325

whockensmith@feg-inc.us
www.feg-inc.us



ALTA/ACSM LAND TITLE SURVEY



LEGEND	
○	AIR RELEASE VALVE
—	AUTO SPRINKLER
BB	BOTTOM OF BANK
BC	BACK OF CURB
BLK	BLOCK
BPP	BACK FLOW PREVENTER
BM	BENCHMARK
BPC	BOLTED POWER CABLE
CALC	CALCULATED
CM	CALCULATED & MEASURED
Δ	CENTRAL ANGLE
CBW	CONCRETE BLOCK WALL
CC	COVERED CONCRETE
CF	CONCRETE FUME
CHW	CONCRETE HEAD WALL
CLF	CHAIN LINK FENCE
○	CENTRAL ANGLE
CM	CONCRETE MONUMENT
CMP	CORRUGATED METAL PIPE
CO	CLEAN CUT
CONC	CONCRETE
COVD	COVERED
CP	CONCRETE PAD
CV	CONCRETE WALKWAY
D&M	DEED/DESC & MEASURED
DE	DRAINAGE EASEMENT
DESC	DESCRIPTION
●	DOT INLET
DP	DUMPSTER PAD
DW	DRIVEWAY
ED	ELECTRIC METER
EB	ELECTRICAL BOX
ESMT	EASEMENT
E/P	EDGE OF PAVEMENT
FROM	FLOOD INSURANCE
FTE	RATE MAP
FH	FIRE HYDRANT
FSP	FIRE SPRINKLER BOX
FL	FLOOD LIGHT
FND	FOUND
FOC	FIBER OPTIC CABLE
○	FLAG POLE
○	GAS LINE
○	GAS METER
○	GUY WIRE ANCHOR
○	HANDICAP PARKING
HR	HANDICAP RAMP
INV	INVERT ELEVATION
IP	IRON PIPE
IR	IRON ROD
L	ARC LENGTH
LSA	LANDSCAPED AREA
(W)	MEASURED WALKWAY
ME	METAL FENCE
ML	METAL LID
MS	METAL SHED
○	MITERED END SECTION
○	MONITORING WELL
○	NAIL & DISK
NOVD	NATIONAL GEODETIC
○	VERTICAL CURVE
NTS	NOT TO SCALE
○	OVERHEAD ELECTRIC
OL	ON LINE
ORB	OFFICIAL RECORDS BOOK
OW	OVERHEAD WIRE
OWK	OVERHEAD WALKWAY
○	PLAT BOOK
PC	POINT OF CURVATURE
PDOT	POINT OF BEGINNING
○	POINT OF COMMENCEMENT
○	PER ENGINEERING PLANS
PS	PLAT
PI	POINT OF INTERSECTION
P&M	PLAT & MEASURED
POB	POINT OF BEGINNING
○	POINT OF COMMENCEMENT
PP	POWER POLE
PT	POINT OF TANGENCY
PVC	PLASTIC PIPE
R	CURVE RADIUS
(R)	RECORDED
RCR	REINFORCED CONCRETE PIPE
R/W	RIGHT OF WAY
○	SANITARY MANHOLE
○	SANITARY LINE
○	SIGN
SWF	STOCK WIRE FENCE
○	SPOT ELEVATION
○	STORM DRAIN LINE
○	STORM MANHOLE
○	UNDERGROUND TELEPHONE
○	STORM INLET
○	TOP OF BANK
○	TRAFFIC POLE
○	TRAFFIC SIGN
○	TRANSFORMER/JUNCTION BOX
○	TELEPHONE RISER
○	TRAFFIC SIGNAL BOX
○	TRAFFIC SIGNAL WIRE
○	CABLE TV RISER
○	TYPICAL
○	UTILITY EASEMENT
○	UTILITY POLE
○	WATER LINE
○	WOOD FENCE
○	WETLAND FLAG
○	YARD DRAIN
○	WATER VALVE
○	WATER METER
#	NUMBER
②	EASEMENT NUMBER

SCHEDULE B-2 EXCEPTIONS NOTES:

8. Easements, covenants, restrictions and other matters as set forth and/or shown on the plat of Saddlebrook Corporate Center Phase-1A recorded in Plat Book 28, Page 34 to 44, inclusive, of the Public Records of Pasco County, Florida. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)

9. Easement in favor of Withlacoochee River Electric Cooperative, Inc., and its successors and assigns, and terms, covenants, and conditions, as set forth in Franchise and Easement Agreement recorded September 28, 1988 in Official Records Book 1761, Page 320, of the Public Records of Pasco County, Florida. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)

10. Restrictions, covenants, conditions, easements, terms, provisions, and other matters, which include provisions for a private charge or assessment, as contained in that certain Declaration of Protective Covenants and Restrictions for Saddlebrook Corporate Center recorded July 28, 2000 in Official Records Book 4412, Page 240, as assigned in Official Records Book 4896, Page 1531 and amended by that certain Amendment to Declaration of Protective Covenants and Restrictions for Saddlebrook Corporate Center recorded in Official Records Book 4584, Page 1914, as further amended by that certain Amendment to Declaration of Protective Covenants and Restrictions for Saddlebrook Corporate Center recorded in Official Records Book 4896, Page 1497, as further amended by that certain First Amendment to Declaration of Protective Covenants and Restrictions for Saddlebrook Corporate Center recorded in Official Records Book 5298, Page 380, as further amended by that certain re-recorded Corrective First Amendment to Declaration of Protective Covenants and Restrictions for Saddlebrook Corporate Center recorded in Official Records Book 5306, Page 1768, as further amended by that certain Second Amendment to Declaration of Protective Covenants and Restrictions for Saddlebrook Corporate Center recorded in Official Records Book 5386, Page 1673, as further amended by that certain Third Amendment to Declaration of Protective Covenants and Restrictions for Saddlebrook Corporate Center recorded in Official Records Book 5604, Page 1540, and as further amended by that certain Fourth Amendment to Declaration of Protective Covenants and Restrictions for Saddlebrook Corporate Center recorded in Official Records Book 6069, Page 1310, all of the Public Records of Pasco County, Florida; and as affected by Quit Claim Deed recorded in Official Records Book 6069, Page 1315, and as amended, of the Public Records of Pasco County, Florida. (Lenders Consent recorded in Official Records Book 6069, Page 1322, of the Public Records of Pasco County, Florida). (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE) (BENEFITS SUBJECT PROPERTY, AS SHOWN HEREON)

11. Notices, resolutions and amendments regarding the Saddlebrook Village Development of Regional Impact as recorded in the following instruments: Official Records Book 2038, Page 610, as re-recorded in Official Records Book 2039, Page 1681; Official Records Book 3076, Page 314, as re-recorded in Official Records Book 3082, Page 687; Official Records Book 3161, Page 899, as re-recorded in Official Book 3163, Page 1909; Official Records Book 3355, Page 1173; Official Records Book 3573, Page 1358; Official Records Book 3752, Page 1436; as amended by Restated and Amended Development Order recorded in Official Records Book 4527, Page 1011, together with Agreement by and between SB Associates, Limited Partnership, a Delaware limited partnership and Pittway Corporation, a Delaware corporation, recorded April 26, 2001 in Official Records Book 4595, Page 1538, as assigned by that certain Assignment and Assumption of Development Rights dated March 21, 2002 and recorded March 22, 2002 in Official Records Book 4896, Page 1531; together with Official Records Book 5174, Page 546; Official Records Book 5174, Page 564 and Official Records Book 6022, Page 1697 as re-recorded in Official Records Book 6033, Page 942, all of the Public Records of Pasco County, Florida. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)

12. Terms, provisions, and conditions set forth in that certain Reciprocal Stormwater Easement Agreement by and between Saddlebrook Village West Homeowners Association, Inc., a Florida corporation not for profit, and Chilpub, Inc., a Delaware corporation, recorded in Official Records Book 4896, Page 1508, of the Public Records of Pasco County, Florida. (BENEFITS SUBJECT PROPERTY, BLANKET IN NATURE)

13. Restrictions as contained in Special Warranty Deed to MacDill Federal Credit Union, a federal credit union recorded August 31, 2004 in Official Records Book 6007, Page 122; Development Rights being assigned to MTN WC Partners, LLC, a Florida limited liability company by Quit Claim Assignment of Development Rights recorded June 29, 2007 in Official Records Book 7551, Page 1918, as affected by Quit Claim Deed from Commercial West, LLC, a Florida limited liability company recorded June 29, 2007 in Official Records Book 7551, Page 1928, as affected by Quit Claim Deed by and between Commercial West, LLC and OP 54, LLC dated December 3, 2009 and recorded in Official Records Book 8225, Page 1792, contemporaneously herewith. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)

14. Restrictions, covenants, and conditions as contained in Restrictive Covenant by Commercial West, LLC, a Florida limited liability company in favor of RSB Development, Inc., a Florida corporation recorded October 18, 2004 in Official Records Book 6069, Page 1318, rerecorded November 15, 2004 in Official Records Book 6108, Page 1662, all of the Public Records of Pasco County, Florida. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)

15. Restrictions as contained in Special Warranty Deed to MTN WC Partners, LLC, a Florida limited liability company recorded June 29, 2007 in Official Records Book 7551, Page 1923; Developer Rights being assigned to MTN WC Partners, LLC, a Florida limited liability company by Assignment of Developers Rights recorded October 18, 2004 in Official Records Book 7551, Page 1931, as affected by Quit Claim Deed from Commercial West, LLC, a Florida limited liability company recorded June 29, 2007 in Official Records Book 7551, Page 1928. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)

16. Declaration of Restrictive Covenant recorded in Official Records Book 8645, Page 1759. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)

17. Reciprocal Easement Agreement with Covenants, Conditions and Restrictions recorded in Official Records Book 8645, Page 1772. (BENEFITS SUBJECT PROPERTY, AS SHOWN HEREON)

18. Quit Claim Assignment of Development Rights recorded in Official Records Book 8225, Page 1787. (AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE)

GENERAL SURVEY NOTES:

1. BEARING STRUCTURE BASED ON THE MONUMENTED EAST BOUNDARY LINE OF SUBJECT PROPERTY; BEING: S08°17'46"W PER OFFICIAL RECORD BOOK 8225, PAGE 1794, OF THE PUBLIC RECORDS FOR PASCO COUNTY, FLORIDA

2. THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY THE CLIENT OR CLIENTS REPRESENTATIVE.

3. THIS SURVEY WAS MADE ON THE GROUND. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

4. THIS SITE LIES IN ZONE "X" (AN AREA OUTSIDE OF THE SPECIAL FLOOD HAZARD AREA), BASED ON FLOOD INSURANCE RATE MAP NO. 12101C0426F, UNINCORPORATED PASCO COUNTY, FLORIDA HAVING AN EFFECTIVE DATE OF SEPTEMBER 26, 2014.

5. ACCORDING TO FLORIDA STATUTES, CHAPTER 472.025, A LAND SURVEYOR SHALL NOT AFFIX HIS SEAL OR NAME TO ANY PLAN OR DRAWING WHICH DEPICTS WORK WHICH HE IS NOT LICENSED TO PERFORM OR WHICH IS BEYOND HIS PROFESSION OR SPECIALTY THEREIN. THEREFORE, WE ARE UNABLE TO CERTIFY AS TO MUNICIPAL ZONING COMPLIANCE, INTERPRETATION OF ZONING CODES OR THE DETERMINATION OF VIOLATIONS THEREOF.

6. THIS SURVEY MADE WITH BENEFIT OF COMMITMENT FOR TITLE NO. 14051610 ADB, EFFECTIVE: JUNE 20, 2014, ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.

7. THERE ARE ZERO STRIPED PARKING SPACES INCLUDING ZERO HANDICAP SPACES.

8. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.

9. THE PROPERTY HAS INDIRECT INGRESS AND EGRESS TO STATE ROAD 54 (WESLEY CHAPEL BOULEVARD), A DEDICATED PUBLIC ROAD WITHIN THE COUNTY OF PASCO, FLORIDA.

10. THE PROPERTY DOES NOT LIE WITHIN ANY AREA SUBJECT TO REGULATION BY FEDERAL OR MUNICIPAL AUTHORITY AS INLAND COASTAL WETLANDS, BEACH, ESTUARY OR THE LIKE.

11. VISIBLE ABOVE GROUND EVIDENCE OF MUNICIPAL WATER, STORM SEWER FACILITIES AND TELEPHONE, GAS AND ELECTRIC SERVICES OF PUBLIC UTILITIES EXISTS IN THE LOCATIONS INDICATED HEREON.

12. THE PARCELS SHOWN HEREON ARE CONTIGUOUS AND DO NOT CREATE ANY GAPS, GORES, OVERLAPS OR HIATUSES.

13. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

14. THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, ACCORDING TO FLORIDA DEPARTMENT OF TRANSPORTATION, THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

15. THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A CEMETERY, SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

16. LEGAL DESCRIPTION SHOWN HEREON IS THE SAME AS LEGAL DESCRIPTION SHOWN IN THE TITLE COMMITMENT REFERENCED HEREON.

17. ELEVATIONS ARE ON NGVD29 DATUM, BASED ON NATIONAL GEODETIC SURVEY BENCHMARK "175 Z 8" HAVING AN ELEVATION OF 98.03' NATIONAL GEODETIC VERTICAL DATUM 1929 (NGVD 29). VERTCON COMPUTATION DATUM SHIFT TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88) IS (NGVD29 TO NAVD88) = -0.82 FEET.

LIST OF POSSIBLE ENCROACHMENTS:

- A 5' CW ALONG NORTH BOUNDARY LINE
- B ASPHALT ROAD NEAR NE CORNER OF PROPERTY
- C CONC CURB ALONG EAST AND SOUTHERN BOUNDARY LINES

LAND AREA:

35,769 SQ. FT.
OR
0.82114325 ACRES

DESCRIPTION:

PROPOSED HARDEES PARCEL:

THAT PART OF TRACT "A", SADDLEBROOK CORPORATE CENTER PHASE-1A, AS RECORDED IN PLAT BOOK 28, PAGES 34-44, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF TRACT "A" OF SAID SADDLEBROOK CORPORATE CENTER PHASE-1A; THENCE ALONG THE NORTHERLY LINE OF SAID TRACT "A" N.81°42'14"W., A DISTANCE OF 130.00 FEET TO A POINT OF CURVATURE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 1577.67 FEET; THENCE CONTINUE 77.19 FEET ALONG SAID NORTH LINE THROUGH A CENTRAL ANGLE OF 02°48'12" (CHORD BEARING N.83°06'20"W., 77.18 FEET); THENCE LEAVING SAID LINE S08°17'46"W., 38.60 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD 54 FOR A POINT OF BEGINNING; THENCE LEAVING SAID LINE, S.08°17'46"W., 199.55 FEET TO A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 23.00 FEET; THENCE SOUTHWESTERLY ALONG SAID CURVE, 34.17 FEET THROUGH A CENTRAL ANGLE OF 85°08'42" (CHORD BEARING S.50°51'46"W., 31.12 FEET) TO A REVERSE CURVE CONCAVE SOUTHERLY AND HAVING A RADIUS OF 1,412.00 FEET; THENCE WESTERLY ALONG SAID CURVE, 127.39 FEET THROUGH A CENTRAL ANGLE OF 05°10'10" (CHORD BEARING N.89°09'19"W., 127.35 FEET); THENCE N.00°54'40"W., 124.43 FEET, THENCE N.89°29'54"E., 8.71 FEET; THENCE N.00°59'35"W., 96.76 FEET TO THE SOUTH CONCAVE SOUTHERLY AND HAVING A RADIUS OF 1,609.00 FEET; THENCE EASTERLY ALONG SAID CURVE, 175.39 FEET THROUGH A CENTRAL ANGLE OF 06°14'45" (CHORD BEARING S.88°02'10"E., 175.31 FEET) TO THE POINT OF BEGINNING.

ZONING INFORMATION:

ZONING SOURCE: PASCO COUNTY, FLORIDA

JURISDICTION: PASCO COUNTY, FLORIDA

ZONING CLASSIFICATION: MPUD - MASTER PLANNED UNIT DEVELOPMENT

MAXIMUM STRUCTURE HEIGHT: 60 FEET

MINIMUM SETBACK REQUIREMENTS:

FRONT YARD: 25 FEET

SIDE YARD: 0 FEET

REAR YARD: 0 FEET

PARKING REGULATIONS: 1 SPACE PER 150 SQUARE FEET FOR RESTAURANTS

ALTA/ACSM Land Title Survey Certification

To:
Phase Three Star, LLC; Old Republic National Title Insurance Company, OP 54, LLC

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(b), 7(a), 7(b), 7(c), 8, 9, 11(b), 13, 16, 17 and 18 of Table A thereof. The field work was completed on 08-14-14.

Date: 08-14-14

ROBERT C. JOHNSON PSM 5551



Not valid without the signature and the original raised seal of this Florida licensed Surveyor and Mapper, unless provided with electronic signature with ability to verify. The seal appearing on this document was authorized by Robert C. Johnson on the Date of the electronic signature.

ADDRESS:
27320 Wesley Chapel Boulevard
Wesley Chapel, FL 33544

Job Information
JOB NO. 900949
CF NO. PC28-34-HARDEES
FIELD DATE: 08-15-14
SCALE: 1" = 20'
DRAWN BY: PJT

Date:	Description	By:
02-02-15	Revised per County Comments	RCJ
02-05-15	Revised per County Comments	RCJ
03-06-15	Revised per County Comments	RCJ

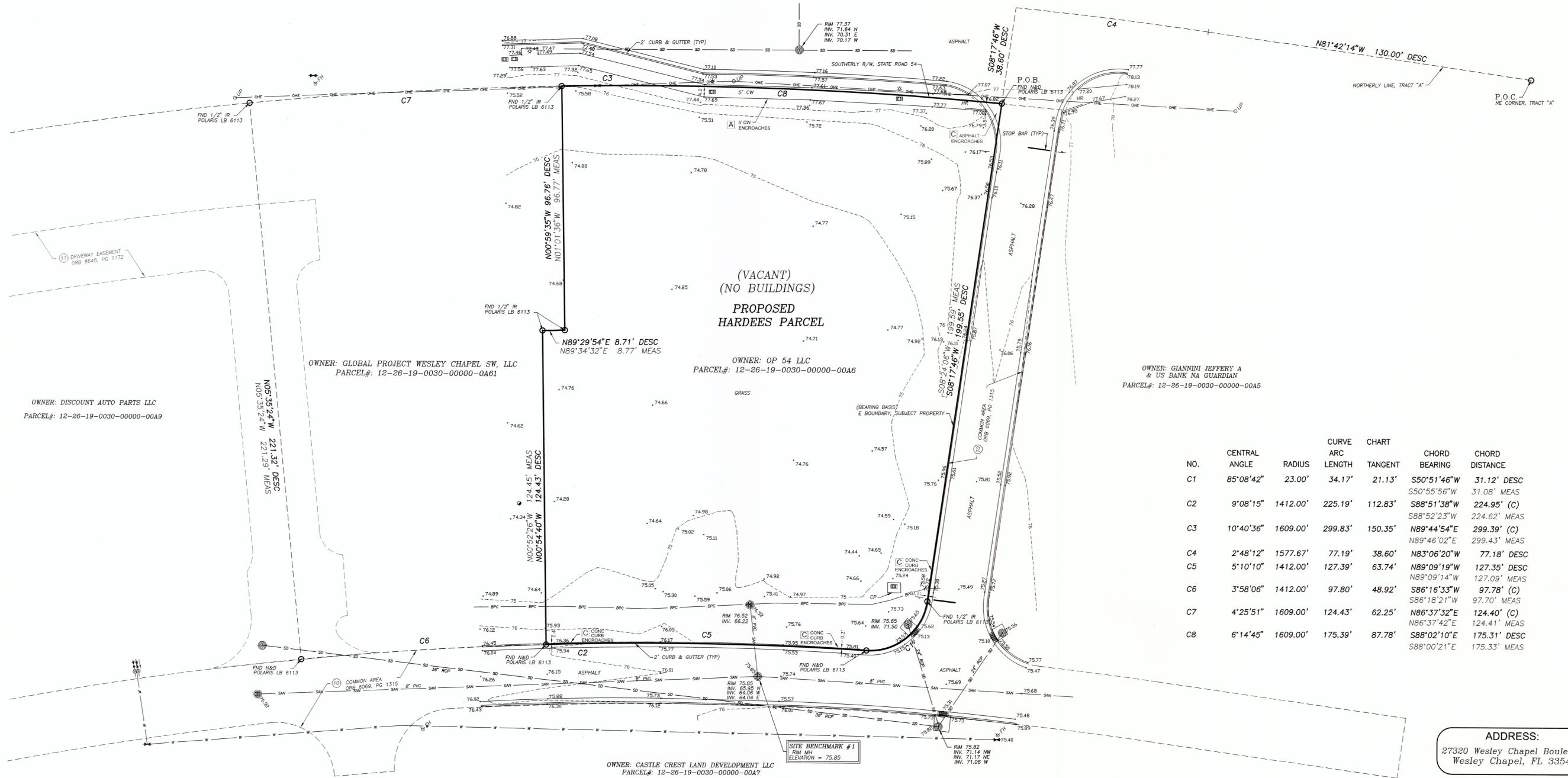
Altamax Surveying
910 Belle Avenue, Suite 1140
Casselberry, FL 32708
Phone: 407-677-0200
Licensed Business No. 7833
R.Johnson@altamaxsurveying.com



SHEET 1 OF 3

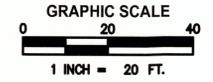
ALTA/ACSM LAND TITLE SURVEY

WESLEY CHAPEL BOULEVARD (STATE ROAD 54) (PUBLIC R/W-VARIES)
(PAVEMENT WIDTH 132')



NO.	CENTRAL ANGLE	RADIUS	ARC LENGTH	CHART TANGENT	CHORD BEARING	CHORD DISTANCE
C1	85°08'42"	23.00'	34.17'	21.13'	S50°51'46"W S50°55'56"W	31.12' DESC 31.08' MEAS
C2	9°08'15"	1412.00'	225.19'	112.83'	S88°51'38"W S88°52'23"W	224.95' (C) 224.62' MEAS
C3	10°40'36"	1609.00'	299.83'	150.35'	N89°44'54"E N89°46'02"E	299.39' (C) 299.43' MEAS
C4	2°48'12"	1577.67'	77.19'	38.60'	N83°06'20"W	77.18' DESC
C5	5°10'10"	1412.00'	127.39'	63.74'	N89°09'19"W N89°09'14"W	127.35' DESC 127.09' MEAS
C6	3°58'06"	1412.00'	97.80'	48.92'	S86°16'33"W S86°18'21"W	97.78' (C) 97.70' MEAS
C7	4°25'51"	1609.00'	124.43'	62.25'	N86°37'32"E N86°37'42"E	124.40' (C) 124.41' MEAS
C8	6°14'45"	1609.00'	175.39'	87.78'	S88°02'10"E S88°00'21"E	175.31' DESC 175.33' MEAS

NOTE:
SEE PAGE 3 OF 3 FOR OFFSITE EASEMENTS
THAT BENEFIT SUBJECT PROPERTY

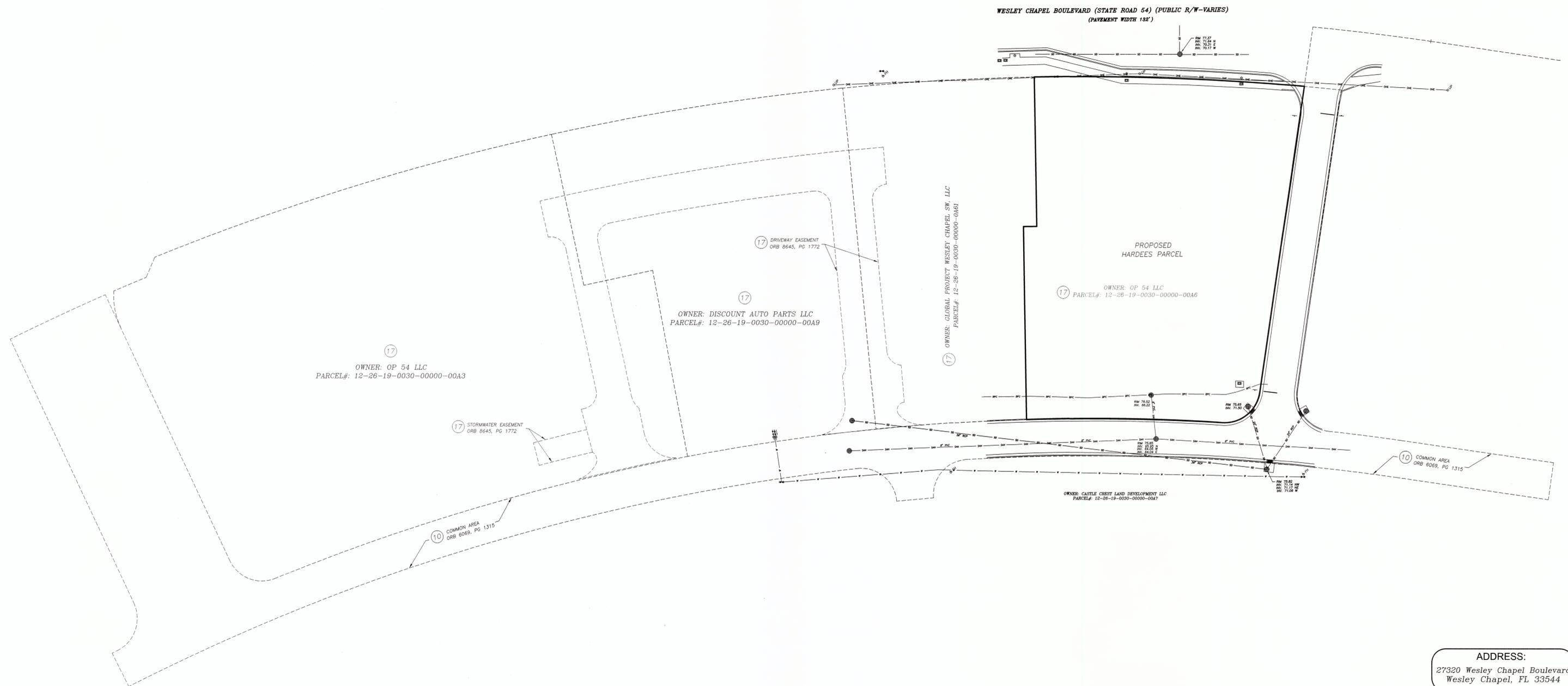


ADDRESS:
27320 Wesley Chapel Boulevard
Wesley Chapel, FL 33544

Job Information
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CF NO. PC28-34-HARDEES
FIELD DATE: 08-15-14
SCALE: 1" = 20'
DRAWN BY: PJT

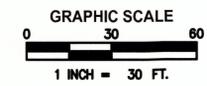
Altamax Surveying
910 Belle Avenue, Suite 1140
Casselberry, FL 32708
Phone: 407-677-0200
Licensed Business No. 7833
R.Johnson@altamaxsurveying.com

ALTA/ACSM LAND TITLE SURVEY



ADDRESS:
 27320 Wesley Chapel Boulevard
 Wesley Chapel, FL 33544

Job Information
 JOB NO. 900949
 CF NO. PC28-34-HARDEES
 FIELD DATE: 08-15-14
 SCALE: 1" = 30'
 DRAWN BY: PJT



Altamax Surveying
 910 Belle Avenue, Suite 1140
 Casselberry, FL 32708
 Phone: 407-677-0200
 Licensed Business No. 7833
 R.Johnson@altamaxsurveying.com

GENERAL NOTES:

- THESE GENERAL NOTES APPLY TO ALL WORK IN THIS SET OF DRAWINGS.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED & ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL CONDITIONS CONTAINED THEREIN.
- THE SPECIFICATIONS, NOTES & PLANS CALL ATTENTION TO CERTAIN REQUIRED FEATURES OF THE CONSTRUCTION BUT DO NOT PURPORT TO COVER ALL DETAILS OF DESIGN & CONSTRUCTION. HOWEVER, THE CONTRACTOR SHALL FURNISH & INSTALL THE WORK IN ALL DETAILS & READY FOR OPERATION.
- ALL EQUIPMENT SHALL BE HANDLED, STORED, INSTALLED, TESTED & OPERATED IN STRICT ACCORDANCE WITH THE APPLICABLE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ALL WORK SHALL BE ACCOMPLISHED TO THE HIGHEST QUALITY CRAFTSMANSHIP STANDARDS AS APPROVED BY THE ENGINEER.
- ALL WORK SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, & LOCAL CODES, ORDINANCES & REGULATIONS.
- APPARENT ERRORS, DISCREPANCIES OR OMISSIONS ON THE DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION BEFORE BIDDING.
- AFTER COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PERFORM SITE CLEAN-UP OPERATION FOR REMOVAL OF ALL TRASH, DEBRIS, EXCESS MATERIAL & EQUIPMENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESENT THE PROJECT SITE CLEAN & IN GOOD ORDER AT THE TIME OF FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS, & SPECIFICATIONS OF PASCO COUNTY UTILITIES FOR SITE IMPROVEMENT IN THE ABSENCE OF A PARTICULAR REQUIREMENT.
- FLORIDA LAW (F.S. 553.851) PROTECTION OF UNDERGROUND PIPELINES MANDATES THAT "NO EXCAVATOR SHALL COMMENCE OR PERFORM ANY EXCAVATION IN ANY PUBLIC OR PRIVATE STREET, ALLEY, RIGHT-OF-WAY DEDICATED TO THE PUBLIC USE, OR GAS UTILITY EASEMENT WITHOUT FIRST OBTAINING INFORMATION CONCERNING THE POSSIBLE LOCATION OF GAS PIPELINES IN THE AREA OF THE PROPOSED EXCAVATION." THIS INCLUDES ANY OPERATION UTILIZING HAND TOOLS OR POWER TOOLS WHICH MOVES OR REMOVES ANY STRUCTURE, EARTH, ROCK, OR OTHER MASS OF MATERIAL BY SUCH METHODS AS DIGGING, BACKFILLING, DEMOLITION, GRADING, DITCHING, BORING & CABLE PLOWING. THE EXCAVATOR MUST NOTIFY THE GAS UTILITY A MINIMUM OF 48 HOURS & A MAXIMUM OF 5 DAYS PRIOR TO EXCAVATING (EXCLUDING SATURDAYS, SUNDAYS, & LEGAL HOLIDAYS).
- CHAPTER 556, FLORIDA STATUTES, REQUIRES EXCAVATIONS TO NOTIFY SUNSHINE STATE ONE CALL OF FLORIDA (SSOCOF) BEFORE BEGINNING ANY EXCAVATION IN THE STATE OF FLORIDA UNLESS A SPECIFIC EXEMPTION LISTED IN THE F.S. 556.108 APPLIES. AN EXCAVATOR MUST NOTIFY SSOCOF TWO FULL BUSINESS DAYS BEFORE EXCAVATING. EXCAVATORS MAY CALL 1-800-432-4770 DURING BUSINESS HOURS OR USE THE INTERNET TO PROVIDE NOTIFICATION INFORMATION.
- CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS; INCLUDING BUT NOT LIMITED TO WATER, SEWER, POWER, TELEPHONE, GAS, & CABLE TV COMPANIES.
- ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER & OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE ENGINEER & OWNER.
- THE CONTRACTOR SHALL FURNISH OWNER WITH ACCURATE RECORD DRAWINGS SHOWING AS-CONSTRUCTED HORIZONTAL & VERTICAL DIMENSIONING OF THE WORK. THE SUBMITTAL COPY OF THE RECORD DRAWINGS WILL NOT BE RETURNED. THE RECORD DRAWING OR A REPRODUCIBLE COPY PREPARED BY ENGINEER SHALL BE CERTIFIED BY THE CONTRACTOR AS CORRECT. ALL INFORMATION WHICH IS UNCHANGED & CURRENT SHALL BE NOTED BY CHECKING OFF OR CIRCULING. ALL REVISED INFORMATION SHALL BE CROSSED THROUGH & NEW DATA ADDED. ADDITIONAL REQUIREMENTS ARE NOTED IN PAVING, GRADING, DRAINAGE, WATER, & SEWER NOTES. ALL RECORD DRAWINGS AND INFORMATION SHALL INCLUDE DIGITAL ELECTRONIC AS-BUILT DOCUMENTS.
- ALL PRIVATE & PUBLIC PROPERTIES AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION & NO EXTRA COMPENSATION WILL BE ALLOWED.
- ALL CONSTRUCTION SHALL MEET PASCO COUNTY UTILITIES REQUIREMENTS FOR DRAINAGE, ROADWAYS AND UTILITIES.
- ALL STORMWATER STRUCTURES ARE TO BE PLACED ON A 12 INCH OF CRUSHED STONE BED OR EQUAL AS APPROVED BY THE PASCO COUNTY ENGINEER AND FULLY ENVELOPED WITH FILTER FABRIC.
- CHAINS & LOCKS SHALL BE INSTALLED ON ALL STORMWATER INLET GRATES.
- TRENCH SAFETY: CONTRACTOR SHALL COMPLY WITH OSHA TRENCH SAFETY STANDARDS 29 C.F.R., SECTION 926.650 SUBPART P, AND ALL SUBSEQUENT REVISIONS OR UPDATES ADOPTED BY THE DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY AND WITH SECTION 553.62, FLORIDA STATUTES.
- *PRIOR TO START OF THE CLEARING AND GRUBBING, OR ANY SOIL DISTURBANCE CONTACT PASCO COUNTY STORMWATER MGMT. AT (727) 834-3611 FOR A SOIL EROSION AND SEDIMENT CONTROL, PRE-INSPECTION MEETING.*

GEOMETRY NOTES:

- THESE PLANS ARE BASED ON A SURVEY PREPARED BY ALTAMAX SURVEYING DATED AUGUST 15, 2014
- REFER TO SHEET C-2 FOR REFERENCED BENCHMARK.
- CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE & CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL & VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY APPARENT DISCREPANCIES ARE FOUND.
- ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY THE ACCURACY OF THE BUILDING GEOMETRY SHOWN WITH THAT IN THE FINAL ARCHITECTURAL DRAWINGS, PRIOR TO STAKE-OUT, & SHALL NOTIFY OWNER & ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

MARKING, STRIPING, & SIGNAGE NOTES:

- ALL MARKINGS MUST COMPLY WITH THE F.D.O.T. ROADWAY & TRAFFIC DESIGN STANDARDS, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, & PASCO COUNTY LAND DEVELOPMENT CODE. PARKING SPACES MAY BE F.D.O.T. RATED PAINT. ALL OTHER MARKINGS MUST BE THERMOPLASTIC.
- HANDICAP PARKING SPACES SHALL BE PROPERLY SIGNED & STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES & OTHER APPLICABLE STANDARDS. REFER TO F.D.O.T. ROADWAY & TRAFFIC DESIGN STANDARDS INDEX 17355 FOR HANDICAP SYMBOL.
- HANDICAP SIGN SHALL BE F.D.O.T. SPECIFICATION FTP 25.

AS-BUILT INFORMATION:

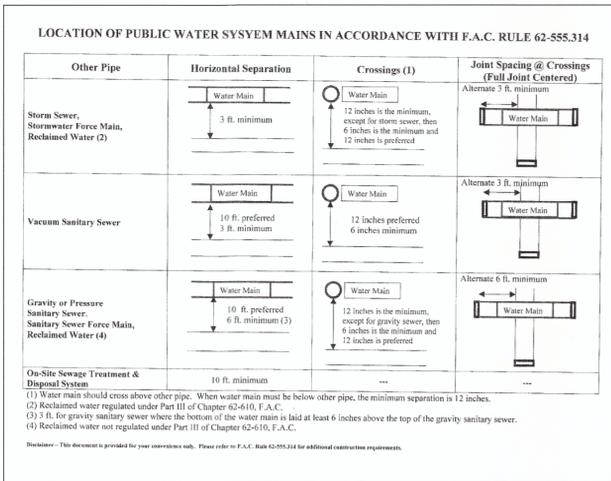
AS-BUILT DRAWINGS WILL BE REQUIRED WITH THE FOLLOWING INFORMATION:

- SANITARY SEWER**
 - TOP ELEVATION OF EACH MANHOLE FRAME AND COVER.
 - INVERT OF EACH LINE ENTERING AND LEAVING EACH MANHOLE/STRUCTURE.
 - LENGTH OF EACH RUN OF MAIN BETWEEN MANHOLES (CENTER TO CENTER).
 - ACTUAL GRADE OF PIPE BETWEEN MANHOLES.
 - LOCATE ALL SERVICE WYES FROM DOWNSTREAM MANHOLE WITH DEPTH AT LOT LINE AND DISTANCE FROM THE MAIN LINE.
 - LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS/ACCESSORIES NOT VISIBLE FROM THE SURFACE (MINIMUM TWO POINT TIES).
- STORM DRAINAGE**
 - TOP ELEVATION OF EACH MANHOLE FRAME AND COVER/GRATE AS WELL AS ALL OTHER STRUCTURES (HEADWALLS, CONTROL STRUCTURES, ETC.).
 - INVERT ELEVATION OF EACH LINE ENTERING AND LEAVING EACH STRUCTURE, INCLUDING UNDERDRAIN PIPES.
 - INVERTS OF ALL MITERED END SECTIONS.
 - ACTUAL GRADE OF PIPE BETWEEN THE STRUCTURES. INVERT ELEVATION AND TWO HORIZONTAL TIES FROM PERMANENT VISIBLE OBJECTS TO ALL STORM STUB-OUTS.
 - INVERT ELEVATION AND TWO HORIZONTAL TIES FROM PERMANENT VISIBLE OBJECTS TO ALL STORM STUB-OUTS.
 - ALL STORMWATER MANAGEMENT AREAS SHALL BE DETAILED WITH CROSS SECTIONS AND/OR CONTOURS PROVIDING FINISH GRADE ELEVATIONS.
- WATER AND REUSE SYSTEM AND FORCE MAINS**
 - ACTUAL LENGTHS OF PIPE BETWEEN BRANCHES AND VALVES IN THE RUN.
 - LOCATE WITH MEASUREMENTS FROM PERMANENT VISIBLE OBJECTS ALL FITTINGS/ACCESSORIES NOT VISIBLE FROM THE SURFACE (MINIMUM TWO POINT TIES).
 - LIST THE DEPTHS OF THE LINES AT ALL VALVES, FITTINGS AND FIRE HYDRANTS.
 - PER FDEP REQUIREMENTS, DEPICT POTABLE WATER LINE CROSSING AND PROVIDE ACTUAL SEPARATION DISTANCES.
 5. SAMPLE (POINT) LOCATIONS IN ACCORDANCE WITH THE FDEP PERMIT.

WATER & SEWER UTILITY NOTES:

- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE IN HAND BEFORE BEGINNING ANY CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND FOR NOTIFYING THE VARIOUS UTILITY COMPANIES TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION, TEMPORARY DISRUPTION OF SERVICE, OR CLARIFICATION OF ACTIVITY REGARDING SAID UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UTILITY, WHETHER SHOWN ON THESE PLANS OR FIELD LOCATED. ALL UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANIES AND THE CONTRACTOR SHALL COOPERATE WITH THEM DURING THE RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE OF THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- THE CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE F.D.E.P. WATER PERMIT & PASCO COUNTY CODE OF ORDINANCES & UTILITY SPECIFICATIONS & RECEIVE APPROVAL THEREOF FROM THE LOCAL WATER UTILITY, ENGINEER OF RECORD, & F.D.E.P. PRIOR TO PLACING IN SERVICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE F.D.E.P. WATER & SEWER PERMITS FROM THE OWNER & MAINTAIN THEM ON THE JOB SITE AT ALL TIMES. THE DISINFECTION OF WATER MAINS SHALL BE IN COMPLIANCE WITH "RULES OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION" - CHAPTER 62-555 "PERMITTING & CONSTRUCTION OF PUBLIC WATER SYSTEMS." THE PROCEDURE WILL MEET & EXCEED THE REQUIREMENTS SET FORTH IN ANSI/AWWA STANDARDS C651 & SHOULD BE WITNESSED BY (PASCO COUNTY) PERSONNEL. WATER LINE SHALL BE INSTALLED, CLEANED, FLUSHED, DISINFECTED & BACTERIOLOGICALLY TESTED & CLEARED FOR SERVICES IN ACCORDANCE WITH THE LATEST AWWA STANDARDS & FDEP RULES & REGULATIONS. ALL WATER DISTRIBUTION SYSTEMS SHALL BE FLUSHED CLEAN OF ALL DELETERIOUS MATERIAL PRIOR TO ANY TESTING. FULL DIAMETER FLUSHING IS REQUIRED. WATER LINE SHALL BE PRESSURE TESTED IN ACCORDANCE WITH AWWA-C600 SPECIFICATIONS FOR DUCTILE IRON PIPE & C605/M23 FOR PVC PIPE, RESPECTIVELY, AT 150 PSI & WITNESSED BY (PASCO COUNTY) PERSONNEL.
- CROSS CONNECTION CONTROL SHALL BE IN ACCORDANCE WITH RULES AND REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION - CHAPTER 62-555 "PERMITTING AND CONSTRUCTION OF PUBLIC WATER SYSTEMS."
- ENGINEER RESERVES THE RIGHT TO WITHHOLD APPROVAL FOR ANY PORTION OF THE WATER OR SEWER PIPE WORK WHICH HAS NOT BEEN TESTED (OBSERVED BY ENGINEER) AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY SIZE AND TYPE OF EXISTING MAIN PRIOR TO ORDERING TAPPING MATERIALS FOR TIE-INS.
- CONTRACTOR SHALL MAINTAIN A SET OF RECORD DRAWINGS MARKED UP WITH HORIZONTAL AND VERTICAL AS-BUILT INFORMATION ON LOCATION OF WATER MAINS, FITTINGS, AND WATER SERVICES LOCATED FROM CENTERLINE OF NEAREST FIRE HYDRANT OR NEAREST MANHOLE.
- CONTRACTOR SHALL NOT ACTIVATE WATER SERVICE UNTIL THE FDEP HAS CLEARED THE SYSTEM FOR USE AND THE CLEARANCE LETTER HAS BEEN RECEIVED BY THE OWNER.
- EXISTING WATER MAINS SHALL BE PROTECTED FROM CONTAMINATION DURING THE FILLING, FLUSHING, AND TESTING OF NEW LINES IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF AWWA C651, SEE JUMPER DETAIL.
- A FLORIDA DEP PERMIT FOR THE WATER DISTRIBUTION SYSTEMS IS NOT REQUIRED.
- A FLORIDA DEP PERMIT FOR THE WASTEWATER COLLECTION AND TRANSMISSION SYSTEMS IS NOT REQUIRED.
- A STAMPED APPROVED SET OF PLANS BY PASCO COUNTY UTILITIES SHALL BE PRESENT ON THE SITE AT ALL TIMES.
- INSTALLATION OF MATERIALS AND/OR STRUCTURES PRIOR TO SHOP DRAWING APPROVAL IS DONE AT THE CONTRACTOR'S OWN RISK.
- A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED BY THE CONTRACTOR, IF REQUIRED, WITH PASCO COUNTY UTILITIES PRIOR TO START OF CONSTRUCTION. ADEQUATE NOTICE MUST BE PROVIDED PER PASCO COUNTY REQUIREMENTS.
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED. THRUST BLOCKS ARE NOT ALLOWED FOR (COUNT) MAINTAINED INFRASTRUCTURES.
- MAINTAIN A MINIMUM OF 36" COVER OVER ALL PIPES.
- MARKING TAPE SHALL BE INSTALLED 12" TO 18" OVER ALL PIPE. PIPE SHALL BE GREEN IN COLOR (FOR SEWER), BLUE IN COLOR (FOR WATER) AND PURPLE IN COLOR (FOR REUSE) OR SHALL HAVE A CONTINUOUS 2" WIDE, PERMANENT GREEN/BLUE/PURPLE STRIPE ON THE TOP OF THE PIPE.
- A CONTINUOUS, INSULATED 10 GAUGE COPPER WIRE SHALL BE INSTALLED, TAPED TO THE TOP OF THE PIPE AND BE ACCESSIBLE AT EACH VALVE BOX.
- IN GENERAL, ONE COMPACTION TEST SHALL BE TAKEN FOR EACH 12' LAYER OF FILL FROM THE SPRINGLINE OF THE PIPE TO THE FINISH GRADE FOR EACH 300 FEET OF PIPE AND FOR EVERY 100 SQUARE FEET OF BACKFILL AROUND STRUCTURES.
- CONTRACTOR TO PROVIDE MATERIAL CLASSIFICATION FOR WATER SERVICES AND RESILIENT WEDGE GATE VALVES TO PASCO COUNTY DEPARTMENT OF WATER RESOURCES PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH THE LATEST PASCO COUNTY UTILITIES STANDARDS AND SPECIFICATIONS.

F.D.E.P. CONSTRUCTION NOTES:



UTILITY SEPARATION - VERTICAL CLEARANCE:

- NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12" BELOW THE OTHER PIPELINE, AND NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE.
- AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE OR THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

UTILITY SEPARATION HORIZONTAL SEPARATION:

- NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III CHAPTER 62-610, F.A.C.; A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER (OR A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER IF THE BOTTOM OF THE WATER MAIN WILL BE LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER); A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM."

CONSTRUCTION NOTES:

- THE PERMITTEE SHALL BE SEPARATELY RESPONSIBLE FOR APPROPRIATE CONSTRUCTION, DISINFECTION & TESTING BEYOND THE METER TO ASSURE POTABILITY AT THE POINT OF USE.
- POTABLE WATER PIPES WILL BE DISINFECTED IN ACCORDANCE WITH AWWA SPECIFICATIONS C651.

F.D.E.P. CONSTRUCTION NOTES: (CONTINUED)

- POTABLE PIPES WILL BE HYDROSTATICALLY TESTED IN ACCORDANCE WITH SPECIFICATION NUMBERS C600 & C605/M23 FOR DUCTILE IRON & PVC PIPES, RESPECTIVELY.
 - POTABLE WATER PIPES MUST BE MANUFACTURED IN ACCORDANCE WITH THE FOLLOWING AWWA SPECIFICATIONS:
 - DUCTILE IRON PIPE (3" TO 64") - AWWA C150/AWWA C151; LINING PER AWWA C104, COATING PER AWWA C116, ENCASEMENT PER AWWA C105, FLANGED PIPE PER AWWA C115, GASKET JOINTS PER AWWA C111 AND FITTINGS PER AWWA C110 OR AWWA C153.
 - PVC (WITH NATIONAL SANITATION FOUNDATION SEAL)
 - AWWA C900/ASTM 1784 (4" TO 12") WITH DR25 MINIMUM;
 - AWWA C905 (14" TO 48")
 - PRESSURE RATED PIPE (SDR SERIES) SHALL BE ASTM D2241, SCHEDULE 40, 80, & 120 PVC PIPES PER ASTM D1785. THE COMPOUNDS USED FOR EITHER OF THESE TYPES SHALL BE PER ASTM D1784.
 - POLYETHYLENE PIPE (1/2" - 3") - AWWA C901 WITH VALVES & FITTINGS (AWWA C800);
 - POLYETHYLENE PIPE (4" - 63") - AWWA C906.
 - FIRE HYDRANTS & VALVES PER AWWA SERIES C500 THROUGH C560.
 - METERS PER AWWA SERIES C700 THROUGH C710.
 - NON-AWWA PVC PIPES (ALLOWED ONLY FOR SIZES LESS THAN 4 INCHES) MUST HAVE A MINIMUM PRESSURE CLASS OF 200 PSI AND MUST BEAR THE NSF MARK ON EACH INSTALLED LENGTH.

CONNECTION TO EXISTING WATER MAINS:

- IF CONNECTION OF THE PROPOSED ACTIVITY TO THE WATER MAIN WILL RESULT IN DEPRESSURIZATION OF THE EXISTING SYSTEM BELOW 20 POUNDS PER SQUARE INCH, ONE OF THE FOLLOWING MUST OCCUR:
 - PRECAUTIONARY BOIL WATER NOTICES MUST BE ISSUED IN CASES OF PLANNED DISTRIBUTION INTERRUPTIONS, WHICH DEEMED AN IMMINENT PUBLIC HEALTH THREAT BY THE D.E.P., CENTRAL DISTRICT OR WILL AFFECT BACTERIOLOGICAL QUALITY OF THE DRINKING WATER UNLESS THE PUBLIC WATER SYSTEM CAN DEMONSTRATE, BY SOUND ENGINEERING JUDGMENT, THAT THE INTEGRITY OF THE WATER QUALITY ARE EXPECTED TO OCCUR & NOT DEEMED AN IMMINENT PUBLIC HEALTH RISK.
 - IN CASES OF BRIEF INTERRUPTION IN SERVICE, ADVISORIES (NOT BOIL WATER NOTICES) SHOULD BE ISSUED IF TEMPORARY CHANGES IN WATER QUALITY ARE EXPECTED TO OCCUR & NOT DEEMED AN IMMINENT PUBLIC HEALTH RISK.

AIR/VACUUM RELIEF VALVES:

- ALL AIR/VACUUM RELIEF VALVES MUST EN IN A DOWN-TURNED ELBOW WITH AT LEAST 12 INCHES ABOVE THE SURROUNDING GRADE UNLESS THE WET SEASON WATER TABLE CAN BE SHOWN TO BE BELOW THE VAULT BOTTOM

FILLING OF WATERMANS:

- FILLING OF PROPOSED WATER MAINS FROM EXISTING WATER MAINS WILL BE DONE IN ACCORDANCE WITH AWWA SPECIFICATIONS C651.

MATERIAL SPECIFICATIONS: (WATER & SEWER)

WATER MATERIAL:

MATERIAL USED IN THE CONSTRUCTION OF THE WATER DISTRIBUTION SYSTEM SHALL ADHERE TO THE REQUIREMENTS OUTLINED IN THE PASCO COUNTY MANUAL OF STANDARDS & SPECIFICATIONS. THE FOLLOWING INFORMATION IS TO PROVIDE GENERAL GUIDANCE IN THE PREPARATION OF CONSTRUCTION PLANS & SPECIFICATIONS, & IN NO WAY LIMITS PASCO COUNTY RIGHTS TO APPROVE OR DISAPPROVE PLANS, SPECIFICATIONS OR INSTALLATIONS.

- PVC PIPE**
 - ALL PVC PIPE OF NOMINAL DIAMETER FOUR (4) THROUGH TWELVE (12) INCHES SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C900, LATEST EDITION. THE PVC PIPE SHALL HAVE A MINIMUM WORKING PRESSURE RATING OF 150 PSI & SHALL HAVE A DIMENSION RATIO (DR) OF 21. PIPE SHALL BE THE SAME O.D. AS DUCTILE IRON PIPE.
 - ANY FITTINGS REQUIRED SHALL BE MECHANICAL JOINT DUCTILE IRON CONFORMING TO ANSI/AWWA A21.10/C110, 250 PSI MINIMUM RATING, OR DUCTILE IRON COMPACT FITTINGS FOUR (4) THROUGH TWELVE (12) INCHES IN ACCORDANCE WITH ANSI/AWWA A21.53/C153.
 - PVC PIPE SHALL HAVE INTEGRAL BELL PUSH ON TYPE JOINTS CONFORMING TO ASTM D3139.
- DUCTILE IRON PIPE**
 - ALL DUCTILE IRON PIPE OF NOMINAL DIAMETER FOUR (4) THROUGH FIFTY FOUR (54) INCHES SHALL CONFORM TO ANSI/AWWA A21.51/C151. A MINIMUM OF CLASS 50 PIPE SHALL BE SUPPLIED FOR ALL SIZES OF PIPE UNLESS SPECIFICALLY CALLED OUT IN THE DRAWINGS, OR REQUIRED BY (PASCO COUNTY).
 - ANY FITTINGS REQUIRED SHALL BE MECHANICAL JOINT DUCTILE IRON OR GRAY IRON CONFORMING TO ANSI/AWWA A21.10/C110, 250 PSI MINIMUM PRESSURE RATING, OR DUCTILE IRON COMPACT FITTINGS FOUR (4) THROUGH TWELVE (12) INCHES IN ACCORDANCE WITH ANSI/AWWA A21.53/C153.
 - JOINTS FOR DUCTILE IRON PIPE & FITTING JOINTS SHALL BE PUSH-ON OR MECHANICAL JOINTS CONFORMING TO ANSI/AWWA A21.11/C111. WHERE CALLED FOR IN THE PLANS, RESTRAINED OR FLANGED JOINTS SHALL BE PROVIDED. FLANGED JOINTS SHALL CONFORM TO ANSI STANDARD B 16.1-125 LB. RESTRAINED JOINTS SHALL CONFORM TO SECTIONS 34.3 & 34.4.
 - WHERE DUCTILE IRON PIPE & FITTINGS ARE TO BE BELOW GROUND OR INSTALLED IN A CASING PIPE THE COATING SHALL BE A MINIMUM 1.0 MIL THICK IN ACCORDANCE WITH ANSI/AWWA A21.51/C151. WHERE DUCTILE IRON PIPE & FITTINGS ARE TO BE INSTALLED ABOVE GROUND, PIPE FITTINGS & VALVES SHALL BE THOROUGHLY CLEANED & GIVEN ONE FIELD COAT (MINIMUM 1.5 MILS DRY THICKNESS) OF RUST INHIBITOR PRIMER, INTERMEDIATE & FINISHED FIELD COATS OF ALKYD SHALL ALSO BE APPLIED BY THE CONTRACTOR (MINIMUM 1.5 MILS DRY THICKNESS EACH COAT). PRIMER & FIELD COATS SHALL BE COMPATIBLE & SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. REFER TO (PASCO COUNTY) UTILITY SPECIFICATIONS MANUAL FOR APPROVED MANUFACTURERS. FINAL FIELD COAT SHALL BE GREEN FOR RAW WATER & BLUE FOR FINISHED WATER.
 - ALL DUCTILE IRON PIPE & FITTINGS SHALL HAVE AN INTERIOR PROTECTIVE LINING OF CEMENT-MORTAR WITH A SEAL COAT OF ASPHALTIC MATERIAL IN ACCORDANCE WITH ANSI/AWWA A21.4/C104.
 - THE PIPE SHALL BE POLYETHYLENE ENCASED (8 MILS) WHERE SHOWN ON THE DRAWINGS OR REQUIRED BY (PASCO COUNTY) IN ACCORDANCE WITH ANSI/AWWA A21.51/C151.

3. SERVICE PIPE, STOPS, FITTINGS, & SERVICE SADDLES

- ALL SERVICE LINES SHALL BE 1", 1-1/2" OR 2" POLYETHYLENE TUBING CONFORMING TO SPECIFICATIONS IN AWWA C800 & AWWA C901.
- CORPORATION STOPS SHALL BE 1", 1-1/2" OR 2" BRASS, EQUIPPED WITH CONNECTIONS COMPATIBLE WITH THE POLYETHYLENE TUBING & THREADED IN ACCORDANCE WITH SPECIFICATIONS IN AWWA C800 & C901. CURB STOPS SHALL BE SIZED TO MATCH THE METER SIZE & CONFORM TO THE SPECIFICATIONS IN AWWA C800 & AWWA C901.
- FITTINGS SHALL BE BRASS, CAST & MACHINED IN ACCORDANCE WITH SPECIFICATIONS IN AWWA C800 & AWWA C901, WITH COMPATIBLE POLYETHYLENE TUBING CONNECTIONS.
- A SERVICE SADDLE SHALL BE USED FOR ALL SERVICE LINE TAPS. SERVICE SADDLES SHALL BE DOUBLE STRAP, ANCHORED BY A MINIMUM FOUR (4) BOLT PATTERN ON A DUCTILE IRON SADDLE BODY. SERVICE SADDLES FOR PVC PIPE SHALL HAVE THE DOUBLE STRAP SIZED EXACTLY TO THE PIPE OUTSIDE DIAMETER. SEALING GASKETS SHALL BE BUNA-N RUBBER & STRAPS SHALL BE CORROSION RESISTANT ALLOY STEEL.
- (PASCO COUNTY) MAY REQUIRE A STAINLESS STEEL STRAP & FUSION EPOXY OR NYLON COATED DUCTILE IRON BODY WITH STAINLESS STEEL HARDWARE IN AREAS DESIGNATED AS CORROSIVE.

SEWER MATERIAL:

- PVC GRAVITY SEWER PIPE
 - PVC GRAVITY SEWER PIPE (4"-15"), ASTM D3034, SDR 35. UNIFORM MINIMUM "PIPE STIFFNESS" AT FIVE (5) PERCENT DEFLECTION SHALL BE 46 PSI. THE JOINTS MANUFACTURED IN ACCORDANCE WITH ASTM D3212 AND ASTM F477. APPLICABLE UNI-BELL PLASTIC PIPE ASSOCIATION STANDARD IS UNI-B-4.
 - PVC GRAVITY SEWER PIPE (18"-27"), ASTM F679, SDR35. UNIFORM MINIMUM "PIPE STIFFNESS" AT FIVE (5) PERCENT DEFLECTION SHALL BE 46 PSI. THE JOINTS SHALL BE INTEGRAL BELL ELASTOMERIC GASKET JOINTS MANUFACTURED IN ACCORDANCE WITH ASTM D3212 AND ASTM F477. APPLICABLE UNI-BELL PLASTIC PIPE ASSOCIATION STANDARD IS UNI-B-7.
 - ALL PVC PIPE SHALL BEAR THE NSF-DW SEAL. THE MINIMUM STANDARD LENGTH OF PIPE SHALL BE THIRTEEN (13) FEET.
- ALL PIPE SHALL HAVE A HOMING MARK ON THE SPIGOT PROVIDED BY THE MANUFACTURER. ON FIELD CUT PIPE, CONTRACTOR SHALL PROVIDE HOMING MARK ON THE SPIGOT IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. REINFORCED CONCRETE PIPE SHALL HAVE MARKINGS INDICATING THE MINOR AXIS OF THE ELLIPTICAL REINFORCEMENT.
- JOINTS MATERIALS
 - PVC SEWER PIPE JOINTS SHALL BE FLEXIBLE ELASTOMERIC SEALS PER ASTM D 3212.
 - JOINTS BETWEEN PIPES OF DIFFERENT MATERIALS SHALL BE MADE WITH A FLEXIBLE MECHANICAL COMPRESSION COUPLING WITH NO. 304 STAINLESS STEEL BANDS. REFER TO (PASCO COUNTY) MANUAL FOR APPROVED MANUFACTURERS' LIST.
- FITTINGS
 - UNLESS OTHERWISE SPECIFIED, WYE BRANCHES SHALL BE PROVIDED IN THE GRAVITY SEWER MAIN FOR SERVICE LATERAL CONNECTIONS. WYES SHALL BE SIX (6) INCHES INSIDE DIAMETER, UNLESS OTHERWISE APPROVED BY (PASCO COUNTY). ALL FITTINGS SHALL BE OF THE SAME MATERIAL AS THE PIPE.
 - PLUGS FOR STUB OUTS SHALL BE OF THE SAME MATERIAL AS THE PIPE, AND GASKETED WITH THE SAME GASKET MATERIAL AS THE PIPE JOINT, OR BE OF MATERIAL APPROVED BY (PASCO COUNTY). THE PLUG SHALL BE SECURED TO WITHSTAND TEST PRESSURES SPECIFIED IN SECTION 44 OF THE PASCO COUNTY UTILITIES MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER AND WATER MAIN CONSTRUCTION.

LEGEND

SITE	
—	POLE SIGN
□	SMALL PYLON SIGN
□	LARGE PYLON SIGN
→	RIGHT TURN DIRECTIONAL ARROW
←	STRAIGHT DIRECTIONAL ARROW
↶	LEFT TURN DIRECTIONAL ARROW
↷	STRAIGHT AND LEFT TURN DIRECTIONAL ARROW
↻	STRAIGHT AND RIGHT TURN DIRECTIONAL ARROW
♿	HANDICAP PARKING SYMBOL
=====	F.D.O.T. TYPE "D" CURB
=====	F.D.O.T. TYPE "F" CURB AND GUTTER
⊗	GATE VALVE BOX, W= WATER, F= FIRE, I=IRRIGATION & S=SANITARY SEWER
—x—x—x—	CHAINLINK FENCE
— — — — —	DECORATIVE WOOD OR ALUMINUM FENCE
—○—○—○—	BARB WIRE FENCE
—+—+—+—+—	HANDRAIL
=====	SCREEN/RETAINING WALL, AS NOTED.
▢	BIKE RACK
⊕	PARKING COUNTRY SYMBOL PER ROW
€	ROAD CENTERLINE SYMBOL

GRADING & DRAINAGE

□	F.D.O.T. TYPE "C" DRAINAGE INLET
□	F.D.O.T. TYPE "D" DRAINAGE INLET
□	F.D.O.T. TYPE "E" DRAINAGE INLET
▴	F.D.O.T. TYPE "1" DRAINAGE INLET
▴	F.D.O.T. TYPE "2" DRAINAGE INLET
▴	F.D.O.T. TYPE "3" DRAINAGE INLET
▴	F.D.O.T. TYPE "4" DRAINAGE INLET
▴	F.D.O.T. TYPE "5" DRAINAGE INLET
▴	F.D.O.T. TYPE "6" DRAINAGE INLET
⊕	STORM DRAINAGE MANHOLE
▭	MITERED END SECTION
▭	STORM DRAINAGE PIPE
→	DRAINAGE FLOW DIRECTIONAL ARROW
⊕	DRAINAGE STRUCTURE BUBBLE
99.15	GRADE ELEVATION
90	CONTOUR ELEVATION
— — — — —	EROSION CONTROL SILT FENCE
— — — — —	DRAINAGE INLET EROSION CONTROL SILT FENCE

UTILITY

⊕	DCDA - DOUBLE CHECK DETECTOR ASSEMBLY
NN	DCVA - DOUBLE CHECK VALVE ASSEMBLY
⊕	RPZ - REDUCED PRESSURE ZONE DEVICE
⊕	DOMESTIC METER
⊕	IRRIGATION METER
⊕	GATE VALVE
⊕	BLOW-OFF GATE VALVE
▶	REDUCER
⊕	WET WELL
⊕	11.25" PIPE BEND
⊕	22.5" PIPE BEND
⊕	30" PIPE BEND
⊕	45" PIPE BEND
⊕	60" PIPE BEND
⊕	90" PIPE BEND
⊕	TEE
⊕	CROSS
⊕	FIRE HYDRANT
⊕	FIRE DEPARTMENT CONNECTION
⊕	CLEAN OUT
⊕	LIFT STATION
⊕	GREASE TRAP
⊕	SITE LIGHTING
⊕	DECORATIVE SITE LIGHTING
⊕	FIELD LIGHTING
⊕	UTILITY

DATE	REVISIONS	BY	CHECKED
01/09/2015	REVISED PER PASCO COUNTY UTILITY COMMENTS DATED 1/5/2015	JSK	WRH
01/27/2015	REVISED PER PASCO COUNTY COMMENTS DATED 1/20/2015	JSK	WRH
3/09/2015	REVISED PER PASCO COUNTY COMMENTS DATED 3/5/2015	WRH	WRH

HARDEE'S RESTAURANT

PRELIMINARY SITE PLAN/CONSTRUCTION PLANS/STORMWATER MANAGEMENT PLAN

PASCO COUNTY, FLORIDA

FEG
FLORIDA ENGINEERING GROUP
Engineering the Future

5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325

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SITE LEGEND, NOTES, AND SPECIFICATIONS

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
WRH/JSK	JSK		

SITE STRIPING & SIGNAGE KEYNOTES

- S1. PROPERTY BOUNDARY.
- S2. HANDICAP PARKING STALL, TYPICAL.
- S3. 24" STOP BAR (WHITE PAINT) WITH R1-1 HIGH INTENSITY REFLECTORIZED "STOP" SIGN.
- S3A. 24" STOP BAR (WHITE PAINT) WITH R1-1 HIGH INTENSITY REFLECTORIZED "STOP" SIGN AND "DO NOT ENTER" SIGNS BACK TO BACK.
- S4. DIRECTIONAL ARROWS (WHITE PAINT) PER F.D.O.T. INDEX No. 17346, TYPICAL.
- S5. CROSSWALK STRIPING PER F.D.O.T. INDEX No. 17346, TYPICAL.
- S6. "COMPACT PARKING" SIGNS
- S7. "ENTER/THANK YOU" DIRECTIONAL SIGN (TYPICAL).
- S8. PRE-SELL BOARD
- S9. MENU BOARD
- S10. "DRIVE-THRU ONLY" AND DIRECTIONAL ARROW MARKINGS (WHITE PAINT)
- S11. 25' LF 6" DOUBLE YELLOW STRIPING ANGLED TO ALIGN WITH CENTER OF SIDE PARKING LOT DRIVE AISLE.
- S12. PEDESTRIAN WARNING SIGN W11A-2
- S13. 10 LF 6" DOUBLE YELLOW STRIPE
- S14. 6" WHITE STRIPE

SITE CONSTRUCTION KEYNOTES

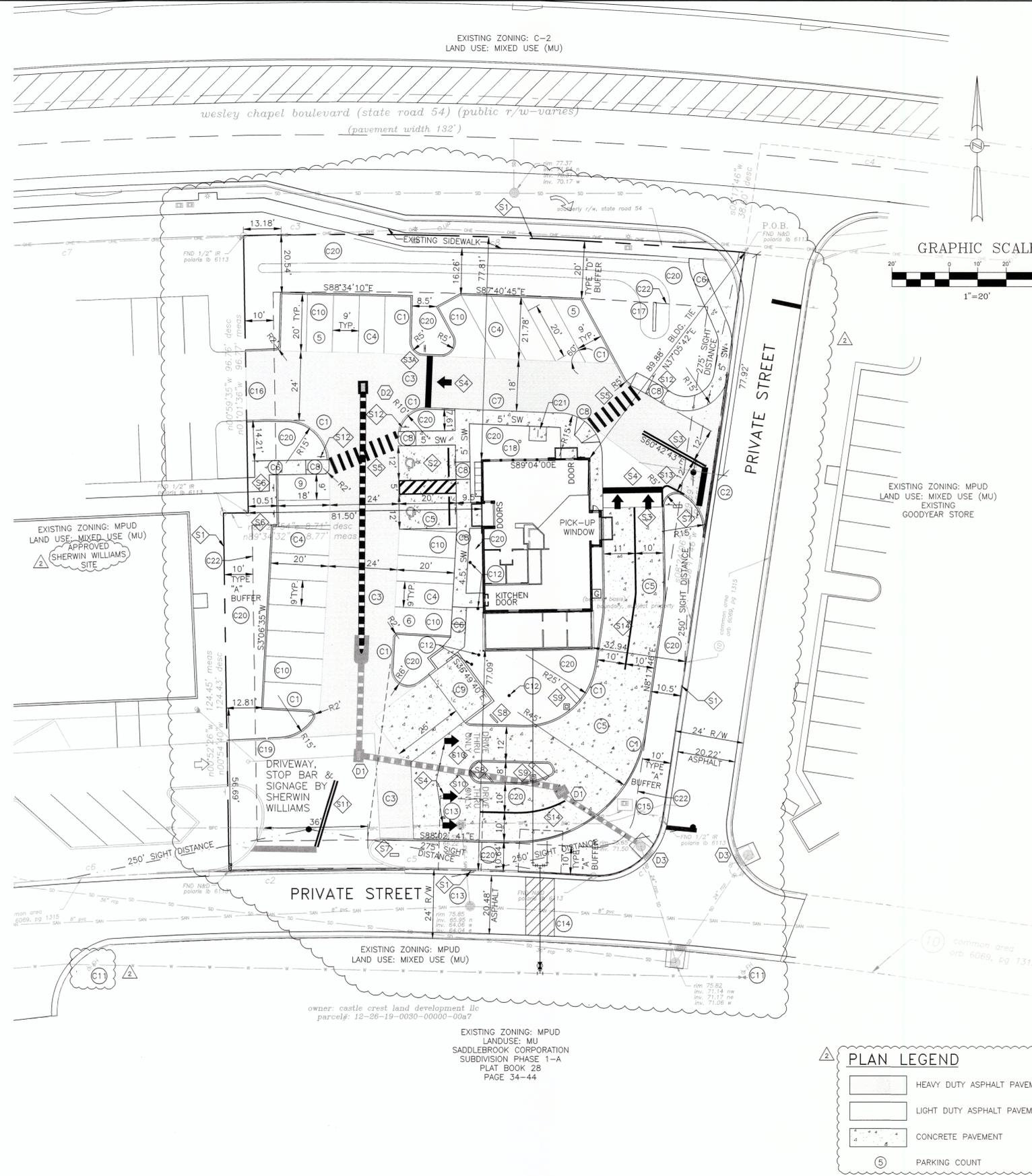
- C1. 6" HEAD CURB, TYPICAL.
- C2. F.D.O.T. 2' DROP CURB PER INDEX No. 300, TYPICAL.
- C3. ASPHALT PAVEMENT. HEAVY-DUTY IN DRIVE AISLES.
- C4. ASPHALT PAVEMENT. LIGHT-DUTY IN PARKING SPACES.
- C5. CONCRETE PAVEMENT.
- C6. CONCRETE SIDEWALK TYP. 5' WIDE (EXCEPT WHERE NOTED)
- C7. MONOLITHIC CURB & SIDEWALK, TYPICAL.
- C8. F.D.O.T. CURB CUT RAMP PER INDEX No. 304, FOR HANDICAP ACCESS. ROADWAY @ ALL SIDEWALK CROSSINGS NOT TO EXCEED 2% CROSS SLOPE, TYPICAL, WITH DETECTABLE WARNING SURFACE PER FLORIDA BUILDING CODE, LATEST EDITION.
- C9. DUMPSTER PAD W/ 25' CONCRETE APPROACH PAD & 6' HIGH BLOCK WALL ENCLOSURE ON 3 SIDES WITH SWING GATES PER DETAIL.
- C10. WHEELSTOP, SEE DETAIL SHEET.
- C11. EXISTING FIRE HYDRANT
- C12. SANITARY SEWER CLEANOUT, TYPICAL.
- C13. SANITARY SEWER MANHOLE, TYPICAL.
- C14. OPEN CUT ROADWAY TO PROVIDE NEW WATER CONNECTION TO EXISTING WATER MAIN.
- C15. ELECTRICAL TRANSFORMER TO REMAIN.
- C16. MATCH LOCATION AND ELEVATIONS WITH SHERWIN WILLIAMS.
- C17. PROPOSED MONUMENT SIGN. CONTRACTOR SHALL OBTAIN A SEPARATE PERMIT.
- C18. PROPOSED FLAGPOLE. CONTRACTOR SHALL OBTAIN A SEPARATE PERMIT.
- C19. CONSTRUCT 1' WIDE SLOT IN CURB FOR DRAINAGE.
- C20. LANDSCAPE AREA, SEE SHEET L-1.
- C21. CONSTRUCT 5'x6' CONCRETE PAD WITH ONE DOUBLE BIKE RACK.
- C22. BUFFER LINE

SITE DRAINAGE KEYNOTES

- D1. PROPOSED DITCH BOTTOM INLET BY SHERWIN WILLIAMS.
- D2. F.D.O.T. TYPE "C" DITCH BOTTOM INLET PER INDEX No. 232, TYPICAL.
- D3. EXISTING ROADWAY CURB INLET.

PASCO COUNTY DEVELOPMENT REVIEW STANDARD SITE PLAN NOTES

1. All utility construction shall comply with the Pasco County Standards for Design and Construction of Water and Wastewater Facilities Specifications, latest edition.
2. All on-site water and sewer facilities shall be owned and maintained by the owner-developer.
3. Installation of fuel storage tanks requires review and approval by the Fire Marshal and the issuance of a separate building permit. Approval of the site plan does not constitute approval of the location of the fuel tanks.
4. All proposed signs must be applied for, approved, and permitted on an individual basis apart from any ultimately approved site plan. Approval of this site plan does not constitute approval of any signage.
5. Handicap parking spaces will be properly signed and striped in accordance with Florida Statute 316, the Manual on Uniform Traffic Control Devices, or other applicable standards.
6. The architect/engineer certifies that the site has been designed in accordance with the Americans with Disabilities Act.
7. All on-site parking spaces will be striped and signed in accordance with the Manual on Uniform Traffic Control Devices, latest edition. Parking spaces, directional arrows, and stop bars shall be striped in WHITE. It shall be the owner/developer's responsibility to properly sign and stripe in accordance with applicable standards.
8. The owner/developer acknowledges that this approval does not include any work in the County right-of-way. All right-of-way work shall be a function of an approved Pasco Right-of-way Use Permit.
9. All clear-site areas shall be kept free of any signage plantings, trees, etc. in excess of three-and-a-half (3-1/2) feet in height.
10. No irrigation system or landscaping shall be installed in any County or State right-of-way without issuance of appropriate Right-of-Way Use Permit.
11. The owner/developer acknowledges that the site and its subsequent building permits shall comply with all rezoning/MPUD/PUD conditions.
12. All structures, including buffer walls, retaining walls, signage, etc. require building permits.



SITE DATA

PROPERTY LOCATION: 27320 WESLEY CHAPEL BLVD., WESLEY CHAPEL, FLORIDA

PROPERTY ZONING: MPUD

PROPERTY FUTURE LAND USE DESIGNATION: MIXED USE

EXISTING USE: VACANT

PROPOSED USE: FAST FOOD WITH DRIVE THRU

PROJECT AREA: 35,769 SQ. FT.

PROPOSED GROSS FLOOR AREA: 2,508 S.F.

FAR (2,508 S.F./35,769 S.F.): 0.071

R.O.W. PARKING SETBACK: 15' TO R/W

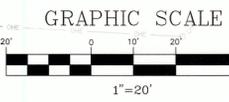
R.O.W. PRINCIPAL BUILDING SETBACK: 75' TO R/W

BUILDING SETBACKS (REQUIRED): FRONT (NORTH) 25' (LDC), SIDE (EAST) 0' (SADDLEBROOK), SIDE (WEST) 0', REAR (SOUTH) 0'

BUILDING SETBACKS (PROPOSED): FRONT (NORTH) 77.81', SIDE (EAST) 32.94', SIDE (WEST) 81.50', REAR (SOUTH) 77.09'

MAXIMUM ALLOWABLE BUILDING HEIGHT: 25'

BUILDING HEIGHT PROPOSED: 25'



NUMBER OF FLOORS

BUILDING CONSTRUCTION TYPE: TYPE V-B (WOOD-UNPROTECTED)

BUFFER YARDS

PROPOSED USE	ABUTTING USE	BUFFER TYPE	REQUIRED BUFFER	PROPOSED BUFFER
FAST FOOD FRONT (NORTH)	WESLEY CHAPEL BOULEVARD	D	15'	16.26'
FAST FOOD SIDE (EAST)	STREET	A	10'	10'
FAST FOOD SIDE (WEST)	SHERWIN WILLIAMS	A	10'	10'
FAST FOOD REAR (SOUTH)	STREET	A	10'	10'

PARKING

PARKING REQUIRED: RESTAURANT WITH DRIVE THRU, 2,508 S.F. x (1 SPACES PER 150 S.F.) = 17 SPACES

TOTAL PARKING REQUIRED: 17 SPACES

SPACES REQUIRED TO BE RESERVED FOR HANDICAP: 1 SPACES

PARKING PROVIDED

STANDARD PARKING SPACES: 21 SPACES

COMPACT PARKING SPACES: 2 SPACES

HANDICAP PARKING: 2 SPACES

TOTAL PARKING PROVIDED: 25 SPACES

BICYCLE PARKING PROVIDED: PROVIDE ONE DOUBLE RACK = 2 BIKES

- GENERAL NOTES:**
1. DELIVERIES WILL BE AFTER HOURS WHEN RESTAURANT IS NOT OPEN TO THE PUBLIC.
 2. ALL LIGHTING WILL BE CONTAINED ON SITE AND WILL NOT SPILL OVER ONTO ADJACENT PROPERTIES AND R.O.W.
 3. NO OUTDOOR SEATING IS PROPOSED.

SITE AREA CALCULATIONS (EXISTING / PROPOSED)

Category	Existing	Proposed	%
BUILDING FOOTPRINT	2,508 ±S.F.		7.01%
PAVING	19,249 ±S.F.		53.81%
SIDEWALK	1,991 ±S.F.		5.57%
IMPERVIOUS AREA	23,748 ±S.F.	0.54517906 AC.	66.39%
PERVIOUS AREA	12,021 ±S.F.	0.27596419 AC.	33.61%
TOTAL SITE AREA	35,769 ±S.F.	0.82114325 AC.	100.00%

MINIMUM IMPERVIOUS COVER ALLOWED: 80%

IMPERVIOUS COVER PROPOSED: 66.39%

MINIMUM GREEN SPACE REQUIRED: 20%

GREEN SPACE PROVIDED: 33.61%

MINIMUM OPEN SPACE REQUIRED: 20%

OPEN SPACE PROVIDED: 33.61%

FLOOD ZONE

FLOOD ZONE "X" PER FEMA F.I.R.M. PANEL 12101C0426F DATED: SEPTEMBER 26, 2014

SOILS

POMONA FINE SAND

WETLAND STATEMENT

THERE ARE NO JURISDICTIONAL WETLANDS WITHIN THE PROJECT SITE.

HAZARDOUS MATERIALS STATEMENT

DURING CONSTRUCTION, WHEN COMBUSTIBLES ARE BROUGHT ONTO THE SITE IN SUCH QUANTITIES AS DEEMED HAZARDOUS BY THE FIRE OFFICIAL, ACCESS ROADS & A SUITABLE TEMPORARY SUPPLY OF WATER ACCEPTABLE TO THE FIRE DEPARTMENT SHALL BE PROVIDED & MAINTAINED.

DUMPSTER NOTE

THE DUMPSTER SHALL HAVE OPAQUE GATING AND THE WALL SHALL BE ARCHITECTURALLY COMPATIBLE MATERIAL TO THE PRINCIPLE BUILDING.

SIGNAGE NOTE

1. BILLBOARDS & POLE SIGNS SHALL BE PROHIBITED. GROUND & FASCIA SIGNS SHALL BE PER CHAPTER 31.5.
2. SIGNS MUST BE SUBMITTED UNDER A SEPARATE PERMIT TO PASCO COUNTY.

- SITE NOTES**
1. ALL CURB RADI ARE TO BE 5.0'. TYPICAL. UNLESS NOTED OTHERWISE. EXCEPTION: RADII @ ISLANDS ARE TO FIT ISLAND WIDTHS, UNLESS NOTED OTHERWISE.
 2. LANDSCAPE ISLAND NOSE NOT TO EXCEED THE PARKING STALL DEPTH &/OR PROTRUDE INTO DRIVE ISLES, TYPICAL.
 3. ALL DIMENSIONS ARE PARALLEL & PERPENDICULAR TO A BEARING OF N 89° 04' 00" E, UNLESS OTHERWISE INDICATED WITH A "M" OR BEARING.
 4. LOWER CASE TEXT DENOTES SURVEY &/OR EXISTING CONDITION INFORMATION.

PLAN LEGEND

[Symbol]	HEAVY DUTY ASPHALT PAVEMENT
[Symbol]	LIGHT DUTY ASPHALT PAVEMENT
[Symbol]	CONCRETE PAVEMENT
[Symbol]	PARKING COURT

DATE	REVISIONS	BY	CHECKED
01/09/2015	REVISD PER PASCO COUNTY UTILITY COMMENTS DATED 1/5/2015	JSK	WRH
01/27/2015	REVISD PER PASCO COUNTY COMMENTS DATED 1/20/2015	JSK	WRH
3/09/2015	REVISD PER PASCO COUNTY COMMENTS DATED 3/5/2015	WRH	WRH

HARDEE'S RESTAURANT

PRELIMINARY SITE PLAN/CONSTRUCTION PLANS/STORMWATER MANAGEMENT PLAN

PASCO COUNTY, FLORIDA

FEG FLORIDA ENGINEERING GROUP

5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325

www.feg-inc.us

SITE GEOMETRY PLAN

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
WRH/JSK	JSK	WRH	WRH

PROJECT NO: 14-076

SCALE: 1"=20'

DATE: NOVEMBER 10, 2014

SHEET NO: C-7

SHEET 7 OF 13

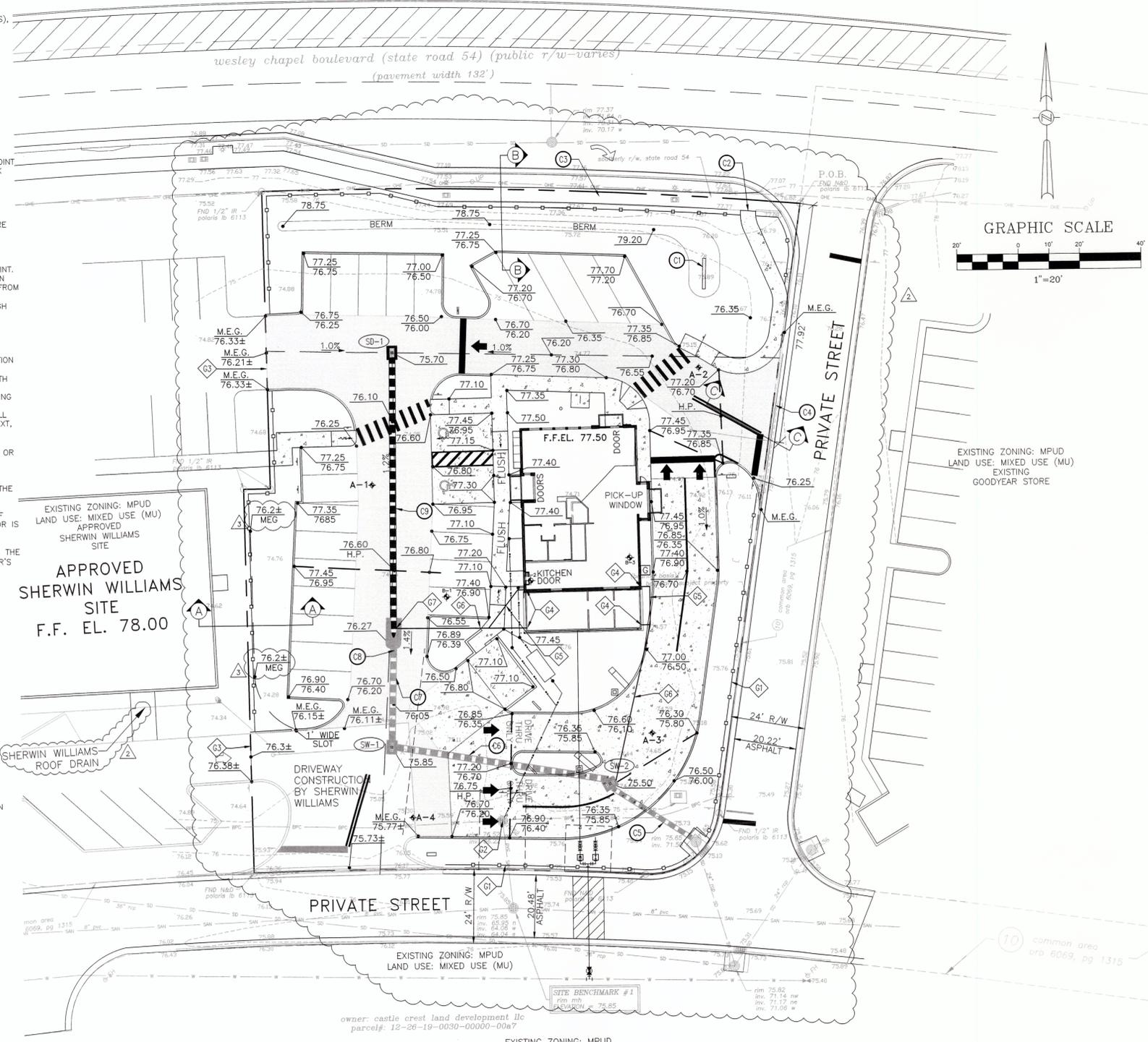
PROFESSIONAL ENGINEER LICENSE NO. 35540

WM. R. HOCKENSMITH, P.E. LICENSE NO. 35540

CONCRETE CONSTRUCTION NOTES

1. CONCRETE PRE-CONSTRUCTION MEETING
 - A. THE CONCRETE CONTRACTOR ALONG WITH THE CONCRETE PRODUCER MAY REQUEST THROUGH THE GENERAL CONTRACTOR FOR A PRE-CONSTRUCTION MEETING PRIOR TO CONCRETE PLACEMENT
 - B. ATTENDEE: CONCRETE CONTRACTOR, CONCRETE PRODUCER, GENERAL CONTRACTOR, OWNER OR OWNER'S REPRESENTATIVE(S), ENGINEER OF RECORD, ARCHITECT, SITE CONTRACTOR, GEOTECHNICAL REPRESENTATIVE(S), ETC.
 - C. AGENDA: INCLUDE BUT NOT LIMITED TO THE FOLLOWINGS: (CONTRACTOR MAY CONTACT THE FLORIDA CONCRETE & PRODUCTS ASSOCIATION FOR PRE-CONSTRUCTION MEETING CHECK LISTS)
 - i. MIXTURE(S) APPROVAL
 - ii. CONCRETE TESTING: TYPE, LOCATION OF SAMPLINGS, ETC.
 - iii. CONCRETE DELIVERY: QUANTITY/HR, PUMP, CONVEYOR, ETC.
 - iv. PLACEMENT METHOD, QUANTITY/DAY, STAGING & CLEAN OUT LOCATION, ETC.
 - v. FINISHING: CURING, JOINTING, ETC.
2. JOINTS FOR CONCRETE SLABS
 - A. GENERAL - A JOINTING PLAN FOR THE ENTIRE PAVING AREA SHALL BE PREPARED BY THE CONCRETE CONTRACTOR & SUBMITTED TO THE ENGINEER OF RECORD (EOR) 2 WEEKS PRIOR TO PLACEMENT OF CONCRETE FOR THE EOR APPROVAL. THE CONTRACTOR MAY ALSO CONTACT THE FLORIDA CONCRETE & PRODUCTS ASSOCIATION (FC&PA) FOR TECHNICAL RESOURCES AND ASSISTANCE.
 - i. SQUARE JOINTING PATTERN IS REQUIRED WHERE POSSIBLE. IF NECESSARY, RECTANGULAR PANELS CAN BE USED IF THE LONG DIMENSION IS NO MORE THAN 1.5 TIMES THE SHORT (E.G. 8' x 12'). JOINT SPACING SHALL NOT EXCEED THE FOLLOWING: 10 FEET IN A 4" THICK SLAB, 12 FEET IN A 5" THICK SLAB OR 15 FEET IN SLAB WITH THE THICKNESS OF 6" OR GREATER.
 - ii. BOX JOINT AREA AROUND MANHOLES, CATCH BASINS, DRAINAGE STRUCTURES & OTHER BUILT-IN STRUCTURES WITHIN THE PAVING AREA SHALL BE CIRCULAR WHERE POSSIBLE. A MINIMUM OFFSET OF 12" FROM ANY EDGE OF THE STRUCTURE. OBTAIN A COPY OF THE FC&PA STANDARD DETAILS FOR REFERENCE. CONSTRUCTION & CONTROL JOINTS SHALL BE CONTINUOUS THROUGH ADJACENT LANES & EXTEND THROUGH INTEGRAL CURB. JOINTS CAN BE TERMINATED & OFFSET AT ISOLATION JOINTS, WHERE JOINTS INTERFACE ANY RADIUS OR CURVATURE, OFFSET A MINIMUM OF 12" FROM EDGE OF PAVEMENT AND FORM JOINT 90 DEGREE TO EDGE OF PAVEMENT TO AVOID ACUTE ANGLE OR SMALL WEDGES OF CONCRETE AT CURVATURES. OBTAIN A COPY OF THE FC&PA STANDARD DETAILS FOR REFERENCE.
 - B. CONSTRUCTION JOINTS - A CONSTRUCTION JOINT SEPARATES ONE DAY PLACEMENT TO THE NEXT DAY PLACEMENT. JOINTS SHALL BE A MINIMUM OF 5 FEET FROM ANY ADJACENT CONTROL JOINT. NEXT DAY PLACEMENT SHALL BUTT UP TO THE EXISTING PAVEMENT AS A COLD JOINT. THE CONSTRUCTION JOINT MAY BE HAND-TOOLED WITH MAXIMUM 0.25" RADIUS AT THE EDGE OF THE JOINT. CONTROL JOINTS FROM BOTH PLACEMENT AREAS SHALL MATCH AND BE CONTINUOUS ACROSS THE CONSTRUCTION JOINT.
 - C. CONTROL/CONSTRUCTION JOINTS - CONTROL JOINTS ARE JOINTS WITHIN THE PAVING AREA FORMED THROUGH TOOLING OR SAW CUTTING. CONTROL JOINTS ESTABLISH WEAK PLANES TO RELIEVE STRESSES DUE TO SHRINKAGE OR TEMPERATURE CHANGE. INSTALL CONTROL JOINTS WITHIN 12 HRS FROM THE TIME THE CONCRETE HITS THE GROUND OR OBTAIN IN WRITING APPROVAL FROM THE EOR BEYOND THE 12-HR TIME LIMIT.
 - i. EARLY-ENTRY SAW CUTTING METHOD: CUT JOINT TO A MINIMUM OF 1" DEEP FOR PAVEMENT THICKNESS UP TO 8". CUTTING OF JOINT SHALL NOT CAUSE RAVELING TO THE EDGES OR DEFORMATION OF THE SURFACE DUE TO EQUIPMENT OR WORKER.
 - ii. OTHER METHODS: INSTALL JOINT TO A MINIMUM OF 1/3 OF PAVEMENT DEPTH. FINISH EDGES WITH 0.25" RADIUS. OPERATIONS SHALL NOT CAUSE ANY DEFORMATION OF THE SURFACE.
 - D. ISOLATION JOINTS - THESE JOINTS USE ISOLATION MATERIALS TO PREVENT FRESH CONCRETE FROM BONDING TO HARDENED CONCRETE SUCH AS, BUT NOT LIMITED TO, BUILDING FOUNDATIONS, SIDEWALKS, DRAINAGE STRUCTURES, LIGHTING & SIGNAGE BASES, RETAINING WALLS, CURBS, ETC. THE ISOLATION MATERIAL SHALL EXTEND THE FULL-DEPTH OF THE FRESH CONCRETE THICKNESS. FROM ONE DAY PLACEMENT TO THE NEXT, WHERE JOINTS ARE MATCHED, ISOLATION MATERIAL IS NOT NECESSARY. (E.G. ONE LANE PAVING TO THE NEXT, INTEGRAL CURB)
 - E. ISOLATION JOINTS BETWEEN SLABS AT SOME GRADE SHALL BE FORMED WITH 0.25 INCH THICK NEOPRENE OR 0.50 INCH THICK ASPHALT IMPREGNATED FIBER FILLER WITH HYDROCARBON RESISTANT ELASTOMERIC FILL MATERIAL AS SEALER. ALL EDGES TO BE HAND TOOLED WITH MAXIMUM 0.50 INCH RADIUS.
 - F. A SATISFACTORY ISOLATION JOINT CAN BE FORMED AT METAL BUILDING CURBS BY PLACING A STRIP OF CURING PAPER AGAINST THE METAL FORM & THEN PLACING THE FRESH CONCRETE AGAINST THE PAPER. THE EDGES OF THE SLAB SHALL BE HAND TOOLED WITH MAXIMUM 0.50 INCH RADIUS.
3. JOINTS SEALANT - A JOINT SEALING PLAN FOR THE AFFECTED AREA SHALL BE PREPARED BY THE CONCRETE CONTRACTOR & SUBMITTED TO THE EOR, ALONG WITH THE JOINTING PLAN, 2 WEEKS PRIOR TO PLACEMENT OF CONCRETE FOR THE EOR APPROVAL. NOT ALL JOINTS WILL BE REQUIRED SEALING. THE CONCRETE CONTRACTOR IS TO RECOMMEND THE NECESSARY LOCATION AND TO PROVIDE SUPPORTING DOCUMENTATION FOR NON-SEALING AREAS. USE A POLYURETHANE SEALANT (TREMCO THC-900/THC-901 MULTI-COMPOUND) COMPOUND OR EQUIVALENT. THE CONCRETE CONTRACTOR IS TO SUBMIT SEALANT TYPE AND MANUFACTURER INFORMATION TO THE EOR FOR APPROVAL WHEN "EQUIVALENT" IS USE. JOINTS SHALL BE PREPARED BY FOLLOWING MANUFACTURER'S RECOMMENDATIONS PRIOR TO SEALING.

EXISTING ZONING: C-2
LAND USE: MIXED USE (MU)



HYDRAULIC GRADE LINE TABLE

STRUCTURES	GRATE	HGL
SD-1	75.75	73.28
SW-1	75.85	73.32
SW-2	75.50	73.36

SHWL DATA

BORING	EXISTING GRADE	DEPTH	SHWL	PROPOSED SURFACE	SURFACE TO SHWL
A-1	74.8	1.3'	73.5	76.40	2.90
A-2	75.1	1.0'	74.1	76.65	2.55
A-3	74.5	1.3'	73.2	75.80	2.60
A-4	75.1	1.2'	73.9	75.75	1.85

NOTE:
WHERE CRUSHED CONCRETE BASE IS USED, A MINIMUM SEPARATION OF 1.0' SHALL BE PROVIDED FROM THE BOTTOM OF THE BASE TO THE SHWL. THE MINIMUM PAVEMENT PLUS BASE AND 12" SEPARATION IS 1.63' SO THIS CRITERIA IS MET.

NOTE:
THIS SITE HAS THE POTENTIAL FOR SINKHOLE DEVELOPMENT. SEE SHEET C-12, "APPENDIX C" NOTES FOR GEOTECHNICAL REPORT.

SITE CONSTRUCTION KEYNOTES

- C1. PROPOSED MONUMENT SIGN BY SEPARATE PERMITTING
- C2. START SIDEWALK AT EXISTING END OF RAMP.
- C3. EXISTING SIDEWALK
- C4. CONSTRUCT 2' WIDE DROP CURB PER FDOT INDEX NO. 300
- C5. 34 LF 24" RCP (BY SHERWIN WILLIAMS)
- C6. 70 LF 24" RCP (BY SHERWIN WILLIAMS)
- C7. 32 LF 24" RCP (BY SHERWIN WILLIAMS)
- C8. REMOVE 24" MITERED END SECTION AND CONNECT PROPOSED 24" RCP TO EXISTING 24" RCP WITH CONCRETE COLLAR PER FDOT INDEX NO. 280. INV. 71.55±
- C9. CONSTRUCT 98 LF 24" RCP AT 0.50%.

GRADING KEYNOTES

- G1. F.D.O.T. TYPE "III" SILT FENCE EROSION CONTROL BARRIER PER INDEX NO. 102, TYPICAL
- G2. TOP OF EXISTING SANITARY SEWER MANHOLE TO BE ADJUSTED TO MATCH PROPOSED PAVEMENT ELEVATION.
- G3. MATCH SHERWIN WILLIAMS ELEVATION.
- G4. CONNECT ROOF DOWNSPOUT TO STORM PIPE.
- G5. 6" PVC ROOF DRAIN PIPE @ 1.0% MIN.
- G6. 10" PVC ROOF DRAIN PIPE @ 1.0% MIN.
- G7. CONNECT ROOF DRAIN PIPE TO 24" RCP PER FDOT INDEX NO. 280 AT INV. EL. 72.13.

PLAN LEGEND

- SILT FENCE EROSION CONTROL BARRIER
- ▭ HEAVY DUTY ASPHALT PAVEMENT
- ▭ LIGHT DUTY ASPHALT PAVEMENT
- ▭ CONCRETE PAVEMENT
- ⊙ BORING & BORING NUMBER

DRAINAGE STRUCTURE LEGEND

- SD-1
TYPE "C" INLET
PER F.D.O.T. INDEX "232"
GRATE ELEV. 75.70
INV. ELEV. (S) 72.03
- SW-1
TYPE "C" INLET
GRATE ELEV. 75.85
INV. ELEV. (W) 72.50
INV. ELEV. (N & SE) 71.48
- SW-2
TYPE "C" INLET
GRATE ELEV. 75.50
INV. ELEV. (NW & SE) 71.34
CORE DRILL 71.90 NE
- PIPES AND STRUCTURES NOTED "SW" ARE PROPOSED SHERWIN WILLIAMS IMPROVEMENTS. CONTRACTOR SHALL VERIFY ELEVATIONS SHOWN.

NOTE:
EXISTING GRADES BASED ON NGVD 1929 DATUM CONVERSION.
NAVD 88 = NGVD 29 - 0.82'

STORMWATER NOTES

1. 80% ALLOWABLE IMPERVIOUS PER ERP 43001315.011 SADDLEBROOK COMMERCIAL WEST.
2. 80% ALLOWABLE IMPERVIOUS PER PASCO COUNTY MASTER STORMWATER APPROVED UNDER COMMON PLAN OF DEVELOPMENT DP03-1125.
3. POST DEVELOPMENT (LOT 4 CN=91.95; IMPERVIOUS %=63.39%)

PASCO COUNTY NOTES

1. ALL FINISHED FLOOR ELEVATIONS SHALL BE A MINIMUM OF 1' ABOVE THE BASE 100 YR. FLOOD ELEVATION OR AS REQUIRED BY THE LDC SECTION 902.2
2. ALL SODDED SLOPES OVER 4 TO 1, SHALL BE INSTALLED WITH SOD PEGS.
3. ANY OFFSITE DISTURBANCE SHALL BE RESTORED TO THE PRE OR BETTER CONDITION (LDC 605.3.D). BAHIA SOD AT A MIN. IS REQUIRED.
4. UPON COMPLETION OF LAND DEVELOPMENT CONSTRUCTION, A PROFESSIONAL ENGINEER SHALL PROVIDE A CERTIFICATION TO PASCO COUNTY THAT THE PROJECT, INCLUDING EACH PAD AREA, COMPLIES WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL/GEOLOGICAL ENGINEERING REPORT.
5. SHOULD ANY NOTICEABLE SOIL SLUMPING OR SINKHOLE FORMATION BECOME EVIDENT, THE APPLICANT/DEVELOPER SHALL IMMEDIATELY NOTIFY THE COUNTY, TAMPA BAY WATER (TBW), AND SWFWMD, AND ADOPT ONE OR MORE OF THE FOLLOWING PROCEDURES AS DETERMINED TO BE APPROPRIATE BY THE ENGINEER.
 - A. IF THE SLUMPING OR SINKHOLE FORMATION BECOMES EVIDENT BEFORE OR DURING CONSTRUCTION ACTIVITIES, STOP ALL WORK (EXCEPT FOR MITIGATION ACTIVITIES) IN THE AFFECTED AREA AND REMAIN STOPPED UNTIL THE COUNTY AND SWFWMD APPROVE RESUMING CONSTRUCTION ACTIVITIES.
 - B. TAKE IMMEDIATE MEASURES TO ENSURE NO SURFACE WATER DRAINS INTO THE EFFECTIVE AREAS.
 - C. VISUALLY INSPECT THE EFFECTED AREA.
 - D. EXCAVATE AND BACKFILL OR GROUT AS REQUIRED TO FILL THE EFFECTED AREA AND PREVENT FURTHER SUBSIDENCE.
 - E. USE SOIL REINFORCEMENT MATERIALS IN THE BACKFILLING OPERATION, WHEN APPROPRIATE.
 - F. IF THE EFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA, MAINTAIN A MINIMUM DISTANCE OF 2 FEET FROM THE BOTTOM OF THE RETENTION POND TO THE SURFACE OF THE LIMESTONE OR KARST CONNECTION.
 - G. IF THE EFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA AND THE ABOVE METHODS DO NOT STABILIZE THE COLLAPSE, RELOCATE THE RETENTION AREA.
 - H. DISCHARGE OF STORM-WATER INTO DEPRESSIONS WITH DIRECT OR DEMONSTRATED HYDROLOGIC CONNECTION TO THE FLORIDIAN AQUIFER SHALL BE PROHIBITED.

DATE	REVISIONS	BY	CHECKED
01/09/2015	REVISED PER PASCO COUNTY UTILITY COMMENTS DATED 1/5/2015	JSK	WRH
01/27/2015	REVISED PER PASCO COUNTY COMMENTS DATED 1/20/2015	JSK	WRH
3/09/2015	REVISED PER PASCO COUNTY COMMENTS DATED 3/5/2015	WRH	WRH

HARDEE'S RESTAURANT
PRELIMINARY SITE PLAN/CONSTRUCTION
PLANS/STORMWATER MANAGEMENT PLAN
PASCO COUNTY, FLORIDA

FEG FLORIDA ENGINEERING GROUP
Engineering the Future

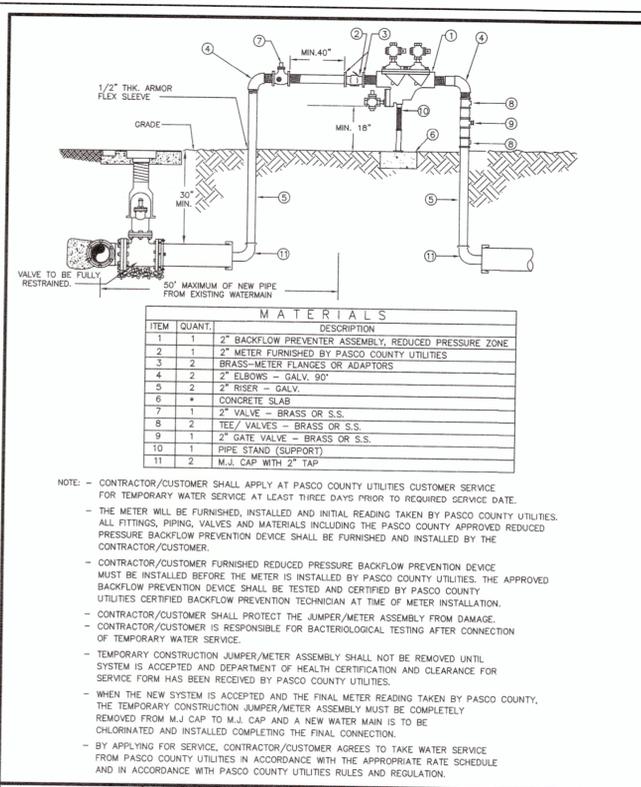
5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
www.feg-inc.us

SITE PAVING, GRADING, AND DRAINAGE PLAN

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
WRH/JSK	JSK	WRH	WRH

PROJECT NO. 14-076
SCALE 1"=20'
DATE NOVEMBER 10, 2014
SHEET NO. C-8
SHEET 8 OF 13

WILLIAM R. HOCKENSMITH, P.E.
LICENSE NO. 35540
14-076_PLANS.dwg



ITEM	QUANT.	DESCRIPTION
1	1	2" BACKFLOW PREVENTER ASSEMBLY, REDUCED PRESSURE ZONE
2	1	2" METER FURNISHED BY PASCO COUNTY UTILITIES
3	2	BRASS-METER FLANGES OR ADAPTORS
4	2	2" ELBOWS - GALV. 90°
5	2	2" RISER - GALV.
6	*	CONCRETE SLAB
7	1	2" VALVE - BRASS OR S.S.
8	2	TEE/VALVES - BRASS OR S.S.
9	1	2" GATE VALVE - BRASS OR S.S.
10	1	PIPE STAND (SUPPORT)
11	2	M.J. CAP WITH 2" TAP

NOTE: - CONTRACTOR/CUSTOMER SHALL APPLY AT PASCO COUNTY UTILITIES CUSTOMER SERVICE FOR TEMPORARY WATER SERVICE AT LEAST THREE DAYS PRIOR TO REQUIRED SERVICE DATE.

- THE METER WILL BE FURNISHED, INSTALLED AND INITIAL READING TAKEN BY PASCO COUNTY UTILITIES. ALL FITTINGS, PIPING, VALVES AND MATERIALS INCLUDING THE PASCO COUNTY APPROVED REDUCED PRESSURE BACKFLOW PREVENTION DEVICE SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR/CUSTOMER.

- CONTRACTOR/CUSTOMER FURNISHED REDUCED PRESSURE BACKFLOW PREVENTION DEVICE MUST BE INSTALLED BEFORE THE METER IS INSTALLED BY PASCO COUNTY UTILITIES. THE APPROVED BACKFLOW PREVENTION DEVICE SHALL BE TESTED AND CERTIFIED BY PASCO COUNTY UTILITIES CERTIFIED BACKFLOW PREVENTION TECHNICIAN AT TIME OF METER INSTALLATION.

- CONTRACTOR/CUSTOMER SHALL PROTECT THE JUMPER/METER ASSEMBLY FROM DAMAGE.

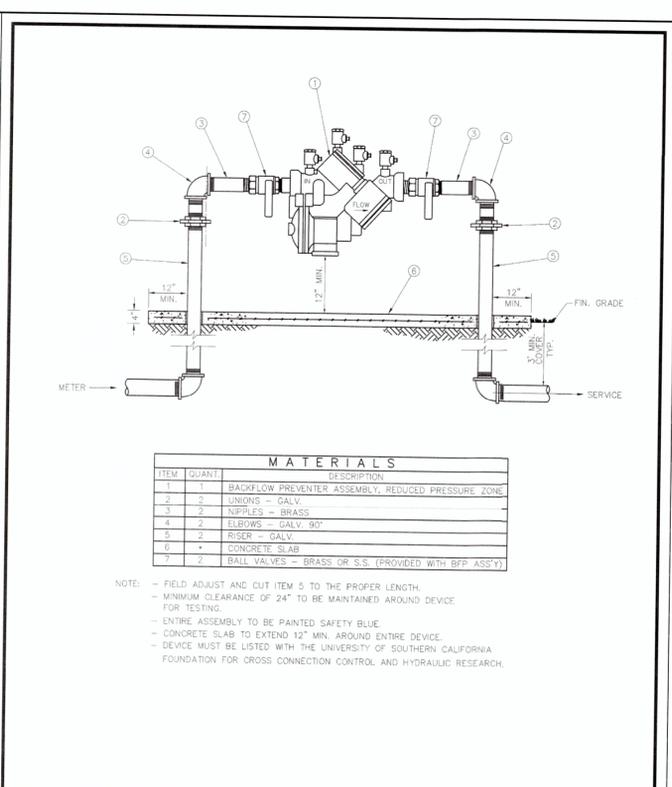
- CONTRACTOR/CUSTOMER IS RESPONSIBLE FOR BACTERIOLOGICAL TESTING AFTER CONNECTION OF TEMPORARY WATER SERVICE.

- TEMPORARY CONSTRUCTION JUMPER/METER ASSEMBLY SHALL NOT BE REMOVED UNTIL SYSTEM IS ACCEPTED AND DEPARTMENT OF HEALTH CERTIFICATION AND CLEARANCE FOR SERVICE FORM HAS BEEN RECEIVED BY PASCO COUNTY UTILITIES.

- WHEN THE NEW SYSTEM IS ACCEPTED AND THE FINAL METER READING TAKEN BY PASCO COUNTY, THE TEMPORARY CONSTRUCTION JUMPER/METER ASSEMBLY MUST BE COMPLETELY REMOVED FROM M.J. CAP TO M.J. CAP AND A NEW WATER MAIN IS TO BE CHLORINATED AND INSTALLED COMPLETING THE FINAL CONNECTION.

- BY APPLYING FOR SERVICE, CONTRACTOR/CUSTOMER AGREES TO TAKE WATER SERVICE FROM PASCO COUNTY UTILITIES IN ACCORDANCE WITH THE APPROPRIATE RATE SCHEDULE AND IN ACCORDANCE WITH PASCO COUNTY UTILITIES RULES AND REGULATION.

CREATED	11/18/05	TEMPORARY CONSTRUCTION WATER SERVICE	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 01



ITEM	QUANT.	DESCRIPTION
1	1	BACKFLOW PREVENTER ASSEMBLY, REDUCED PRESSURE ZONE
2	2	UNIONS - GALV.
3	2	NIPPLES - BRASS
4	2	ELBOWS - GALV. 90°
5	2	RISER - GALV.
6	*	CONCRETE SLAB
7	2	BALL VALVES - BRASS OR S.S. (PROVIDED WITH BFP ASS'Y)

NOTE: - FIELD ADJUST AND CUT ITEM 5 TO THE PROPER LENGTH.

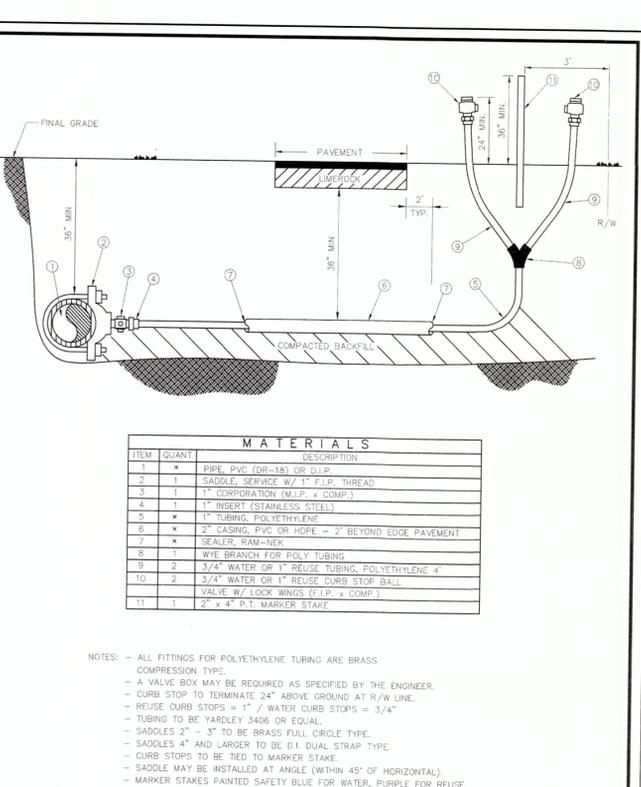
- MINIMUM CLEARANCE OF 24" TO BE MAINTAINED AROUND DEVICE FOR TESTING.

- ENTIRE ASSEMBLY TO BE PAINTED SAFETY BLUE.

- CONCRETE SLAB TO EXTEND 12" MIN. AROUND ENTIRE DEVICE.

- DEVICE MUST BE LISTED WITH THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH.

CREATED	02/24/03	REDUCED PRESSURE BACKFLOW PREVENTER (SINGLE SERVICE: 3/4", 1", 1-1/2", 2")	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 12



ITEM	QUANT.	DESCRIPTION
1	*	PIPE, PVC (DR-18) OR D.I.P.
2	1	SADDLE, SERVICE W/ 1" F.I.P. THREAD
3	1	1" CORPORATION (M.I.P. x COMP.)
4	1	1" INSERT (STAINLESS STEEL)
5	*	1" TUBING, POLYETHYLENE
6	*	2" CASING, PVC OR HDPE - 2' BEYOND EDGE PAVEMENT
7	*	SEALER, RAM-NEK
8	1	WYE BRANCH FOR POLY TUBING
9	2	3/4" WATER OR 1" REUSE TUBING, POLYETHYLENE 4'
10	2	3/4" WATER OR 1" REUSE CURB STOP BALL
11	1	VALVE W/ LOCK WINGS (F.I.P. x COMP.)
12	1	2" x 4" R.T. MARKER STAKE

NOTES: - ALL FITTINGS FOR POLYETHYLENE TUBING ARE BRASS COMPRESSION TYPE.

- A VALVE BOX MAY BE REQUIRED AS SPECIFIED BY THE ENGINEER.

- CURB STOP TO TERMINATE 24" ABOVE GROUND AT R/W LINE.

- REUSE CURB STOPS = 1" / WATER CURB STOPS = 3/4"

- TUBING TO BE YARDLEY 3406 OR EQUAL.

- SADDLES 2" - 3" TO BE BRASS FULL CIRCLE TYPE.

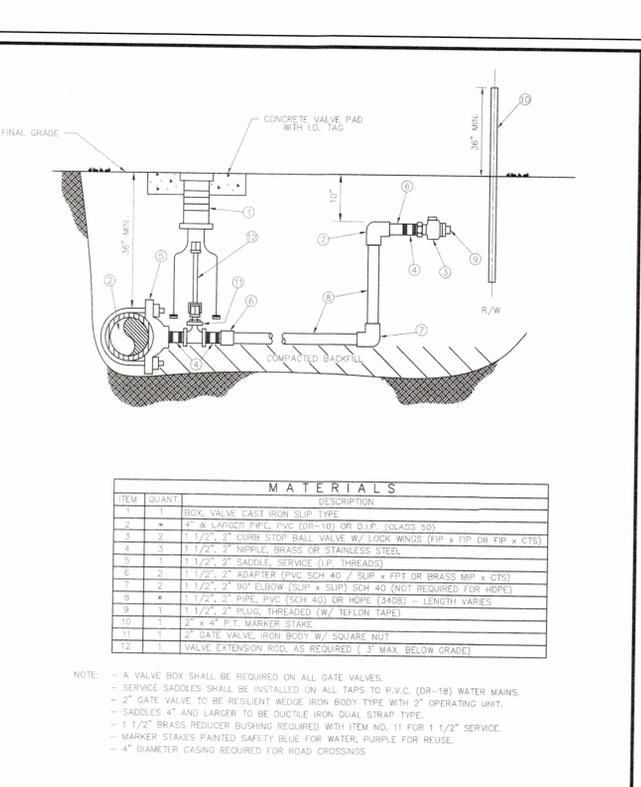
- SADDLES 4" AND LARGER TO BE D.I. DUAL STRAP TYPE.

- CURB STOPS TO BE TIED TO MARKER STAKE.

- SADDLE MAY BE INSTALLED AT ANGLE (WITHIN 45° OF HORIZONTAL).

- MARKER STAKES PAINTED SAFETY BLUE FOR WATER, PURPLE FOR REUSE.

CREATED	02/24/03	WATER AND REUSE LATERAL SERVICE 3/4" (DOUBLE - FAR SIDE) POLYETHYLENE TUBING	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 20



ITEM	QUANT.	DESCRIPTION
1	1	BOX, VALVE CAST IRON SLIP TYPE
2	*	4" x 4" LARGEST P.I.P.C. PVC (DR-10) OR D.I.P. (CLASS 50)
3	2	1 1/2" x 2" CURB STOP BALL VALVE W/ LOCK WINGS (F.I.P. OR F.I.P. x CTS)
4	3	1 1/2", 2" NIPPLE, BRASS OR STAINLESS STEEL
5	1	1 1/2", 2" SADDLE, SERVICE (I.P. THREADS)
6	2	1 1/2", 2" ADAPTER (PVC SCH 40 / SLIP x RPT OR BRASS MIP x CTS)
7	2	1 1/2" x 2" 90° ELBOW (SLIP x SLIP) SCH 40 (NOT REQUIRED FOR HDPE)
8	*	1 1/2", 2" PIPE, PVC (SCH 40) OR HDPE (3405) - LENGTH VARIES
9	1	1 1/2", 2" PLUG, THREADED (W/ TEFLON TAPE)
10	1	2" x 4" P.T. MARKER STAKE
11	1	2" GATE VALVE, IRON BODY (W/ SQUARE ND)
12	1	VALVE EXTENSION ROD, AS REQUIRED (3' MAX. BELOW GRADE)

NOTE: - A VALVE BOX SHALL BE REQUIRED ON ALL GATE VALVES.

- SERVICE SADDLES SHALL BE INSTALLED ON ALL TAPS TO P.V.C. (DR-18) WATER MAINS.

- 2" GATE VALVE TO BE RESILIENT WEDGE IRON BODY TYPE WITH 2" OPERATING UNIT.

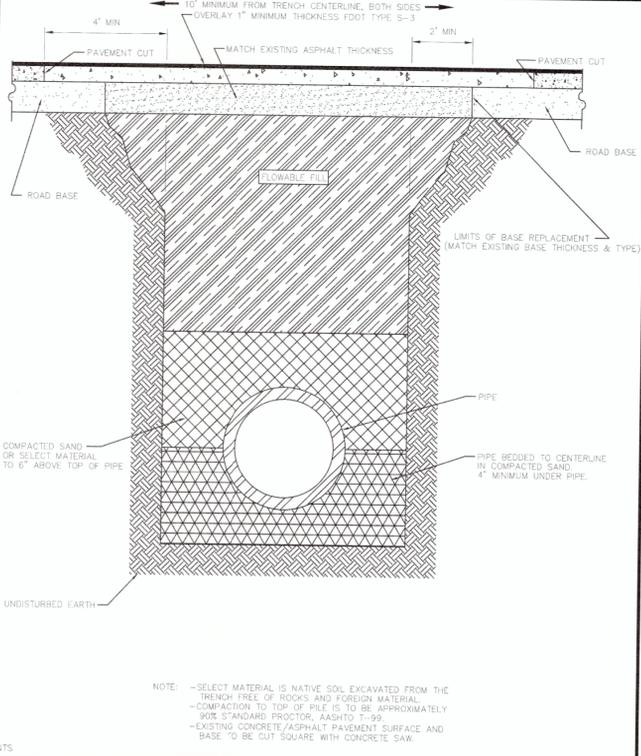
- SADDLES 4" AND LARGER TO BE DUCTILE IRON DUAL STRAP TYPE.

- 1 1/2" BRASS REDUCER BUSHING REQUIRED WITH ITEM NO. 11 FOR 1 1/2" SERVICE.

- MARKER STAKES PAINTED SAFETY BLUE FOR WATER, PURPLE FOR REUSE.

- 4" DIAMETER CASING REQUIRED FOR ROAD CROSSINGS.

CREATED	02/24/03	WATER AND REUSE LATERAL SERVICE 1 1/2" OR 2" SERVICE LATERAL PVC (SCHEDULE 40)	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 21

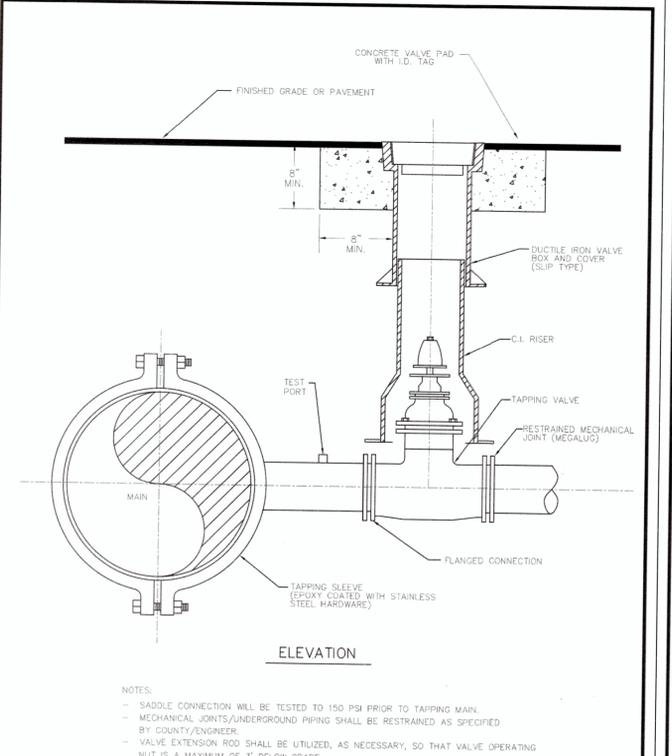


NOTE: - SELECT MATERIAL IS NATIVE SOIL EXCAVATED FROM THE TRENCH, FREE OF ROCKS AND FOREIGN MATERIAL.

- COMPACTION TO TOP OF PIPE IS TO BE APPROXIMATELY 90% STANDARD PROCTOR, AASHTO T-99.

- EXISTING CONCRETE/ASPHALT PAVEMENT SURFACE AND BASE TO BE CUT SQUARE WITH CONCRETE SAW.

CREATED	03/06/03	PIPE LAYING CONDITIONS FLOWABLE FILL BACKFILL STANDARD EXISTING PAVED AREAS & ROADWAYS	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 36

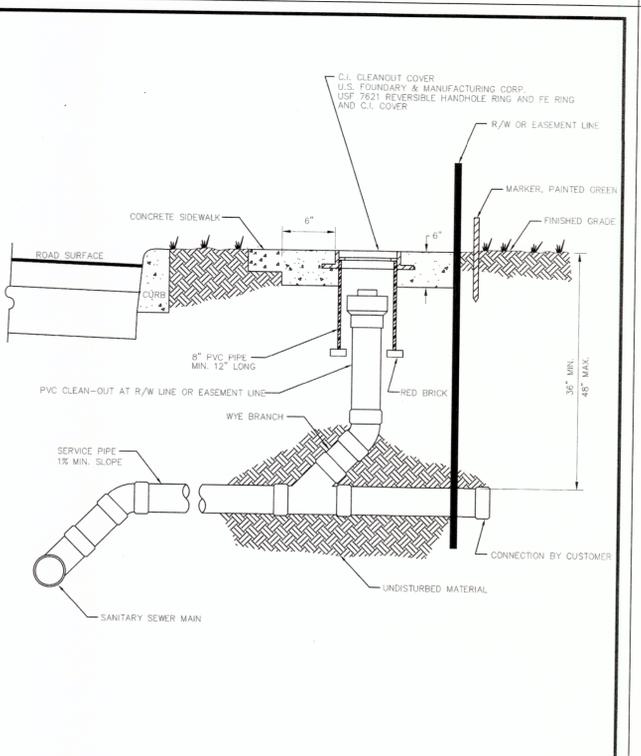


NOTE: - SADDLE CONNECTION WILL BE TESTED TO 150 PSI PRIOR TO TAPPING MAIN.

- MECHANICAL JOINTS/UNDERGROUND PIPING SHALL BE RESTRAINED AS SPECIFIED BY COUNTY/ENGINEER.

- VALVE EXTENSION ROD SHALL BE UTILIZED, AS NECESSARY, SO THAT VALVE OPERATING NUT IS A MAXIMUM OF 3' BELOW GRADE.

CREATED	02/24/03	WATER, REUSE, AND FORCE MAIN TAPPING DETAIL W/ VALVE LOCATION	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 37



CREATED	02/24/03	SANITARY SEWER - SINGLE WYE CONNECTION AND TYPICAL CLEAN-OUT	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 45

NOT VALID FOR CONSTRUCTION UNLESS SIGNED IN THIS BLOCK	01/09/2015	REVISOR PER PASCO COUNTY UTILITY COMMENTS DATED 1/5/2015	JSK	WRH
	01/27/2015	REVISOR PER PASCO COUNTY COMMENTS DATED 1/20/2015	JSK	WRH
	3/09/2015	REVISOR PER PASCO COUNTY COMMENTS DATED 3/5/2015	WRH	WRH
DATE		REVISIONS	BY	CHECKED

HARDEE'S RESTAURANT
PRELIMINARY SITE PLAN/CONSTRUCTION
PLANS/STORMWATER MANAGEMENT PLAN
PASCO COUNTY, FLORIDA

FEG FLORIDA ENGINEERING GROUP
 Engineering the Future

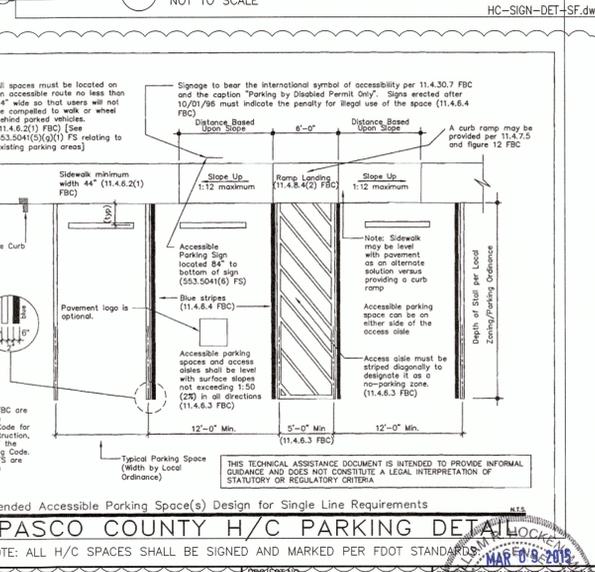
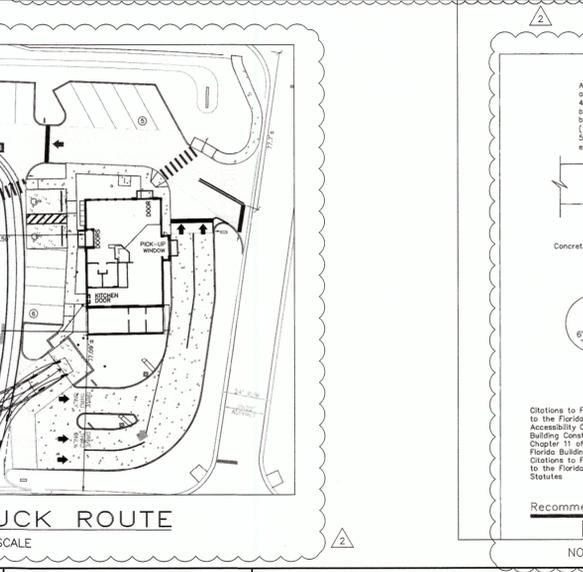
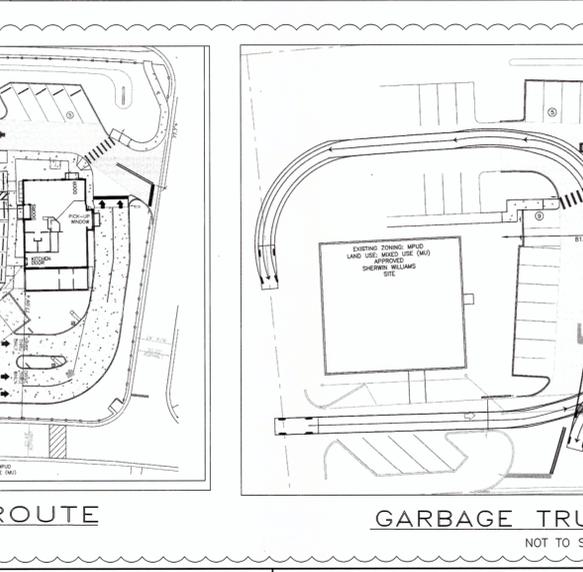
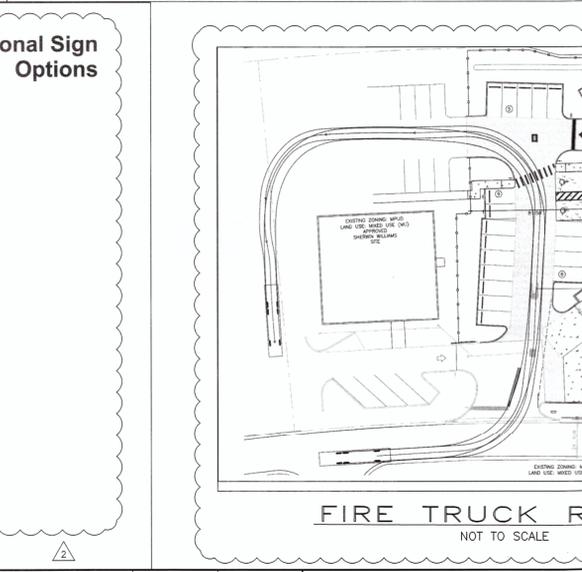
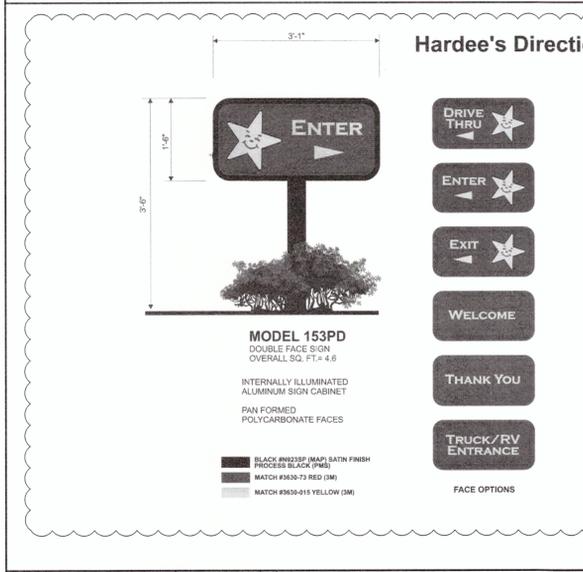
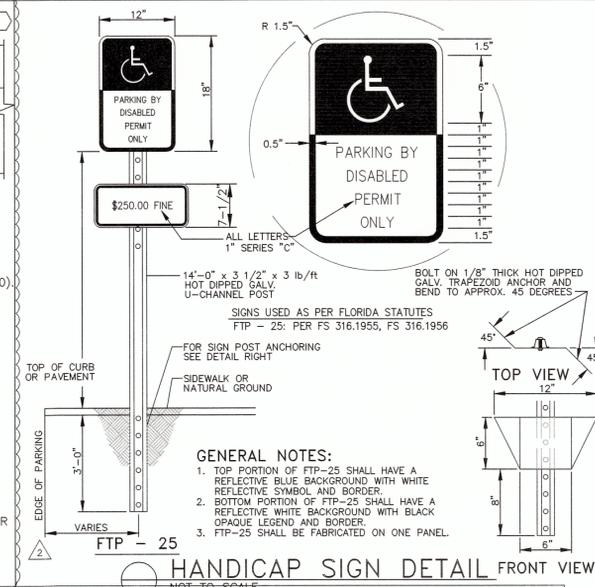
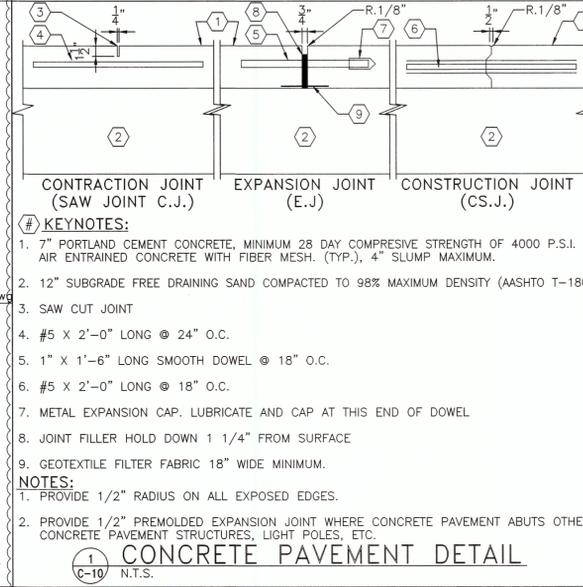
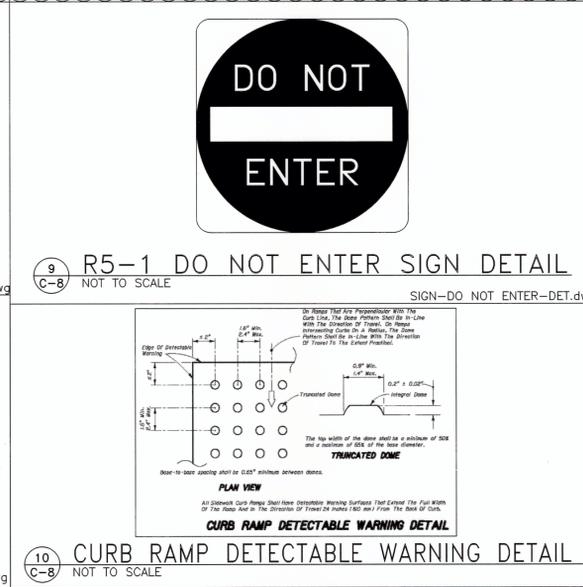
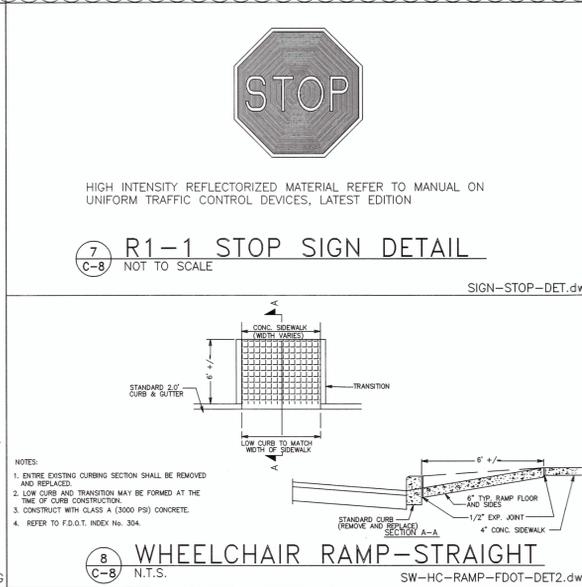
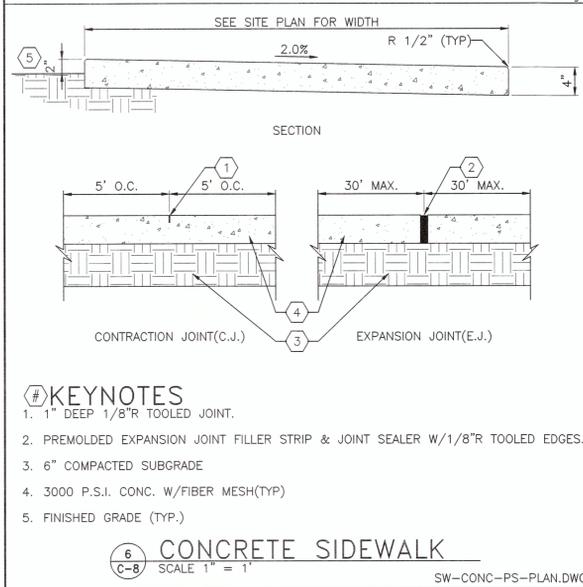
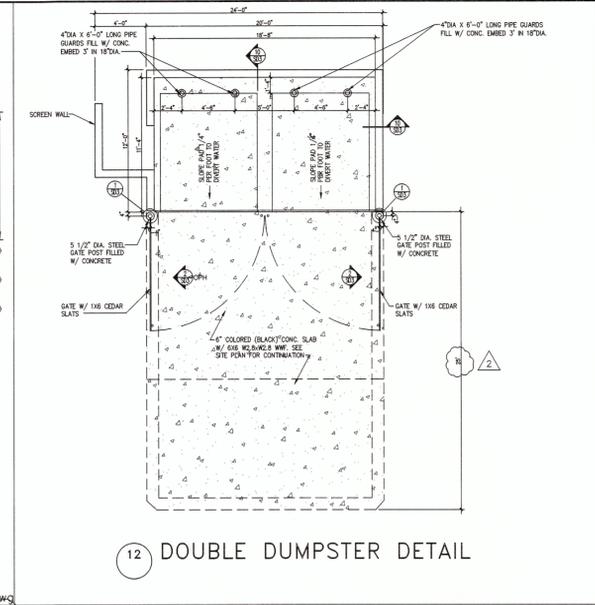
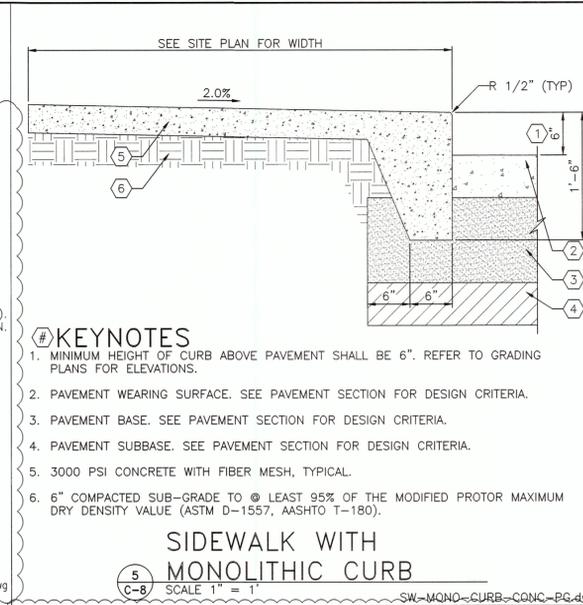
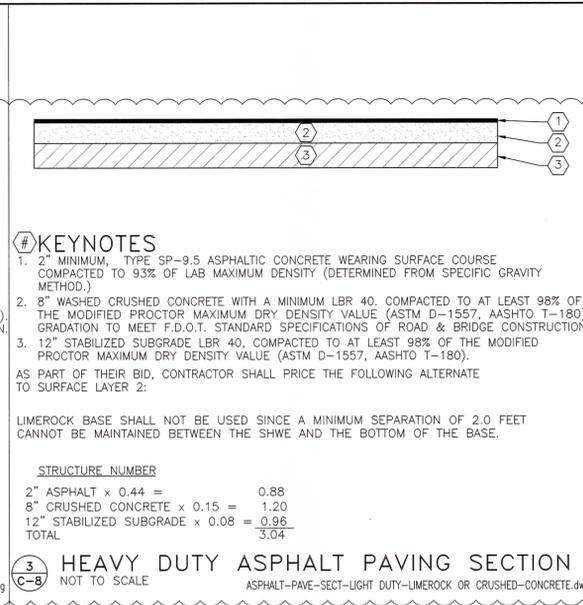
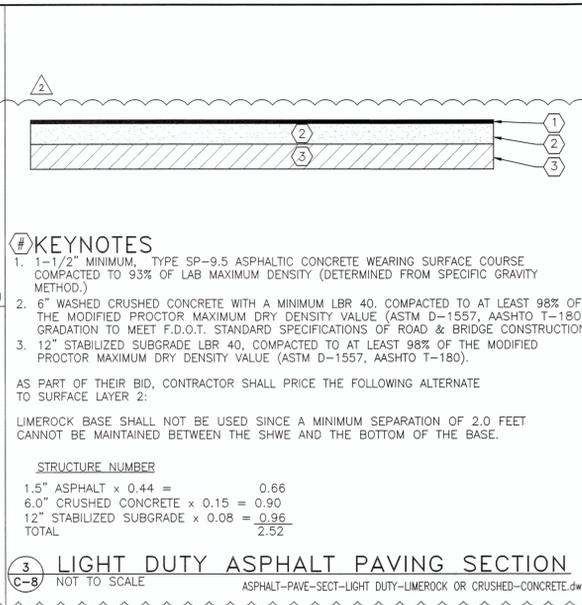
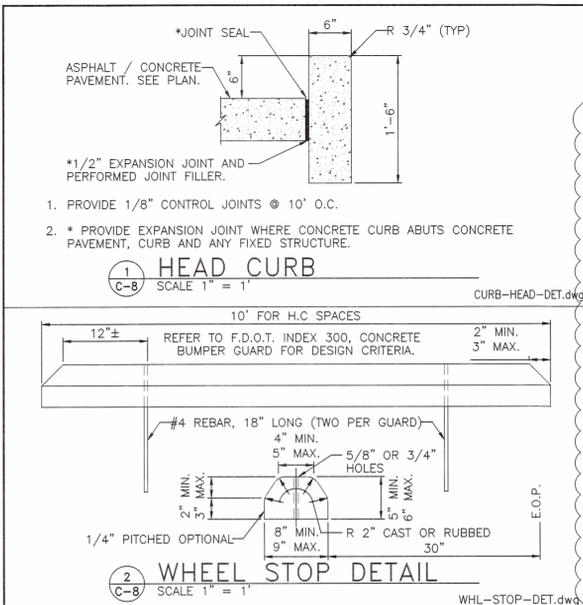
5127 S. Orange Avenue, Suite 200
 Orlando, FL 32809
 Phone: 407-895-0324
 Fax: 407-895-0325
 www.feg-inc.us

PASCO COUNTY UTILITIES STANDARD DETAILS

DESIGNED BY	WRH/JSK	DRAWN BY	JSK	CHECKED BY	WRH	APPROVED BY	WRH
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PROJECT NO. 14-076
 SCALE AS SHOWN
 DATE NOVEMBER 10, 2014
 SHEET NO. C-10
 SHEET 10 OF 13

WILLIAM R. HOCKENSMITH, P.E.
 LICENSE NO. 35540
 FLORIDA ENGINEERING GROUP, INC.
 CERTIFICATE NO. EB-0006995
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER



DATE	REVISIONS	BY	CHECKED
01/09/2015	REVISED PER PASCO COUNTY UTILITY COMMENTS DATED 1/5/2015	JSK	WRH
01/27/2015	REVISED PER PASCO COUNTY COMMENTS DATED 1/20/2015	JSK	WRH
3/09/2015	REVISED PER PASCO COUNTY COMMENTS DATED 3/5/2015	WRH	WRH

HARDEE'S RESTAURANT

PRELIMINARY SITE PLAN/CONSTRUCTION PLANS/STORMWATER MANAGEMENT PLAN

PASCO COUNTY, FLORIDA

FEG FLORIDA ENGINEERING GROUP

Engineering the Future

5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325

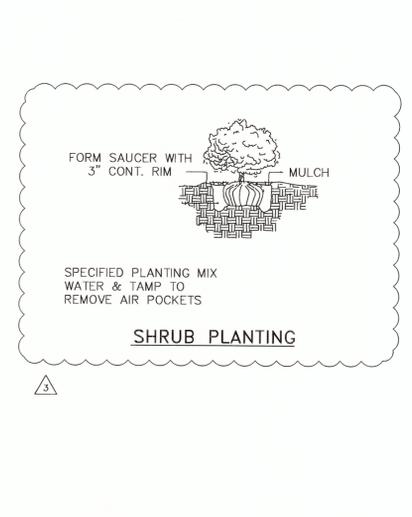
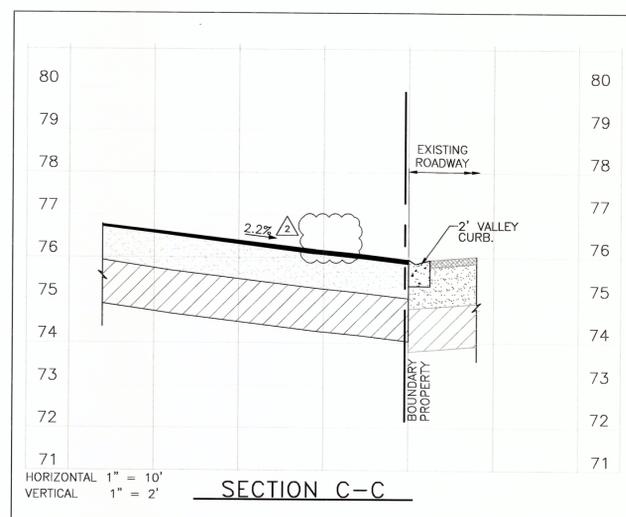
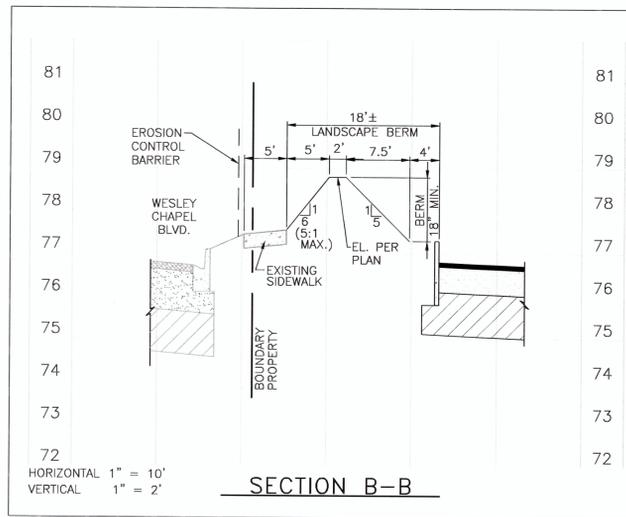
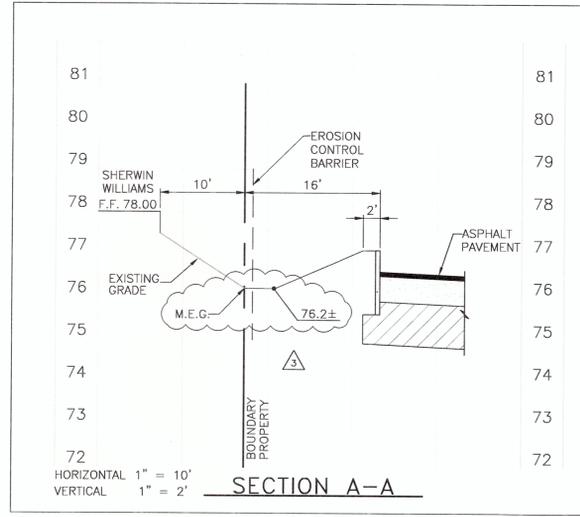
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SITE CONSTRUCTION DETAILS

DESIGNED BY: WRH/JSK
DRAWN BY: JSK
CHECKED BY: WRH
APPROVED BY: WRH

PROJECT NO. 14-076
SCALE AS SHOWN
DATE NOVEMBER 10, 2014
SHEET NO. C-11
SHEET 11 OF 13

FLORIDA ENGINEERING GROUP, INC.
CERTIFICATE NO. EB 0006956
STATE OF FLORIDA
PROFESSIONAL ENGINEER
WM. R. HOCKENSMITH, P.E.
LICENSE NO. 35540



APPENDIX C
 REMEDIATION PROGRAM RECOMMENDATIONS
 LOW SLUMP GROUT
 HARDEE'S RESTAURANT
 WESLEY CHAPEL BLVD.
 WESLEY CHAPEL, FLORIDA

2.2.4 The grouting procedure shall continue with the grout pipe withdrawn in a controlled manner and with sufficient pressure on the grout to assure that the drilled hole is filled with grout to prevent a breaching of any clay layer present. The Geotechnical Engineer may stop the withdrawal at pre-selected depth intervals for the grouting of extremely loose to near-void conditions.

2.2.5 In general, injection at each interval shall continue, except as specifically otherwise approved, until one of the following occurs:

A. A maximum grout pressure of 150 psi increase over the static line pressure, in which case the grout pipe should be withdrawn 5 feet and the grouting should continue at that depth.

B. At maximum grout pressures at the ground surface of 300 psi or as directed by the Geotechnical Engineer, the grouting pipe should be withdrawn 5 feet and the grouting of the particular grout injection point should continue.

C. If 2.5 cubic yards of grout per 5-foot interval is injected and the maximum grout pressures at the ground surface is 100 psi or higher, the grouting pipe should be withdrawn 5 feet and the grouting of the particular grout injection point should continue.

D. Surface heave of more than 1/16 inch per interval.

E. Any observable heave of the structure.

The above criteria may be altered by the Geotechnical Engineer during grouting dependent upon field conditions.

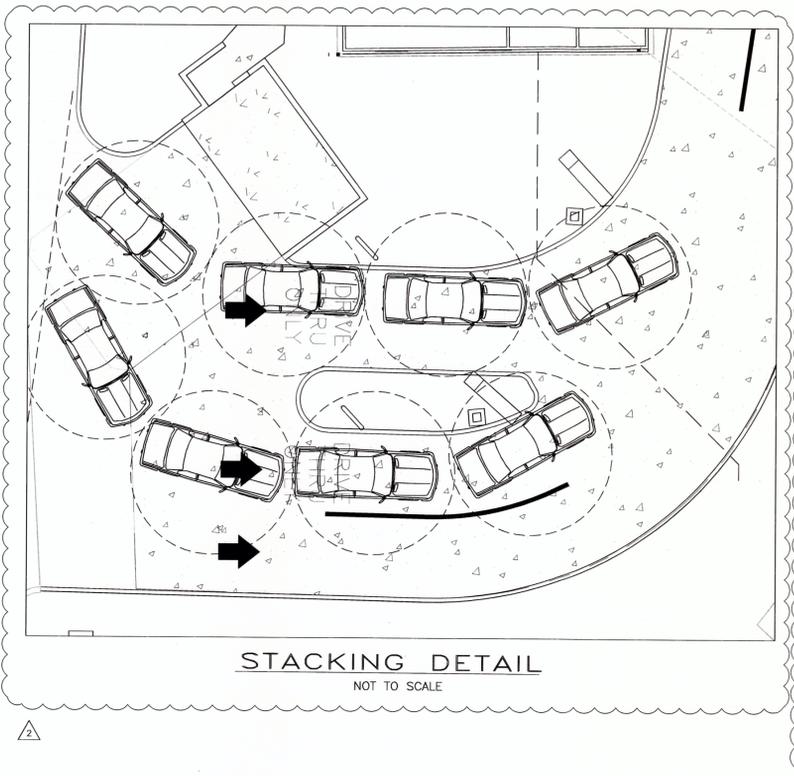
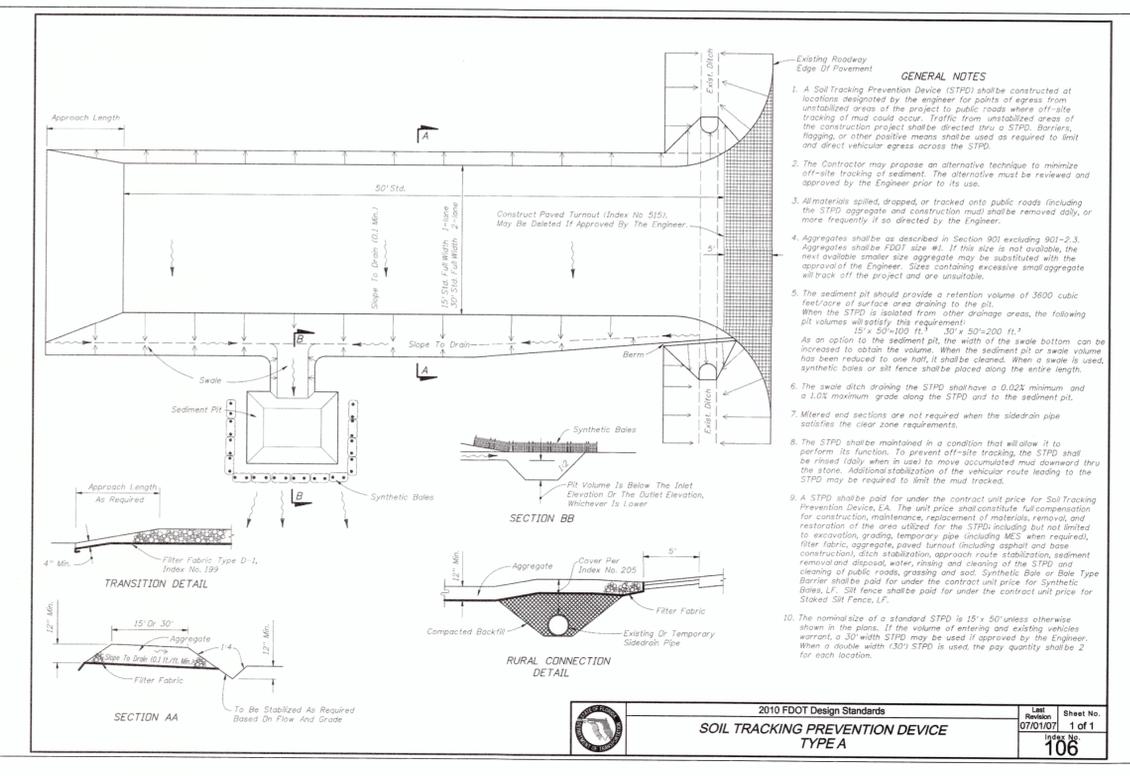
2.2.6 No more than 10 cubic yards per day or 35 cubic yards total of grout shall be injected into any GIP without the direction of the Geotechnical Engineer.

2.2.7 Ready mix tickets shall be saved and made part of the permanent project records.

2.2.8 CONTRACTOR'S SUPERVISION AND QUALITY CONTROL.

2.3.1 A level control system shall be installed and operated by the contractor for use during grouting. The monitoring shall be carried out so as to detect any movement within 25 feet of the grouting operations whenever grouting is occurring.

2.3.2 Any grout injection performed by the contractor without representation of the



APPENDIX C
 REMEDIATION PROGRAM RECOMMENDATIONS
 LOW SLUMP GROUT
 HARDEE'S RESTAURANT
 WESLEY CHAPEL BLVD.
 WESLEY CHAPEL, FLORIDA

1.1 SCOPE OF WORK

1.1.1 The work covered by this section consists of providing project control, supervision, all labor and equipment, and performing all operations in connection with improvement of the deep soils underlying the proposed building footprint by injection of low slump grout. Grouting shall begin at each primary grouting location at depths as directed by the Geotechnical Engineer.

1.1.2 In general, the goal of the proposed grouting program shall be to compact, fill, and improve loose soils and/or fill void space at and above the soil/limestone interface. The grout shall be a sand-cement mixture with appropriate additives and a 2-day compressive strength on the order of 150 pounds per square inch (psi).

1.1.3 The placement of low slump grout within the soil shall act to compress and densify the surrounding soil. Additionally, the grouting may plug openings that may exist in the top of the limestone layer. Grout with a maximum slump of 6 inches shall be used for the low slump grouting operations.

1.1.4 The grouting program includes the placement of grout injection pipes at the locations discussed in this report, or elsewhere as specifically approved by the Geotechnical Engineer. Soil improvements shall primarily consist of injection of a low slump compaction grout under pressure at the injection points beginning just below the limestone/overburden interface.

1.1.5 This recommendation is issued as an appendix to the Universal Engineering Sciences geotechnical exploration, Universal Project No. 0830-1400446. All findings and recommendations provided by the report and appendix are included by reference in this recommendation. All bidders are requested to submit the bid in a format and based on quantities presented in 3.1.1.

1.2 EQUIPMENT

1.2.1 Only approved pumping equipment shall be used in the preparation or handling of compaction grout. All equipment shall be maintained in good working condition at all times.

1.2.2 Compaction grout pumps shall have an on-line pressure gauge with range of 50-500 psi.

1.2.3 The contractor shall provide vertical survey control in the vicinity of each injection point to determine when surface heave has occurred. The size and location of the grouting shall be the contractor's responsibility.

1.2.4 The contractor's equipment used for installation of the grout casing shall have the capability of installing injection pipes on angles, so as to extend grout piping beneath the building.

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APPENDIX C
 REMEDIATION PROGRAM RECOMMENDATIONS
 LOW SLUMP GROUT
 HARDEE'S RESTAURANT
 WESLEY CHAPEL BLVD.
 WESLEY CHAPEL, FLORIDA

geotechnical engineer present shall not be compensated and shall be repeated.

Grout Injection performed by the contractor beyond the above referenced criteria (Sections 2.2.5 and 2.2.6) without the direction of the Geotechnical Engineer shall not be compensated.

2.3.3 Contractor drilling reports shall be required and shall contain at least the following information: Name of order, type of soil, method being used, date started, case completed, location of hole, type and depth of materials encountered. Contractor grouting reports shall be required and shall contain at least the following information: Name of grout technician, constituents and proportions of grout, log of quantity injected per linear foot of hole, date, rate of pumping, and pressure at the hole.

2.4 TESTING AND QUALITY

2.4.1 The testing and on-site observation of the operations shall be done at the owner's expense, by the Geotechnical Engineer. He activities shall include, but are not limited to, observing the drilling operations, observing the grouting activities, and monitoring grout volumes and depths.

2.4.2 In rare cases the Geotechnical Engineer reserves the option to perform Standard Penetration Test (SPT) borings in improved areas during the grouting operations or after completion to evaluate the success of the grouting operation.

3.1 MEASUREMENT AND PAYMENT

3.1.1 The approved grouting contractor shall submit a bid based on the following quantities.

Item No.	Description	Estimated Quantity	Unit	Unit Price	Total
1	Mobilization / Demobilization	1	lump sum		
2	Grout injection point piping	420	linear feet		
3	Cubic yards of compaction grout	100	cu yds		

3.1.2 Payment will be made solely at the bid prices, based on actual quantities performed. Additional payment for mobilization shall be made only where contractor was authorized by the Geotechnical Engineer to demolish from the site and not as a result of variations in the scope or quantity of the grouting program or time of performance.

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APPENDIX C
 REMEDIATION PROGRAM RECOMMENDATIONS
 LOW SLUMP GROUT
 HARDEE'S RESTAURANT
 WESLEY CHAPEL BLVD.
 WESLEY CHAPEL, FLORIDA

2.1 INJECTION POINT SPACING AND PLACEMENT

2.1.1 The method of installation of the grout injection pipes (GIP) shall be determined by the contractor with the knowledge that the contractor assumes the risk of any subsidence damage that is deemed to result from the Primary GIPs. The Primary GIPs shall be advanced through the surface and underlying soils to an expected depth of approximately 30 feet below existing grade at the locations indicated on the Preliminary Grout Injection Point Location Plan (Appendix C). Variation in depth shall be at the direction of the Geotechnical Engineer. GIPs shall not be installed deeper than 45 feet unless under the direction of the Geotechnical Engineer.

Grout injection points (casing) installed deeper than the above prescribed depth without the direction of the Geotechnical Engineer shall be re-drilled in an adjacent location under the direct supervision of the Geotechnical Engineer.

2.1.2 Dependent upon the installation depth and grout take for the initially planned injection points, additional secondary GIPs may be installed.

2.1.3 All changes in injection pipe spacing, grout delivery pressure, and allowable quantities of grout at a given depth and location shall be as directed by the Geotechnical Engineer.

2.1.4 The diameter of injection pipes shall be adequate to permit injection of compaction grout. The use of augers for the delivery of grout in lieu of injection pipes is unacceptable.

2.1.5 For all types of injection points, accurate installation records shall be kept by the contractor including location and depth of injection points, method of installation, and other pertinent data such as difficulties encountered during drilling or pipe driving. Universal should monitor the installation of the GIPs to ensure that the goals of the grouting operations are met.

2.1.6 The Geotechnical Engineer should be notified immediately so that adequate protection measures can be implemented in order to protect integrity of the structure should a soil subsidence occur.

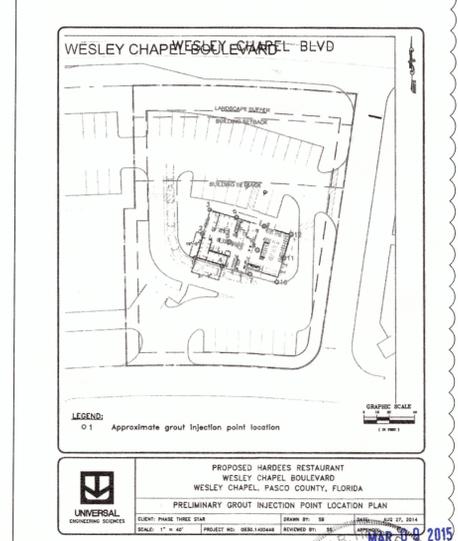
2.2 GROUT INJECTION PROCEDURES

2.2.1 The grouting shall proceed in alternating locations so that a minimum 6 hours curing time elapses prior to drilling and grouting adjacent holes.

2.2.2 The injection of grout shall begin at the bottom depth of the injection pipe and proceed upward in 3 to 5-foot intervals to within 20 feet of existing grade. No grout other than that required to fill the casing hole should be injected above the 20 feet depth.

2.2.3 A maximum grout line pressure of 150 psi over the static pressure is recommended.

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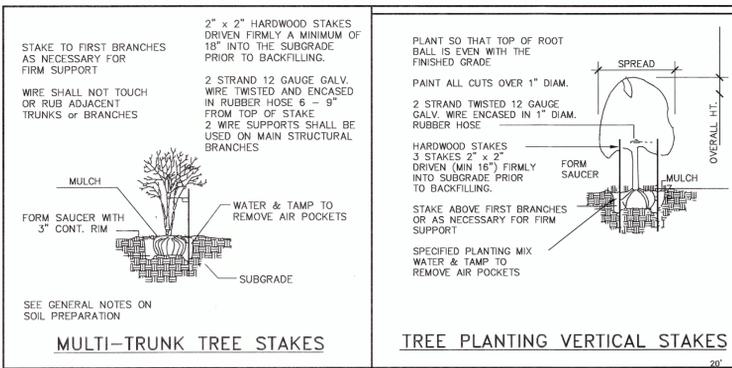
DATE	REVISIONS	BY	CHECKED
01/09/2015	REVISED PER PASCO COUNTY UTILITY COMMENTS DATED 1/5/2015	JSK	WRH
01/27/2015	REVISED PER PASCO COUNTY COMMENTS DATED 1/20/2015	JSK	WRH
3/09/2015	REVISED PER PASCO COUNTY COMMENTS DATED 3/5/2015	WRH	WRH

HARDEE'S RESTAURANT
 PRELIMINARY SITE PLAN/CONSTRUCTION
 PLANS/STORMWATER MANAGEMENT PLAN
 PASCO COUNTY, FLORIDA

FEG FLORIDA ENGINEERING GROUP
 Engineering the Future
 5127 S. Orange Avenue, Suite 200
 Orlando, FL 32809
 Phone: 407-895-0324
 Fax: 407-895-0325
 www.feg-inc.us

SITE CROSS SECTIONS AND DETAILS
 DESIGNED BY: WRH/JSK
 DRAWN BY: JSK
 CHECKED BY: WRH
 APPROVED BY: WRH

PROJECT NO. 14-076
 SCALE: AS SHOWN
 DATE: NOVEMBER 10, 2014
 SHEET NO. C-12
 SHEET 12 OF 13
 FLORIDA ENGINEERING GROUP, INC.
 CERTIFICATE NO. EB-0069595
 STATE OF FLORIDA
 WM. R. HOCKENSMITH, P.E.
 LICENSE NO. 35540
 14-076 SITE CROSS SECTIONS AND DETAILS.DWG



caping Standard Notes (Pasco)

1. **Diversity.** A maximum of 25 percent of the plant materials used, shall be Florida No. 1 grade per 'Grass and Consumer Services (FDA)'. All plant material shall be planted within any easement or planned overhead utility, nor review process. (LDC 905.2-C.3)

2. **Quality.** All plant material shall be Florida No. 1 grade per 'Grass and Consumer Services (FDA)'. All plant material shall be planted within any easement or planned overhead utility, nor review process. (LDC 905.2-C.3)

3. **Quality Practices.** All Florida Nursery, Grow

4. **Diversity.** A maximum of 25 percent of the plant materials used, shall be Florida No. 1 grade per 'Grass and Consumer Services (FDA)'. All plant material shall be planted within any easement or planned overhead utility, nor review process. (LDC 905.2-C.3)

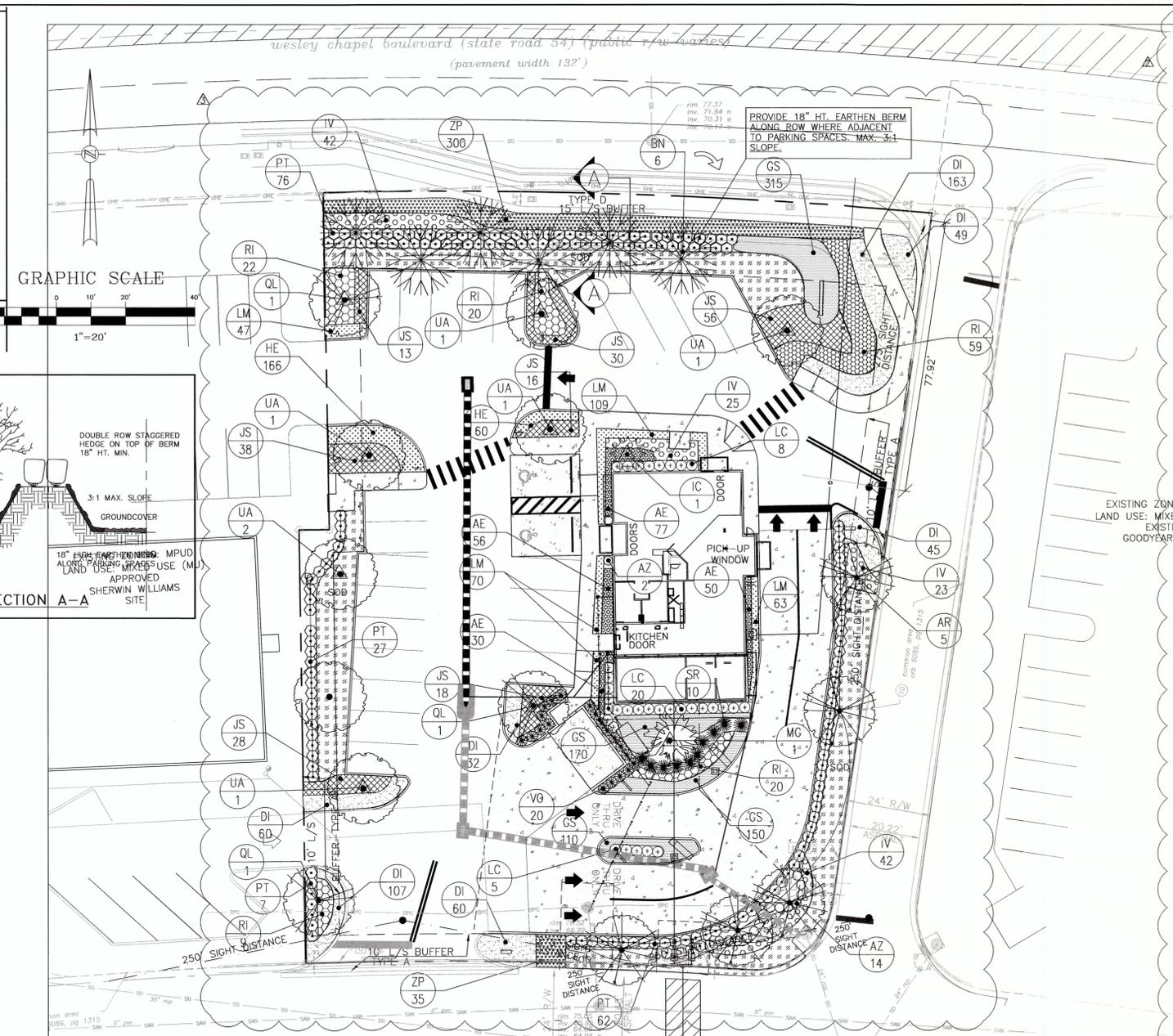
5. **Diversity.** No one plant more than 25 percent of the overall landscape area. (LDC 905.2-C.1.d)

6. **Quality.** All plant material shall be Florida No. 1 grade per 'Grass and Consumer Services (FDA)'. All plant material shall be planted within any easement or planned overhead utility, nor review process. (LDC 905.2-C.3)

7. **Avoid Easements.** No plant material shall be planted within any easement or planned overhead utility, nor review process. (LDC 905.2-C.3)

8. **Mulch.** Mulch shall be used in a minimum plant stem or tree trunk cover a maximum of 2 inches. The mulch shall not be required for annual or biennial plants. (LDC 905.2-C.3.g)

9. **Quality Practices.** All Florida Nursery, Grow



LANDSCAPE NOTES

- SHADE TREE REQUIREMENTS SHALL COMPLY WITH SEC 24-8 OF THE PASCO COUNTY CODE WHEREBY ALL TREES PLANTED MUST MEET OR EXCEED FLORIDA NO. 1, AS ESTABLISHED IN THE LATEST PUBLICATION BY THE STATE OF FLORIDA DEPT. OF AGRICULTURE, GRADES AND STANDARDS FOR NURSERY PLANT MATERIAL.
- IRRIGATION (100% COVERAGE) SHALL BE PROVIDED IN ALL NEWLY PROPOSED PLANTING AREAS IN ACCORDANCE WITH PASCO COUNTY LAND DEVELOPMENT CODE.
- IN THE EVENT OF DISCREPANCY BETWEEN THE PLANT LIST AND ACTUAL NUMBER OF PLANTS SHOWN ON THE PLAN, THE PLAN SHALL CONTROL. THE LANDSCAPE CONTRACTOR SHALL NOTIFY FLORIDA ENGINEERING GROUP, INC. OF ANY DISCREPANCIES PRIOR TO ISSUANCE OF BIDS.
- ALL PLANTING BEDS AND TREE SAUCERS TO HAVE CYPRESS BARK MULCH TO A DEPTH OF 3" MIN.
- A TWELVE MONTH WARRANTY IS TO BE PROVIDED FOR ALL NEW PLANT MATERIAL STARTING FROM TIME OF FINAL ACCEPTANCE BY OWNER. REPLACEMENT OF DEAD OR UNHEALTHY MATERIALS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR WITHIN THIRTY DAYS OF NOTIFICATION IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
- CALIPER OF TREES SHALL BE MEASURED AT 6" ABOVE ROOT BALL. ALL TREES SHALL BE INSTALLED IN AN UPRIGHT POSITION. CALIPER OF TREES SHALL TAKE PRECEDENCE OVER HEIGHT OR SPREAD.
- ALL DISTURBED AREAS WITHIN PROJECT LIMITS SHALL BE FULLY SODDED ASIDE FROM DEFINED PLANTING BEDS. SOD SHALL BE FREE OF WEEDS AND NOXIOUS PESTS OR DISEASES.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OCCURRING ON SITE OR ADJACENT AREAS, INCLUDING BUT NOT LIMITED TO BUILDINGS, PAVING, UTILITIES, ETC., WHICH IS CAUSED BY PREPARING OR INSTALLING ANY AND ALL PLANT MATERIAL.
- LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED IN COMPLIANCE WITH LOCAL LANDSCAPING ORDINANCE.
- GRADE, DRESS, AND SOD AREAS THAT HAVE BEEN DISTURBED AS SOON AS POSSIBLE TO PREVENT EROSION.
- PLANT MIX OF 8" SHALL BE TILLED INTO EXISTING SOIL TO A DEPTH OF 24". REFER TO SHRUB AND TREE PLANTING DETAIL FOR EXTENT OF PLANT MIX TO BE PROVIDED. PLANT MIX SHALL CONSIST OF 1/3 PEAT MOSS AND 2/3 EXISTING SOIL.
- ALL PLANT MATERIAL SHALL BE SET BACK 2 FEET FROM THE BACK OF CURBS OR PAVEMENT. SET TREES 4 FEET BACK FROM CURB.
- PIN ALL SOD ON 3:1 OR GREATER SLOPES.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING IF THERE ARE ANY INVASIVE OR EXOTIC TREES LOCATED ON THE SITE AND IS REQUIRED TO REMOVE ALL INVASIVE SPECIES PER THE LOCAL JURISDICTION INVASIVE SPECIES LIST LOCATED IN THEIR CODE OF ORDINANCES.
- PLANT SIZES SHOWN ON THE PLANT LIST ARE ABSOLUTE MINIMUMS. WHEN MORE THAN ONE SIZE CRITERIA ARE LISTED THEN THE PLANT MATERIAL SHALL COMPLY WITH EACH OF THE CRITERIA, NOT JUST ONE. THESE ARE GENERALLY MINIMUMS DICTATED BY THE JURISDICTION. DIFFERENT PLANTS GROW AT DIFFERENT RATES BUT ALL MINIMUMS MUST BE MET.
- WHEN THERE ARE EXISTING TREES OR VEGETATION TO REMAIN, CONTRACTOR SHALL EMPLOY A CERTIFIED TREE SURGEON TO PRUNE AND TRIM ALL EXISTING PLANT MATERIALS TO PROVIDE A BALANCED APPEARANCE WHILE ALSO ELIMINATING ANY INTERFERENCE WITH NEW CONSTRUCTION.

INTERNAL LANDSCAPE AREA REQUIREMENT

TOTAL VEHICULAR USE AREA = 19,249 SF
 INTERNAL LANDSCAPE AREA REQUIRED = 1,925 SF (10%)
 INTERNAL LANDSCAPE AREA PROVIDED = 2,121 SF (11%)

INTERNAL LANDSCAPE TREE REQUIREMENT

1,925 SF @ 1 TREE PER 200 SF = 10 TREES REQUIRED
 2,121 SF @ 1 TREE PER 200 SF = 10 TREES PROVIDED

BUILDING PLANTING AREA CALCULATIONS

TOTAL BUILDING AREA (37'x56') = 2,052 SF PERIMETER = 206 LF
 10% PERIMETER PLANTING AREA REQ'D (2,052x10%) = 206 SF
 PERIMETER PLANTING AREA PROVIDED = 720 SF (28.7%)
 50% BUILDING AREA (206 LF x 50%) = 103 LF
 BUILDING PERIMETER PLANTING LENGTH (5' MIN. WIDTH) = 103 LF

NATIVE SHRUB & GROUNDCOVER REQUIREMENT

OVERALL SITE: 30% SHRUBS & GROUNDCOVER ARE REQUIRED TO BE NATIVE
 1261 OF 3049 SHRUBS AND G.C. ARE NATIVE (41%)

GRASS AREAS:
 OVERALL SITE: MAX. 30% OF REQUIRED LANDSCAPE AREA TO BE GRASS PROVIDED = 2,891 SF (15%)

PALM TREES:
 OVERALL SITE: UP TO 30% OF TREES CAN BE PALM TREES PROVIDED: 0 PALM TREES

TREES TO BE REPLACED
 EXISTING TREE QUANTITY TOTAL DBH = 0 TREES EXISTING ON-SITE

LANDSCAPE BUFFER REQUIREMENT

SR 54 BUFFER TYPE 'D' MINIMUM 15' WIDE WITH 1 TREE/30 LF W/STAGGERED DOUBLE ROW HEDGE. BUFFER PLANTS TO BE ATOP AN 18" EARTHEN BERM WHERE ADJACENT TO VEHICULAR USE AREA.
 VUA = 175.40 LF @ 1 TREE/30 LF = 6 TREES REQUIRED AND PROVIDED

EAST BUFFER TYPE 'A' MINIMUM 10' WIDE WITH 1 TREE/60 LF W/18" HT. ROW HEDGE.
 VUA = 190 LF @ 1 TREE/60 LF = 3 TREES REQUIRED AND PROVIDED

SOUTH BUFFER TYPE 'A' MINIMUM 10' WIDE WITH 1 TREE/60 LF W/18" HT. ROW HEDGE.
 VUA = 146 LF @ 1 TREE/60 LF = 2 TREES REQUIRED AND PROVIDED

WEST BUFFER TYPE 'A' MINIMUM 10' WIDE WITH 1 TREE/60 LF W/18" HT. ROW HEDGE.
 VUA = 201 LF @ 1 TREE/60 LF = 3 TREES REQUIRED AND PROVIDED

A MAXIMUM OF 50% OF SHRUBS/GROUNDCOVERS CAN BE NON DROUGHT SPECIES. PROVIDING 3,036 TOTAL OF WHICH 275 PLANTS ARE NON DROUGHT PLANTS EQUALING 9%.

NO SINGLE PLANT SPECIES REPRESENTS MORE THAN 25% COVERAGE OF ALL LANDSCAPE AREAS.

LANDSCAPE SCHEDULE							
SYMBOL	ABR.	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	QUANTITY	NATIVE	DROUGHT TOLERANT
☐	QL	QUERCUS LAURIFOLIA	LAUREL LIVE OAK	6' HT. 2" CAL.	3	Y	Y
☐	MG	MAGNOLIA GRANDIFLORA	LITTLE GEM MAGNOLIA	6'-8' HT. 2" CAL.	1	Y	N
☐	AR	ACER RUBRUM	OCTOBER GLORY MAPLE	2" CAL. 6' HT.	5	Y	N
☐	UA	ULMUS ALATA	WINGED ELM	2" CAL. 6' HT.	7	Y	Y
☐	BN	BETULA NIGRA	RIVER BIRCH	2" CAL. 6' HT.	6	Y	N
☐	IC	ILEX CASSINE	DAHOOON HOLLY	2" CAL. 6' HT.	1	Y	Y
☐	SR	SERENOA REPENS 'SILVER FORM'	SILVER SAW PALMETTO	7 GAL. 20"x20"	10	Y	Y
☐	VO	VIBURNUM OBOVATUM	WALTER'S VIBURNUM	30" HT. 36" O.C.	20	Y	Y
☐	LC	LOROPETALUM CHINENSE	LORPETALUM	3 GAL. 24" HT. 36" O.C.	33	N	N
☐	PT	PITTIOSPORUM TOBIIRA VARIEGATA	VARIEGATED PITTIOSPORUM	3 GAL. 24"-30" 36" O.C.	172	N	Y
☐	AZ	RHODODENDRON AUSTRINUM	FLORIDA FLAME AZALEA	3 GAL. 24"-30" 36" O.C.	16	Y	N
☐	RI	RAPHIOLEPIS INDICA ALBA	INDIAN HAWTHORN	3 GAL. 14"x14" 30" O.C.	130	N	Y
☐	JS	JUNIPERUS CHINENSIS	PARSONS JUNIPER	3 GAL. 24" O.C.	199	N	Y
☐	ZP	ZAMIA PUMILA	COONTIE	3 GAL. 18" O.C.	335	Y	Y
☐	IV	ILEX VOMITORIA	SCHELLINGS DWARF	3 GAL. 14"x14" 24" O.C.	132	Y	Y
☐	HE	HEMEROCALLIS SPP.	DAYLILY	1 GAL. 12" O.C.	226	N	N
☐	LM	LIRIOPE MUSCARI EVERGREEN GIANT	E.G. LIRIOPE	1 GAL. 12" O.C.	289	N	Y
☐	AE	ASPIDISTRA ELATIOR	CAST IRON PLANT	1 GAL. 12" O.C.	213	N	Y
☐	GS	GELSEMIUM SEMPERVIRENS	YELLOW JASMINE	1 GAL. 12" O.C.	745	Y	Y
☐	DI	DIETES IRIODOIDES	AFRICAN IRIS	1 GALLON 18" O.C.	516	N	Y
☐	SOD	ST. AUGUSTINE			QTY. BY CONTRACTOR MAX. 30% OF REQUIRED LANDSCAPE AREA		
☐	SOD	BAHIA HYBRID			2,891 SF		
☐		ORGANIC MULCH	MIN. 3" DEEP		77.5 CY (CONTRACTOR TO VERIFY QUANTITY)		

CERTIFICATION

A REGISTERED LANDSCAPE ARCHITECT OR OTHER PERSON AS AUTHORIZED BY CHAPTER 481, FLORIDA STATUTES, AS AMENDED, OR OTHER TYPE OF PROFESSIONAL AS APPROVED BY THE COUNTY ADMINISTRATOR OR DESIGNEE, SHALL CONDUCT A FINAL FIELD INSPECTION. A CERTIFICATE OF COMPLIANCE WITH THE REQUIREMENTS OF THIS SECTION SHALL BE PROVIDED TO THE COUNTY AND THE PROPERTY OWNER PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY (CO). IF THE PROPERTY OWNER INSTALLS THE LANDSCAPING AND IRRIGATION, THE OWNER SHALL ACT AS THE CERTIFYING AGENT. INSTALLATION PRIOR TO CO. PRIOR TO THE ISSUANCE OF ANY CO, OR WHERE NO CO IS REQUIRED, PRIOR TO THE FINAL INSPECTION OR THE USE OF THE LOT, ALL REQUIRED LANDSCAPING SHALL BE INSTALLED AND IN PLACE AS SET OUT IN THE APPROVED LANDSCAPE PLANS. IN CASES WHERE TIMELY INSTALLATION OF LANDSCAPING IS NOT PRACTICABLE DUE TO THE SEASON OR SHORTAGE, AS DETERMINED BY THE COUNTY ADMINISTRATOR OR DESIGNEE, A BOND SATISFACTORY TO THE ENGINEERING SERVICES DEPARTMENT SHALL BE POSTED UNTIL THE PLANTING OCCURS.

ANY PLANT MATERIALS OF WHATEVER TYPE & KIND REQUIRED BY THESE REGULATIONS SHALL BE REPLACED WITHIN 30 DAYS OF THEIR DEMISE AND OR REMOVAL.

RESPONSIBLE PARTY FOR THE LANDSCAPING IS THE OWNER.

DATE	REVISIONS	BY	CHECKED
1/9/2015	REVISE PER PASCO COUNTY UTILITY COMMENTS DATED 1/5/2015	RTA	RTA
1/27/2015	REVISE PER PASCO COUNTY COMMENTS DATED 1/20/2015	RTA	RTA
3/09/2015	REVISED PER PASCO COUNTY COMMENTS DATED 3/5/2015	WRH	WRH

**HARDEE'S RESTAURANT
 CONSTRUCTION PLANS
 WESLEY CHAPEL BOULEVARD
 WESLEY CHAPEL, FLORIDA**

FEG FLORIDA ENGINEERING GROUP
 Engineering the Future

5127 S. Orange Avenue, Suite 200
 Orlando, FL 32809
 Phone: 407-895-0324
 Fax: 407-895-0325
 www.feg-inc.us

SITE LANDSCAPE PLAN AND DETAILS

DESIGNED BY: RTA
 DRAWN BY: RTA
 CHECKED BY: WRH
 APPROVED BY: WRH

PROJECT NO. 14-076
 SCALE 1"=20'
 DATE NOVEMBER 15, 2014
 SHEET NO. L-1
 SHEET 13 OF 13

FLORIDA ENGINEERING GROUP, INC.
 CERTIFICATE NO. EB 0006595
 PICK APT LICENSE NO. 1321