

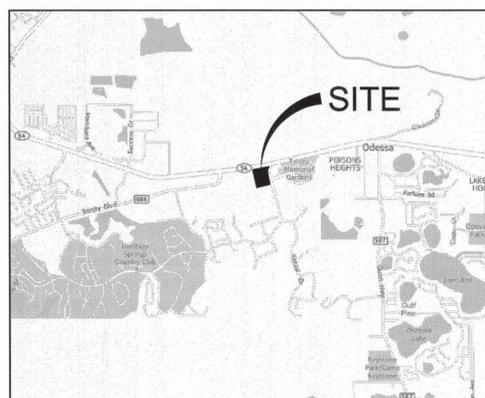
THE SHOPPES AT TRINITY LAKES

NONRESIDENTIAL/MIXED USE
PRELIMINARY/CONSTRUCTION PLAN SIMULTANEOUS
SECTION 28, TOWNSHIP 26 SOUTH, RANGE 17 EAST
FDOT ROADWAY SECTION 14572, M.P. 0.725
ADDRESS NOT ASSIGNED
PASCO COUNTY, FLORIDA

LEGAL DESC.

A PORTION OF SECTION 28, TOWNSHIP 26 SOUTH, RANGE 17 EAST, OF PASCO COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID SECTION 28, AND RUN ALONG THE SOUTH LINE OF SAID SECTION 28, NORTH 89°28'45" WEST, A DISTANCE OF 1973.42 FEET TO A POINT ON THE EASTERLY BOUNDARY LINE OF PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, AS RECORDED IN PLAT BOOK 68, PAGES 83 THROUGH 98 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; THENCE RUN ALONG THE EASTERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, NORTH 15°54'24" WEST, A DISTANCE OF 445.85 FEET TO THE NORTHEAST CORNER OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, ALSO BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF COOL SPRINGS PARKWAY AS RECORDED IN SAID PLAT OF THE VILLAGES OF TRINITY LAKES, ALSO BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF COMMUNITY DRIVE AS RECORDED IN OFFICIAL RECORD BOOK 5891, PAGE 975 AND OFFICIAL RECORD BOOK 4250, PAGE 973 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, ALSO BEING THE POINT OF BEGINNING; THENCE LEAVING THE WESTERLY RIGHT-OF-WAY LINE OF SAID COMMUNITY DRIVE, RUN ALONG THE NORTHERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, ALSO BEING THE NORTHERLY RIGHT-OF-WAY LINE OF SAID COOL SPRINGS PARKWAY, SOUTH 79°17'50" WEST, A DISTANCE OF 785.08 FEET; THENCE LEAVING THE NORTHERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, ALSO BEING THE NORTHERLY RIGHT-OF-WAY LINE OF SAID COOL SPRINGS PARKWAY, RUN NORTH 10°42'10" WEST, A DISTANCE OF 637.82 FEET; THENCE RUN SOUTH 79°17'50" WEST, A DISTANCE OF 51.00 FEET; THENCE RUN NORTH 10°42'10" WEST, A DISTANCE OF 259.01 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF NEW STATE ROAD 54 AS RECORDED IN OFFICIAL RECORD BOOK 5919, PAGE 1336 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, SAID POINT ALSO BEING A POINT OF CURVATURE OF A CURVE TO THE LEFT; THENCE RUN ALONG THE SOUTHERLY RIGHT-OF-WAY OF SAID NEW STATE ROAD 54, A DISTANCE OF 756.96 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT, BEING NON-TANGENT WITH THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 11583.83 FEET, A CENTRAL ANGLE OF 03°44'39", AND A CHORD OF 756.83 FEET WHICH BEARS NORTH 81°01'56" EAST TO THE NORTHWEST CORNER OF PARCEL "B" OF SAID PLAT OF THE VILLAGES OF TRINITY LAKES; THENCE CONTINUE TO RUN ALONG THE SOUTHERLY RIGHT-OF-WAY OF SAID NEW STATE ROAD 54, ALSO BEING THE NORTHERLY BOUNDARY LINE OF SAID PARCEL "B" OF THE VILLAGES OF TRINITY LAKES, 124.74 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 11583.83 FEET, A CENTRAL ANGLE OF 00°37'01", AND A CHORD OF 124.74 FEET WHICH BEARS NORTH 78°51'06" EAST TO THE NORTHEAST CORNER OF SAID PARCEL "B" OF THE VILLAGES OF TRINITY LAKES, ALSO BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID COMMUNITY DRIVE; THENCE RUN ALONG THE EASTERLY BOUNDARY OF SAID PARCEL "B" OF THE VILLAGES OF TRINITY LAKES, ALSO BEING THE WESTERLY RIGHT-OF-WAY LINE OF SAID COMMUNITY DRIVE THE FOLLOWING 3 COURSES: (1) RUN 29.32 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, BEING NON-TANGENT WITH THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 120.45 FEET, A CENTRAL ANGLE OF 13°56'53", AND A CHORD OF 29.25 FEET WHICH BEARS SOUTH 32°44'17" WEST; (2) THENCE RUN SOUTH 39°42'44" WEST, A DISTANCE OF 38.76 FEET TO A POINT OF CURVATURE OF A CURVE TO THE LEFT; (3) THENCE RUN 156.92 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 161.65 FEET, A CENTRAL ANGLE OF 55°37'08", AND A CHORD OF 150.83 FEET WHICH BEARS SOUTH 11°54'10" WEST TO THE MOST SOUTHERLY CORNER OF SAID PARCEL "B" OF THE VILLAGES OF TRINITY LAKES; THENCE CONTINUE TO RUN ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID COMMUNITY DRIVE, SOUTH 15°54'24" EAST, A DISTANCE OF 692.57 FEET TO THE POINT OF BEGINNING. CONTAINING 15.528 ACRE MORE OR LESS.



LOCATION MAP
NTS

- REVISIONS:
1. 10/14/2014 - REVISED PER PUBLIX COMMENTS
 2. 11/14/2014 - REVISED PER CLIENT COMMENTS
 3. 12/15/2014 - REVISED PER FDOT, COUNTY & SWFWMD COMMENTS
 4. _____
 5. _____
 6. _____

ARCHITECT:
BDG ARCHITECTS

100 SOUTH ASHLEY DRIVE, SUITE 100
TAMPA, FL 33602
(813) 323-9233

OWNER/
DEVELOPER:

50SEMBLER
YEARS Creating Retail Value.

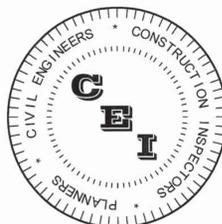
THE SHOPPES AT TRINITY LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL 33707
(728) 384-6000

ENGINEER:

CAMPO
ENGINEERING, INC.

1725 East 5th Avenue, Tampa, FL 33605
Phone (813) 215-7372 and Fax (813) 902-8782
www.campoengineering.com
info@campoengineering.com

FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726



Utility Owner	Contact	Phone Number	Utility Type
BRIGHT HOUSE NETWORKS, LLC	MIKE KIKER	PHONE: 813-862-0522 X 84263	CABLE TV
CLEARWATER GAS SYSTEMS	JORGE HERNANDEZ	PHONE: 727-562-4900 X 7423	GAS
DUKE ENERGY	SHARON DEAR	PHONE: 407-905-3321	ELECTRICITY
VERIZON FLORIDA, INC.	DAVID WYNNS	PHONE: 813-627-8343	TELEPHONE
LEVEL 3 COMMUNICATIONS LLC	-	PHONE: 877-366-8344 X 2	INTERNET
TAMPA BAY WATER	JON KENNEDY	PHONE: 813-929-4550	WATER
PASCO COUNTY UTILITIES	PAUL HAMAR	PHONE: 727-847-8145	WATER/SEWER
PASCO COUNTY TRAFFIC OPERATIONS DIVISION	ROBERT W RECK	PHONE: 727-847-8139	TRAFFIC OPERATIONS

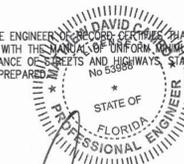
FDOT ACCESS PERMIT: 2014-A-798-33
FDOT DRAINAGE PERMIT: 2014-D-798-26

PDD APPROVED MARCH 9, 2015
PDD15-579
DEM

SHEET INDEX

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BY SIGNING AND SEALING THESE PLANS THE ENGINEER CERTIFIES THAT THE ROADWAY SYSTEM IS IN SUBSTANTIAL CONFORMANCE WITH THE MANUAL OF UNIFORM PRACTICE STANDARDS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE OF SUBJECTS AND HIGHWAYS, STATE OF FLORIDA, IN EFFECT AT THE TIME THE PLANS WERE PREPARED.



MATTHEW D. CAMPO, P.E. NO. 53988
January 16, 2015
DATE (SEAL)

CONSTRUCTION NOTES

SAFETY

- DURING THE CONSTRUCTION AND MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL.
- THE CONTRACTOR'S MAINTENANCE OF TRAFFIC PLAN MUST BE SUBMITTED AND APPROVED BY THE GOVERNMENTAL AGENCIES HAVING JURISDICTION PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
- LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ITS OWN SAFETY EQUIPMENT IN ACCORDANCE WITH ITS HEALTH & SAFETY PROGRAM AND ALL OTHER APPLICABLE LEGAL AND HEALTH AND SAFETY REQUIREMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING ITS EMPLOYEES AND SUBCONTRACTORS WITH ADEQUATE INFORMATION AND TRAINING TO ENSURE THAT ALL EMPLOYEES AND SUBCONTRACTORS' EMPLOYEES COMPLY WITH ALL APPLICABLE REQUIREMENTS. CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH ALL OCCUPATION SAFETY AND HEALTH REGULATIONS AS WELL AS THE ENVIRONMENTAL PROTECTION LAWS. THE FOLLOWING IS NOT TO BE PERCEIVED AS THE ENTIRE SAFETY PROGRAM BUT JUST BASIC REQUIREMENTS.
- ALL EXCAVATIONS BY THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF LABOR'S OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION RULES AND REGULATIONS. PARTICULAR ATTENTION MUST BE PAID TO THE CONSTRUCTION STANDARDS FOR EXCAVATIONS, 29 CFR PART 1926, SUBPART P.
- THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF "THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS" SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.
- ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AS NECESSARY TO MINIMIZE EROSION AND DOWNSTREAM CONSTRUCTION TO OBTAIN FIELD LOCATIONS OF BURIED UNDERGROUND UTILITIES. CALL SUNSHINE ONE CALL AT 811 TO ARRANGE FOR FIELD LOCATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THIS CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING AS NECESSARY. SHORING AND SHIELDING AND Dewatering METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.

EXISTING TREE PROTECTION NOTES:

- REQUIRED BARRICADES AND FLAGGING SHALL BE ERRECTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER AND REGULATORY AGENCIES PRIOR TO COMMENCEMENT OF LAND ALTERATION ACTIVITIES. BARRICADES SHALL REMAIN IN PLACE UNTIL ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED.
- DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, WITHIN THE DRIFLINE OF A TREE REMAINING ON SITE, UNLESS OTHERWISE APPROVED, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION, EXCEPT BY HAND, BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIFLINE OF A TREE TO REMAIN ON THE SITE.
- ADEQUATE PROTECTION MEASURES (I.E. HAY BALES, BARRIERS, SODDING AND SANDBAGGING) SHALL BE PROVIDED AS NECESSARY TO MINIMIZE EROSION AND DOWNSTREAM SEDIMENTATION CAUSED BY SURFACE WATER RUNOFF ON EXPOSED LAND SURFACES.
- ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS. THIS INFORMATION MUST BE CLEARLY IDENTIFIED ON THE CONSTRUCTION PLANS.

CLEARING/DEMOLITION

- PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN AS INDICATED IN THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH LOCAL TREE ORDINANCES AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREE SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE REGULATORY AGENCY OR THE OWNER.
- THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEED, MULCHED, SODDED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
- REMAINING EARTHWORK THAT RESULTS FROM CLEARING OR GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE IF REQUIRED, PROVIDED THAT THE MATERIAL IS DEEMED SUITABLE FOR CONSTRUCTION BY THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO BE EITHER STOCKPILED ON THE SITE AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING EXCESS EARTHWORK FROM THE SITE.
- ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIALS SHALL BE DISPOSED OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS.
- CONTRACTOR WILL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE AND WILL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL, PURSUANT TO ALL FEDERAL, STATE, COUNTY, CITY OR OTHER GOVERNMENT AGENCY REQUIREMENTS, OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES THAT WILL NOT BE INCORPORATED WITHIN THE NEW FACILITIES.

SITE PLAN AND COORDINATE GEOMETRY

- BOUNDARY SURVEY PREPARED BY LICENSED SURVEYOR.
- ALL POINTS AND MONUMENTS SHALL BE SURVEYED UPON MOBILIZATION TO VERIFY THEIR ACCURACY. ANY DISCREPANCIES DISCOVERED MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING.
- MONUMENTS AND OTHER SURVEY CONTROL POINTS SHALL BE PROTECTED FROM DAMAGE AND DISTURBANCE. IF ANY CONTROL POINTS ARE DAMAGED OR DISTURBED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND REPLACE THE CONTROL POINTS TO THEIR ORIGINAL CONDITION AT HIS OWN EXPENSE.
- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL FURNISH THE OWNER'S ENGINEER WITH COMPLETE "AS-BUILT" INFORMATION CERTIFIED BY A REGISTERED LAND SURVEYOR. THIS "AS-BUILT" INFORMATION SHALL INCLUDE INVERT ELEVATIONS, LOCATION OF FITTINGS, LOCATION OF STRUCTURES FOR ALL UTILITIES INSTALLED, AS WELL AS TOP OF BANK, TOE OF SLOPE AND GRADE BREAK LOCATIONS AND ELEVATIONS FOR POND AND DITCH CONSTRUCTION. NO ENGINEERS CERTIFICATIONS FOR CERTIFICATE OF OCCUPANCY PURPOSES WILL BE MADE UNTIL THIS INFORMATION IS RECEIVED AND APPROVED BY THE OWNER'S ENGINEER.

GENERAL NOTES

- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION RELATED PERMITS, INCLUDING BUT NOT LIMITED TO: RIGHT OF WAY PERMITS, PIPING PERMITS, MOT PERMITS, ETC. PRIOR TO CONSTRUCTION, AND SCHEDULE ANY NECESSARY INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS.
- ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO IN THESE PLANS SHALL BE OF THE LATEST REVISION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO THE OWNER'S ENGINEER FOR APPROVAL. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE.
- WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES & THEIR SUBCONTRACTORS.
- THE WATER, SANITARY SEWER, AND STORM DRAINAGE FACILITIES ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE REGULATORY AGENCY AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE REQUIRED PERMITS TO PERFORM WORK IN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES BEFORE ORDERING MATERIALS AND CASTING STRUCTURES.
- IT WILL BE NECESSARY TO EXAMINE, COORDINATE AND ADJUST ACCORDING TO THE PROPOSED LOCATIONS OF THE VARIOUS COMPONENTS OF THE SITE UTILITIES. THE LAYOUTS INDICATED IN THE PLANS ARE NOT EXACT AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT COORDINATION DRAWINGS SHOWING PIPE SIZES, STRUCTURES, AND LOCATION OF THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES & THEIR SUBCONTRACTORS.
- MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW.
- ADJUSTMENTS OF INLETS, JUNCTION BOXES, MANHOLE TOPS, WATER VALVES, WATER METERS, ETC. SHALL BE INCLUDED IN THE CONTRACTOR'S BID AND NO CLAIM SHALL BE MADE AGAINST THE OWNER OR ENGINEER FOR THESE ADJUSTMENTS, IF REQUIRED.
- OVERALL CLEANUP SHALL BE ACCOMPLISHED BY THE CONTRACTOR IN ACCORDANCE WITH REGULATORY AGENCY STANDARDS OR AS DIRECTED BY THE ENGINEER, ANY AND ALL EXPENSES INCURRED FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR OTHER ITEMS.
- THE CONTRACTOR SHALL ENDEAVOR TO PROTECT PRIVATE PROPERTY. ANY DAMAGE CAUSED BY THE CONTRACTOR IN THE PERFORMANCE OF HIS WORK SHALL BE CORRECTED TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE. PAYMENT SHALL NOT BE MADE FOR THIS WORK.
- ANY DAMAGE TO STATE, COUNTY, OR LOCAL ROADS CAUSED BY THE CONTRACTOR'S HAULING OR EXCAVATION EQUIPMENT SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE ENGINEER. PAYMENT SHALL NOT BE MADE FOR THIS WORK.
- ANY U.S.C. & G.S. MONUMENT WITHIN LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF IN DANGER OF DAMAGE, THE CONTRACTOR SHOULD NOTIFY THE OWNER'S ENGINEER.

PAVING AND GRADING

- ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER, THE OWNER'S ENGINEER, OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS TO BE BACKFILL WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
- ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOIL TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS OR THE REFERENCED SOILS REPORT.
- PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
- CONTRACTOR SHALL TRIM, TACK AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- CURBING WILL BE PLACED AT THE EDGE OF ALL PAVEMENT, AS SHOWN ON THE PLANS.
- REFER TO THE LATEST EDITION OF F.O.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL F.O.D.O.T. TYPE CURBING AND GUTTERS CALLED FOR IN THESE PLANS.
- CONTRACTOR TO PROVIDE A 1/2" TO 1" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENT OF CONCRETE AND OTHER MATERIALS (BUILDINGS, OTHER POURED CONCRETE, ETC.)
- ALL PAVEMENT MARKINGS IN RIGHT-OF-WAY AND STOP BARS SHALL BE MADE WITH PERMANENT THERMOPLASTIC AND SHALL CONFORM TO F.O.D.O.T. STANDARD INDEX NO. 17346, SHEETS 1-7. PARKING STALL STRIPING AND ON-SITE PRIVATE PAVEMENT MARKINGS TO BE TRAFFIC GRADE PAINT.
- THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOD OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE TESTING SCHEDULE LOCATED ON THIS SHEET. UPON COMPLETION OF THE WORK, SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN PLACE MATERIALS AS REQUIRED BY THESE PLANS AND THE VARIOUS AGENCIES. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COST OF SAID RETESTING.
- ALL UNDERGROUND UTILITIES MUST BE IN PLACE AND TESTED OR INSPECTED PRIOR TO BASE AND PAVEMENT CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE EROSION CONTROL AND SEDIMENTATION BARRIER (SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION, THE CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.
- IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION OR OTHER ACCEPTABLE METHODS.

DRAINAGE

- ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH FOOT ROAD CROSSINGS, FIELD DENSITIES FOR SANITARY LINES SHALL BE STAGGERED UNLESS SHOWN ON PLANS.
- PIPE LENGTHS SHOWN ARE APPROXIMATE.
- ALL DRAINAGE STRUCTURE GRATES AND COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
- ALL STORM DRAINAGE PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
- THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR MAY BE REQUIRED TO RECLEAN PIPES AND INLETS FOR THESE PURPOSES.

SANITARY SEWER

- SEE PIPE SEPARATION REQUIREMENTS, THIS SHEET.
- ALL SANITARY SEWER MAINS AND LATERALS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
- ALL ON SITE PVC GRAVITY SANITARY SEWER PIPE SHALL BE MADE OF MATERIAL HAVING A CELL CLASSIFICATION OF 12454 B, 12454 C OR 13364 B AS DEFINED IN ASTM D-1784. PVC PIPE AND FITTINGS USED IN THE GRAVITY SYSTEM SHALL MEET THE REQUIREMENTS OF ASTM D3034 SDR 35 TO A DEPTH OF 15' AND SDR 26 AT A DEPTH BEYOND 15'.
- ALL ON SITE DUCTILE IRON PIPE SHALL BE CLASS 52 AND SHALL RECEIVE INTERIOR AND EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.6, A 21.8, OR A 21.51.
- ALL SANITARY SEWER WORK SHALL CONFORM WITH APPLICABLE AGENCY STANDARDS AND SPECIFICATIONS, LATEST EDITION THERE OF.
- PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW SANITARY SEWER LINES TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES NEAR THE POINT OF CONNECTION AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES WITH DESIGN INFORMATION SHOWN IN THESE PLANS.
- ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO PLACEMENT OF BASE AND PAVING AND AGAIN PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS.
- THE CONTRACTOR SHALL PERFORM A CLOSED CIRCUIT TELEVISION INSPECTION ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION PRIOR TO FINAL ACCEPTANCE.
- ALL WASTE-WATER LATERALS WILL A MINIMUM OF 36" COVER AT THE RIGHT-OF-WAY LINE.

PIPE SEPARATION REQUIREMENTS:

FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATER MAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR TREATED DRINKING WATER; FIRE HYDRANT LEADS; AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.

1. HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS

- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART II OF CHAPTER 62-610, F.A.C.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET AND PREFERABLY TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0066(2), F.S., AND RULE 64E-6.002, F.A.C.

2. VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.

- A NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

3. SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES

- A NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE.
- EFFECTIVE AUGUST 28, 2003, WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A STORM SEWER MANHOLE OR INLET STRUCTURE.

4. SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.

- NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0066(2), F.S., AND RULE 64E-6.002, F.A.C.

WATER DISTRIBUTION

- SEE PIPE SEPARATION REQUIREMENTS, THIS SHEET.
- ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
- ALL WATER SYSTEM WORK SHALL CONFORM WITH LOCAL REGULATORY AGENCY STANDARDS AND SPECIFICATIONS.
- CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER TO BE RESOLVED BY ADJUSTING THE WATER LINES AS NECESSARY AND PER PIPE SEPARATION REQUIREMENTS NOTED THIS SHEET.
- ALL ON SITE PVC WATER MAINS 4 INCHES THROUGH 12 INCHES SHALL BE IN ACCORDANCE WITH AWWA C-900 AND SHALL BE CLASS 150 SDR 18. ALL ON-SITE PVC WATER MAINS 2" TO 3" SHALL BE CLASS 1120 AND MEET REQUIREMENTS OF SDR 21 IN ACCORDANCE WITH ASTM C-2241. WATER MAINS SMALLER THAN 1 1/2" SHALL BE CLASS 1120 OR 1220 SCHEDULE 80 AND MEET REQUIREMENTS OF ASTM D-1785.
- ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI STANDARD A21.51, MINIMUM CLASS 50. JOINTS FOR DUCTILE IRON PIPE SHALL BE MECHANICAL OR PUSH-ON JOINTS. PIPE SHALL HAVE AN EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A21.51. PIPE INTERIOR SHALL HAVE A CEMENT MORTAR LINING WITH AN ASPHALTIC SEAL COAT CONFORMING TO AWWA/ANSI C104/A21.4. THE WEIGHT AND CLASS DESIGNATION SHALL BE PAINTED IN WHITE ON THE EXTERIOR SURFACE OF ALL PIPE AND FITTINGS. MANUFACTURER'S CODE OR SERIAL NUMBER SHALL BE PROVIDED ON THE BELL OF EACH PIPE JOINT.
- ALL DUCTILE FITTINGS SHALL BE MECHANICAL JOINT WITH A MINIMUM PRESSURE RATING OF 250 PSI AND SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA STANDARD A21.10/C110. ALL FITTING SHALL BE COATED AND LINED AS SPECIFIED ABOVE FOR DUCTILE IRON PIPE.
- RESTRAINED JOINTS SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS AS SHOWN ON DETAILS.
- ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS, CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL DEVELOPER/OWNER HAS TESTED AND ACCEPTED BY THE OWNER'S ENGINEER. PRESSURE TESTS TO BE IN ACCORDANCE WITH LOCAL REGULATORY AGENCY SPECIFICATIONS. CONTRACTOR TO NOTIFY OWNER'S ENGINEER AND LOCAL INSPECTORS 48 HOURS IN ADVANCE OF PERFORMING TESTS.
- CONTRACTOR TO PERFORM CHLORINATION AND BACTERIOLOGICAL SAMPLING AND OBTAIN CLEARANCE OF DOMESTIC WATER SYSTEM. COPIES OF ALL BACTERIOLOGICAL TESTS TO BE SUBMITTED TO OWNER'S ENGINEER.
- IN CONSIDERATION OF PASCO COUNTY'S AGREEMENT TO PROVIDED POTABLE WATER AND/OR SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, DEVELOPER/OWNER, AND ITS SUCCESSORS AND ASSIGNS, AGREE TO THE FOLLOWING:
 - IN THE EVENT OF PRODUCTION FAILURE OR SHORTFALL BY TAMPA BAY WATER, AS SET FORTH IN SECTION 3.19 OF THE INTERLOCAL AGREEMENT CREATING TAMPA BAY WATER, DEVELOPER/OWNER SHALL TRANSFER TO PASCO COUNTY ANY AND ALL WATER USE PERMITS OR WATER USE RIGHTS THE DEVELOPER/OWNER MAY HAVE TO USE OR CONSUME SURFACE OR GROUND WATER WITHIN PASCO COUNTY.
 - PRIOR TO DEVELOPER/OWNER SELLING WATER OR WATER USE PERMITS OR WATER USE RIGHTS, DEVELOPER/OWNER SHALL NOTIFY PASCO COUNTY, AND PASCO COUNTY SHALL HAVE A RIGHT OF FIRST REFUSAL TO PURCHASE SUCH WATER OR WATER USE PERMITS OR WATER USE RIGHTS.

CONTRACTOR PERMIT LIST

- CONTRACTOR TO PULL ALL RIGHT OF WAY USE PERMITS FOR PASCO COUNTY AND FDOT.
- CONTRACTOR TO SCHEDULE PASCO COUNTY PRE-CON MEETING AND NOTIFY ENGINEER.
- CONTRACTOR TO OBTAIN ANY SITE PIPING PERMITS.
- CONTRACTOR TO OBTAIN TREE REMOVAL / CLEARING PERMIT FOR PASCO COUNTY.
- CONTRACTOR MUST HAVE MOT CERTIFIED FIELD PERSONNEL.
- A BOND OR LETTER OF CREDIT MAY BE REQUIRED.
- INSURANCE CERTIFICATE IS REQUIRED TO WORK IN ROW.
- A LICENSE IS REQUIRED FOR UNDERGROUND UTILITIES INSTALLATIONS.

SC-1 TESTING SCHEDULE

NOTE: GOVERNING AGENCY REQUIREMENTS SUPERSEDE THESE REQUIREMENTS.

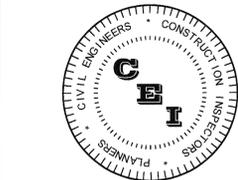
ITEM	TEST	TEST FREQUENCY
EMBANKMENT	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER SOIL TYPE
	95% OF MODIFIED PROCTOR (AASHTO T-160-57, ASTM D-1557)	ONE PER 500 FEET HORIZONTALLY, IN 12 INCH LIFTS
UTILITY TRENCH BACKFILL	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER SOIL TYPE
	OVER PIPELINES AND AROUND STRUCTURES FROM R.O.W. LINE TO R.O.W. LINE	**
UTILITY TRENCH BACKFILL	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER SOIL TYPE
	OVER PIPELINES AND AROUND STRUCTURES OUTSIDE THE R.O.W.	**
STABILIZED SUBGRADE	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER MATERIAL TYPE
	MINIMUM 40 LBR	** PER MATERIAL TYPE
BASE (OTHER THAN SOIL CEMENT)	98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T160-57 (ASTM D1557-70) - NO TOLERANCE	***
	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER SOURCE
CONCRETE	MINIMUM 100 LBR	PER SOURCE
	98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T160-57 (ASTM D1557-70) - NO TOLERANCE	*** EACH LIFT
ASPHALTIC CONCRETE	GRADATION, ATTERBURG LIMITS	PER SOURCE
	SUMP TEST	ONE PER SET OF CYLINDERS
CONCRETE	COMPRESSIVE STRENGTH CYLINDERS	ONE SET OF THREE (3) CYLINDERS FOR 100 CUBIC YARDS OR FRACTION THEREOF
	AIR CONTENT	ONE PER SET OF CYLINDERS
ASPHALTIC CONCRETE	AGGREGATE ANALYSIS	ONE PER DESIGN
	DESIGN MIX	ONE PER TYPE
CONCRETE	BITUMEN CONTENT	ONE PER DAY
	GRADATION STABILITY FLOW	ONE PER DAY
CONCRETE	PROPERTIES OF IN PLACE MATERIALS (MARSHALL)	ONE PER DAY
	THICKNESS	***
CONCRETE	95% OF LAB DENSITY	***

* TESTS SHALL BE LOCATED NO MORE THAN 500 FEET APART. TESTS SHALL BE PERFORMED ON EACH LIFT, EXCEPT THAT TESTS SHALL NOT BE FURTHER APART THAN ONE (1) FOOT VERTICALLY. FIELD DENSITIES SHALL BE TAKEN OVER ALL ROAD CROSSINGS, FIELD DENSITIES FOR SANITARY LINES SHALL BE STAGGERED TO INCLUDE RESULTS OVER SERVICE LATERALS. THERE SHALL BE A MINIMUM OF ONE (1) TEST SERIES FOR EACH 12 INCHES OF LIFT OVER PIPELINE BETWEEN MANHOLES. TESTS AROUND STRUCTURES SHALL BE SPRALED IN 12 INCH LIFTS.

GENERAL LANDSCAPE NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES, BEFORE PERFORMING ANY WORK. ANY CONFLICTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR RESOLUTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION AND PROTECTION OF ALL SITE CONDITIONS TO REMAIN FROM DAMAGE DUE TO HIS WORK. IN THE EVENT OF ANY DAMAGE SHALL BE COMPLETELY REPAIRED TO ITS ORIGINAL CONDITION. ALL COST OF SUCH WORK SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED DAMAGE OR CUTTING OF EXISTING TREES TO REMAIN ON SITE. DAMAGE MAY BE CAUSED BY OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. DAMAGE ALSO INCLUDES THE COMPACTION OF THE ROOT SYSTEM BY DRYING OR PARING OF THE DRIP-LINE OF TREES OR THE SPILLAGE OF DELETERIOUS CHEMICALS, OILS, DIESEL, ETC. WITHIN THE DRIP-LINE OF TREES.
- EXISTING TREES AND PALMS WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION AND SPECIFIED TO REMAIN ARE TO BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS WITH THESE BARRICADES PER LOCAL REGULATORY AGENCY REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE AN INTERNATIONAL SOCIETY OF ARBORIST (ISA) CERTIFIED ARBORIST WITH A MINIMUM OF 5 YEARS EXPERIENCE WITH SIMILAR PROJECTS TO DIRECT APPROPRIATE PRUNING (ROOTS, BRANCHES) AND/OR OTHER TREATMENT NECESSARY TO ENSURE THE HEALTH, VIABILITY AND ATTRACTIVENESS OF TREES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE CERTIFIED ARBORIST'S INSTRUCTIONS.
- ALL LANDSCAPE AREAS AND AROUND EXISTING TREES SHALL BE MULCHED UTILIZING SHREDED MELALEUCA OR PINE BARK NUGGETS (100% ORGANIC). MULCH SHALL BE INSTALLED TO A WETTED DEPTH OF 3". MULCH SHALL BE FREE OF EXTRANEOUS DEBRIS.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL COMPLY WITH ALL REQUIRED INSPECTIONS, GRADING STANDARDS AND PLANT REGULATIONS, AS SET FORTH BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES DIVISION OF PLANT INDUSTRY "GRASSES AND STANDARDS FOR NURSERY PLANTS", LATEST EDITION. ALL PLANT MATERIAL SHALL ALSO CONFORM TO ANSI STANDARDS FOR NURSERY STOCK (ANSI Z60.1-1990). THE MINIMUM GRADE FOR ALL PLANT MATERIALS SHALL BE FLORIDA #1.
- THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATER; OVER THE AMOUNT OF WATER SUPPLIED BY THE IRRIGATION SYSTEM, FOR THE ESTABLISHMENT TO ALL NEWLY INSTALLED TREES AND PALMS FOR 90 DAYS, COMMENCING IMMEDIATELY AFTER INSTALLATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST WATERING AMOUNTS AND FREQUENCY TO ENSURE PROPER ESTABLISHMENT OF ALL PLANT MATERIAL.
- PLANTING AREAS SHALL BE FREE OF EXTRANEOUS MATERIALS AND CAPABLE OF PERCOLATION PRIOR TO PLANTING AND PREPARED SOIL BACKFILL.
- ALL LANDSCAPE CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF THE LOCAL REGULATORY AGENCY LANDSCAPE CODE.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. THE OWNER RESERVES THE RIGHT TO DIRECT THE REMOVAL AND REPLACEMENT OF ANY ITEMS WHICH, IN HIS OPINION, DO NOT MEET INDUSTRY STANDARDS OR PRESENT AN UNCLEAN AND WORKMANLIKE APPEARANCE. PROVIDED THAT SUCH ITEMS CAN BE INSTALLED PROPERLY USING STANDARD INDUSTRY PRACTICES.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN HIS FINISHED WORK FROM THE TIME OF INSTALLATION IS COMPLETE TO THE TIME OF FINAL ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A 1-YEAR WARRANTY ON THE INSTALLED PLANT MATERIAL AND A 90-DAY WARRANTY ON SOD.
- PLANTING SOIL SHALL BE FERTILE, NATURAL TOPSOIL, TYPICAL TO THE LOCALITY, OBTAINED FROM WELL DRAINED AREAS. IT SHALL BE WITHOUT ADMIXTURE OF SUBSOIL OR CLAYS AND SHALL BE FREE OF STONES, LUMPS, STICKS, PLANTS, ROOTS, TOXIC SUBSTANCES OR OTHER EXTRANEOUS MATTER THAT MAY BE HARMFUL TO PLANT GROWTH OR INTERFERE WITH FUTURE MAINTENANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING OF SOILS AND MAKE THE NECESSARY ADJUSTMENTS OR AMENDMENTS FOR LONG TERM PLANT HEALTH AND VITALITY.
- SOD SHALL BE OF KIND AND PLACED AS SHOWN ON THE PLANS. SOD SHALL BE WELL WATERED WITH GRAY ROOTS. SOD SHALL BE IN 12"x14" RECTANGLES, HAVING A MINIMUM THICKNESS OF 2", AND SHALL BE FRESH, LIVE AND UNINJURED AT TIME OF PLANTING. SOD SHALL BE CERTIFIED AS FREE OF WEEDS AND OTHER GRASSES, HAVING SUFFICIENT SOIL MAT TO ADHERE FIRMLY TO ROOTS FOR HANDLING. SOD SHALL BE PLANTED WITHIN 72 HOURS OF BEING HARVESTED AND ROLLED IMMEDIATELY AFTER INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL STAKING OF TREES AND PALMS BASED ON SITE CONDITIONS, TO PROVIDE FOR THE STABILITY OF THE TREE AND PALM MATERIALS AND TO PROTECT THE HEALTH AND SAFETY OF THE PUBLIC/PROPERTY.
- THE AERATION SYSTEM SHALL MEET THE MINIMUM REQUIREMENTS OF LOCAL GOVERNING AGENCY AND UNDER THE SUPERVISION OF THE CERTIFIED ARBORIST. THE CERTIFIED ARBORIST SHALL ADJUST THE REQUIREMENTS OF THE AERATION SYSTEM IN THE FIELD TO ACCOUNT FOR ACTUAL FIELD CONDITIONS AND THE ROOT SYSTEM OF THE TREE.

PASCO COUNTY NOTE: A ROLLING STRAIGHT EDGE TEST IS REQUIRED PER PASCO COUNTY REQUIREMENTS. ALL ROADWAYS TO BE DEDICATED TO PASCO COUNTY MUST MEET COUNTY AND DOT STANDARDS.



CAMPO
ENGINEERING, INC.

FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

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PROJECT TITLE

THE SHOPPES AT TRINITY LAKES

PASCO COUNTY, FLORIDA

CLIENT

50 SEMBLER
YEARS Creating Retail Value.

THE SHOPPES AT TRINITY
LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE

ISSUE DATE: 6/2014

REVIEWED BY: MDC

DRAWN BY: BLM

DESIGNED BY: BLM

PROJECT NUMBER

14-026

Matthew D. Campo
NAME
STATE OF FLORIDA
DATE
07/26/2015

SHEET TITLE

GENERAL NOTES
(ON-SITE & COUNTY)

SHEET NUMBER

C2.1

EROSION CONTROL NOTES

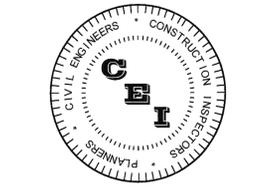
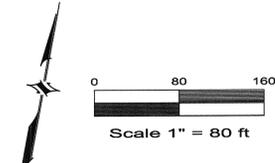
- THE INSTALLATION OF TEMPORARY EROSION CONTROL BARRIERS SHALL BE COORDINATED WITH THE CONSTRUCTION OF THE PERMANENT EROSION CONTROL FEATURES TO THE EXTENT NECESSARY TO ASSURE ECONOMIC, EFFECTIVE AND CONTINUOUS CONTROL OF EROSION AND WATER POLLUTION THROUGHOUT THE LIFE OF THE CONSTRUCTION PHASE.
- THE TYPE OF EROSION CONTROL BARRIERS USED SHALL BE GOVERNED BY THE NATURE OF THE CONSTRUCTION OPERATION AND SOIL TYPE THAT WILL BE EXPOSED. SILTY AND CLAYEY MATERIAL USUALLY REQUIRE SOLID SEDIMENT BARRIERS TO PREVENT TURBID WATER DISCHARGE. WHILE SANDY MATERIAL MAY NEED ONLY SILT SCREENS OR HAY BALES TO PREVENT EROSION. FLOATING TURBIDITY CURTAINS SHALL BE USED IN OPEN WATER SITUATIONS. DIVERSION DITCHES OR SWALES MAY BE REQUIRED TO PREVENT TURBID STORMWATER RUNOFF FROM BEING DISCHARGED TO WETLANDS OR OTHER WATER BODIES. IT MAY BE NECESSARY TO EMPLOY A COMBINATION OF BARRIERS, DITCHES AND OTHER EROSION/TURBIDITY CONTROL MEASURES IF CONDITIONS WARRANT.
- CONSTRUCTION OPERATIONS IN OR ADJACENT TO WETLANDS SHALL BE RESTRICTED TO THOSE AREAS IDENTIFIED IN THE PLANS AND IN THE SPECIFICATIONS.
- EXCAVATED MATERIAL SHALL NOT BE DEPOSITED IN THE WETLANDS OR IN A POSITION CLOSE ENOUGH THERETO TO BE WASHED AWAY BY HIGH WATER OR RUNOFF.
- WHERE PUMPS ARE TO BE USED TO REMOVE TURBID WATERS FROM CONSTRUCTION AREAS, THE WATER SHALL BE TREATED PRIOR TO DISCHARGE TO THE WETLANDS. TREATMENT METHODS INCLUDE AND ARE NOT LIMITED TO, TURBID WATER BEING PUMPED INTO GRASSED SWALES OR APPROPRIATE VEGETATED AREAS, SEDIMENT BASINS, OR CONFINED BY AN APPROPRIATE ENCLOSURE SUCH AS TURBIDITY BARRIERS, AND KEPT CONFINED UNTIL ITS TURBIDITY LEVEL MEETS STATE WATER QUALITY STANDARDS.
- THE CONTRACTOR SHALL SCHEDULE HIS OPERATIONS SUCH THAT THE AREA OF UNPROTECTED ERODIBLE EARTH EXPOSED AT ANY ONE TIME IS NOT LARGER THAN THE MINIMUM AREA NECESSARY FOR EFFICIENT CONSTRUCTION OPERATIONS, AND THE DURATION OF EXPOSED, UNCOMPLETED CONSTRUCTION TO THE ELEMENTS SHALL BE AS SHORT AS PRACTICABLE. CLEARING AND GRUBBING SHALL BE SO SCHEDULED AND SCHEDULED THAT GRADING OPERATIONS CAN FOLLOW IMMEDIATELY THEREAFTER, AND GRADING OPERATIONS SHALL BE SCHEDULED AND PERFORMED THAT PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER IF CONDITIONS ON THE PROJECT PERMIT.
- THE CONTRACTOR AND/OR OWNER'S REPRESENTATIVE SHALL PROVIDE ROUTINE MAINTENANCE OF PERMANENT AND TEMPORARY EROSION CONTROL FEATURES UNTIL THE PROJECT IS COMPLETE AND ALL BARED SOILS ARE STABILIZED.
- SILT FENCE SHALL BE LOCATED AT THE PERIMETER OF CONSTRUCTION LIMITS, AS DEFINED BY FIELD CONDITIONS.
- CONTRACTOR IS TO PROVIDE EROSION CONTROL AND SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION, CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.
- IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION OR OTHER ACCEPTABLE METHODS.
- ALL EXISTING SIDEWALK CRACKED OR DAMAGED SHALL BE REPLACED.

SURVEYOR'S NOTES

- BEARINGS ARE BASED UPON THE EASTERLY BOUNDARY LINE HAVING A PLATTED BEARING OF SOUTH 15°42'24" EAST.
- THIS SURVEY WAS PREPARED WITH INFORMATION TAKEN FROM TITLE COMMITMENT FILE #20140427, EFFECTIVE DATE JUNE 29, 2014, PREPARED BY STEWART TITLE GUARANTY COMPANY.
- SCHEDULE B-II EXCEPTIONS:
 - O.R. BOOK 3158, PAGE 971 AND O.R. BOOK 5133, PAGE 835 AND O.R. BOOK 5178, PAGE 412 AND O.R. BOOK 4075 PAGE 1374 ARE NOT APPLICABLE TO THE SURVEYED PROPERTY.
 - O.R. BOOK 4873, PAGE 826 AND O.R. BOOK 4873, PAGE 835 AND O.R. BOOK 8524, PAGE 1270 AND O.R. BOOK 8937, PAGE 2193 AND O.R. BOOK 8950, PAGE 1229 AFFECT THE SURVEYED PROPERTY AND ARE GRAPHICALLY SHOWN ON THE SURVEY.
 - O.R. BOOK 3960, PAGE 870 AND O.R. BOOK 4311, PAGE 1830 AND O.R. BOOK 1799, PAGE 337 AND O.R. BOOK 3761, PAGE 1190 AND O.R. BOOK 8488, PAGE 1138 AND O.R. BOOK 8765 PAGE 558 AND O.R. BOOK 4877, PAGE 311 AFFECT THE SURVEYED PROPERTY BUT ARE UNABLE TO BE GRAPHICALLY SHOWN ON THE SURVEY.
 - O.R. BOOK 8932, PAGE 3682 AND O.R. BOOK 9016, PAGE 713 AFFECT ONLY PARCEL 2 BUT ARE UNABLE TO BE GRAPHICALLY SHOWN ON THE SURVEY.
 - O.R. BOOK 8950, PAGE 1229 DOES NOT AFFECT THE PROPERTY SURVEYED BUT IS GRAPHICALLY SHOWN ON THE SURVEY.
 - MATTERS SHOWN IN PLAT BOOK 68, PAGES 83 THROUGH 88, THE VILLAGES OF TRINITY LAKES, AS PERTAINING TO PARCEL 2 ARE SHOWN ON THE SURVEY.
- ALL EASEMENTS, RESTRICTIONS, AND/OR RESERVATIONS AS STATED IN EXCEPTION #6 AFFECT THE PROPERTY SURVEYED BUT ARE UNABLE TO BE GRAPHICALLY SHOWN ON THE SURVEY.
- NO UNDERGROUND FOUNDATIONS, CROSS FENCES, OR IMPROVEMENTS, IF ANY, ARE SHOWN ON THIS SURVEY.
- THE ABOVE DESCRIBED PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE "X" AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 12101C0380F PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DATED SEPTEMBER 26, 2014.
- ELEVATIONS ARE BASED ON NGS BENCHMARK U-868 ELEVATION 40.87 NAVD 88 DATUM, CONVERTED TO ELEVATION 41.51' NGVD 29 DATUM. ALL ELEVATIONS SHOWN ON SURVEY ARE IN NGVD 29 DATUM.

LEGEND

- A = ARC LENGTH
- B.M. = BENCHMARK
- (C) = COMPUTED
- CB = CHORD BEARING
- CL = CHORD LENGTH
- C = CENTERLINE
- CONC. = CONCRETE
- (D) = AS PER DESCRIPTION
- ELEV. = ELEVATION
- F = FIELD
- F.B. = FIELD BOOK
- FCR = FOUND CAPPED IRON ROD #
- FCM = FOUND CONCRETE MONUMENT
- 4" ROUND LS#4048
- F.F. = FINISHED FLOOR
- FIP = FOUND IRON PIPE
- FIPD = FOUND IRON PIPE CRIMPED
- FIR = FOUND IRON ROD
- (M) = MEASURED
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- O.R. = OFFICIAL RECORD BOOK
- (P) = PLATTED
- P.P. = POWERPOLE
- PAVT = PAVEMENT
- R = RADIAL
- R/W = RIGHT OF WAY
- RNG. = RANGE
- SCM = SET CONCRETE MONUMENT
- SCIR = SET CAPPED IRON ROD 1/2" "LB#7867"
- SEC. = SECTION
- (TYP) = TYPICAL
- TWP. = TOWNSHIP
- +/- = MORE OR LESS
- Δ = CENTRAL ANGLE
- N&D = NAIL AND DISK
- X 23 = EXISTING ELEVATION
- UGELEC = UNDERGROUND ELECTRIC
- UGCATV = UNDERGROUND CABLE TV
- INV.MES = INVERT MITERED END SECTION
- RCP = REINFORCED CONCRETE PIPE
- LP = LIGHT POLE
- WLP = WOOD LIGHT POLE
- ARV = AIR RELEASE VALVE
- CPP = CONCRETE POWER POLE
- EHH = ELECTRIC HANDHOLE
- WPP = WOOD POWER POLE
- MLP = METAL LIGHT POLE
- GV = GATE VALVE
- TSIGN = TRAFFIC SIGN
- CP = CABBAGE PALM
- O = OAK
- M = MAPLE
- [Symbol] = CONCRETE
- [Symbol] = ASPHALT TO REMAIN
- [Symbol] = ASPHALT TO BE REMOVED



CAMPO
ENGINEERING, INC.

FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL. 33605
PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE

THE SHoppes AT TRINITY LAKES

PASCO COUNTY, FLORIDA

CLIENT

50SEMBLER
YEARS Creating Retail Value.

THE SHoppes AT TRINITY LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE
1	PER COUNTY COMMENTS	12/15/14

ISSUE DATE: 6/2014
REVIEWED BY: MDC
DRAWN BY: BLM
DESIGNED BY: BLM

PROJECT NUMBER

14-026

Matthew D. Campo
NAME
STATE OF FLORIDA
LICENSE NO. 53988
DATE 1/16/2015

SHEET TITLE

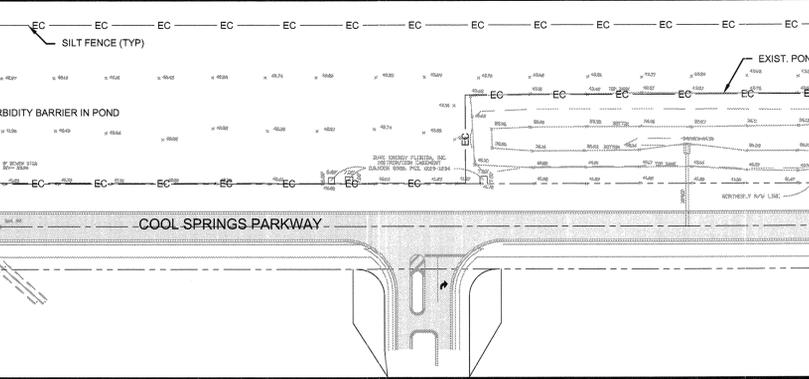
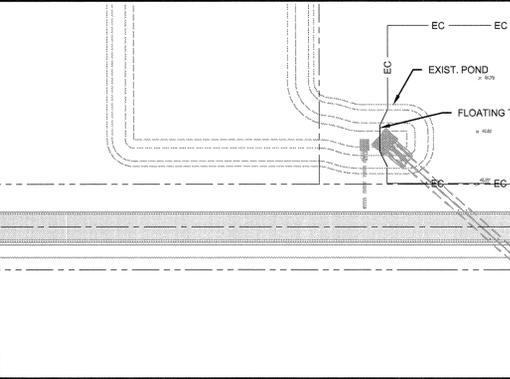
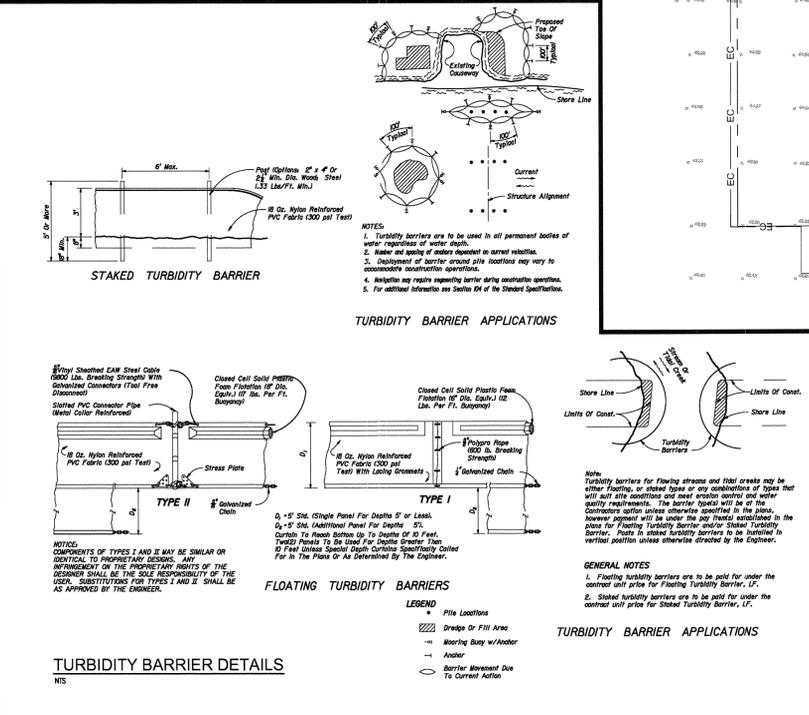
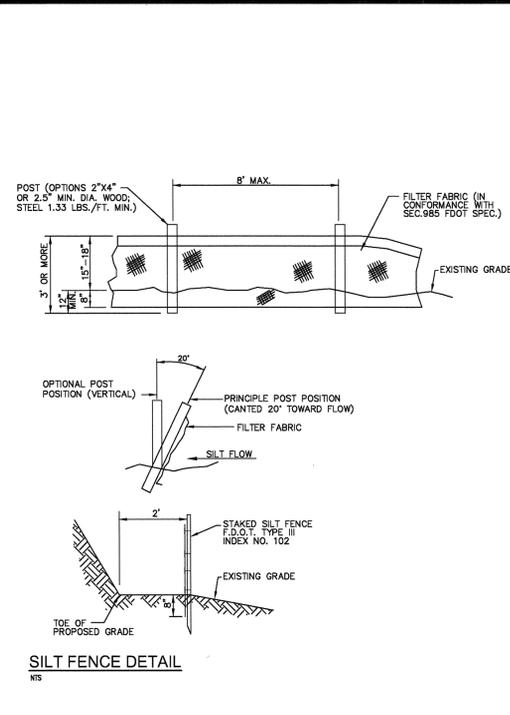
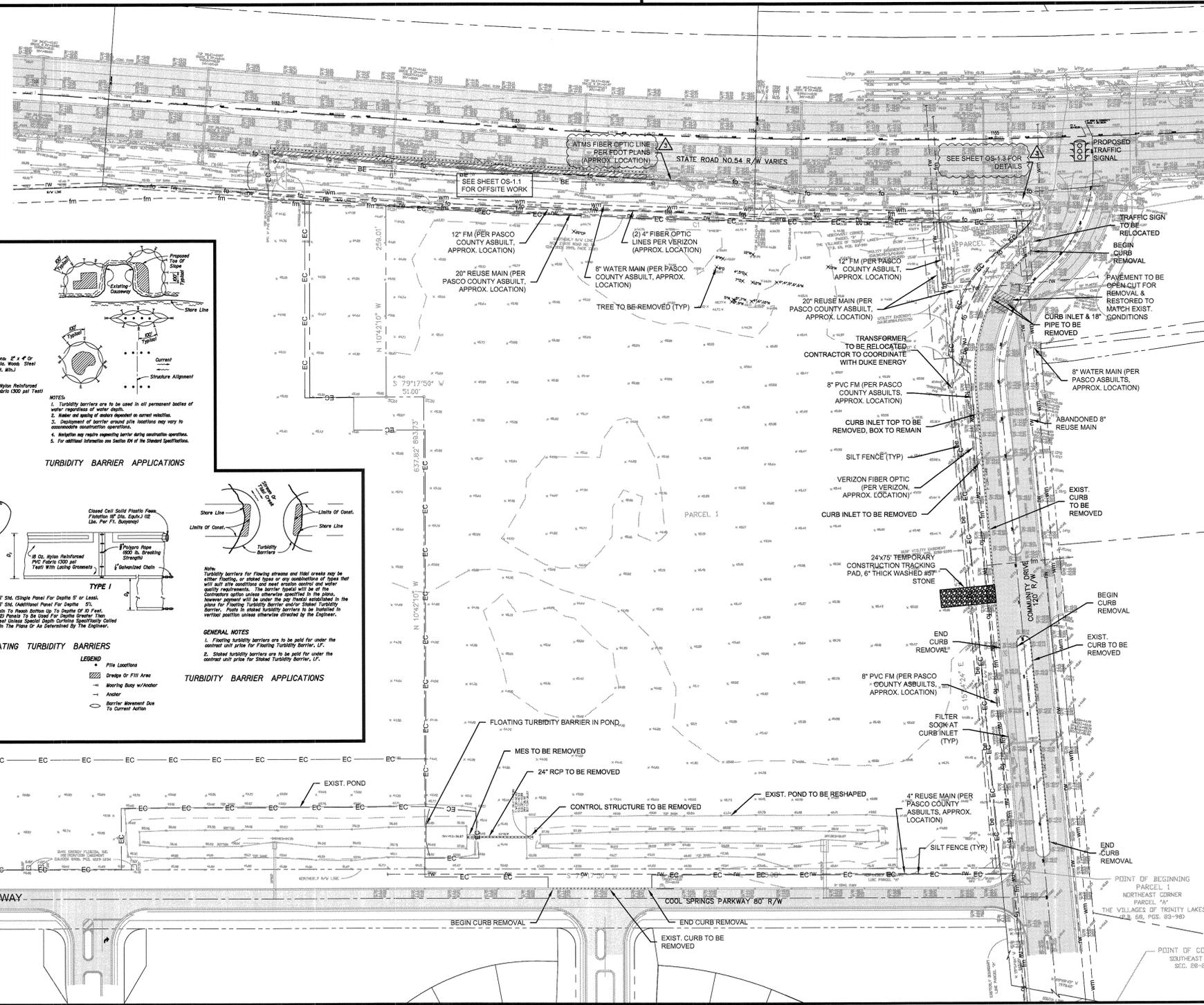
EXISTING CONDITIONS, DEMO & EROSION CONTROL PLAN

SHEET NUMBER

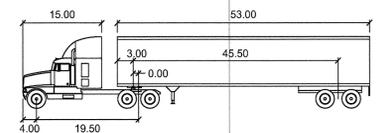
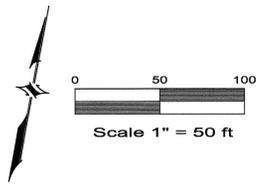
C3.1

PASCO COUNTY NOTE

IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATION, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OR THE RESOURCES FOUND ON THE SITE.

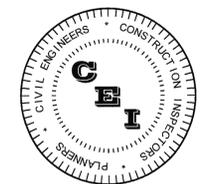
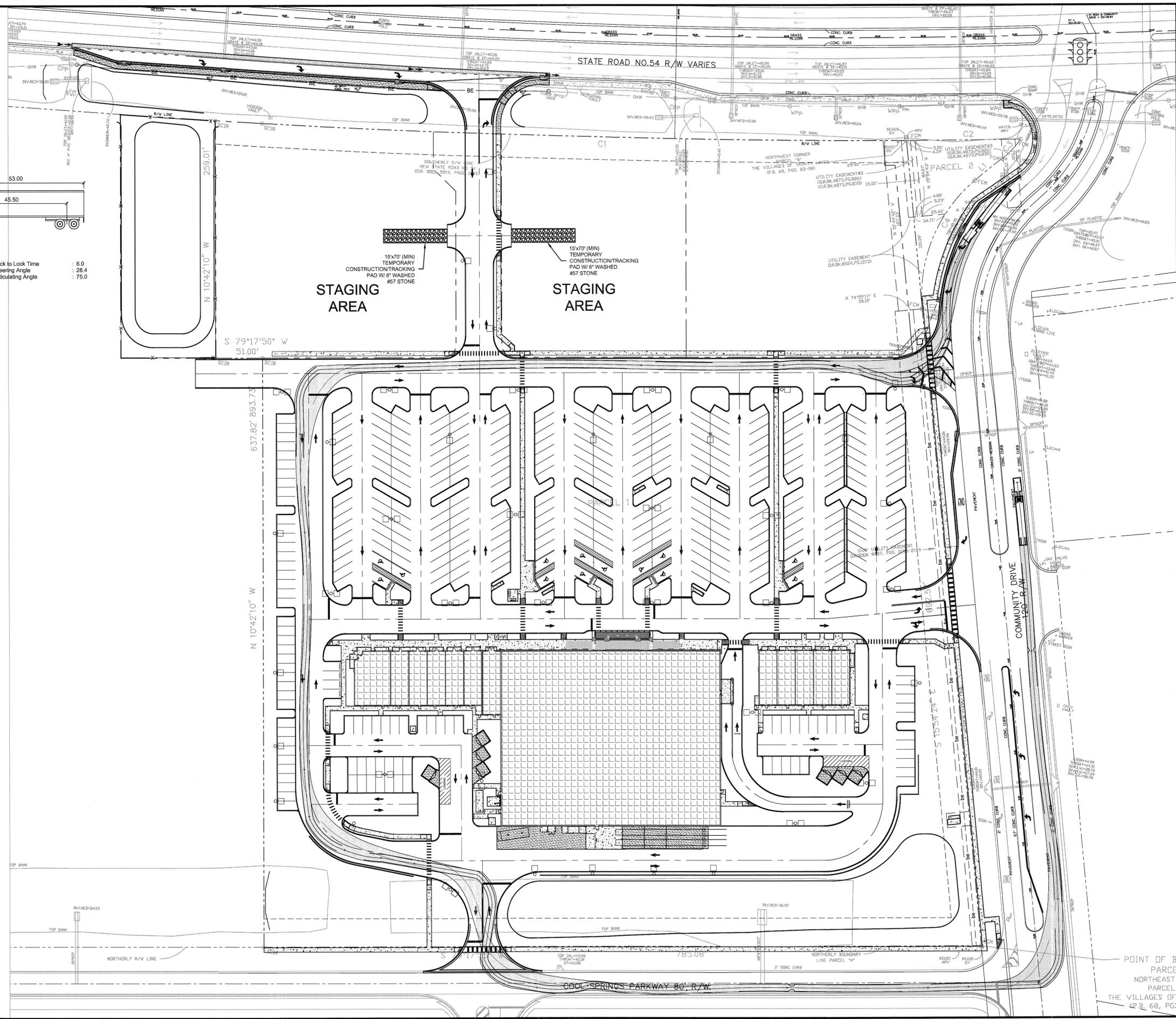


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WB-67

Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		



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PASCO COUNTY, FLORIDA

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REVISIONS

NO.	DESCRIPTION	DATE

ISSUE DATE: 6/2014
REVIEWED BY: MDC
DRAWN BY: BLM
DESIGNED BY: BLM

PROJECT NUMBER
14-026

Matthew D. Campo
NAME
No. 33988
DATE 01/06/2015
SEAL NO. 33988

SHEET TITLE
TEMPORARY TRUCK ACCESS & STAGING PLAN

SHEET NUMBER
C3.2

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POINT OF B
PARCE
NORTHEAST
PARCEL
THE VILLAGES OF
4P.B. 68, PGS

SITE DATA TABLE

PROPERTY PIN:	28-26-17-0000-0030-0030, 28-26-17-0000-0030-0060, 28-26-17-0000-0030-0060 & 28-26-17-0000-0030-0100	REQUIRED SETBACKS: FRONT (NORTH): 25' SIDE (WEST) (INTERNAL): SIDE (EAST): 30' REAR (SOUTH): 30'	IMPERVIOUS AREA: PROPOSED TOTAL: SEE TABLE OVERALL PROJECT: PROPOSED PAVING/PARKING COVERAGE: 254,885 SF (88.11%) LOT 4: PROPOSED PAVING/PARKING COVERAGE: 254,885 SF (81.39%)
LOCATION:	SECTION 28, TOWNSHIP 26, RANGE 17	LANDSCAPE BUFFERS: FRONT (NORTH-TRINITY BLVD): TYPE 'D' 20' WIDE SIDE (WEST-INTERNAL): TYPE 'A' 10' WIDE SIDE (EAST-INTERNAL): TYPE 'A' 10' WIDE SIDE (EAST-COMMUNITY DRIVE): TYPE 'D' 20' WIDE REAR (SOUTH-COOL SPRINGS): TYPE 'D' 20' WIDE	FLOOR AREA RATIO: SEE TABLE; FAR BASED ON A MAXIMUM ALLOWABLE OF 80,000 SF FLOOD ZONE: FLOOD ZONE 'X' AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PLANE NUMBER 12101020360F PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DATED SEPTEMBER 26, 2014.
JURISDICTION:	PASCO COUNTY, FLORIDA	REQUIRED PARKING: 1 SPACE PER 300 SF OF FLOOR AREA 61,831 SF FLOOR AREA / 206 SPACES	
ZONING:	MPUD (FOLLOWING C 2 STANDARDS) TRINITY COMMUNITIES SUBPARCEL 157 RZ 3759 ORIGINAL APPROVAL 1/26/1988	ALTERNATE PARKING TABULATION (IF RESTAURANTS ARE TENANTS): 1 SPACE PER 100 SF OF FLOOR AREA 4,734 SF POSSIBLE RESTAURANT SPACE / 100 = 48 SPACES 97,007 SF REMAINING: 100 = 191 SPACES TOTAL REQUIRED = 239 SPACES	
ADDRESS:	NOT ASSIGNED	REQUIRED BICYCLE PARKING: 0.02 SPACE PER PARKING SPACE 0.02 x 388 SPACES = 8 SPACES	
EXISTING LANDUSE:	UNDEVELOPED	PROPOSED PARKING: 300 REGULAR SPACES 13 HANDICAP SPACES 388 TOTAL SPACES	
FUTURE LANDUSE:	ROR	10% REQUIRED TO BE PERVIOUS = 37 SPACES	
MAX. DENSITY:	80,000 SF MAX. SEE TABLE FOR ALLOWABLE FAR	PROPOSED BICYCLE PARKING: 8 SPACES	
MAX. BUILDING HEIGHT:	30' MAX. SINGLE STORY		
PROPOSED BUILDING:	SEE TABLE		

OVERALL PROJECT AREAS:

PROPOSED BUILDING:	61,831 S.F. ~ 9.24% - 1.42 AC.	PROPOSED BUILDING:	61,831 S.F. ~ 12.47% - 1.42 AC.
PROPOSED VEHICLE USE:	254,885 S.F. ~ 38.11% - 5.85 AC.	PROPOSED VEHICLE USE:	254,885 S.F. ~ 51.39% - 5.85 AC.
PROPOSED SW, CURB & DUMPSTER:	32,037 S.F. ~ 4.79% - 0.74 AC.	PROPOSED SW, CURB & DUMPSTER:	32,037 S.F. ~ 6.49% - 0.74 AC.
PROPOSED OPEN SPACE:	320,147 S.F. ~ 47.86% - 7.35 AC.	PROPOSED OPEN SPACE:	190,942 S.F. ~ 30.21% - 3.47 AC.
TOTAL PROPOSED SITE AREA:	668,900 S.F. ~ 100.00% - 15.38 AC.	TOTAL PROPOSED SITE AREA:	499,696 S.F. ~ 100.00% - 11.47 AC.

GENERAL NOTES

- TRINITY COMMUNITIES IS A MPUD AND ITS CONDITIONS WERE APPROVED BY THE BOARD OF COUNTY COMMISSIONERS JANUARY 26, 1988.
- THE LAND USE FOR TRINITY LAKES SHOWN ON THE PASCO COUNTY FUTURE LAND USE PLAN (2025) IS ROR. LAND IS CURRENTLY VACANT. THE MPUD PLAN MAP "H" DATED JUNE 23, 2009 SHOWS FLEX: COMMERCE PARK / COMMERCIAL, RESIDENTIAL, COMMERCIAL & OFFICE / COMMERCE PARK PARCELS.
- THERE ARE NO HISTORICAL RESOURCES LOCATED WITHIN THE PROJECT LIMITS.
- THERE ARE NO KNOWN WELLS/HEAD PROTECTION AREAS (WPA) WITHIN 1,000 FEET OF THE PROJECT.
- THE PROPOSED ACTIVITIES SHALL COMPLY WITH PASCO COUNTY DEVELOPMENT REGULATIONS (LATEST EDITION) INCLUDING THE TREE AND LANDSCAPE CODE, STORM WATER MANAGEMENT REGULATIONS AND FIRE CODES AT THE TIME OF PERMITTING.
- SIDEWALKS TO BE PROVIDED AND BUILT IN ACCORDANCE WITH PASCO COUNTY LAND DEVELOPMENT REGULATIONS (LATEST EDITION). ALL PROPOSED SIDEWALKS SHALL MEET ADA REQUIREMENTS.
- BUFFERING AND SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH PASCO COUNTY LAND DEVELOPMENT CODE.
- MAXIMUM BUILDING HEIGHT SHALL BE AS SHOWN.
- SOLID WASTE COLLECTION SHALL BE BY DUMPSTER PICK-UP AS SHOWN.
- THERE ARE NO WETLANDS OR CONSERVATION AREAS WITHIN THE PROJECT BOUNDARIES.
- ALL BUILDING CONSTRUCTION SHALL CONFORM TO THE 2010 FLORIDA BUILDING CODE.
- ALL EASEMENTS SHALL BE DEDICATED TO THE APPROPRIATE ENTITY AND ALL ROADS SHALL BE PRIVATE.
- CONTRACTOR SHALL UTILIZE THE SERVICES OF A LICENSED FLORIDA SURVEYOR IN ORDER TO STAKE OUT LOCATION AND GRADE OF ALL SITE IMPROVEMENTS BASED ON THE DIGITAL AUTOCAD FILES FOR THIS PROJECT PROVIDED BY ENGINEER.

PASCO COUNTY DEVELOPMENT REVIEW STANDARD SITE PLAN NOTES

- ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE PASCO COUNTY STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES SPECIFICATIONS, LATEST EDITION.
- ALL ON-SITE WATER AND SEWER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER-DEVELOPER.
- ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED, AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY-APPROVED SITE PLAN. APPROVAL IF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE.
- HANDICAP PARKING SPACES WILL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, OR OTHER APPLICABLE STANDARDS.
- THE ARCHITECT/ENGINEER CERTIFIES THAT THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.
- ALL ON-SITE PARKING SPACES WILL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. PARKING SPACES, DIRECTIONAL ARROWS, AND STOP BARS SHALL BE STRIPED IN WHITE. IT SHALL BE THE OWNER/DEVELOPER'S RESPONSIBILITY TO REPAIR AND STRIPE THE SITE IN ACCORDANCE WITH APPLICABLE STANDARDS.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THIS APPROVAL DOES NOT INCLUDE ANY WORK IN COUNTY RIGHT-OF-WAY. ALL RIGHT OF WAY WORK SHALL BE A FUNCTION OF AN APPROVED PASCO COUNTY RIGHT-OF-WAY USE PERMIT.
- ALL CLEAR-SITE AREAS SHALL BE KEPT FREE OF ANY SIGNAGE PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND-A-HALF (3-1/2) FEET IN HEIGHT.
- NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY COUNTY OR STATE RIGHT-OF-WAY WITHOUT ISSUANCE OF APPROPRIATE RIGHT-OF-WAY USE PERMIT.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THE SITE AND ITS SUBSEQUENT BUILDING PERMITS SHALL COMPLY WITH ALL ZONING/MPUD/PLD CONDITIONS.
- ALL STRUCTURES, INCLUDING BUFFER WALLS, RETAINING WALLS, SIGNAGE, ETC. REQUIRE SEPARATE BUILDING PERMITS BY CONTRACTOR/OWNER.
- IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATIONS, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OR THE RESOURCES FOUND ON THE SITE.
- LIGHTING NOTE: THERE WILL BE NO LIGHT SPILLAGE OR GLARE BEYOND THE PROJECT SITE.
- BUILDING PERMIT NOTE: PRIOR TO CONSTRUCTION, A BUILDING PERMIT SHALL BE OBTAINED FOR ALL STRUCTURES THAT HAVE A FOOTER, REGARDLESS OF SIZE, THROUGH PASCO COUNTY CENTRAL PERMITTING. (E INCLUDING BUT NOT INCLUDING BUILDINGS, ACCESSORIES, AND RETAINING WALLS)

SIGNING & MARKING NOTES:

- FLORIDA STATE STATUTE 316.0745 REQUIRES THAT ALL TRAFFIC CONTROL SIGNING AND MARKINGS ON PRIVATE PROPERTY OPEN TO THE GENERAL PUBLIC BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL PARKING SPACES, PAVEMENT ARROWS & STOP BARS SHALL BE STRIPED IN WHITE PER THE MUTCD.
- ALL HANDICAPPED PARKING SPACES SHALL BE SIGNED AND MARKED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS INDEX.

STORMWATER NOTES:

- SYSTEM IS PART OF ERP #492364.186 AND ALLOWS FOR 85% IMPERVIOUS.
- CURVE NUMBER: ALLOWABLE POST DEVELOPMENT CN = 95.3

PERMIT NUMBERS & DATES

- REZONING PETITION NO. 3759 (APPROVED JANUARY 26, 1988)
- REZONING PETITION NO. GM5-043 (APPROVED NOVEMBER 17, 1992)
- REZONING PETITION ZCC93-38 (APPROVED FEBRUARY 26, 1994)
- REZONING PETITION 93-22R (APPROVED NOVEMBER 17, 1992)
- REZONING AMENDMENT NO. ZCC 94-197 (APPROVED MAY 24, 1994)
- REZONING AMENDMENT NO. GM 95-371 (APPROVED MAY 25, 1995)
- REZONING AMENDMENT NO. GM95-575 (APPROVED AUGUST 22, 1995)
- REZONING AMENDMENT NO. GM 97-295 (APPROVED MAY 25, 1997)
- REZONING PETITION NO. 5241 (APPROVED APRIL 28, 1998)
- REZONING PETITION NO. GM06-07 (APPROVED OCTOBER 25, 2005)
- REZONING PETITION NO. ZN09-310 (NON-SUBSTANTIAL) (APPROVED JUNE 23, 2009)

INDIVIDUAL LOT AREA BREAKDOWN CHART:

LOT	1	2	3	4	Total
TOTAL ACREAGE	1.28	1.11	1.49	11.47	15.36
Sq. Ft.	55,869	48,500	64,836	499,695	668,900
Allowable F.A.R.	0.11	0.12	0.09	0.12	0.45
ISR (Impervious Surface Ratio) based on 85% Max.	47,488	41,225	55,111	424,741	568,565
Proposed Building Square Footage / *Allowable Square Footage	*6,056	*6,056	*6,056	61,831	80,000

TRINITY COMMUNITIES - MASTER DEVELOPMENT PLAN MAP "H" DATED 06/23/09

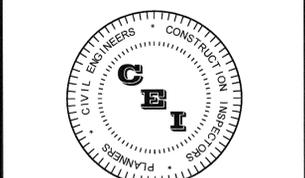
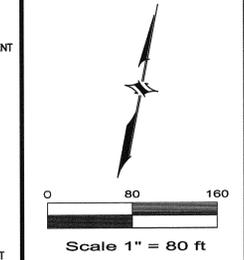
9 = COMMERCIAL
12 = OFFICE / COMMERCE PARK
13 = FLEX: COMMERCE PARK / COMMERCIAL / RESIDENTIAL

18 ft. - COMMERCIAL CONDITIONS, FROM RZ3759, APPROVED BY BOCC ON 1/26/88 SHALL APPLY.

NOTE: DOUBLE FRONTAGE LOTS SHALL BE APPROVED ONLY TO SEPARATE A DEVELOPMENT FROM ARTERIAL, COLLECTOR, AND/OR MAJOR LOCAL ROADS, OR TO OVERCOME DISADVANTAGES OF TOPOGRAPHY AND ORIENTATION. WHERE DOUBLE FRONTAGE LOTS ARE CREATED, THEY SHALL ALL FRONT AWAY FROM THE ARTERIAL, COLLECTOR, AND/OR MAJOR LOCAL ROADS. THE REAR OF THE LOTS SHALL BE BUFFERED FROM THE ABUTTING ROADWAY IN ACCORDANCE WITH THIS CODE. ACCESS RIGHTS SHALL BE DEDICATED TO THE COUNTY, AND A NON-INGRESS/EGRESS EASEMENT SHALL BE RECORDED ON THE PLAT. A NOTE STATING VEHICULAR ACCESS RIGHTS DEDICATED TO PASCO COUNTY SHALL BE LETTERED ALONG THE RIGHT-OF-WAY LINE OF THE PLAT ADJACENT TO THE LOTS AFFECTED. A NON-INGRESS/EGRESS EASEMENT SHALL BE RECORDED ON THE PLAT.

LEGEND

	PROPOSED BUILDING		PROPOSED OFF-SITE FOOT ASPHALT PAVEMENT
	PROPOSED 4" THK. CONCRETE		PROPOSED PERVIOUS CONCRETE PAVEMENT
	PROPOSED 6" THK. CONCRETE (MIN.)		EXISTING PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT		PROPERTY LINE
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT		BUILDING SETBACK
	PROPOSED OFF-SITE COUNTY ASPHALT PAVEMENT		LANDSCAPE BUFFER
	CROSS ACCESS & UTILITY EASEMENT PER REA		PARKING SPACE COUNT
	DRAINAGE EASEMENT PER REA		LAND USE PARCEL FROM MAP "H"
	FOOT ACCESS EASEMENT		FOOT ACCESS EASEMENT



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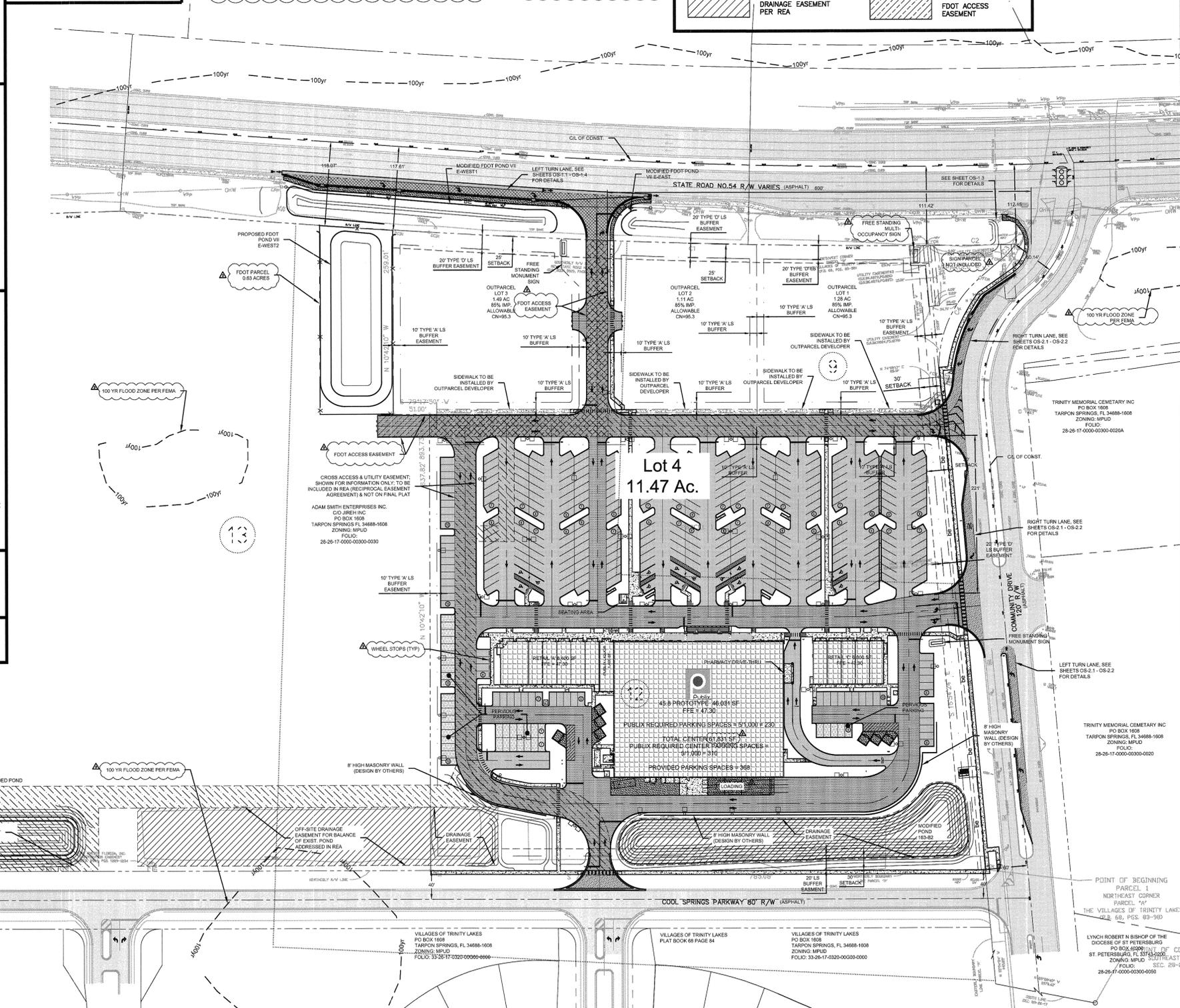
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PROJECT NUMBER
14-026

Matthew D. Campo 53988
NAME SEAL NO. DATE
STATE OF FLORIDA
PROFESSIONAL ENGINEER

PRELIMINARY SITE PLAN
SHEET NUMBER
C4.1



LEGAL DESCRIPTION

A PORTION OF SECTION 28, TOWNSHIP 26 SOUTH, RANGE 17 EAST, OF PASCO COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION 28, AND RUN ALONG THE SOUTH LINE OF SAID SECTION 28, NORTH 89°28'45" WEST, A DISTANCE OF 1973.42 FEET TO A POINT ON THE EASTERN BOUNDARY LINE OF PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, AS RECORDED IN PLAT BOOK 68, PAGES 83 THROUGH 98 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; THENCE RUN ALONG THE EASTERN BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, NORTH 15°34'24" WEST, A DISTANCE OF 445.85 FEET TO THE NORTHEAST CORNER OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, ALSO BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF COOL SPRINGS PARKWAY AS RECORDED IN SAID PLAT OF THE VILLAGES OF TRINITY LAKES, ALSO BEING A POINT ON THE WESTERN RIGHT-OF-WAY LINE OF COMMUNITY DRIVE AS RECORDED IN OFFICIAL RECORD BOOK 5891, PAGE 975 AND OFFICIAL RECORD BOOK 4250, PAGE 973 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, ALSO BEING THE POINT OF BEGINNING; THENCE LEAVING THE WESTERN RIGHT-OF-WAY LINE OF SAID COMMUNITY DRIVE, RUN ALONG THE NORTHERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, ALSO BEING THE NORTHERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, SOUTH 79°17'50" WEST, A DISTANCE OF 183.28 FEET; THENCE LEAVING THE NORTHERLY RIGHT-OF-WAY LINE OF SAID COOL SPRINGS PARKWAY, CONTINUE TO RUN ALONG THE NORTHERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, NORTH 10°42'10" WEST, A DISTANCE OF 580.49 FEET; THENCE CONTINUE TO RUN ALONG THE NORTHERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, SOUTH 79°17'50" WEST, A DISTANCE OF 334.39 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF TRINITY BOULEVARD AS RECORDED IN OFFICIAL RECORD BOOK 5522, PAGE 1332 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, SAID POINT ALSO BEING A POINT OF CURVATURE OF A CURVE TO THE LEFT; THENCE RUN ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID TRINITY BOULEVARD 163.3 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT, BEING NON-TANGENT WITH THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 300.00 FEET, A CENTRAL ANGLE OF 0°37'39.97", AND A CHORD OF 163.3 FEET WHICH BEARS NORTH 18°59'02" EAST; THENCE CONTINUE TO RUN ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID TRINITY BOULEVARD, NORTH 17°06'34" EAST, A DISTANCE OF 333.61 FEET TO A POINT ON THE SOUTHERLY LINE OF A 120 FEET WIDE FORMER ATLANTIC COASTLINE RAILROAD RIGHT-OF-WAY, ALSO BEING THE SOUTHERLY RIGHT-OF-WAY LINE OF NEW STATE ROAD 54 AS RECORDED IN OFFICIAL RECORD BOOK 5819, PAGE 1336 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, SAID POINT ALSO BEING A POINT OF CURVATURE OF A CURVE TO THE RIGHT; THENCE RUN ALONG THE SOUTHERLY LINE OF SAID 120 FEET WIDE FORMER ATLANTIC COASTLINE RAILROAD RIGHT-OF-WAY ALSO BEING THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID NEW STATE ROAD 54 THE FOLLOWING 2 COURSES: (1) RUN 480.52 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT, BEING NON-TANGENT WITH THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 11399.16 FEET, A CENTRAL ANGLE OF 0°24'56", AND A CHORD OF 480.52 FEET WHICH BEARS NORTH 76°28'08" EAST; (2) THENCE RUN NORTH 77°40'38" EAST, A DISTANCE OF 299.91 FEET; THENCE LEAVING THE SOUTHERLY LINE OF SAID 120 FEET WIDE FORMER ATLANTIC COASTLINE RAILROAD RIGHT-OF-WAY, CONTINUE ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID NEW STATE ROAD 54 THE FOLLOWING 3 COURSES: (1) RUN NORTH 83°25'13" EAST, A DISTANCE OF 282.78 FEET TO A POINT OF CURVATURE OF A CURVE TO THE LEFT; (2) THENCE RUN 861.32 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 11583.83 FEET, A CENTRAL ANGLE OF 0°45'37", AND A CHORD OF 861.12 FEET WHICH BEARS NORTH 81°72'25" EAST TO THE NORTHWEST CORNER OF PARCEL "B" OF SAID PLAT OF THE VILLAGES OF TRINITY LAKES; THENCE CONTINUE TO RUN ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID NEW STATE ROAD 54, ALSO BEING THE NORTHERLY BOUNDARY LINE OF SAID PARCEL "B" OF THE VILLAGES OF TRINITY LAKES, 124.74 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 11583.83 FEET, A CENTRAL ANGLE OF 0°37'01", AND A CHORD OF 124.74 FEET WHICH BEARS NORTH 78°51'06" EAST TO THE NORTHEAST CORNER OF SAID PARCEL "B" OF THE VILLAGES OF TRINITY LAKES; ALSO BEING A POINT ON THE WESTERN RIGHT-OF-WAY LINE OF SAID COMMUNITY DRIVE; THENCE RUN ALONG THE EASTERN BOUNDARY OF SAID PARCEL "B" OF THE VILLAGES OF TRINITY LAKES, ALSO BEING THE WESTERN RIGHT-OF-WAY LINE OF SAID

COMMUNITY DRIVE THE FOLLOWING 3 COURSES: (1) RUN 29.32 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, BEING NON-TANGENT WITH THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 120.45 FEET, A CENTRAL ANGLE OF 1°35'43.51", AND A CHORD OF 29.25 FEET WHICH BEARS SOUTH 32°44'17" WEST; (2) THENCE RUN SOUTH 39°42'44" WEST, A DISTANCE OF 38.78 FEET TO A POINT OF CURVATURE OF A CURVE TO THE LEFT; (3) THENCE RUN 156.92 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 161.65 FEET, A CENTRAL ANGLE OF 5°57'09", AND A CHORD OF 150.83 FEET WHICH BEARS SOUTH 11°54'10" WEST TO THE MOST SOUTHERLY CORNER OF SAID PARCEL "B" OF THE VILLAGES OF TRINITY LAKES; THENCE CONTINUE TO RUN ALONG THE WESTERN RIGHT-OF-WAY LINE OF SAID COMMUNITY DRIVE, SOUTH 15°54'24" EAST, A DISTANCE OF 692.57 FEET TO THE POINT OF BEGINNING, CONTAINING 38.978 ACRE MORE OR LESS.

LESS & EXCEPT:

COMMENCE AT THE SOUTHWEST CORNER OF SAID SECTION 28, AND RUN ALONG THE SOUTH LINE OF SAID SECTION 28, NORTH 89°28'45" WEST, A DISTANCE OF 1973.42 FEET TO A POINT ON THE EASTERN BOUNDARY LINE OF PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, AS RECORDED IN PLAT BOOK 68, PAGES 83 THROUGH 98 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; THENCE RUN ALONG THE EASTERN BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, NORTH 15°34'24" WEST, A DISTANCE OF 445.85 FEET TO THE NORTHEAST CORNER OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, ALSO BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF COOL SPRINGS PARKWAY AS RECORDED IN SAID PLAT OF THE VILLAGES OF TRINITY LAKES, ALSO BEING A POINT ON THE WESTERN RIGHT-OF-WAY LINE OF COMMUNITY DRIVE AS RECORDED IN OFFICIAL RECORD BOOK 5891, PAGE 975 AND OFFICIAL RECORD BOOK 4250, PAGE 973 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, ALSO BEING THE POINT OF BEGINNING; THENCE LEAVING THE WESTERN RIGHT-OF-WAY LINE OF SAID COMMUNITY DRIVE, RUN ALONG THE NORTHERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, ALSO BEING THE NORTHERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, SOUTH 79°17'50" WEST, A DISTANCE OF 183.28 FEET; THENCE LEAVING THE NORTHERLY RIGHT-OF-WAY LINE OF SAID COOL SPRINGS PARKWAY, CONTINUE TO RUN ALONG THE NORTHERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, NORTH 10°42'10" WEST, A DISTANCE OF 580.49 FEET; THENCE CONTINUE TO RUN ALONG THE NORTHERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, SOUTH 79°17'50" WEST, A DISTANCE OF 334.39 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF TRINITY BOULEVARD AS RECORDED IN OFFICIAL RECORD BOOK 5522, PAGE 1332 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, SAID POINT ALSO BEING A POINT OF CURVATURE OF A CURVE TO THE LEFT; THENCE RUN ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID TRINITY BOULEVARD 163.3 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT, BEING NON-TANGENT WITH THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 300.00 FEET, A CENTRAL ANGLE OF 0°37'39.97", AND A CHORD OF 163.3 FEET WHICH BEARS NORTH 18°59'02" EAST; THENCE CONTINUE TO RUN ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID TRINITY BOULEVARD, NORTH 17°06'34" EAST, A DISTANCE OF 333.61 FEET TO A POINT ON THE SOUTHERLY LINE OF A 120 FEET WIDE FORMER ATLANTIC COASTLINE RAILROAD RIGHT-OF-WAY, ALSO BEING THE SOUTHERLY RIGHT-OF-WAY LINE OF NEW STATE ROAD 54 AS RECORDED IN OFFICIAL RECORD BOOK 5819, PAGE 1336 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, SAID POINT ALSO BEING A POINT OF CURVATURE OF A CURVE TO THE RIGHT; THENCE RUN ALONG THE SOUTHERLY LINE OF SAID 120 FEET WIDE FORMER ATLANTIC COASTLINE RAILROAD RIGHT-OF-WAY ALSO BEING THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID NEW STATE ROAD 54 THE FOLLOWING 2 COURSES: (1) RUN 480.52 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT, BEING NON-TANGENT WITH THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 11399.16 FEET, A CENTRAL ANGLE OF 0°24'56", AND A CHORD OF 480.52 FEET WHICH BEARS NORTH 76°28'08" EAST; (2) THENCE RUN NORTH 77°40'38" EAST, A DISTANCE OF 299.91 FEET; THENCE LEAVING THE SOUTHERLY LINE OF SAID 120 FEET WIDE FORMER ATLANTIC COASTLINE RAILROAD RIGHT-OF-WAY, CONTINUE ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID NEW STATE ROAD 54 THE FOLLOWING 3 COURSES: (1) RUN NORTH 83°25'13" EAST, A DISTANCE OF 282.78 FEET TO A POINT OF CURVATURE OF A CURVE TO THE LEFT; (2) THENCE RUN 861.32 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 11583.83 FEET, A CENTRAL ANGLE OF 0°45'37", AND A CHORD OF 861.12 FEET WHICH BEARS NORTH 81°72'25" EAST TO THE NORTHWEST CORNER OF PARCEL "B" OF SAID PLAT OF THE VILLAGES OF TRINITY LAKES; THENCE CONTINUE TO RUN ALONG THE WESTERN RIGHT-OF-WAY LINE OF SAID COMMUNITY DRIVE, SOUTH 15°54'24" EAST, A DISTANCE OF 692.57 FEET TO THE POINT OF BEGINNING, CONTAINING 15.528 ACRE MORE OR LESS.

PRELIMINARY DEVELOPMENT PLAN GENERAL NOTES

- TRINITY COMMUNITIES IS A MPUD AND ITS CONDITIONS WERE APPROVED BY THE BOARD OF COUNTY COMMISSIONERS JANUARY 26, 1988.
- THE LAND USE FOR TRINITY LAKES SHOWN ON THE PASCO COUNTY FUTURE LAND USE PLAN (2025) IS ROR. LAND IS CURRENTLY VACANT. THE MPUD PLAN MAP "M" DATED JUNE 23, 2009 SHOWS FLEX: COMMERCIAL PARK / COMMERCIAL / RESIDENTIAL, COMMERCIAL & OFFICE / COMMERCIAL PARK PARCELS.
- THERE ARE NO HISTORICAL RESOURCES LOCATED WITHIN THE PROJECT LIMITS.
- THERE ARE NO KNOWN WELLHEAD PROTECTION AREAS (WPA) WITHIN 1,000 FEET OF THE PROJECT.
- THE PROPOSED ACTIVITIES SHALL COMPLY WITH PASCO COUNTY DEVELOPMENT REGULATIONS (LATEST EDITION) INCLUDING THE TREE AND LANDSCAPE CODE, STORM WATER MANAGEMENT REGULATIONS AND FIRE CODES AT THE TIME OF PERMITTING.
- SIDEWALKS TO BE PROVIDED AND BUILT IN ACCORDANCE WITH PASCO COUNTY LAND DEVELOPMENT REGULATIONS (LATEST EDITION). ALL PROPOSED SIDEWALKS SHALL MEET ADA REQUIREMENTS.
- BUFFERING AND SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH PASCO COUNTY LAND DEVELOPMENT CODE.
- THERE ARE NO WETLANDS OR CONSERVATION AREAS WITHIN THE PROJECT BOUNDARIES.
- ALL BUILDING CONSTRUCTION SHALL CONFORM TO THE 2010 FLORIDA BUILDING CODE.
- ALL EASEMENTS SHALL BE DEDICATED TO THE APPROPRIATE ENTITY AND ALL ROADS SHALL BE PRIVATE.
- POTABLE WATER AND SEWAGE DISPOSAL BY PASCO COUNTY. FIRE SERVICE BY PASCO COUNTY. ELECTRIC SERVICE BY DUKE ENERGY.
- STORMWATER SYSTEM IS PART OF ERP #492364166 AND ALLOWS FOR 80% INFILTRATION.

STANDARD FIRE PROTECTION NOTES

- ALL PROJECTS MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE NO. 46-51.
- FIRE HYDRANTS MUST BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.
- PER NFPA-1, 16.4.3.1.3: WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
- PER NFPA-1, 18.3.4.1: CLEARANCES OF 7 1/2 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4 FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.
- GATED ENTRANCES REQUIRE A SIREN OPERATING SYSTEM OR A 3M OPTICON SYSTEM FOR EMERGENCY ACCESS.

DOUBLE FRONTAGE LOTS SHALL BE APPROVED ONLY TO SEPARATE A DEVELOPMENT FROM ARTERIAL, COLLECTOR, AND/OR MAJOR LOCAL ROADS, OR TO OVERCOME UNDESIRABLE TOPOGRAPHY AND ORIENTATION. WHERE DOUBLE FRONTAGE LOTS ARE CREATED, THEY SHALL ALL FRONT FROM THE ARTERIAL, COLLECTOR, AND/OR MAJOR LOCAL ROADS. THE REAR OF THE LOTS SHALL BE BUFFERED FROM THE ABUTTING ROADWAY IN ACCORDANCE WITH THIS CODE. ACCESS RIGHTS SHALL BE DEDICATED TO THE COUNTY, AND A NON-INGRESS/EGRESS EASEMENT SHALL BE RECORDED ON THE PLAT. A NOTE STATING VEHICULAR ACCESS RIGHTS DEDICATED TO PASCO COUNTY SHALL BE LETTERED ALONG THE RIGHT-OF-WAY LINE OF THE PLAT ADJACENT TO THE LOTS AFFECTED. A NON-INGRESS/EGRESS EASEMENT SHALL BE RECORDED ON THE PLAT.

SITE DATA TABLE

PROPERTY PIN:	28-26-17-0000-0030-0030, 28-26-17-0000-0030-0060, 28-26-17-0000-0030-0000 & 28-26-17-0000-0030-0100
LOCATION:	SECTION 28, TOWNSHIP 26, RANGE 17
JURISDICTION:	PASCO COUNTY, FLORIDA
ZONING:	MPUD (FOLLOWING C-2 STANDARDS) TRINITY COMMUNITIES DRUMPLD 157 R2 3759 ORIGINAL APPROVAL: 1/26/1988
ADDRESS:	NOT ASSIGNED
EXISTING LANDUSE:	UNDEVELOPED
FUTURE LANDUSE:	ROR
FLOOD ZONE:	FLOOD ZONE "X" AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 120230 0400 D PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DATED SEPTEMBER 30, 1992
REQUIRED SETBACKS:	FRONT (NORTH): 25' SIDE (WEST) (INTERNAL): 10' SIDE (EAST): 30' REAR (SOUTH): 30'
LANDSCAPE BUFFERS:	FRONT (NORTH-TRINITY BLVD): TYPE "D" 20' WIDE SIDE (WEST-INTERNAL): TYPE "A" 10' WIDE SIDE (EAST-INTERNAL): TYPE "A" 10' WIDE SIDE (EAST-COMMUNITY DRIVE): TYPE "D" 20' WIDE REAR (SOUTH-COOL SPRINGS): TYPE "D" 20' WIDE

NOTES

- ALL EASEMENTS ARE PRIVATE AND SHALL BE DEDICATED TO APPROPRIATE ENTITY.
- ALL EASEMENTS SHALL BE IDENTIFIED AND DEDICATION ADDRESSED IN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS (CCR), NOT ON PLAT (EXCEPT FOR BUFFER/LANDSCAPE EASEMENTS).
- SEE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS (CCR) DRAFT AGREEMENT FOR PROJECT.

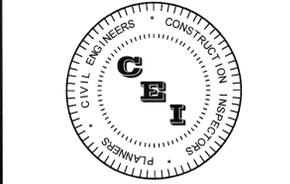
PRELIMINARY DEVELOPMENT PLAN AREA BREAKDOWN CHART:

LOT	1	2	3	4	FDOT Pond Parcel	Remaining Commercial Parcel	Total
TOTAL ACREAGE	1.28	1.11	1.49	11.47	0.63	22.82	38.81
Sq. Ft.	55,869	48,500	64,836	499,695	27,327	994,126	1,690,353

Note: FDOT pond parcel to be deeded directly to FDOT.

PETITION NUMBERS & DATES

1. REZONING PETITION NO. 3759 (APPROVED JANUARY 26, 1988)	10. REZONING PETITION NO. GM08-07 (APPROVED OCTOBER 26, 2005)
2. REZONING PETITION NO. GM93-043 (APPROVED NOVEMBER 17, 1992)	11. REZONING PETITION NO. ZN09-310 (NON-SUBSTANTIAL) (APPROVED JUNE 23, 2009)
3. REZONING PETITION ZC259-38 (APPROVED NOVEMBER 11, 1992)	
4. REZONING PETITION 83-229Z (APPROVED FEBRUARY 28, 1994)	
5. REZONING AMENDMENT NO. ZCC 94-197 (APPROVED MAY 24, 1994)	
6. REZONING AMENDMENT NO. GM 95-371 (APPROVED MAY 25, 1995)	
7. REZONING AMENDMENT NO. GM95-575 (APPROVED AUGUST 22, 1995)	
8. REZONING AMENDMENT NO. GM 97-295 (APPROVED MAY 25, 1997)	
9. REZONING PETITION NO. 5241 (APPROVED APRIL 28, 1998)	



CAMPO ENGINEERING, INC.

FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL 33605
PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE
THE SHOPPES AT TRINITY LAKES
PASCO COUNTY, FLORIDA

CLIENT

50SEMBLER YEARS Creating Retail Value.

THE SHOPPES AT TRINITY LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

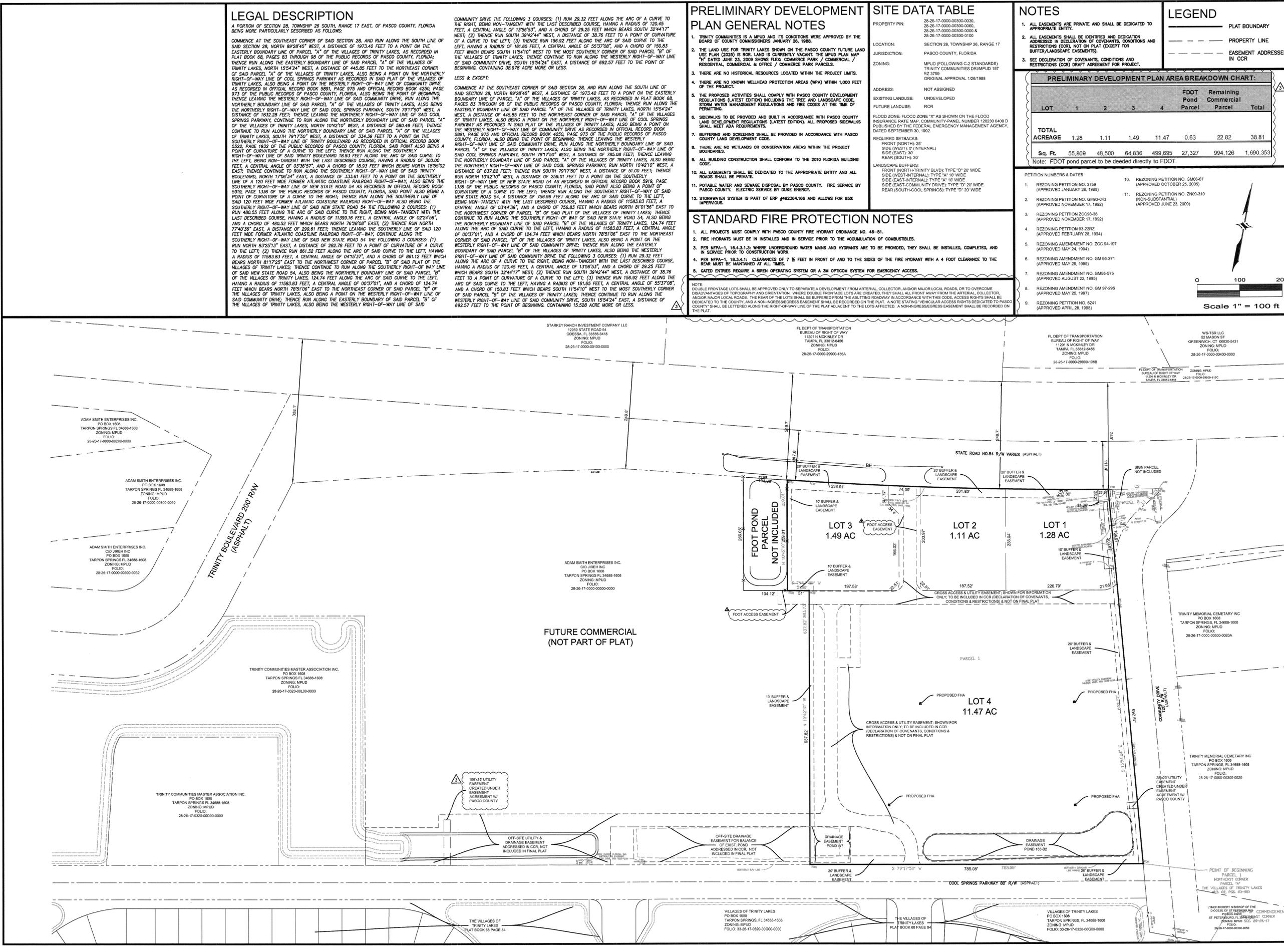
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1	PER CLIENT, COUNTY & FDOT COMMENTS	12/15/14

ISSUE DATE: 6/2014
REVIEWED BY: MDC
DRAWN BY: BLM
DESIGNED BY: BLM

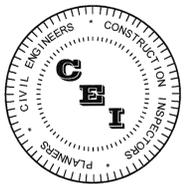
PROJECT NUMBER
14-026

Matthew D. Campo
NAME
53988
SEAL NO.
01/16/2015
DATE

PRELIMINARY DEVELOPMENT PLAN
SHEET NUMBER
C4.2



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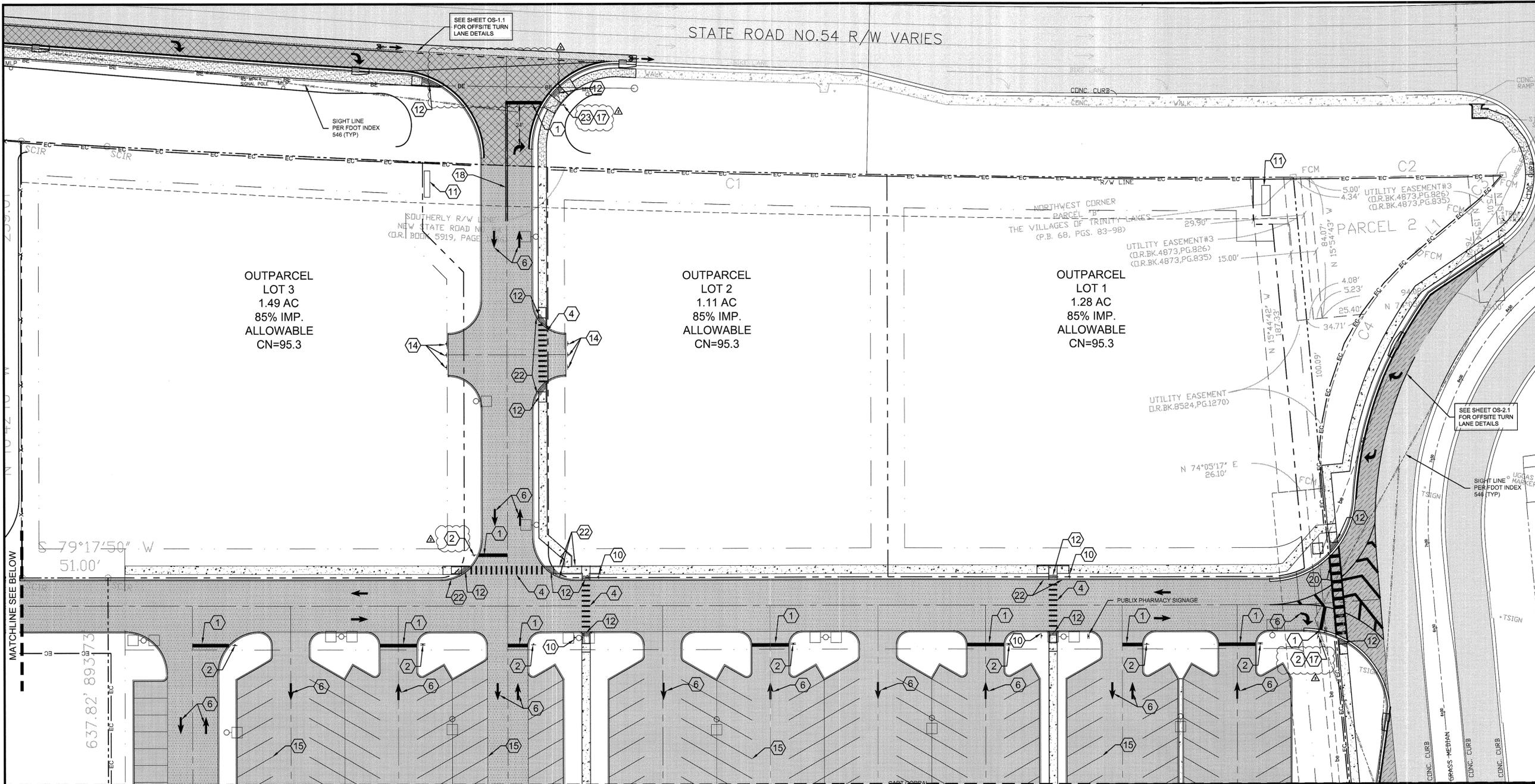
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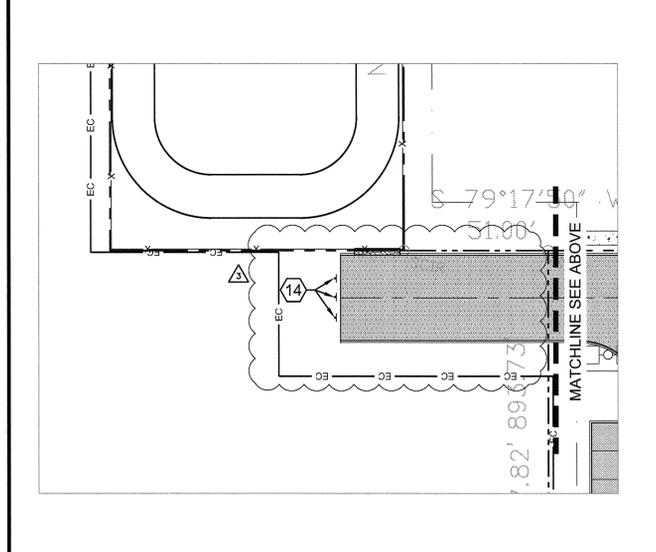
Matthew D. Campo, License No. 53988, State of Florida, dated 01/26/2015
NAME: MDC
DATE: 06/2014
SHEET TITLE

SITE, SIGNING & MARKING PLAN

SHEET NUMBER
C4.3

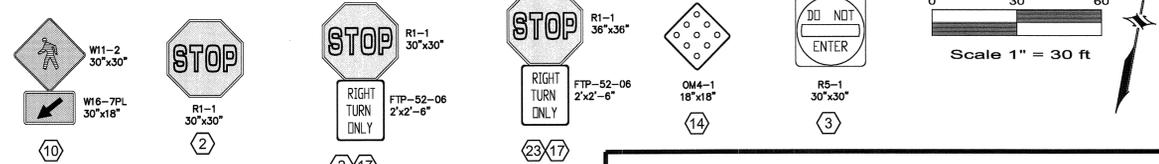


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MATCHLINE SEE SHEET C4.4

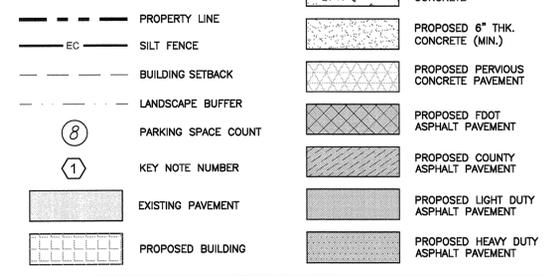
SIGN LEGEND



PASCO COUNTY SIGNING & MARKING NOTES

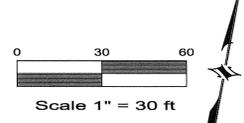
- FLORIDA STATE STATUTE 316.0745 REQUIRES THAT ALL TRAFFIC CONTROL SIGNING AND MARKINGS ON PRIVATE PROPERTY OPEN TO THE GENERAL PUBLIC BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL PARKING SPACES, PAVEMENT ARROWS & STOP BARS SHALL BE STRIPED IN WHITE PER THE MUTCD.
- ALL HANDICAPPED PARKING SPACES SHALL BE SIGNED AND MARKED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS INDEX.
- STREET NAME SIGNS (D3) SHALL BE 9-INCH ON ALL ROAD CLASSIFICATIONS. ALL SIGNS SHALL HAVE 6-INCH SERIES B LETTERS. ALL STREET NAME SIGNS ON PRIVATE ROADS SHALL BE STANDARD D3 STREET NAME SIGNS WITH THE COLORS REVERSED, WHITE BACKGROUND WITH GREEN LETTERS AND BORDER. AT INTERSECTIONS WITH COUNTY OR STATE MAINTAINED ROADS; THE COUNTY OR STATE MAINTAINED ROAD SHALL BE GREEN BACKGROUND WITH WHITE LETTERS.

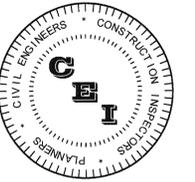
LEGEND



KEY NOTES

- 24" WHITE STOP BAR (THERMOPLASTIC PAINT TO BE USED AT STOP BARS PRIOR TO ENTERING COUNTY/FDOT ROW; INTERNAL ON-SITE TO BE TRAFFIC PAINT)
- 30"x30" R1-1 STOP SIGN.
- 30"x30" R5-1 DO NOT ENTER SIGN.
- 12" WHITE SPECIAL EMPHASIS CROSSWALK MARKINGS @ 3' O.C.
- 14.67' WIDE x 10.67' DEEP x 6" TALL DUMPSTER ENCLOSURE W/ 7" THICK CONCRETE DUMPSTER PAD. SEE PASCO COUNTY ENCLOSURE DETAILS ON SHEET C5.3
- WHITE PAVEMENT ARROW
- EXPOSED AGGREGATE DETECTABLE WARNING SURFACE. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- STAINLESS STEEL BOLLARDS PER PUBLIX SPEC. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- NOT USED
- 30"x30" W11-2 PEDESTRIAN CROSSING SIGN & 30"x18" W16-7PL LEFT DIAGONAL PLAQUE
- MONUMENT SIGN
- DETECTABLE WARNING SURFACE PER FDOT INDEX 304, TRUNCATED DOMES SHALL BE CAST IN PLACE & PROVIDED BY ARMOR-TILE OR APPROVED EQUAL (NO ADHESION OR SCREW PAD ALLOWED). INSTALL PER MANUFACTURER'S DETAILS.
- SIGHT VISIBILITY TRIANGLE
- 18"x18" OM4-1 SIGN
- PARKING SPACE STRIPING, 4" WHITE PAINT (TYP)
- NOT USED
- 24"x30" FTP-52-06 RIGHT TURN ONLY. SIGN MOUNTED BELOW THE STOP SIGN.
- 6" DOUBLE YELLOW LINE.
- 6" WHITE LINE.
- SPECIAL EMPHASIS CROSSWALK MARKINGS PER FDOT INDEX 17346
- SIDEWALK CURBING PAINTED TRAFFIC YELLOW
- CURB TRANSITION TO BE PAINTED YELLOW
- 36"x36" R1-1 STOP SIGN.
- LOADING ZONE STRIPING, 4" WHITE TRAFFIC PAINT





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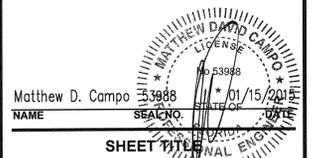
REVIEWED BY: MDC

DRAWN BY: BLM

DESIGNED BY: BLM

PROJECT NUMBER

14-026

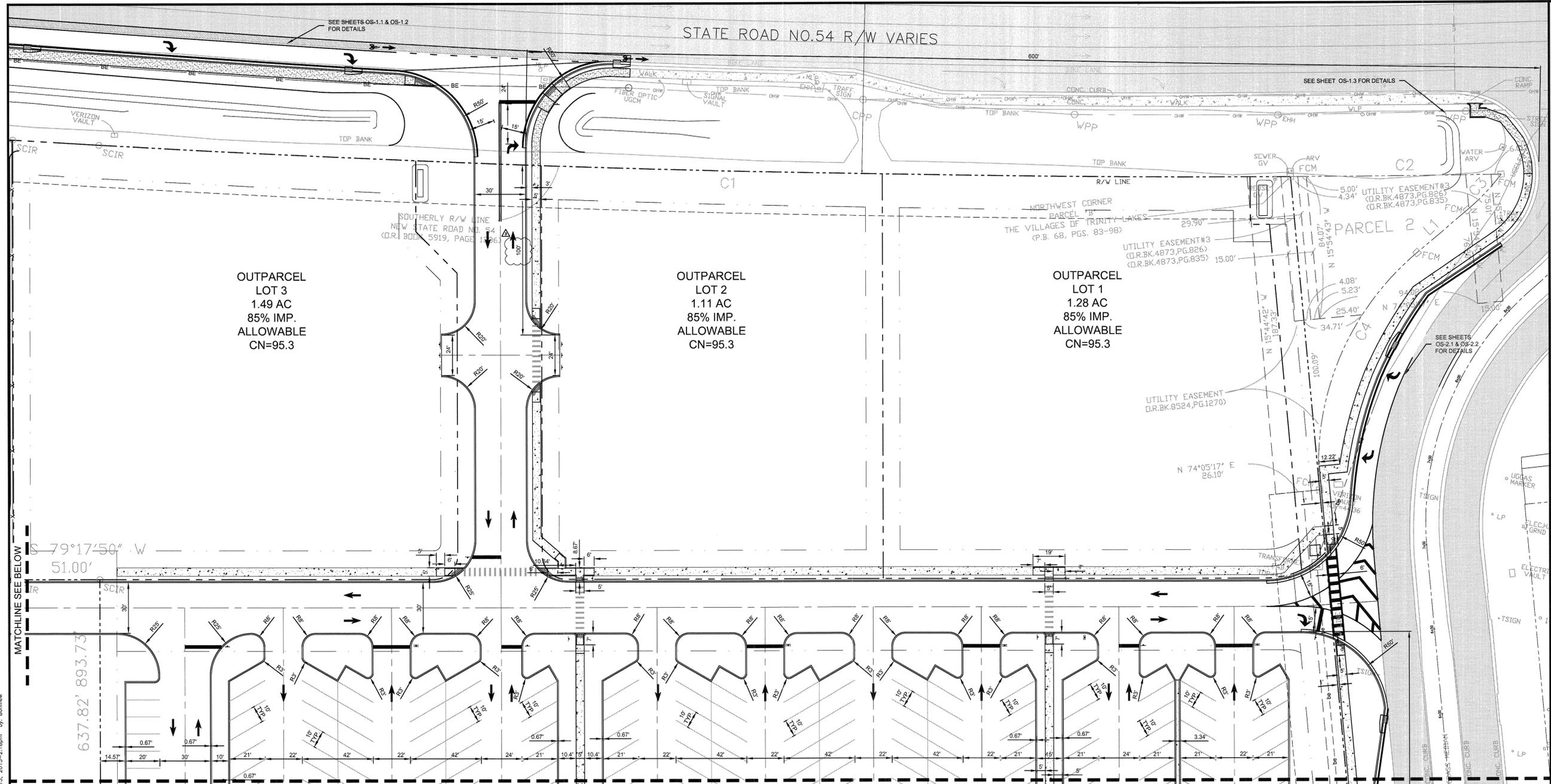


Matthew D. Campo
NAME

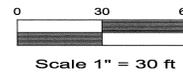
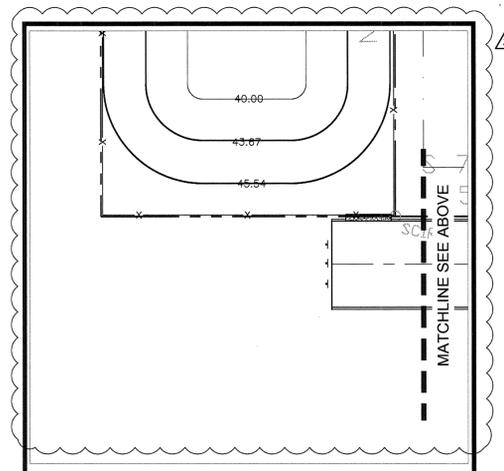
GEOMETRIC LAYOUT

SHEET NUMBER

C4.5

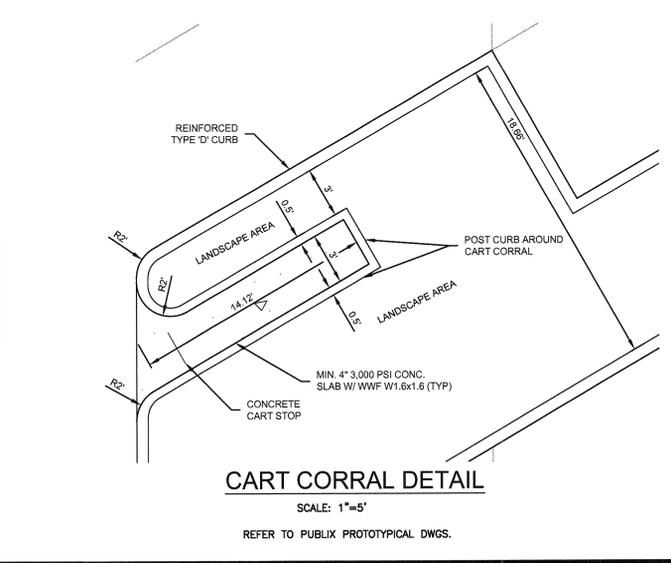


MATCHLINE SEE SHEET C4.6

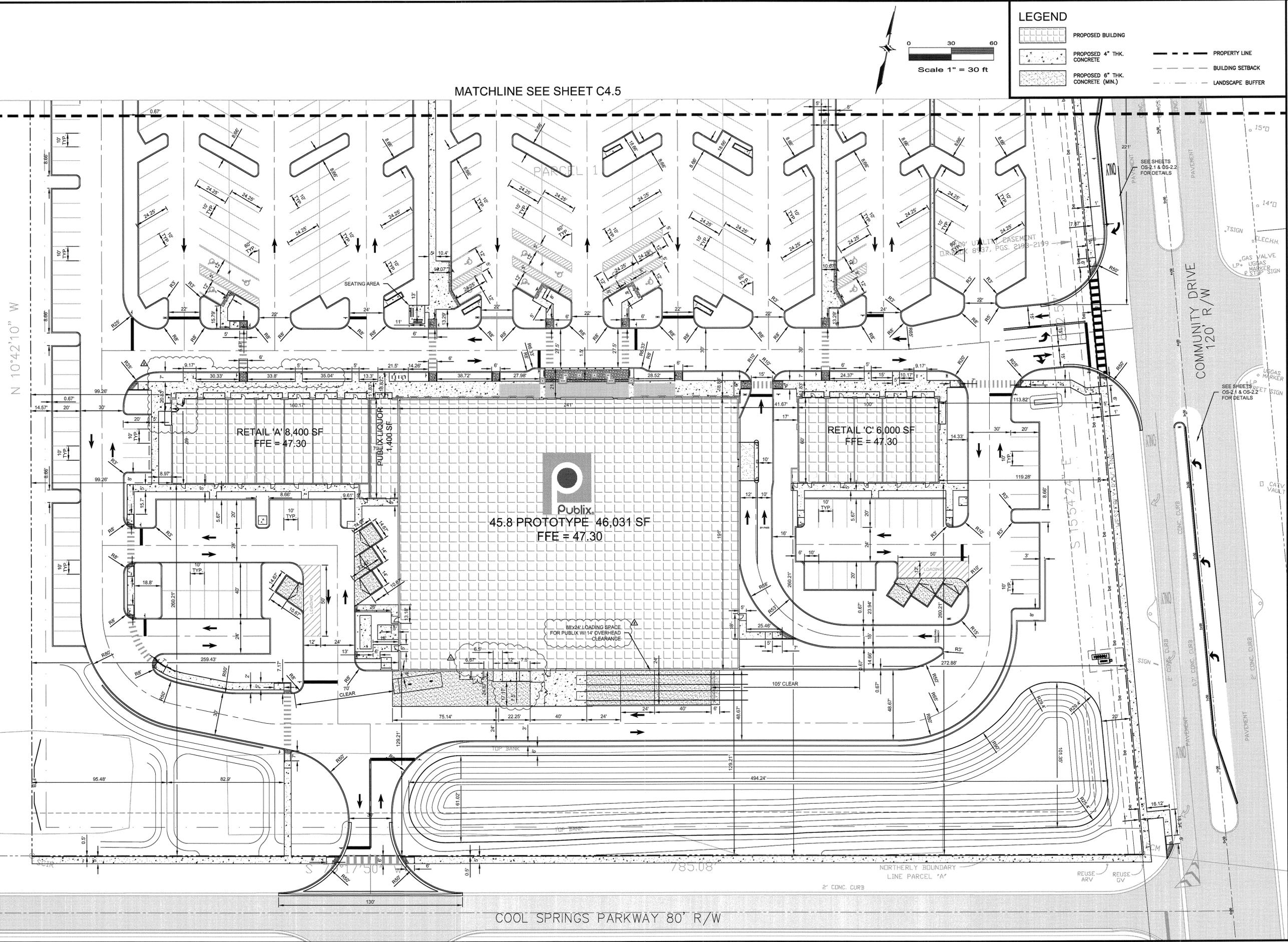


LEGEND

	PROPOSED BUILDING		PROPERTY LINE
	PROPOSED 4" THK. CONCRETE		BUILDING SETBACK
	PROPOSED 6" THK. CONCRETE (MIN.)		LANDSCAPE BUFFER

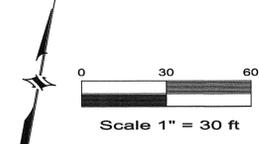


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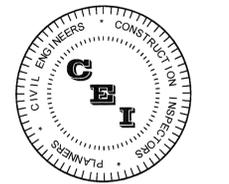
N 10°42'10" W

MATCHLINE SEE SHEET C4.5



LEGEND

	PROPOSED BUILDING		PROPERTY LINE
	PROPOSED 4" THK. CONCRETE		BUILDING SETBACK
	PROPOSED 6" THK. CONCRETE (MIN.)		LANDSCAPE BUFFER



CAMPO
ENGINEERING, INC.

FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL. 33605
PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE

THE SHOPES AT TRINITY LAKES

PASCO COUNTY, FLORIDA

CLIENT

50SEMBLER
YEARS Creating Retail Value.

THE SHOPES AT TRINITY LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE
△	PER PUBEX COMMENTS	10/14/14
△	PER CLIENT COMMENTS	11/14/14

ISSUE DATE: 6/2014

REVIEWED BY: MDC

DRAWN BY: BLM

DESIGNED BY: BLM

PROJECT NUMBER

14-026

Matthew D. Campo
NAME
No. 53988
DATE 01/15/2015
DATE

SHEET TITLE

GEOMETRIC LAYOUT

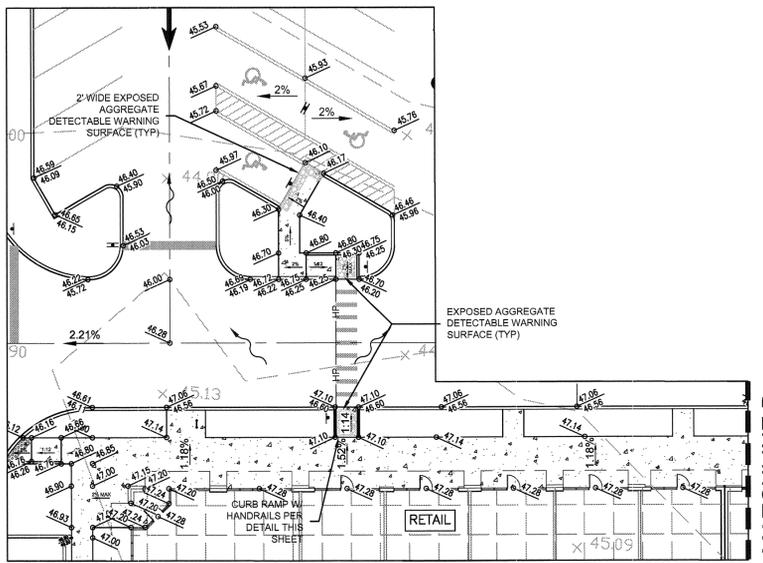
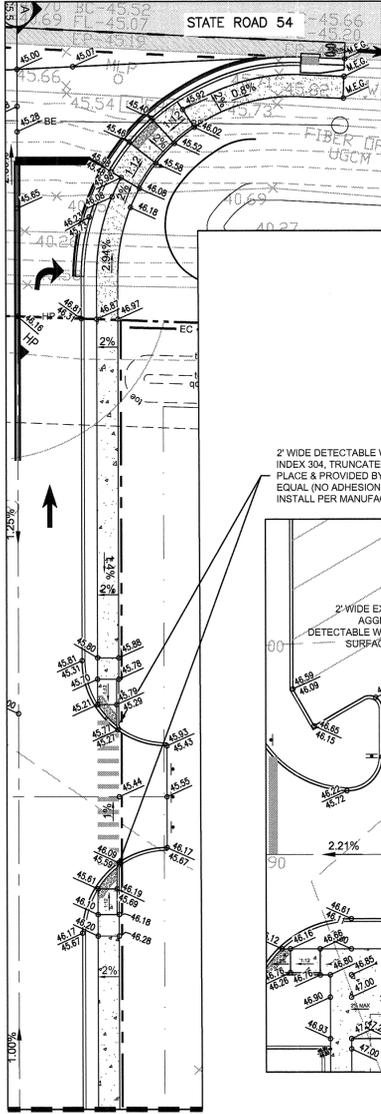
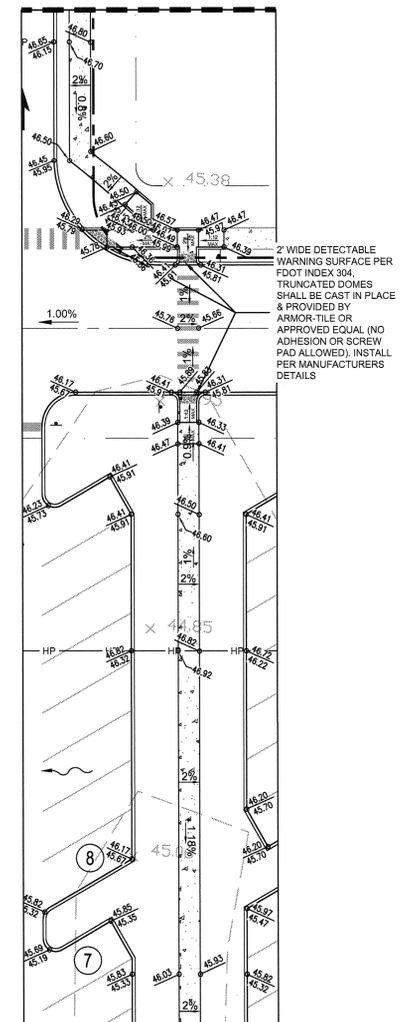
SHEET NUMBER

C4.6

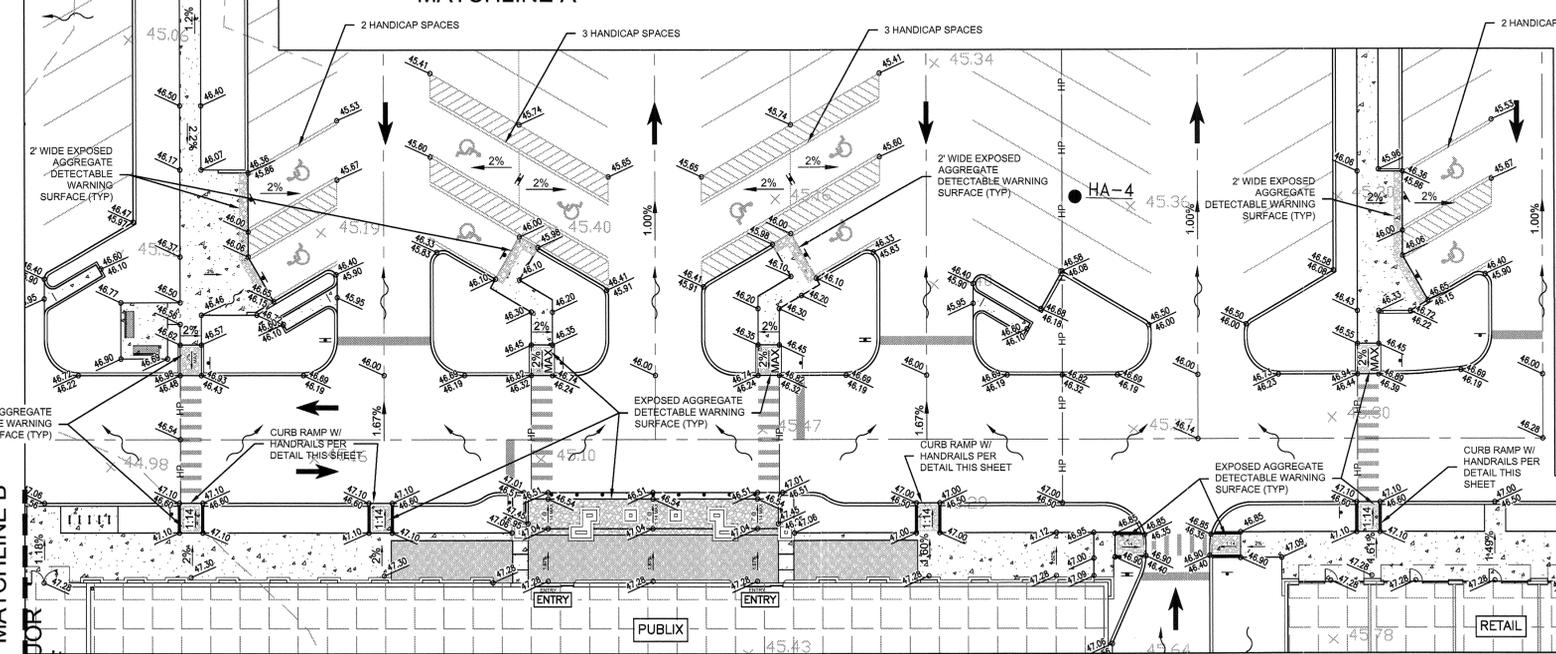
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MATCHLINE A



MATCHLINE B

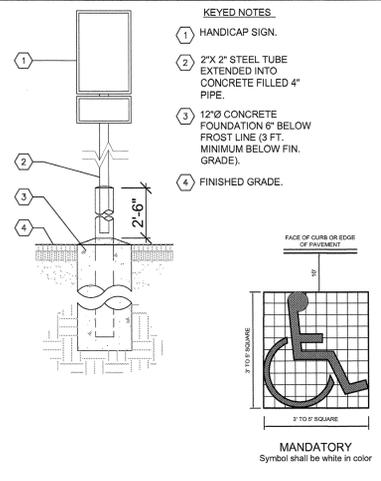


- NOTES:
1. ALL GRADING OF SIDEWALKS AND PEDESTRIAN WALKWAYS SHALL MEET MINIMUM "ADA" STANDARDS. SIDEWALK CROSS SLOPES AND DRIVEWAY CROSSINGS FOR SIDEWALKS TO BE 2.0% MAX. SLOPE. ALL SIDEWALK RUNNING SLOPES SHALL NOT EXCEED 5% WITHOUT USE OF PROPER RAMP PER FDOT OR FLORIDA BUILDING CODE. CONTRACTOR SHALL FIELD VERIFY SIDEWALK FORM BOARDS PRIOR TO CONSTRUCTING WALKWAYS. ALL PUBLIX RAMP ARE 1:14 MAX.
 2. ALL ON-SITE TRUNCATED DOMES DETECTABLE WARNING SURFACES SHALL BE PER FDOT INDEX 304. TRUNCATED DOMES SHALL BE CAST IN PLACE & PROVIDED BY ARMOR-TILE OR APPROVED EQUAL (NO ADHESION OR SCREW PAD ALLOWED). INSTALL PER MANUFACTURERS DETAILS.
 3. ALL ACCESSIBLE PARKING SPACES TO HAVE 98" VERTICAL CLEARANCE.

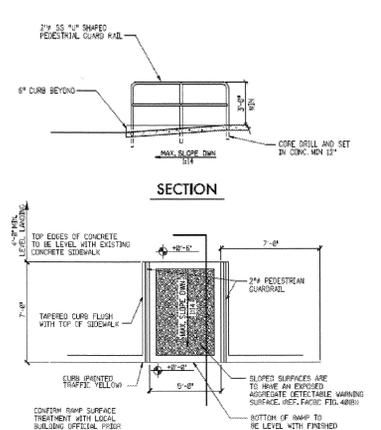
MATCHLINE B

7 RAMP @ 1:12 MAX.

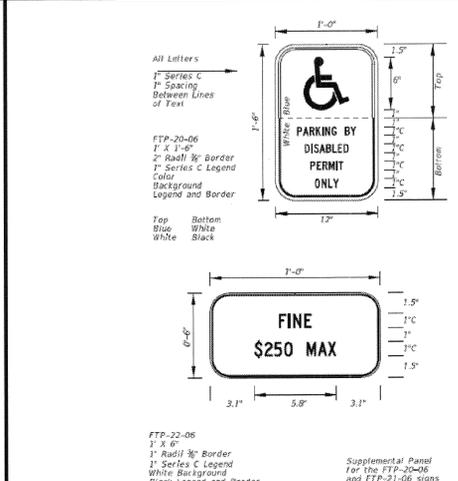
ROUTE FROM PUBLIX TO COMMUNITY DRIVE & STATE ROAD 54
1" = 20'



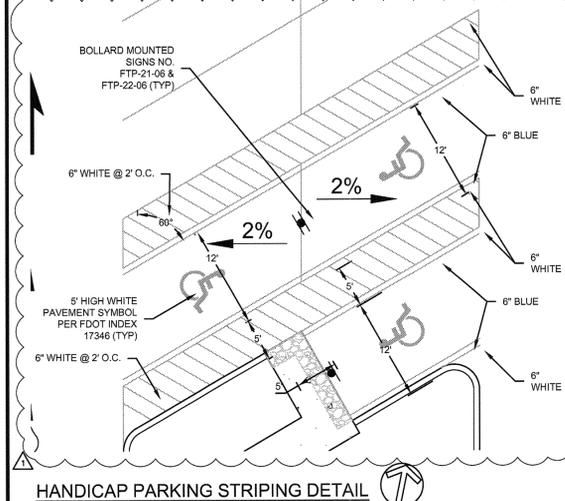
HANDICAP SIGNAGE DETAILS
NTS



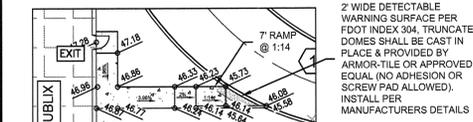
CURB RAMP W/ HANDRAILS
NTS



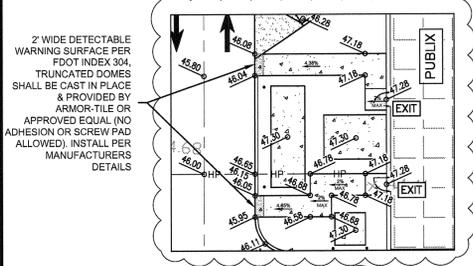
2015 DESIGN STANDARDS SPECIAL SIGN DETAILS
SHEET 17355 2 of 11



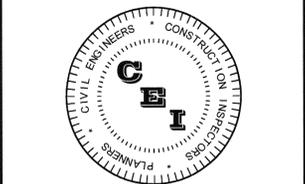
HANDICAP PARKING STRIPING DETAIL
1" = 10'



ROUTE FROM PUBLIX REAR DOOR
1" = 20'



ROUTE FROM PUBLIX REAR DOOR
1" = 20'



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FBRP CERTIFICATE OF AUTHORIZATION NO.: 26726

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PROJECT TITLE
THE SHOPPES AT TRINITY LAKES
PASCO COUNTY, FLORIDA

CLIENT

50SEMBLER
YEARS Creating Retail Value.

THE SHOPPES AT TRINITY LAKES, LLC
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ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE
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ISSUE DATE: 6/2014

REVIEWED BY: MDC

DRAWN BY: BLM

DESIGNED BY: BLM

PROJECT NUMBER

14-026

Matthew David Campo
No 53898
STATE OF FLORIDA
REGISTERED PROFESSIONAL ENGINEER
NAME: Matthew David Campo No. 53898 DATE: 01/15/2015

PEDESTRIAN/ADA ACCESS ROUTE PLAN

SHEET NUMBER

C4.7

GENERAL NOTES

- ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH PASCO COUNTY STANDARDS, AND DOT SPECIFICATIONS, LATEST EDITIONS.
- GRASS AND MULCH, OR SOLID SOD, ALL AREAS IN EXISTING RIGHT-OF-WAY DISTURBED BY CONSTRUCTION.
- CONTRACTOR IS TO COORDINATE ALL WORK WITHIN, BUT NOT LIMITED TO PUBLIC RIGHT-OF-WAY WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES AND THE MAKING OF ADJUSTMENTS TO SAME, IF REQUIRED.
- CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES.
- ADJUSTING MANHOLE TOPS TO MATCH GRADE AND SLOPE OF THE FINISH PAVING SHALL BE INCLUDED IN THE RESPECTIVE CONTRACT UNIT PRICE FOR MANHOLES, PAYMENT OF WHICH WILL CONSTITUTE FULL COMPENSATION FOR THE CONSTRUCTION AND COMPLETION OF THE MANHOLE, AND NO ADDITIONAL PAYMENT WILL BE ALLOWED OR MADE FOR ADJUSTING MANHOLE TOPS.
- ROOF DRAINAGE TO BE DIRECTED FROM BUILDINGS TO STORM SYSTEM VIA DOWNSPOUTS.
- ALL FINISH FLOOR ELEVATIONS (FFE) ARE MINIMUMS.
- SLOPE PERIMETER GRADE TO MATCH EXISTING GRADE AT 4:1 MAXIMUM.
- EXCAVATION NOTE: NO EXCAVATION SHALL EXTEND BELOW THE PERMITTED DESIGN DEPTHS/ELEVATIONS SHOWN ON THE DRAWING, UNLESS ADDITIONAL TESTING SUPPORTS OTHERWISE; AND NO LOWER SEMI-CONFINING UNIT CLAYEY SOIL MATERIAL AND/OR NO LIMESTONE MATERIALS SHALL BE EXCAVATED, REGARDLESS IF THESE MATERIALS ARE ENCOUNTERED WITHIN THE PERMITTED EXCAVATION DEPTHS/ELEVATIONS; IF ANY LOWER SEMI-CLAYEY SOIL MATERIALS OR LIMESTONE MATERIALS ARE ENCOUNTERED ABOVE THE PERMITTED DEPTHS/ELEVATIONS, THEN EXCAVATION OPERATIONS SHALL CEASE IN THE GENERAL AREA, ANY EXCAVATION BELOW THE BOTTOM ELEVATIONS SHOWN ON THE PLANS WILL REQUIRE AN APPROVED PERMIT MODIFICATION FROM THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT FOR THE DEEPER EXCAVATION.
- CONTRACTOR SHALL PROVIDE REQUIRED DETERMINING FOR ALL STORMWATER AREAS CONSTRUCTED, CONTRACTOR SHALL PERFORM HORIZONTAL DETERMINING UPON REACHING A CLAY LAYER.
- ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER

PASCO COUNTY NOTES

- SOIL DISTURBANCE, SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1 VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.
- ALL GRADING OF SIDEWALKS AND PEDESTRIAN WALKWAYS SHALL MEET MINIMUM "ADA" STANDARDS. SIDEWALK CROSS SLOPES AND DRIVEWAY CROSSINGS FOR SIDEWALKS TO BE 2.0% MAX. SLOPE. ALL SIDEWALK RUNNING SLOPES SHALL NOT EXCEED 5% WITHOUT USE OF PROPER RAMPS PER FDOT OR FLORIDA BUILDING CODE. CONTRACTOR SHALL FIELD VERIFY SIDEWALK FORM BOARDS PRIOR TO CONSTRUCTING WALKWAYS.
- CONTRACTOR SHALL WRAP ALL INLET GRATES WITH FILTER FABRIC UPON INSTALLATION. FABRIC TO BE REMOVED UPON COMPLETION OF BUILDING CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL CONTRACTOR RELATED PERMITS.
- EXISTING GRADES ARE BASED ON NGVD 1929.
- SITE IS LOCATED IN FLOOD ZONE X PER FIRM PANEL NUMBER 12101C0380F, DATED 09/26/2014.

CONSTRUCTION NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE EXTENTS OF PAVEMENT RESTORATION BASED ON HIS MEANS AND METHODS OF INSTALLING WATER SEWER AND STORMWATER INFRASTRUCTURE ADJACENT TO OR UNDER EXISTING PAVEMENT AREAS. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING LOCAL MUNICIPALITY AND STATE STANDARDS WHEN RESTORING PAVEMENT AND NOT SOLELY RELY ON CIVIL PLANS.
- CONTRACTOR MUST VERIFY ALL EXISTING WATER SEWER AND STORM WATER INFRASTRUCTURE WITHIN THE RIGHT OF WAY PRIOR TO ORDERING STRUCTURES. THE CONTRACTOR SHALL PROVIDE THE ENGINEER VERTICAL AND HORIZONTAL LOCATIONS OF INFRASTRUCTURE IN ORDER TO VERIFY ANY POTENTIAL CONFLICTS PRIOR TO ORDERING STRUCTURES.

STORMWATER NOTES

- 85% ALLOWABLE IMPERVIOUS PER ERP 492364.166.
- POST DEVELOPMENT CN = 95.3; IMPERVIOUS % = 85% MAX.

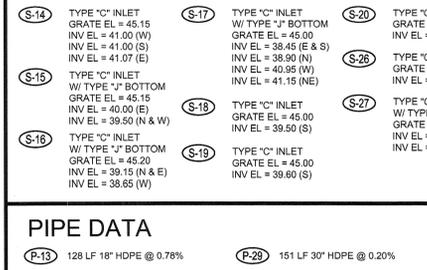
STRUCTURE DATA

- ALL FINISH FLOOR ELEVATIONS SHALL BE A MIN. OF 1' ABOVE THE BASE 100 YR FLOOD ELEVATION OR AS REQUIRED BY THE LDC SECTION 701.
- ALL SODDED SLOPES OVER 4 TO 1, SHALL BE INSTALLED WITH SOOT PEGS.
- ANY OFF SITE DISTURBANCE SHALL BE RESTORED TO THE PRE OR BETTER CONDITION. (LDC 605.3.D), BAHIA SOD AT A MIN. IS REQUIRED.
- UPON COMPLETION OF THE LAND DEVELOPMENT CONSTRUCTION, A PROFESSIONAL ENGINEER SHALL PROVIDE A CERTIFICATION TO PASCO COUNTY THAT THE PROJECT, INCLUDING EACH PAD AREA, COMPLIES WITH THE RECOMMENDATIONS OF THE GEOLOGICAL/ENGINEERING REPORT.
- SHOULD ANY NOTICEABLE SOIL SLUMPING OR SINKHOLE FORMATION BECOME EVIDENT, THE APPLICANT/DEVELOPER SHALL IMMEDIATELY NOTIFY THE COUNTY, TAMPA BAY WATER (TBW), AND SWFWMD, AND ADOPT ONE OR MORE OF THE FOLLOWING PROCEDURES AS DETERMINED TO BE APPROPRIATE BY THE COUNTY AND SWFWMD:
 - IF THE SLUMPING OR SINKHOLE FORMATION BECOMES EVIDENT BEFORE OR DURING CONSTRUCTION ACTIVITIES, STOP ALL WORK (EXCEPT FOR MITIGATION ACTIVITIES) IN THE AFFECTED AREA AND REMAIN STOPPED UNTIL THE COUNTY AND SWFWMD APPROVE RESUMING CONSTRUCTION ACTIVITIES.
 - TAKE IMMEDIATE MEASURES TO ENSURE NO SURFACE WATER DRAINS INTO THE AFFECTED AREAS.
 - VISUALLY INSPECT THE AFFECTED AREA.
 - EXCAVATE AND BACKFILL OR GROUT AS REQUIRED TO FILL THE AFFECTED AREA AND PREVENT FURTHER SUBSIDENCE.
 - USE SOIL REINFORCEMENT MATERIALS IN THE BACKFILLING OPERATION, WHEN APPROPRIATE.
 - IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA, MAINTAIN A MINIMUM DISTANCE OF TWO FEET FROM THE BOTTOM OF THE RETENTION POND TO THE SURFACE OF THE LIMESTONE OR KARST CONNECTION.
 - IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA AND THE ABOVE METHODS DO NOT STABILIZE THE COLLAPSE, RELOCATE THE RETENTION AREA.
 - DISCHARGE OF STORM-WATER INTO DEPRESSIONS WITH DIRECT OR DEMONSTRATED HYDROLOGIC CONNECTION TO THE FLORIDIAN AQUIFER SHALL BE PROHIBITED.

PIPE DATA

- | | | | |
|------|-------------------------|------|---|
| P-13 | 128 LF 18" HDPE @ 0.78% | P-26 | 151 LF 30" HDPE @ 0.20% |
| P-14 | 107 LF 24" HDPE @ 0.33% | P-27 | 45 LF 4" FDOT TYPE II UNDERDRAIN @ 1.00% (MIN.) |
| P-15 | 114 LF 30" HDPE @ 0.18% | P-28 | 25 LF 4" FDOT TYPE II UNDERDRAIN @ 1.00% (MIN.) |
| P-16 | 151 LF 30" HDPE @ 0.33% | P-29 | 35 LF 4" FDOT TYPE II UNDERDRAIN @ 1.00% (MIN.) |
| P-17 | 169 LF 18" HDPE @ 0.21% | P-30 | 25 LF 4" FDOT TYPE II UNDERDRAIN @ 1.00% (MIN.) |
| P-18 | 43 LF 24" HDPE @ 0.23% | P-31 | 25 LF 4" FDOT TYPE II UNDERDRAIN @ 1.00% (MIN.) |
| P-19 | 42 LF 24" HDPE @ 0.24% | P-32 | 25 LF 4" FDOT TYPE II UNDERDRAIN @ 1.00% (MIN.) |
| P-20 | 43 LF 24" HDPE @ 0.47% | P-33 | 50 LF 4" FDOT TYPE II UNDERDRAIN @ 1.00% (MIN.) |
| P-21 | 43 LF 24" HDPE @ 0.47% | P-34 | 30 LF 4" FDOT TYPE II UNDERDRAIN @ 1.00% (MIN.) |
| P-22 | 150 LF 24" HDPE @ 0.47% | | |
- ESTIMATED EARTHWORK: NOTE THESE ARE NOT TO BE USED FOR BID PURPOSES
 FILL: 6,000 CY
 OUT: 6,000 CY

LEGEND



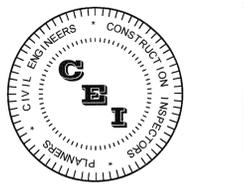
KEY NOTES

- CURB RAMP CR-F PER FDOT INDEX 304
- CURB RAMP CR-E PER FDOT INDEX 304
- CURB RAMP CR-C PER FDOT INDEX 304
- RADIAL SIDEWALK RAMP PER FDOT INDEX 304
- SEE SHEET C5.6 FOR RAMP DETAIL
- CURB RAMP CR-G PER FDOT INDEX 304

DATUM NOTE

ELEVATIONS ARE BASED ON NGS BENCHMARK U-688 ELEVATION 40.67' NAVD 88 DATUM, CONVERTED TO ELEVATION 41.51' NGVD 29 DATUM. ALL ELEVATIONS SHOWN ON SURVEY ARE IN NGVD 29 DATUM.

ALL SITE PREPARATION, GRADING AND MATERIALS PER GEOTECHNICAL REPORT BY DRIGGERS ENGINEERING SERVICES, INC. DATED JULY 22, 2014 AND SUPPLEMENTAL REPORT DATED OCTOBER 1, 2014.



CAMPO ENGINEERING, INC.
 FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
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PROJECT TITLE
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 PASCO COUNTY, FLORIDA

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REVISIONS

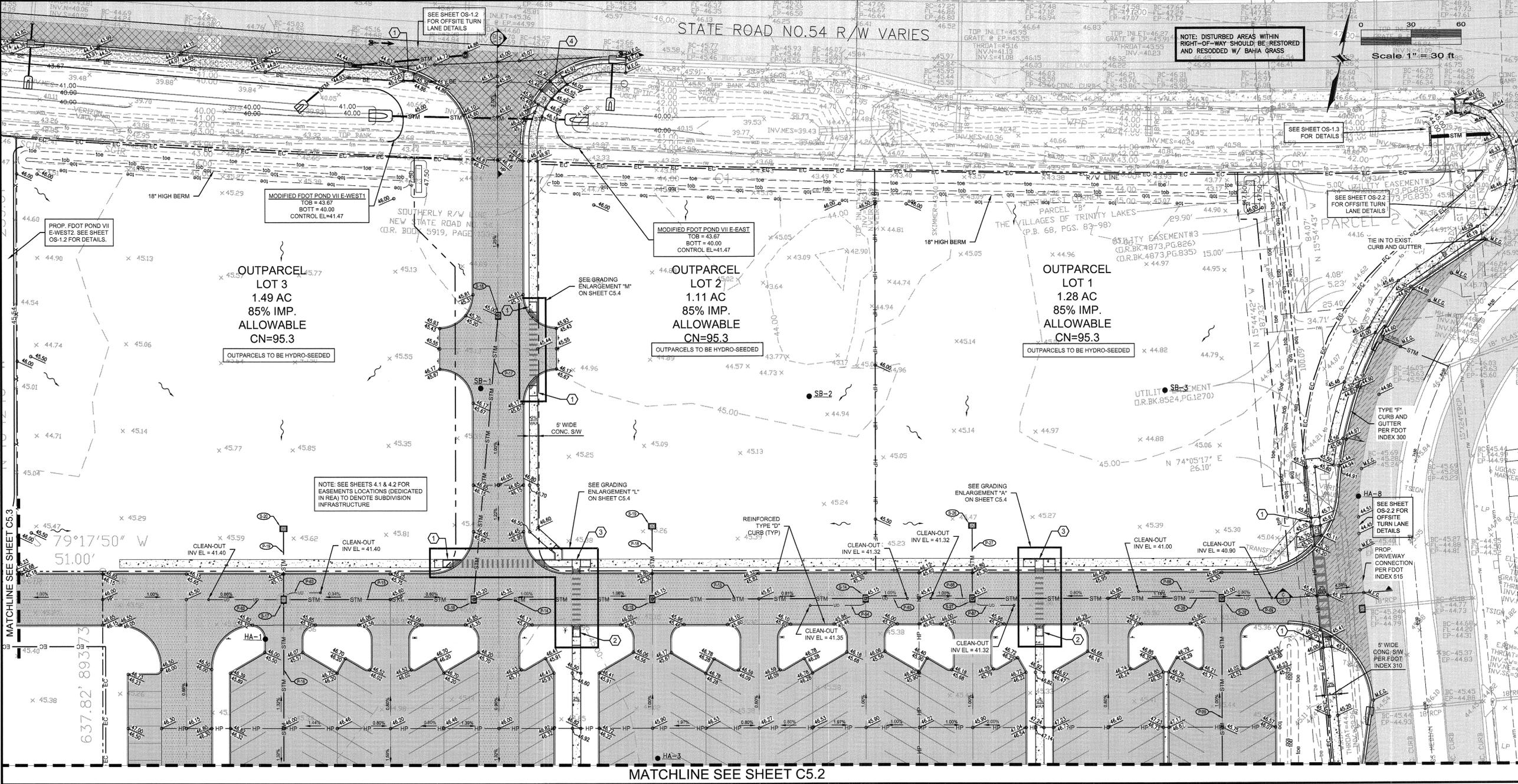
NO.	DESCRIPTION	DATE
1	PER COUNTY & SWFWMD COMMENTS	12/15/14

ISSUE DATE: 6/2014
 REVIEWED BY: MDC
 DRAWN BY: BLM
 DESIGNED BY: BLM

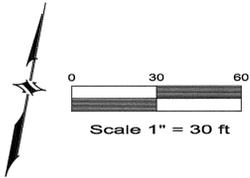
PROJECT NUMBER
 14-026

Matthew D. Campo
 LICENSE NO. 53988
 DATE 6/15/2015

PAVING, GRADING & DRAINAGE PLAN
 SHEET NUMBER
C5.1



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DATUM NOTE

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SEE SHEET C5.3 FOR STRUCTURES AND PIPE DATA

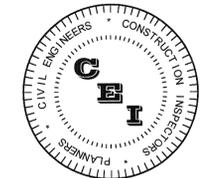
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KEY NOTES

- 1 CURB RAMP CR-F PER FDOT INDEX 304
- 2 CURB RAMP CR-E PER FDOT INDEX 304
- 3 CURB RAMP CR-C PER FDOT INDEX 304
- 4 RADIAL SIDEWALK RAMP PER FDOT INDEX 304
- 5 SEE SHEET C5.6 FOR RAMP DETAIL
- 6 CURB RAMP CR-G PER FDOT INDEX 304

LEGEND

---	PROPERTY LINE		PROPOSED BUILDING		PROPOSED FDOT ASPHALT PAVEMENT		BORING LOCATION
---	EC SILT FENCE		PROPOSED 4" THK. CONCRETE		PROPOSED COUNTY ASPHALT PAVEMENT		STORM STRUCTURE OR PIPE NUMBER
---	STM PROPOSED STORM PIPE		PROPOSED 6" THK. CONCRETE (MIN.)		PROPOSED LIGHT DUTY ASPHALT PAVEMENT		CROSS SECTION NAME
---	RD PROPOSED ROOF DRAIN		PROPOSED PEROUS CONCRETE PAVEMENT		PROPOSED HEAVY DUTY ASPHALT PAVEMENT		CROSS SECTION SHEET LOCATION
---	PROPOSED GRADE						PAVEMENT SLOPE
	EXISTING PAVEMENT						PROPOSED SPOT GRADE



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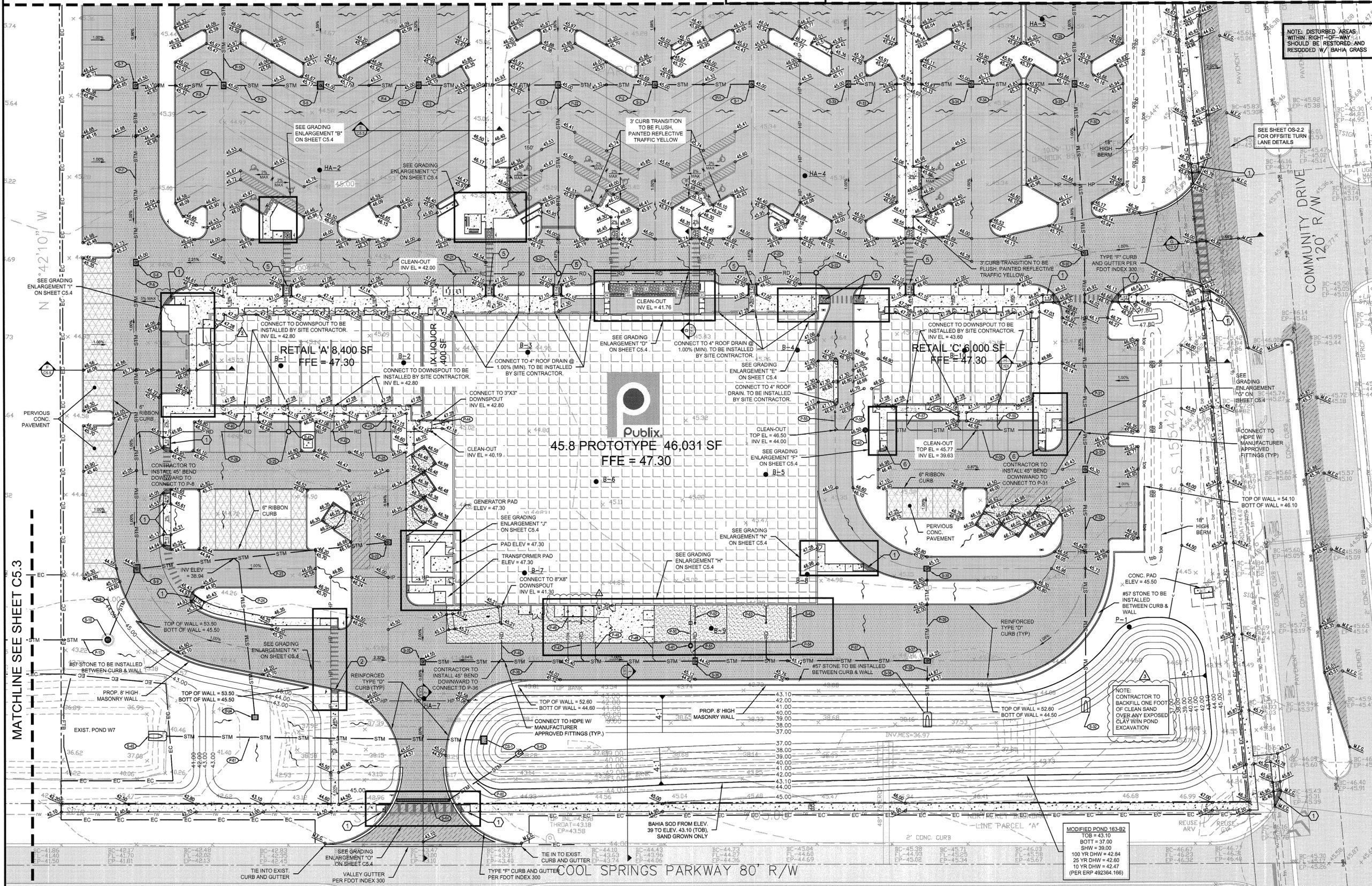
PROJECT NUMBER
14-026

Matthew D. Campo, 53988, 01/18/2015
NAME SEAL NO. DATE

PAVING, GRADING & DRAINAGE PLAN

SHEET NUMBER
C5.2

MATCHLINE SEE SHEET C5.1



NOTE: DISTURBED AREAS WITHIN RIGHT-OF-WAY SHOULD BE RESTORED AND RESODDED W/ BAHIA GRASS

NOTE: CONTRACTOR TO BACKFILL ONE FOOT OF CLEAN SAND OVER ANY EXPOSED CLAY WITHIN POND EXCAVATION

MODIFIED POND 183-B2
TOB = 43.10
BOTB = 37.00
SHW = 39.00
100 YR DHW = 42.84
25 YR DHW = 42.80
10 YR DHW = 42.47
(PER EXP 492364-186)

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STRUCTURE DATA

- S-1 CONTROL STRUCTURE SEE SHEET C5.4 FOR DETAILS.
- S-1 TYPE "C" INLET GRATE EL = 45.00 INV EL = 41.55 (W)
- S-2 TYPE "C" INLET GRATE EL = 45.00 INV EL = 41.35 (E)
- S-3 TYPE "C" INLET GRATE EL = 45.00 INV EL = 41.15 (W)
- S-4 TYPE "C" INLET GRATE EL = 45.00 INV EL = 40.30 (W & E)
- S-5 TYPE "D" INLET GRATE EL = 45.00 INV EL = 40.10 (W & E)
- S-6 TYPE "C" INLET W/ TYPE "J" BOTTOM GRATE EL = 45.00 INV EL = 39.50 (E)
- S-7 TYPE "C" INLET W/ TYPE "J" BOTTOM GRATE EL = 45.00 INV EL = 37.25 (E & S)
- S-8 TYPE "C" INLET W/ TYPE "J" BOTTOM GRATE EL = 45.00 INV EL = 36.75 (N)
- S-9 TYPE "D" INLET W/ TYPE "J" BOTTOM GRATE EL = 44.40 INV EL = 35.85 (N)
- S-10 TYPE "P" MANHOLE RISER W/ TYPE "J" BOTTOM RIM EL = 44.00 INV EL = 35.70 (NE & W)
- S-11 TYPE "P" MANHOLE RISER W/ TYPE "J" BOTTOM RIM EL = 44.00 INV EL = 34.95 (E & W)
- S-12 TYPE "P" MANHOLE RISER W/ TYPE "J" BOTTOM RIM EL = 44.00 INV EL = 34.25 (E & SW)
- S-13 42" MITERED END SECTION INV EL = 34.00
- S-21 24" ADS DRAIN BASIN W/ H2O SOLID TOP & CONC. COLLAR TOP EL = 46.38 INV EL = 41.50 (N, E & W)
- S-22 15" ADS DRAIN BASIN W/ H2O SOLID TOP & CONC. COLLAR TOP EL = 46.14 INV EL = 42.00 (W)
- S-23 TYPE "C" INLET GRATE EL = 45.80 INV EL = 39.15 (W)
- S-24 TYPE "C" INLET GRATE EL = 42.00 INV EL = 39.50 (N)
- S-25 18" ADS DRAIN BASIN W/ H2O SOLID TOP & CONC. COLLAR TOP EL = 46.42 INV EL = 39.30 (E & W)
- S-26 TYPE "C" INLET W/ TYPE "J" BOTTOM GRATE EL = 45.00 INV EL = 38.30 (N & S)
- S-30 TYPE "C" INLET W/ TYPE "J" BOTTOM GRATE EL = 45.00 INV EL = 36.25 (S)
- S-31 TYPE "C" INLET W/ TYPE "J" BOTTOM GRATE EL = 45.30 INV EL = 37.40 (N & S)
- S-32 36" MITERED END SECTION INV EL = 37.00
- S-33 TYPE "C" INLET GRATE EL = 45.00 INV EL = 41.50 (E)
- S-34 TYPE "C" INLET GRATE EL = 45.00 INV EL = 40.50 (E & W)
- S-35 TYPE "C" INLET GRATE EL = 44.55 INV EL = 40.00
- S-36 TYPE "C" INLET GRATE EL = 44.50 INV EL = 39.65 (E & W)
- S-37 TYPE "C" INLET W/ TYPE "J" BOTTOM GRATE EL = 44.25 INV EL = 39.00 (N, S & W)
- S-38 36" MITERED END SECTION INV EL = 37.00
- S-39 TYPE "C" INLET GRATE EL = 45.15 INV EL = 41.50 (S)
- S-40 18" ADS DRAIN BASIN W/ H2O GRATED TOP GRATE EL = 46.50 INV EL = 40.80 (W)
- S-41 SUMP PUMP W/ H2O RATED LID BY BLDG CONTRACTOR. SEE PROTOTYPICAL DWGS AND PLUMBING PLANS FOR DETAILS. RIM EL = 44.73
- S-42 12" TRENCH DRAIN BY BLDG CONTRACTOR W/ 4" OUTLET. SEE PROTOTYPICAL DWGS FOR DETAILS.
- S-43 8" MITERED END SECTION INV EL = 37.00
- S-44 35 LF Z874-12 ZUM TRENCH DRAIN; H2O RATED W/ BOTTL. OUTLET GRATE EL = 44.12
- S-45 30" MITERED END SECTION (REPLACE EXISTING) INV EL = 37.00

NOTE: STRUCTURES ARE H2O RATED AND PER FDOT STANDARDS.

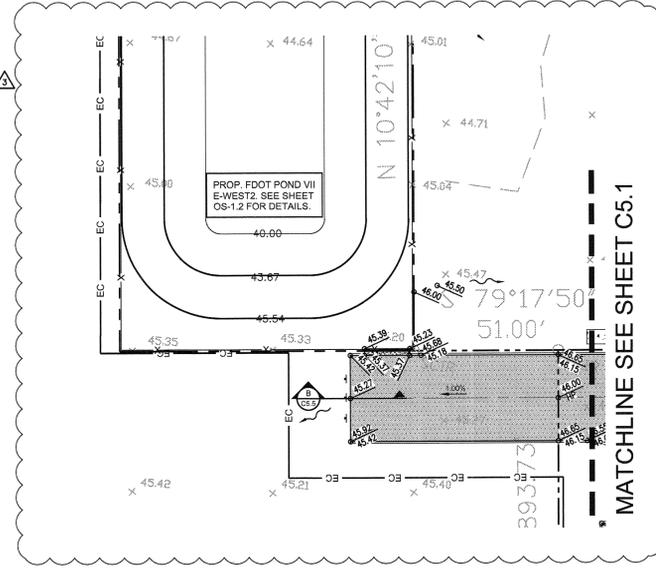
PIPE DATA

- P-1 64 LF 15" HDPE @ 0.31%
- P-2 64 LF 18" HDPE @ 0.23%
- P-3 92 LF 24" HDPE @ 0.22%
- P-4 65 LF 24" HDPE @ 0.31%
- P-5 64 LF 30" HDPE @ 0.23%
- P-6 58 LF 36" HDPE @ 0.23%
- P-7 116 LF 36" HDPE @ 0.43%
- P-8 201 LF 42" HDPE @ 0.20%
- P-9 50 LF 42" HDPE @ 0.30%
- P-10 249 LF 42" HDPE @ 0.30%
- P-11 249 LF 42" HDPE @ 0.28%
- P-12 84 LF 42" HDPE @ 0.30%
- P-20 170 LF 12" PVC @ 0.29%
- P-21 69 LF 12" PVC @ 0.72%
- P-22 124 LF 12" PVC @ 0.40%
- P-23 167 LF 18" HDPE @ 0.21%
- P-24 105 LF 12" PVC @ 0.53%
- P-25 95 LF 12" PVC @ 0.30%
- P-26 100 LF 12" PVC @ 0.30%
- P-28 151 LF 30" HDPE @ 0.20%
- P-30 110 LF 36" HDPE @ 0.27%
- P-31 142 LF 36" HDPE @ 0.42%
- P-32 159 LF 36" HDPE @ 0.25%
- P-33 81 LF 15" HDPE @ 1.23%
- P-34 68 LF 15" HDPE @ 2.21%
- P-35 145 LF 12" ADS @ 0.25%
- P-36 180 LF 24" HDPE @ 0.19%
- P-37 164 LF 24" HDPE @ 0.23%
- P-38 43 LF 24" HDPE @ 5.35%
- P-39 60 LF 15" HDPE @ 3.67%
- P-40 17 LF 6" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-41 17 LF 6" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-42 17 LF 6" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-43 17 LF 6" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-44 7 LF 6" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-45 36 LF 12" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-46 38 LF 4" PVC CONDENSATE @ 1.00% (MIN.)
- P-47 38 LF 12" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-48 12 LF 4" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-49 12 LF 4" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-50 15 LF 6" PVC. SEE PROTOTYPICAL DWGS FOR DETAILS.
- P-51 11 LF 2" PVC FM. SEE PROTOTYPICAL DWGS FOR DETAILS.
- P-52 36 LF 12" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-53 36 LF 12" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-54 16 LF 4" PVC @ 1.00% (MIN.)
- P-55 18 LF 4" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-56 20 LF 4" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-57 17 LF 6" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-58 17 LF 6" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-59 17 LF 6" PVC ROOF DRAIN @ 1.00% (MIN.)
- P-60 58 LF 8" PVC @ 0.83%
- P-61 213 LF 30" RCP @ 0.00%

NOTE: CONTRACTOR SHALL USE FDOT AND COUNTY APPROVED PIPE MATERIALS.

DATUM NOTE

ELEVATIONS ARE BASED ON NGS BENCHMARK U-688 ELEVATION 40.67' NAVD 88 DATUM, CONVERTED TO ELEVATION 41.51' NGVD 29 DATUM. ALL ELEVATIONS SHOWN ON SURVEY ARE IN NGVD 29 DATUM.



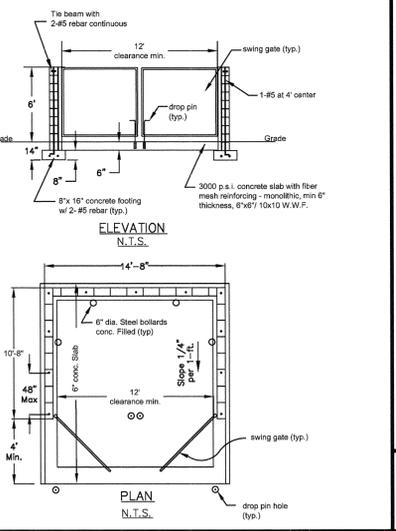
MATCHLINE SEE SHEET C5.1

CONCRETE MASONRY WALL CONSTRUCTION

1. All reinforcing steel shall be deformed bars conforming to ASTM A-615, Grade 60. Vertical reinforcement shall be placed in the center of the masonry cell, and shall be held in position at the top and bottom.
2. If a slab does not line-up with a vertical core, it shall not be sloped more than one horizontal in six verticals (1:6).
3. Horizontal wall reinforcement shall be standard truss type DWR-0-WALL (or equivalent) at 16" o.c.
4. Hollow Load-bearing Concrete Masonry Units shall be normal weight conforming to ASTM C-90, with a minimum compressive strength of 1,900 PSI.
5. Mortar shall be Type M or S, in accordance with ASTM C-270. Place of masonry in running bond with 3/8" mortar joints. Provide complete coverage face shell mortar bedding, horizontal and vertical.
6. Course grout shall conform to ASTM C-476, with a maximum aggregate size of 3/8", 8" to 10" slump, and a minimum compressive strength of 2,500 PSI at 28 days.
7. Minimum 3" x 3" clear-out holes (key-outs) are required at the bottom course of all cells to verify grout placement. Clean-outs shall be sealed after masonry inspection-provided in accordance with AGI 531-4.6, and before grouting.
8. Prior to grouting, the grout space shall be clean, with no mortar projections greater than 1/4", mortar droppings or other foreign material. All cells shall be in vertical alignment, and shall be filled with course grout as specified.
9. During placing, grout shall be consolidated with flexible cable vibrator. First grout pour shall be stopped a minimum of 1 - 1/2" below the top of the middle band beam masonry.

NOTES:

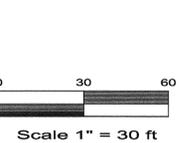
- 1) WALLS
 - a) New construction: maximum 6'-0" high and constructed of concrete block (8"x16"). Materials used shall be consistent with those used in the construction of one structural style of the principal building. (Section 3-802 Materials)
 - b) Existing: maximum 6'-0" high replacement masonry can be made of the same materials or as long as they are made of approved masonry materials.
- 2) FOOTINGS
 - a) Existing: maximum 6'-0" high replacement masonry can be made of the same materials or as long as they are made of approved masonry materials.
 - b) New: 8"x16" concrete w/2-#8 continuous rebar imbedded.
- 3) CONCRETE SLAB
 - a) Existing: maximum 6'-0" high replacement masonry can be made of the same materials or as long as they are made of approved masonry materials.
 - b) New: 8"x16" concrete w/2-#8 continuous rebar imbedded.
- 4) CONCRETE FILLED CELLS
 - a) With 1-#8 vertical rebar tied to footer steel at each corner and every 4' o.c.
- 5) GATES
 - a) Constructed of min. 1-1/2" diameter galvanized tubular steel w/privacy-type slots inserted in galvanized steel mesh fabric, hinge-mounted on min. 2" diameter galvanized steel post. (Gate and post constructed and installed per applicable building code by licensed fence contractor).
- 6) DROP PIN
 - a) 1/2" dia. 18" long metal rod gate latch. Provide 3/4" dia. hole 6" into concrete for rods. In asphalt provide a 3/4" P.V.C. sleeve, 6" long, or equal.
- 7) SOIL
 - a) Soil bearing capacity to be at least 2,500 P.S.F.



LEGEND

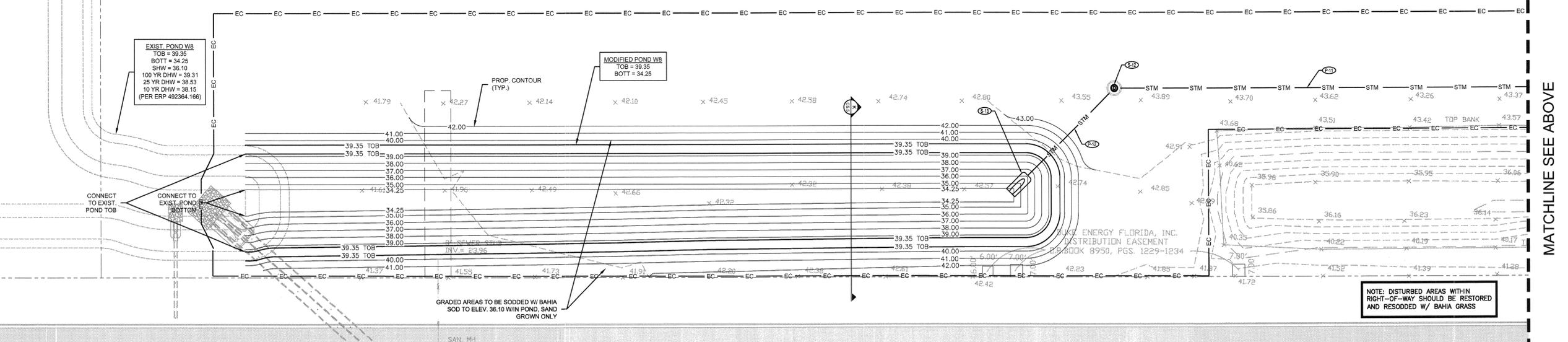
- PROPERTY LINE
- EC --- SILT FENCE
- STM --- PROPOSED STORM PIPE
- RD --- PROPOSED ROOF DRAIN
- PROPOSED SWALE
- EXISTING PAVEMENT
- PROPOSED LIGHT DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED FDOT ASPHALT PAVEMENT
- PROPOSED COUNTY ASPHALT PAVEMENT
- PROPOSED 6" THK. CONCRETE (MIN.)
- PROPOSED PERVIOUS CONCRETE PAVEMENT
- PROPOSED BUILDING
- PROPOSED 4" THK. CONCRETE
- SB-2 BORING LOCATION
- P-1 STORM STRUCTURE OR PIPE NUMBER
- FLOW ARROW
- △ CROSS SECTION NAME
- △ C-5 CROSS SECTION SHEET LOCATION
- 1.00% PAVEMENT SLOPE
- 0.00% PROPOSED SPOT GRADE

ALL SITE PREPARATION, GRADING AND MATERIALS PER GEOTECHNICAL REPORT BY DRIGGERS ENGINEERING SERVICES, INC. DATED JULY 22, 2014 AND SUPPLEMENTAL REPORT DATED OCTOBER 1, 2014.



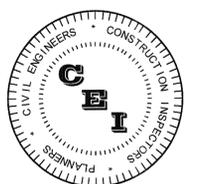
SINGLE DUMPSTER ENCLOSURE

NTS



MATCHLINE SEE ABOVE

NOTE: DISTURBED AREAS WITHIN RIGHT-OF-WAY SHOULD BE RESTORED AND RESODDED W/ BAHIA GRASS



CAMPO ENGINEERING, INC.

FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL. 33605
PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE

THE SHOPPES AT TRINITY LAKES

PASCO COUNTY, FLORIDA

CLIENT



THE SHOPPES AT TRINITY LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE
△	PER FDOT COMMENTS	12/15/14

ISSUE DATE: 6/2014

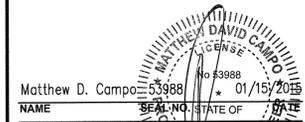
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DESIGNED BY: BLM

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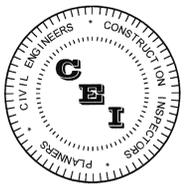
14-026



PAVING, GRADING & DRAINAGE PLAN

SHEET NUMBER

C5.3



CAMPO ENGINEERING, INC.

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YEARS Creating Retail Value.

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REVISIONS

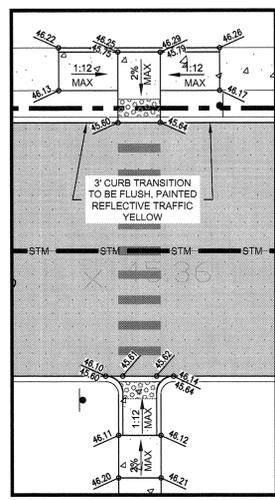
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ISSUE DATE: 6/2014
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DESIGNED BY: BLM

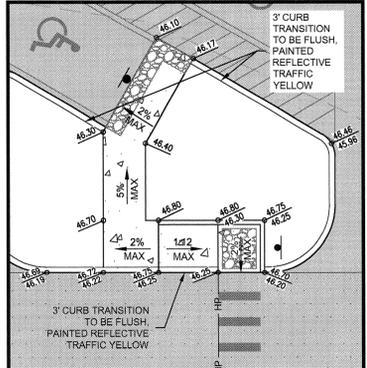
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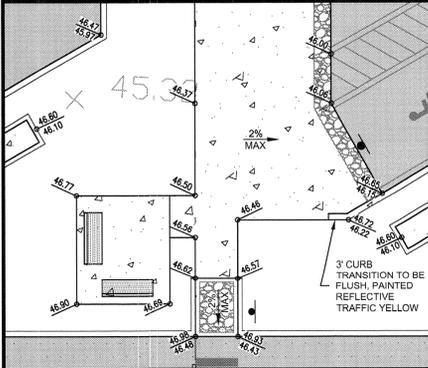
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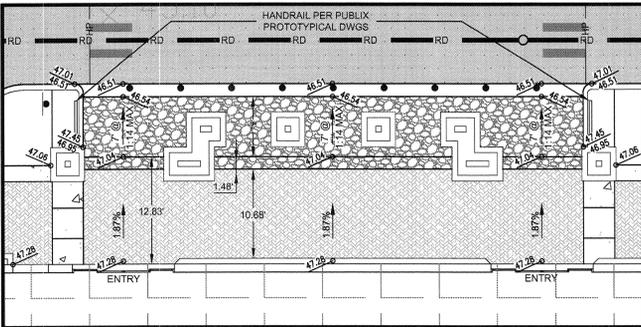
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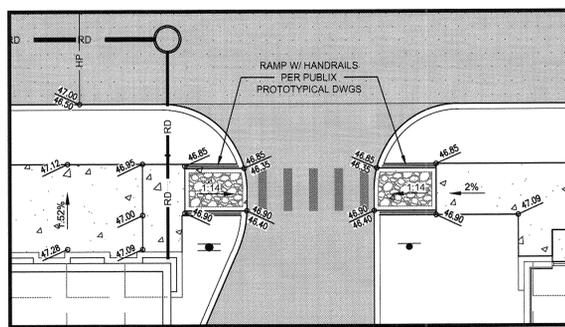
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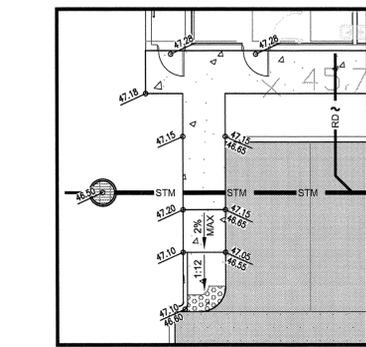
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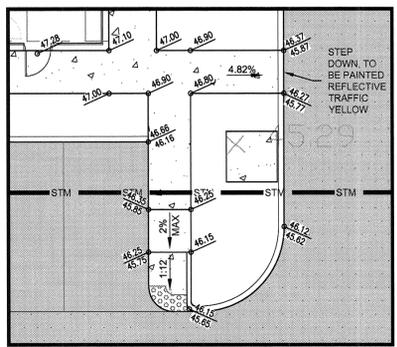
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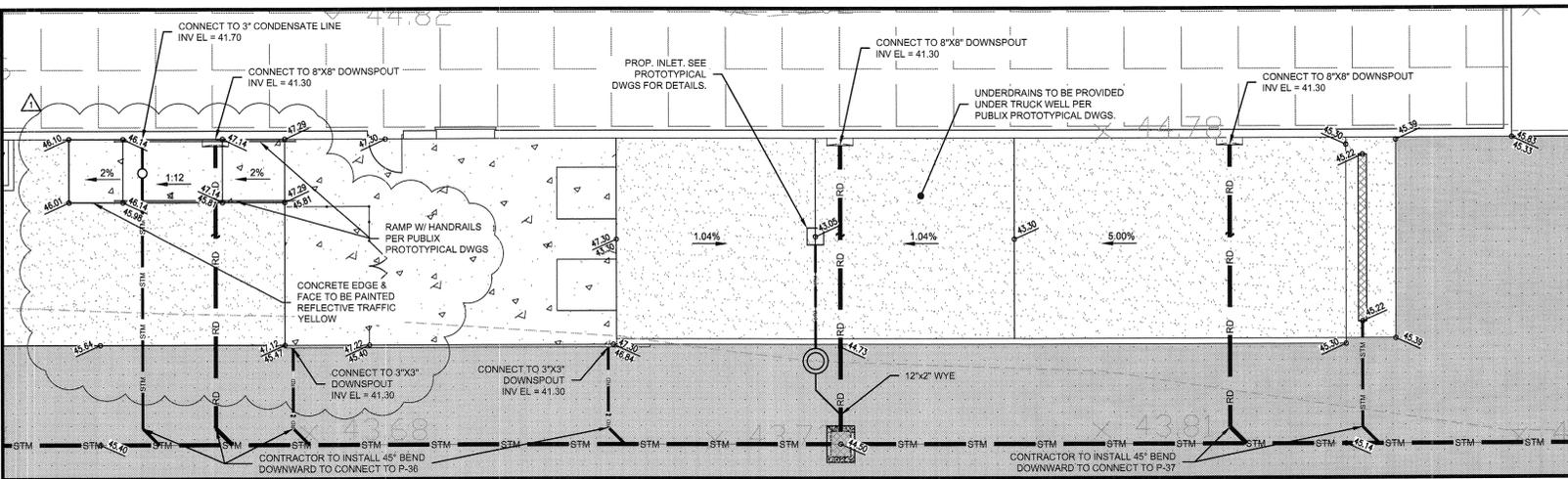
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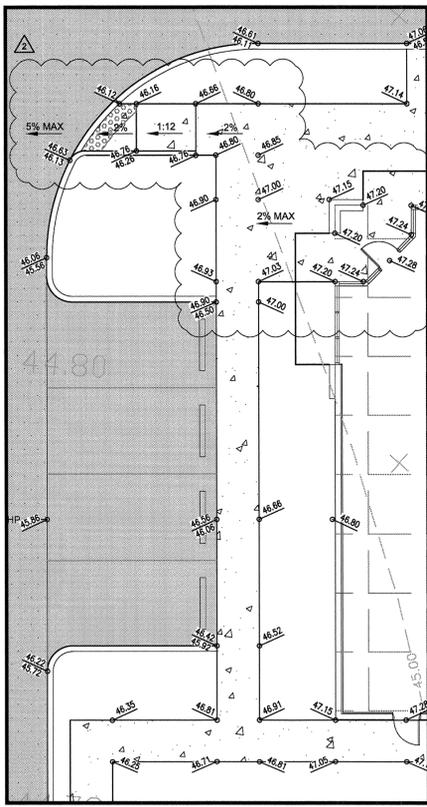
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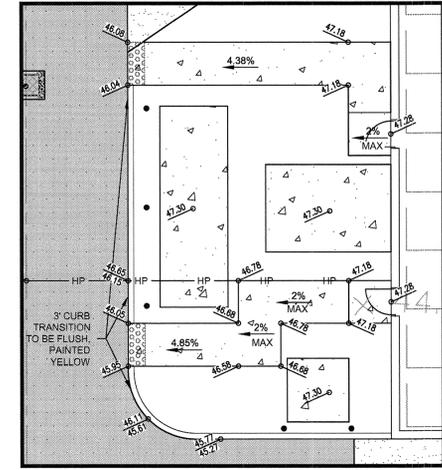
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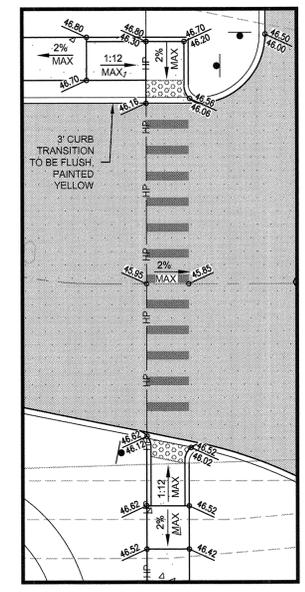
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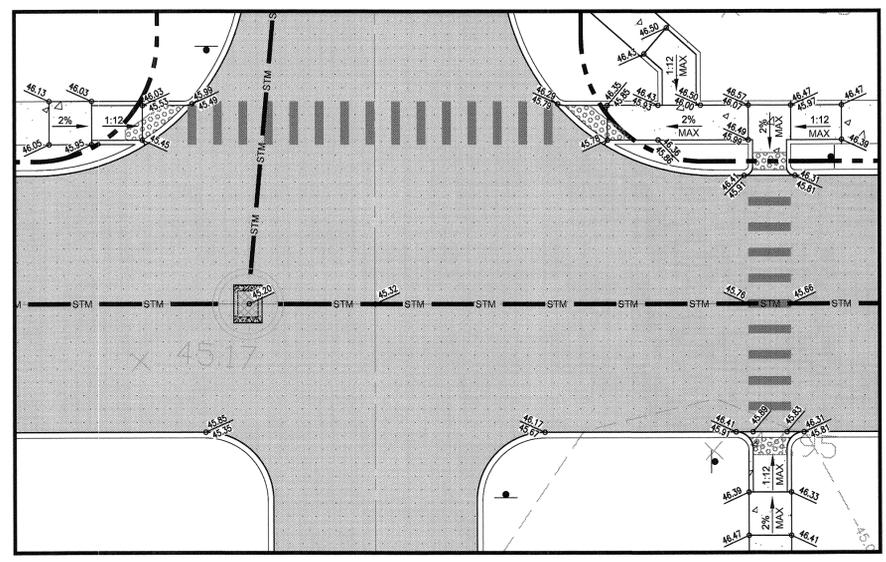
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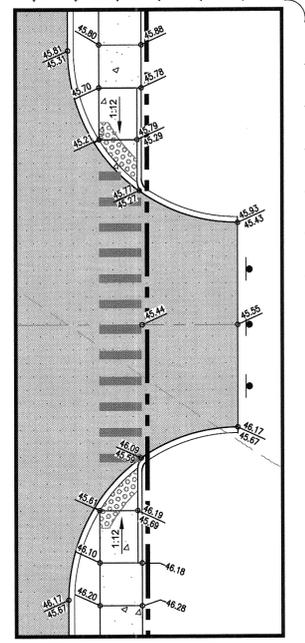
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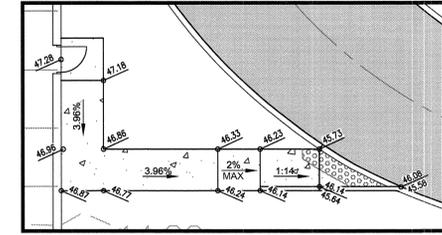
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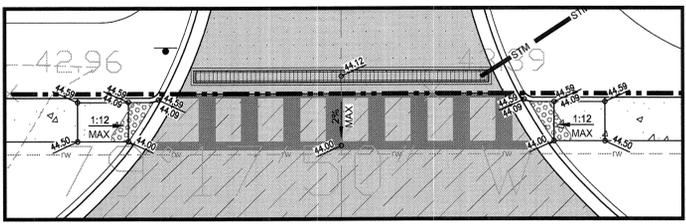
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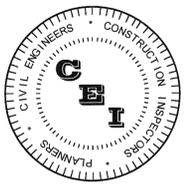


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CAMPO
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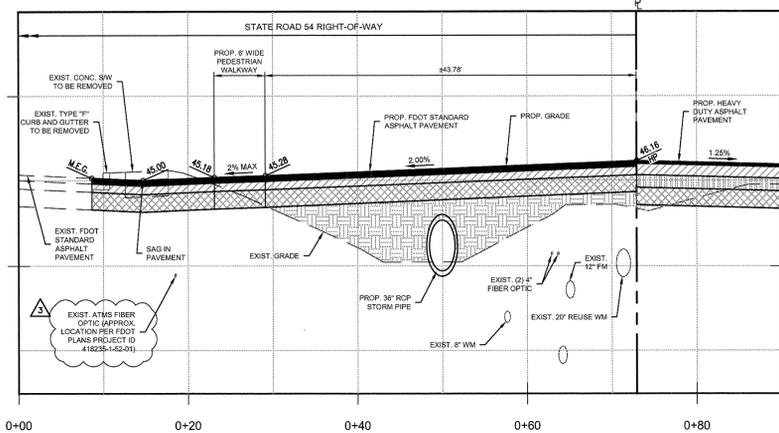
14-026

Matthew D. Campo
NAME
DATE
SHEET TITLE

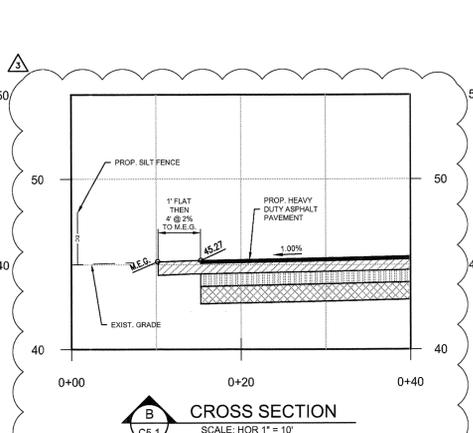
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SHEET NUMBER

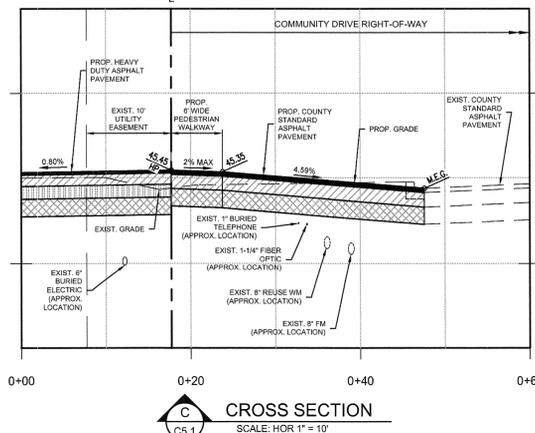
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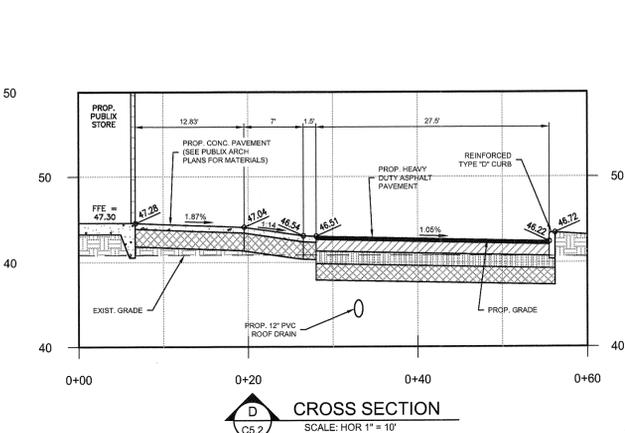
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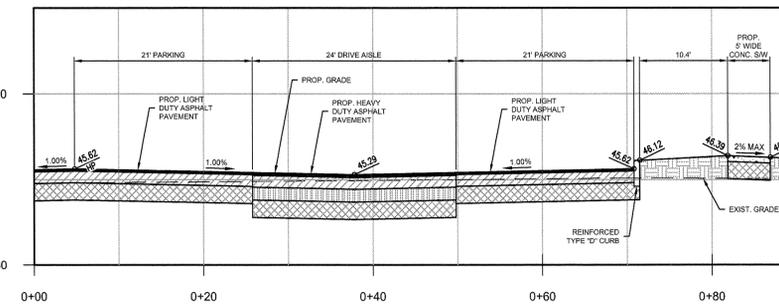
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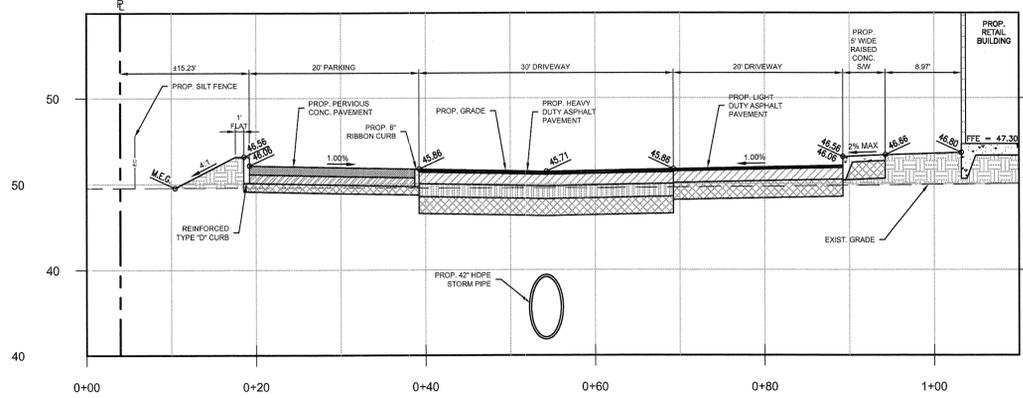
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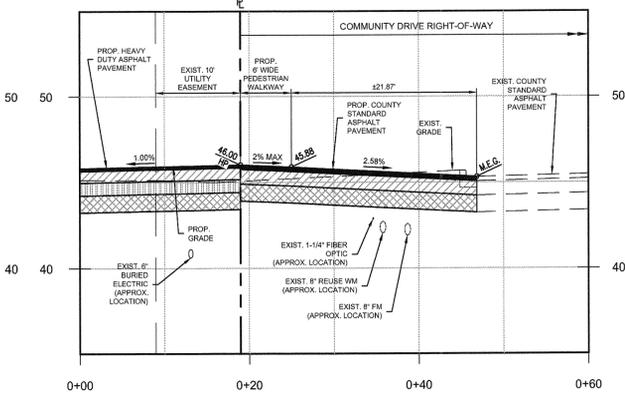
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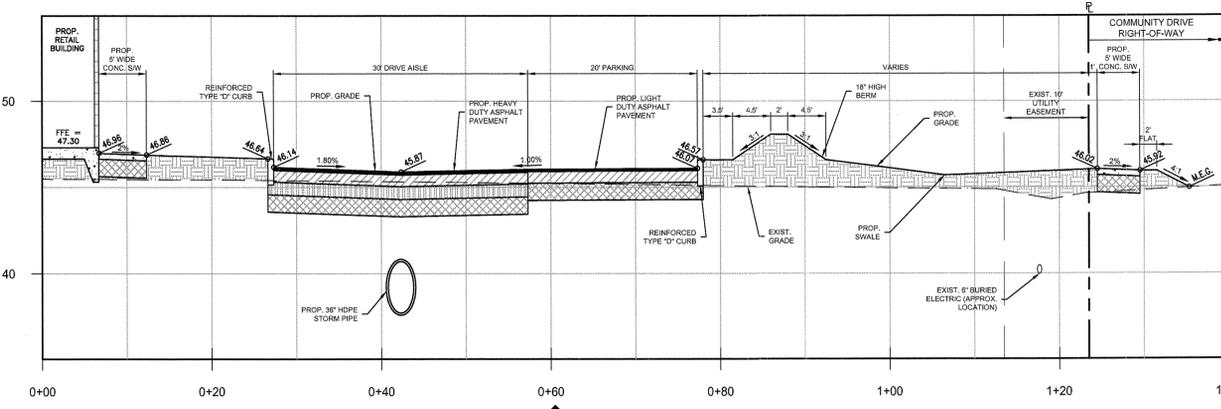
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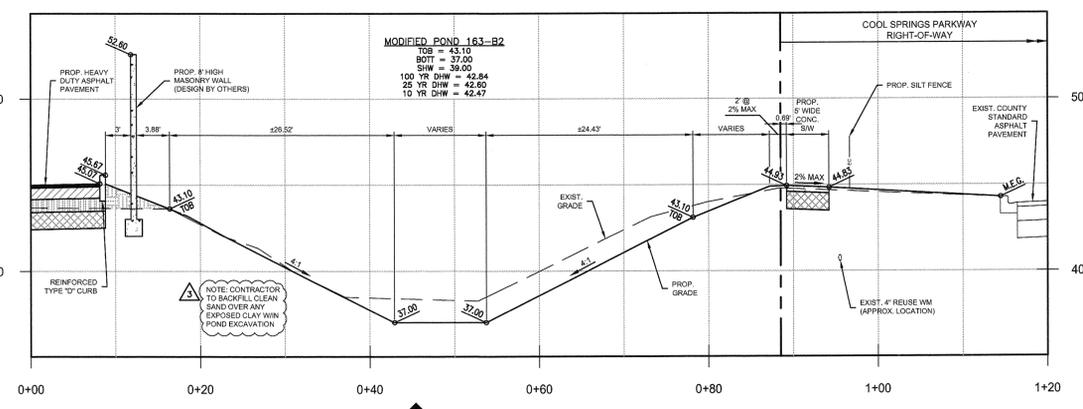
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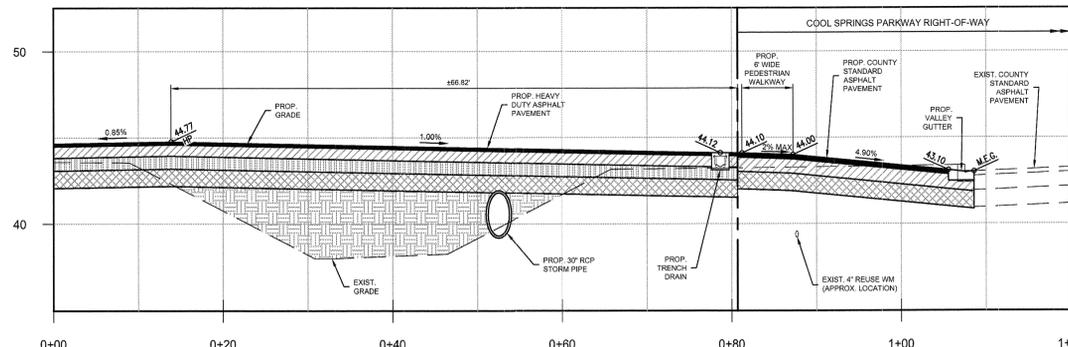
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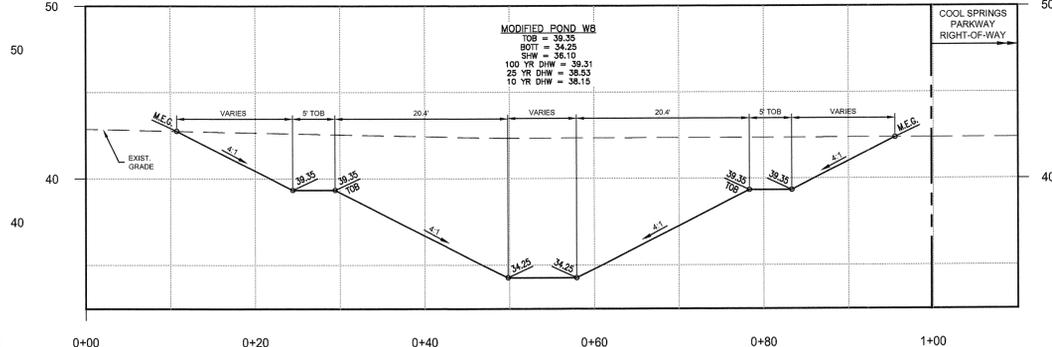
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I
CROSS SECTION
SCALE: HOR 1" = 10'
VER 1" = 5'



J
CROSS SECTION
SCALE: HOR 1" = 10'
VER 1" = 5'



K
CROSS SECTION
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VER 1" = 5'

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LEGEND

	PROPERTY LINE
	PROPOSED BUILDING
	EXISTING ASPHALT PAVEMENT
	EXISTING CONCRETE PAVEMENT
	WATER MAIN
	FIRE MAIN
	FDC LINE
	SANITARY SEWER MAIN
	UTILITY CROSSING NUMBER

GENERAL NOTES

- GRASS AND MULCH, OR SOLID SOD, ALL AREAS IN EXISTING RIGHT-OF-WAY DISTURBED BY CONSTRUCTION.
- CONTRACTOR IS TO COORDINATE ALL WORK WITHIN, BUT NOT LIMITED TO PUBLIC RIGHT-OF-WAY WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES AND THE MAKING OF ADJUSTMENTS TO SAME, IF REQUIRED.
- CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES.
- FIRE HYDRANT, GATE VALVE AND BLOW-OFF VALVE ASSEMBLIES SHALL CONSIST OF ALL PIPE VALVES, TEES, FITTINGS, AND ANY AND ALL OTHER APPURTENANCES COMPRISING A COMPLETE, WORKING UNIT.
- CONTRACTOR SHALL PROVIDE ANY DETERMINING FOR UTILITY INSTALLATION IF REQUIRED.
- ADJUSTING MANHOLE TOPS TO MATCH GRADE AND SLOPE OF THE FINISH PAVING SHALL BE INCLUDED IN THE RESPECTIVE CONTRACT UNIT PRICE FOR MANHOLES, PAYMENT OF WHICH WILL CONSTITUTE FULL COMPENSATION FOR THE CONSTRUCTION AND COMPLETION OF THE MANHOLE, AND NO ADDITIONAL PAYMENT WILL BE ALLOWED OR MADE FOR ADJUSTING MANHOLE TOPS.
- BENDS SHALL BE INSTALLED IN WATER MAIN TO AVOID UNFORESEEN CONFLICTS IN EXISTING OR PROPOSED STRUCTURES.
- THE JOINT DEFLECTION METHOD SHALL BE USED WHERE PRACTICAL IN LIEU OF INSTALLING BENDS.
- CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF EXISTING WATER AND SEWER LINES PRIOR TO BEGINNING CONSTRUCTION.
- THE EXISTING UNDERGROUND UTILITY LINES SHOWN HEREON WERE TAKEN FROM DOCUMENTS FURNISHED BY OTHERS AND NOT FIELD VERIFIED, THEREFORE, THE ENGINEER CANNOT GUARANTEE THE ACCURACY OF SAME NOR ALL THAT ARE SHOWN, THE CONTRACTOR SHALL EXPOSE ALL UNDERGROUND UTILITY LINES IN COORDINATION WITH THE OWNERS TO HIS SATISFACTION AND MAKE ADJUSTMENTS TO SAME IN THE EVENT THERE ARE CONFLICTS WITH NEW CONSTRUCTION.

CONSTRUCTION NOTES WITHIN RIGHT OF WAY

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE EXTENTS OF PAVEMENT RESTORATION BASED ON HIS MEANS AND METHODS OF INSTALLING WATER, SEWER AND STORMWATER INFRASTRUCTURE ADJACENT TO OR UNDER EXISTING PAVEMENT AREAS. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING LOCAL MUNICIPALITY AND STATE STANDARDS WHEN RESTORING PAVEMENT AND NOT SOLELY RELY ON CIVIL PLANS.
- CONTRACTOR MUST VERIFY ALL EXISTING WATER, SEWER AND STORMWATER INFRASTRUCTURE WITHIN THE RIGHT OF WAY PRIOR TO ORDERING STRUCTURES. THE CONTRACTOR SHALL PROVIDE THE ENGINEER VERTICAL AND HORIZONTAL LOCATIONS OF INFRASTRUCTURE IN ORDER TO VERIFY ANY POTENTIAL CONFLICTS PRIOR TO ORDERING STRUCTURES.

EXISTING UTILITY LOCATION NOTES

- BEFORE BEGINNING SITE WORK, THE CONTRACTOR IS REQUIRED TO FIELD VERIFY THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES AND OTHER FEATURES. THE CONTRACTOR MAY CONSULT THE UTILITY OWNER'S RECORD DRAWINGS, BUT THE UTILITY OWNER AND THE ENGINEER DO NOT GUARANTEE, BY IMPLICATION OR OTHERWISE, THE ACCURACY OF THESE DRAWINGS. THE SITE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ANY MODIFICATION REQUIRED, OTHER THAN SHOWN ON PLANS.
- EXISTING WATER MAIN LOCATIONS SHOWN ARE APPROXIMATE BASED ON PASCO COUNTY ASBUILTS AND VILLAGES OF TRINITY LAKES PLANS BY LINCKS.

PASCO COUNTY NOTES

- ALL UTILITY MATERIAL AND WORKMANSHIP MUST COMPLY WITH "STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER AND RECLAIMED WATER FACILITIES SPEC. (JUNE 1995 EDITION)".
- CONNECTIONS INTO EXISTING COUNTY-OWNED SYSTEM SHALL BE VIA WET TAP. WET TAPS SHALL BE PERFORMED BY PASCO COUNTY UTILITIES SERVICES BRANCH AT THE DEVELOPER'S EXPENSE. EXCAVATION, BACKFILL, AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MATERIAL FOR WET TAPS LARGER THAN 2" SHALL BE PROVIDED AND INSTALLED BY THE PROJECT CONTRACTOR.
- THE PASCO COUNTY UTILITIES SERVICES BRANCH SHALL NOT OWN OR MAINTAIN WATER AND SEWER LINES OR FACILITIES ON-SITE.
- PER NFPA-1, 18.4.3.1.3: WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
- FIRE PROTECTION SHALL MEET THE REQUIREMENTS OF THE PASCO COUNTY CODE OF ORDINANCES, CHAPTER 46, FIRE PREVENTION AND PROTECTION, AND PLANS SHALL COMPLY WITH REFERENCED REQUIREMENTS.
- ALL PROJECTS MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE NO. 46-51.
- FIRE HYDRANTS MUST BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.
- FIRE HYDRANTS SHALL BE FLOW-TESTED AND COLOR-CODED BASED ON FLOW RESULTS.
- PER NFPA-1, 18.3.4.1: CLEARANCES OF 7 1/2 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4 FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.
- GATED ENTRIES REQUIRE A SIRE OPERATING SYSTEM OR A 3M OPTICOM SYSTEM FOR EMERGENCY ACCESS.
- IN CONSIDERATION OF PASCO COUNTY'S AGREEMENT TO PROVIDE POTABLE WATER AND/OR RECLAIMED WATER TO THE SUBJECT PROPERTY, DEVELOPER/OWNER, AND ITS SUCCESSORS AND ASSIGNS, AGREE TO THE FOLLOWING:
 - IN THE EVENT OF PRODUCTION FAILURE OR SHORTFALL BY TAMPA BAY WATER, AS SET FORTH IN SECTION 3.19 OF THE INTERLOCAL AGREEMENT CREATING TAMPA BAY WATER, DEVELOPER/OWNER SHALL TRANSFER TO PASCO COUNTY ANY AND ALL WATER USE PERMITS OR WATER USE RIGHTS THE DEVELOPER/OWNER MAY HAVE TO USE OR CONSUME SURFACE OR GROUND WATER WITHIN PASCO COUNTY.
 - PRIOR TO DEVELOPER/OWNER SELLING WATER OR WATER USE PERMITS OR WATER USE RIGHTS, DEVELOPER/OWNER SHALL NOTIFY PASCO COUNTY, AND PASCO COUNTY SHALL HAVE A RIGHT OF FIRST REFUSAL TO PURCHASE SUCH WATER OR WATER USE PERMITS OR WATER USE RIGHTS.
- A SEPARATE PLAN AND PERMIT ISSUED TO A CONTRACTOR LICENSED BY THE FLORIDA STATE FIRE MARSHAL'S OFFICE, IS REQUIRED FOR THE INSTALLATION OF UNDERGROUND FIRE LINES.

PASCO COUNTY - CONTRACTOR'S RESPONSIBILITIES

- 2" ONLY - THIS EXCAVATED TRENCH MUST BE DRY OF THE TRENCH WILL REQUIRE ROCK AND A PUMP TO BE IN PLACE. THE MINIMUM DISTANCE FROM THE FACE OF THE VALVE TO THE WALL OF THE TRENCH IS TO BE SIX FEET.
- 3" AND LARGER - THE CONTRACTOR WILL SUPPLY A TAPPING SADDLE BEING EPOXY COATED, A TAPPING VALVE WITH MECHANICAL JOINT AND THE EQUIPMENT TO PROVIDE, AND CONDUCT A PRESSURE TEST. COUNTY PERSONNEL WILL WITNESS THE PRESSURE TEST WHICH MUST BE AT 150 PSI FOR DURATION OF THIRTY MINUTES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION BEFORE ANY COUNTY PERSONNEL WILL ENTER AN EXCAVATED AREA. IF THE TRENCH IS FOUR FEET IN DEPTH OR DEEPER, IT WILL REQUIRE A TRENCH BOX OR SLOPING, AND A LADDER ACCORDING TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
- THE TAPPING VALVE WILL REQUIRE A BLOCKING DEVICE MADE OF SUITABLE MATERIAL OR DEVICE. THIS BLOCKING DEVICE OR MATERIAL WILL BE PLACED UNDER THE VALVE AND REMAIN IN PLACE UNTIL THE TAP MACHINE IS REMOVED AND THE TAP IS COMPLETED.
- NOTE: IF THE CONTRACTOR HAS NOT FULFILLED HIS RESPONSIBILITIES, AS STATED ABOVE, PRIOR TO THE ARRIVAL OF PASCO COUNTY UTILITIES OPERATIONS AND MAINTENANCE TAPPING CREW, THERE WILL BE AN ADDITIONAL CHARGE OF \$95.00.
- IF THERE ARE ANY QUESTIONS REGARDING THIS INFORMATION, CONTACT NELSON D. HOLT, FIELD SUPERVISOR, UTILITIES SERVICE BRANCH, AT (727) 847-8145, OR EMAIL: NHOLT@PASCOCOUNTYFL.NET

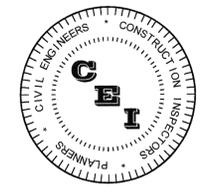
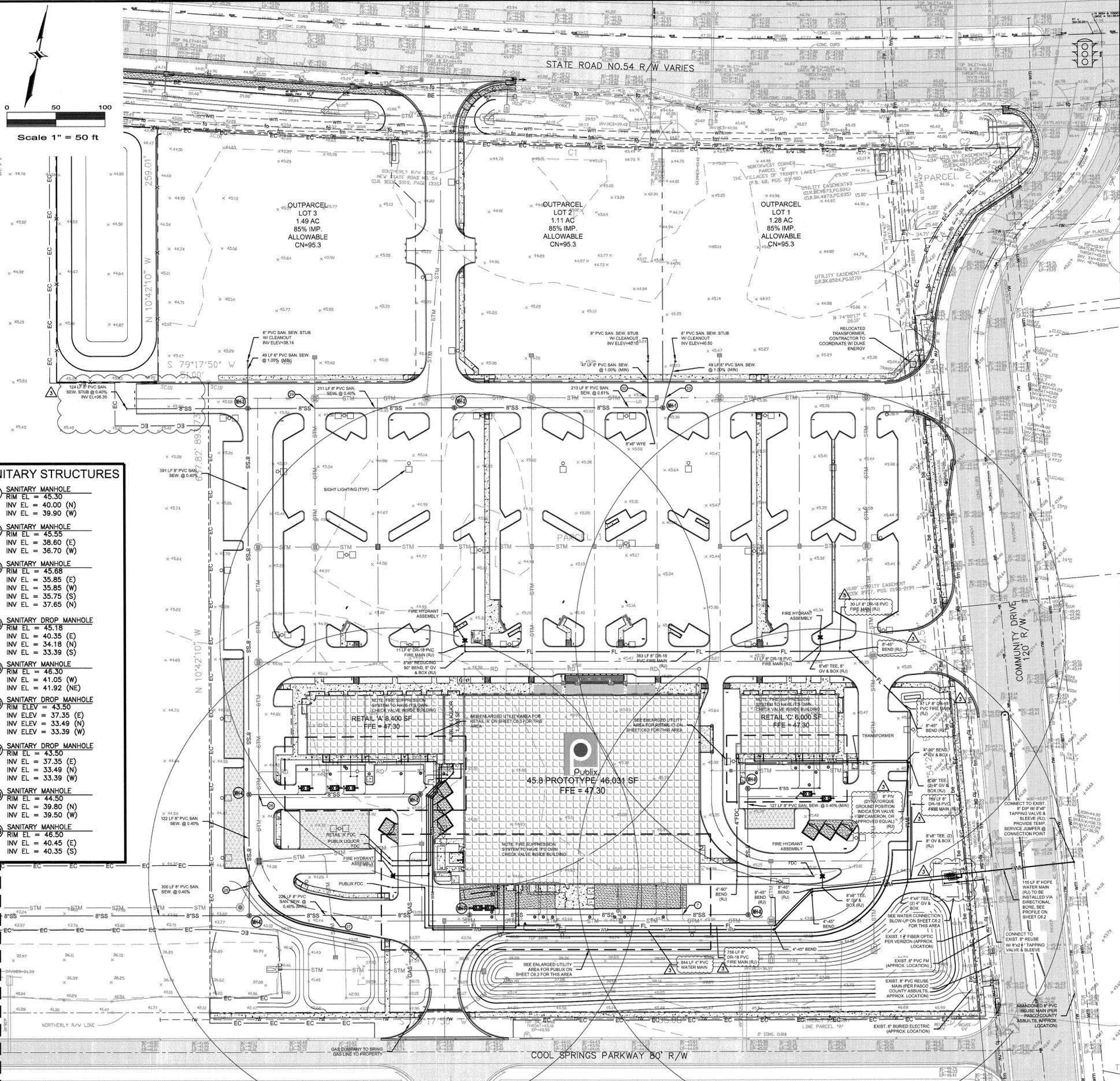
UTILITY CROSSINGS

- | | | |
|-----------------------------------|-----------------------------------|-----------------------------------|
| ① 7" PVC STM BTM EL = 41.80 | ② 12" PVC STM BTM EL = 39.24 | ③ 18" HDPE STM BTM EL = 40.67 |
| ④ 8" PVC SAN. SEW. TOP EL = 39.93 | ⑤ 8" PVC SAN. SEW. TOP EL = 38.38 | ⑥ 8" PVC SAN. SEW. TOP EL = 40.25 |
| ⑦ 42" HDPE STM TOP EL = 39.87 | ⑧ 42" HDPE STM TOP EL = 35.45 | ⑨ 4" UNDERDRAIN BTM EL = 41.14 |
| ⑩ 8" PVC SAN. SEW. BTM EL = 40.37 | ⑪ 42" HDPE STM TOP EL = 39.87 | ⑫ 8" PVC SAN. SEW. TOP EL = 36.82 |
| ⑬ 30" HDPE STM TOP EL = 38.04 | ⑭ 8" PVC SAN. SEW. TOP EL = 36.82 | ⑮ SEPARATION = 1.22 |
| ⑯ SEPARATION = 0.50 | ⑰ SEPARATION = 1.17 | ⑱ SEPARATION = 0.89 |
| ⑲ SEPARATION = 0.89 | ⑳ SEPARATION = 1.14 | ㉑ SEPARATION = 0.89 |

SANITARY STRUCTURES

- | | | |
|------|-----------------------|----------------------|
| MH-1 | SANITARY MANHOLE | RIM EL = 45.30 |
| | | INV EL = 40.00 (N) |
| | | INV EL = 39.90 (W) |
| MH-2 | SANITARY MANHOLE | RIM EL = 45.55 |
| | | INV EL = 38.60 (E) |
| | | INV EL = 36.70 (W) |
| MH-3 | SANITARY MANHOLE | RIM EL = 45.68 |
| | | INV EL = 35.85 (E) |
| | | INV EL = 35.85 (W) |
| | | INV EL = 35.75 (S) |
| | | INV EL = 37.65 (N) |
| MH-4 | SANITARY DROP MANHOLE | RIM EL = 45.18 |
| | | INV EL = 40.35 (E) |
| | | INV EL = 34.18 (N) |
| | | INV EL = 33.39 (S) |
| MH-5 | SANITARY MANHOLE | RIM EL = 46.30 |
| | | INV EL = 41.05 (W) |
| | | INV EL = 41.92 (NE) |
| MH-6 | SANITARY DROP MANHOLE | RIM EL = 43.50 |
| | | INV ELEV = 37.35 (E) |
| | | INV ELEV = 33.49 (N) |
| | | INV ELEV = 33.39 (W) |
| MH-7 | SANITARY DROP MANHOLE | RIM EL = 43.50 |
| | | INV EL = 37.35 (E) |
| | | INV EL = 33.49 (N) |
| | | INV EL = 33.39 (W) |
| MH-8 | SANITARY MANHOLE | RIM EL = 44.50 |
| | | INV EL = 39.80 (N) |
| | | INV EL = 39.50 (W) |
| MH-9 | SANITARY MANHOLE | RIM EL = 45.50 |
| | | INV EL = 40.45 (E) |
| | | INV EL = 40.35 (S) |

MATCHLINE SEE SHEET C6.2



CAMPO ENGINEERING, INC.

FBRP CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL. 33605
PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE
THE SHOPPES AT TRINITY LAKES

PASCO COUNTY, FLORIDA

CLIENT



THE SHOPPES AT TRINITY LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE
1	PER COUNTY COMMENTS	12/15/14

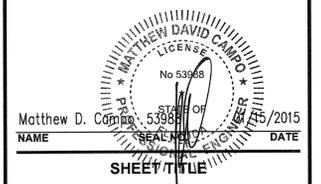
ISSUE DATE: 6/2014

REVIEWED BY: MDC

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DESIGNED BY: BLM

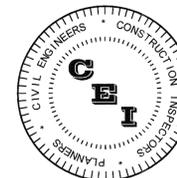
PROJECT NUMBER
14-026



OVERALL UTILITY PLAN

SHEET NUMBER
C6.1

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YEARS Creating Retail Value.

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2	PER COUNTY COMMENTS	12/15/14

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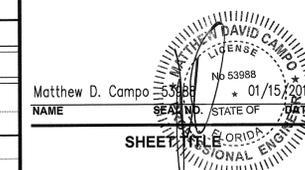
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DRAWN BY: BLM

DESIGNED BY: BLM

PROJECT NUMBER

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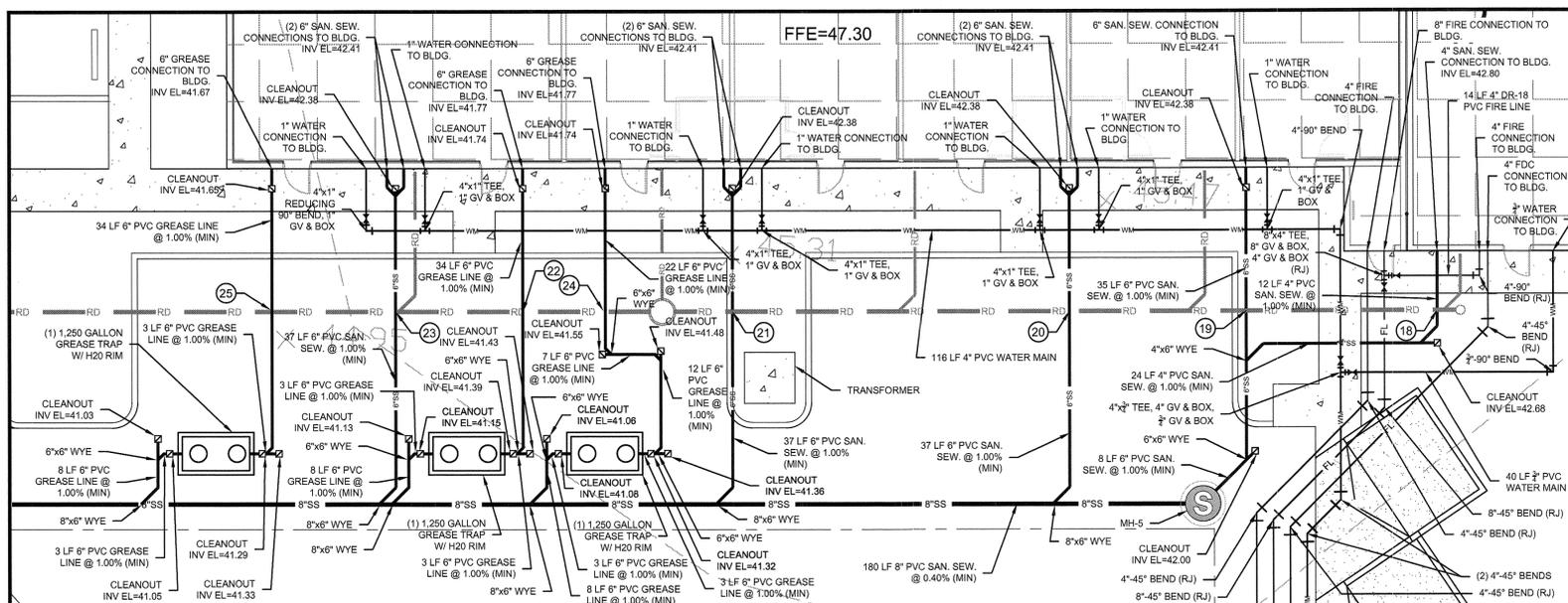
Matthew D. Campo
NAME

SHEET TITLE

UTILITY PLAN

SHEET NUMBER

C6.3

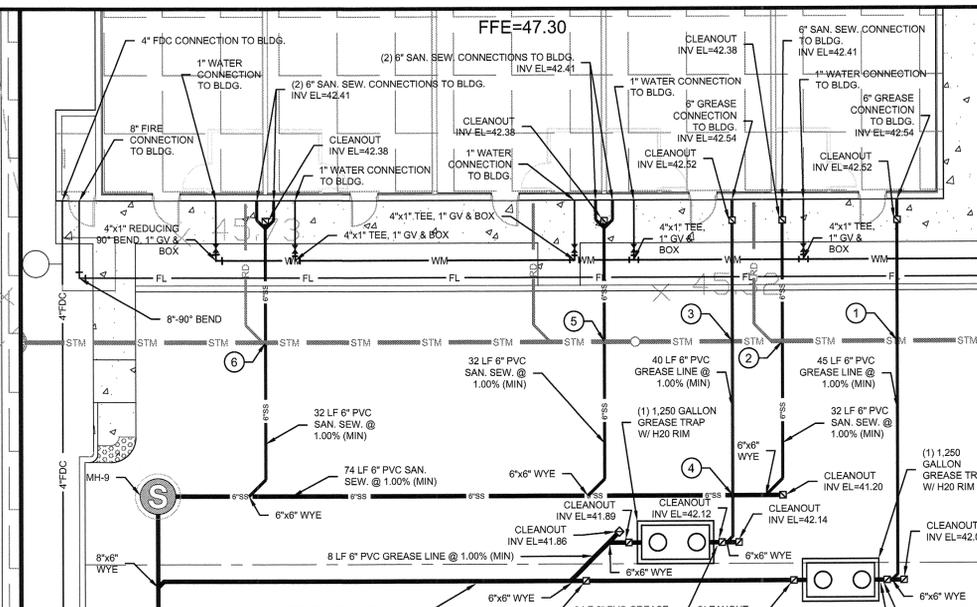


UTILITY CROSSINGS

- 18 4" PVC SAN. SEW. BTM EL = 42.72
12" PVC ROOF DRAIN TOP EL = 41.21
SEPARATION = 1.51'
- 19 6" PVC SAN. SEW. BTM EL = 42.22
12" PVC ROOF DRAIN TOP EL = 41.14
SEPARATION = 1.08'
- 20 6" PVC SAN. SEW. BTM EL = 42.22
12" PVC ROOF DRAIN TOP EL = 41.08
SEPARATION = 1.14'
- 21 6" PVC SAN. SEW. BTM EL = 42.22
12" PVC ROOF DRAIN TOP EL = 40.96
SEPARATION = 1.26'
- 22 6" PVC GREASE BTM EL = 41.58
12" PVC ROOF DRAIN TOP EL = 40.88
SEPARATION = 0.70'
- 23 6" PVC SAN. SEW. BTM EL = 42.22
12" PVC ROOF DRAIN TOP EL = 40.83
SEPARATION = 1.39'
- 24 6" PVC GREASE BTM EL = 41.58
12" PVC ROOF DRAIN TOP EL = 40.81
SEPARATION = 0.67'
- 25 6" PVC GREASE BTM EL = 41.48
12" PVC ROOF DRAIN TOP EL = 40.80
SEPARATION = 0.68'

SEE MEP DWGS FOR CONNECTIONS TO BLDG.

RETAIL 'A' UTILITY DETAIL
SCALE: 1"=10'

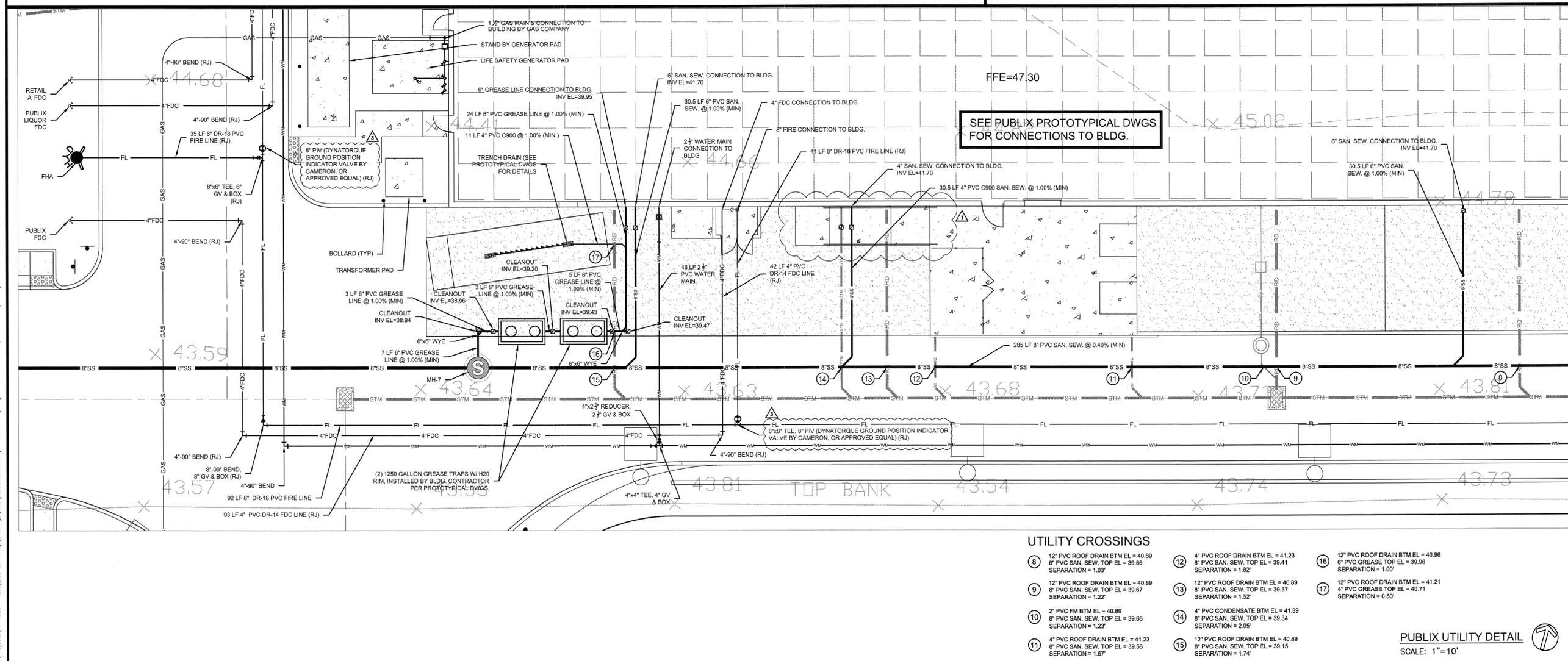


UTILITY CROSSINGS

- 1 6" PVC GREASE BTM EL = 42.37
12" PVC ROOF DRAIN TOP EL = 41.15
SEPARATION = 1.22'
- 2 6" PVC SAN. SEW. BTM EL = 42.22
12" PVC ROOF DRAIN TOP EL = 41.18
SEPARATION = 1.04'
- 3 6" PVC GREASE BTM EL = 42.37
12" PVC ROOF DRAIN TOP EL = 41.19
SEPARATION = 1.18'
- 4 6" PVC GREASE BTM EL = 42.28
6" PVC SAN. SEW. TOP EL = 41.66
SEPARATION = 0.62'
- 5 6" PVC SAN. SEW. BTM EL = 42.22
12" PVC ROOF DRAIN TOP EL = 41.22
SEPARATION = 1.00'
- 6 6" PVC SAN. SEW. BTM EL = 42.22
12" PVC ROOF DRAIN TOP EL = 41.32
SEPARATION = 0.90'

SEE MEP DWGS FOR CONNECTIONS TO BLDG.

RETAIL 'C' UTILITY DETAIL
SCALE: 1"=10'



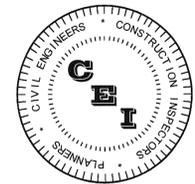
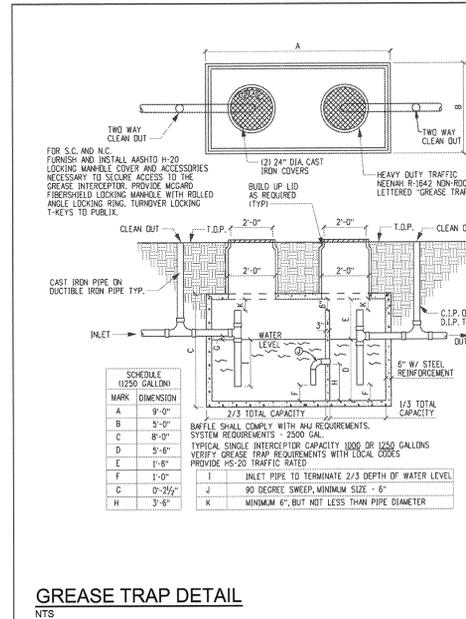
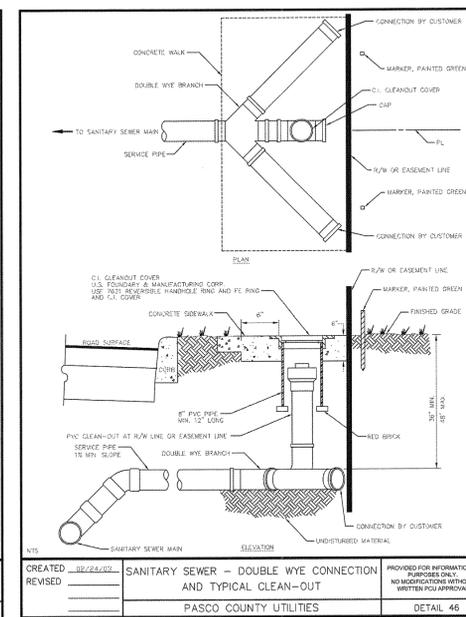
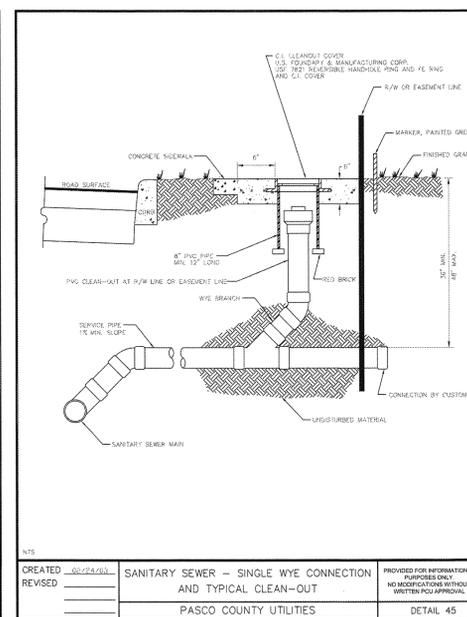
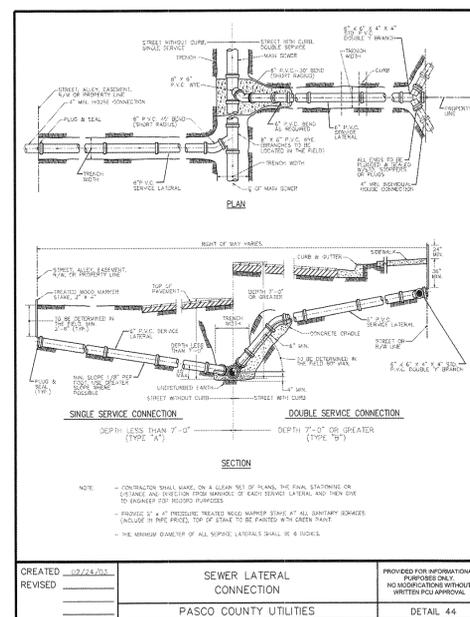
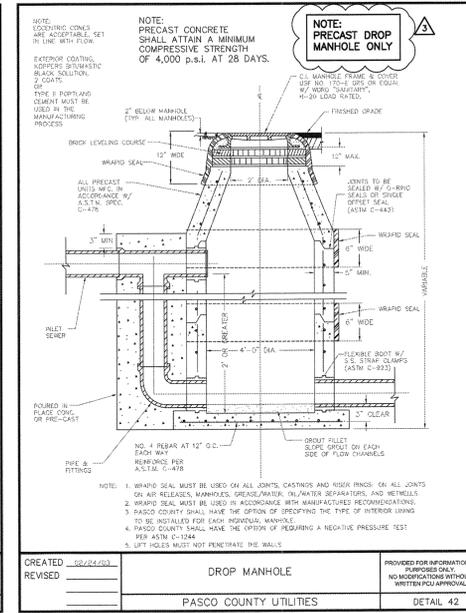
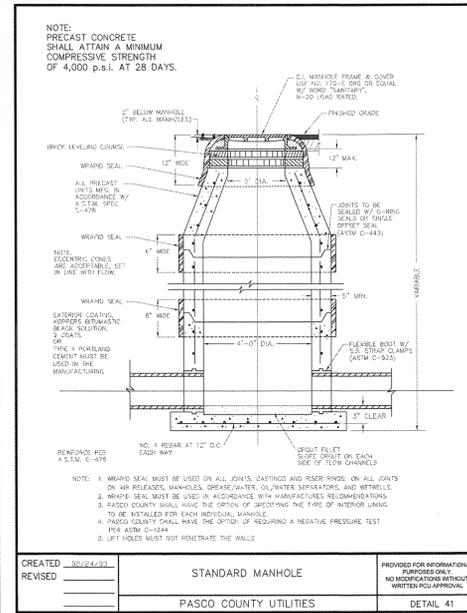
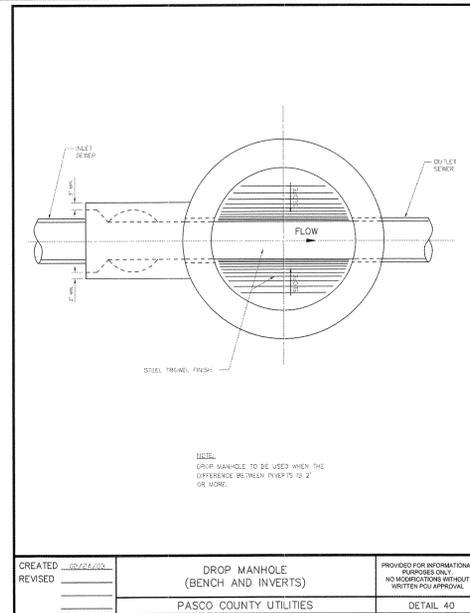
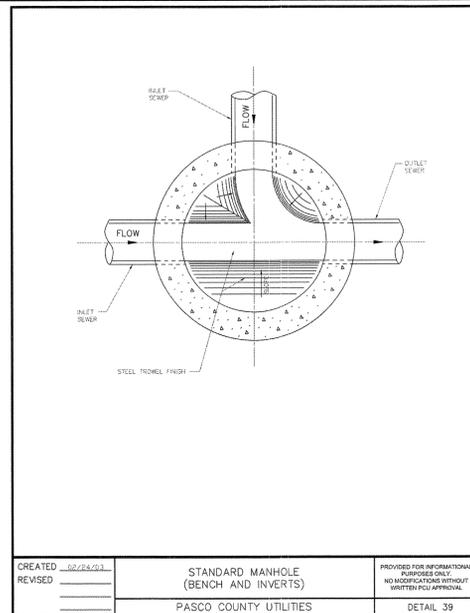
SEE PUBLIX PROTOTYPICAL DWGS FOR CONNECTIONS TO BLDG.

UTILITY CROSSINGS

- 8 12" PVC ROOF DRAIN BTM EL = 40.89
8" PVC SAN. SEW. TOP EL = 39.86
SEPARATION = 1.03'
- 9 12" PVC ROOF DRAIN BTM EL = 40.89
8" PVC SAN. SEW. TOP EL = 39.67
SEPARATION = 1.22'
- 10 2" PVC FM BTM EL = 40.89
8" PVC SAN. SEW. TOP EL = 39.66
SEPARATION = 1.23'
- 11 4" PVC ROOF DRAIN BTM EL = 41.23
8" PVC SAN. SEW. TOP EL = 39.56
SEPARATION = 1.67'
- 12 4" PVC ROOF DRAIN BTM EL = 41.23
8" PVC SAN. SEW. TOP EL = 39.41
SEPARATION = 1.82'
- 13 12" PVC ROOF DRAIN BTM EL = 40.89
8" PVC SAN. SEW. TOP EL = 39.37
SEPARATION = 1.52'
- 14 4" PVC CONDENSATE BTM EL = 41.39
8" PVC SAN. SEW. TOP EL = 39.34
SEPARATION = 2.05'
- 15 12" PVC ROOF DRAIN BTM EL = 40.89
8" PVC SAN. SEW. TOP EL = 39.15
SEPARATION = 1.74'
- 16 12" PVC ROOF DRAIN BTM EL = 40.96
6" PVC GREASE TOP EL = 39.96
SEPARATION = 1.00'
- 17 12" PVC ROOF DRAIN BTM EL = 41.21
4" PVC GREASE TOP EL = 40.71
SEPARATION = 0.50'

PUBLIX UTILITY DETAIL
SCALE: 1"=10'

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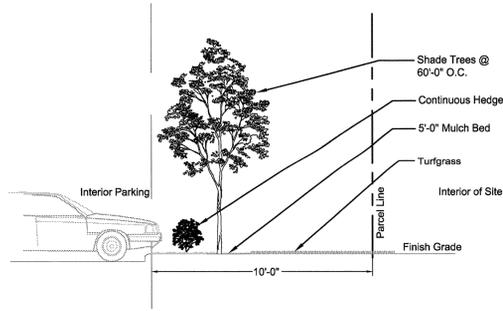
Matthew D. Campo
 NAME SEAL NO. DATE 08/15/2015

SHEET TITLE

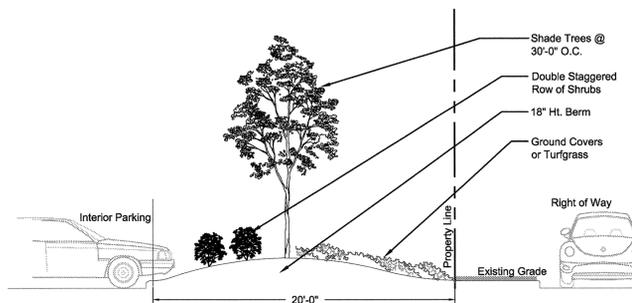
UTILITY DETAILS

SHEET NUMBER

C6.5

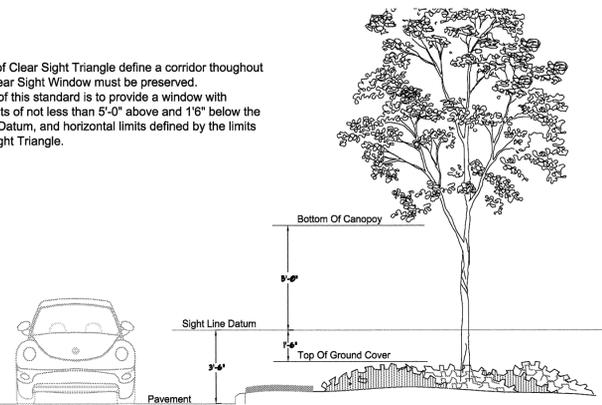


TYPE "A" BUFFER - 10'-0" WIDTH SECTION Not To Scale



TYPE "D" BUFFER - 20'-0" WIDTH SECTION Not To Scale

Note: The limits of Clear Sight Triangle define a corridor throughout which a Clear Sight Window must be preserved. The intent of this standard is to provide a window with vertical limits of not less than 5'-0" above and 1'-6" below the Sight Line Datum, and horizontal limits defined by the limits of Clear Sight Triangle.



CLEAR SIGHT WINDOW STANDARD SECTION Not To Scale

TREE SYMBOL KEY

- Quercus virginiana "SLDN" Cathedral Live Oak
- Ulmus parvifolia "Elmer II" Alee Elm
- Magnolia g. "DD Blanchard" D.D. Blanchard Magnolia
- Juniperus virginiana Southern Red Cedar
- Taxodium distichum Bald Cypress
- Sabal palmetto Cabbage Palm
- Lagerstroemia Indica Grape Myrtle "Tuscarora"
- Ligustrum lucidum Tree Ligustrum

Landscape Areas Per Plant Species

Note: Shrub quantities are multiplied by the spacing squared for each plant for the area of each plant.

Overall Landscape Area: 50,263 S.F.
25% of Landscape Area: 12,565 S.F.

Sym.	S.F. / Plant	Total S.F.
Hedge Shrubs		
* PGR	16	1904
* MFR	9	1314
* VOB	9	801
* VSU	9	2367
* VOO	9	5859
* IBN	9	5507
* PHO	6.25	1125
* JCH	6.25	3062
Dwarf Shrubs		
* DGM	4	2460
* IVO	4	1668
* RIN	4	1748
* NDF	4	1080
Ground Covers		
* TAS	4	5480
* TAV	4	2940
* TJA	4	5268
* GSP	4	1700
* NBI	4	2160
Ornamental Grasses		
* DTA	4	740
* NATIVE SPECIES		

NOTE: No one plant species exceeds the 25% limit of required planting area.

Plant List

Qty.	Sym.	Botanical Name	Common Name	Specifications	Space	Drought Tolerant	Native
Trees/Palms							
32	QV	QUERCUS VIRGINIANA "SLDN"	CATHEDRAL LIVE OAK	10' ht. x 4" spr., 2" CALIPER, 45 GAL.	A.S.	YES	YES
32	MG	MAGNOLIA G. "DD BLANCHARD"	"DD BLANCHARD" MAGNOLIA	10' ht. x 4" spr., 2" CALIPER, 45 GAL.	A.S.	YES	YES
32	UP	ULMUS PARVIFOLIA "ELMER II"	ALEE ELM	10' ht. x 4" spr., 2" CALIPER, 45 GAL.	A.S.	YES	YES
23	JV	JUNIPERUS VIRGINIANA	RED CEDAR	10' ht. x 4" spr., 2" CALIPER, 45 GAL.	A.S.	YES	YES
20	LI	LAGERSTROEMIA INDICA	GRAPE MYRTLE "Tuscarora"	10' ht. x 4" spr., 3" CALIPER, Multi-Trunk, 3min. 1" Trunks	A.S.	YES	NO
32	TD	TAXODIUM DISTICHUM	BALD CYPRESS	10' ht. x 4" spr., 2" CALIPER, 45 GAL.	A.S.	YES	YES
43	LL	LIGUSTRUM LUCIDUM	TREE LIGUSTRUM	8' ht. x 4" spr., 2" CALIPER, Multi-Trunk	A.S.	YES	NO
54	SP	SABAL PALMETTO	CABBAGE PALM	Smooth Trunk, B&B, 20-24" O.A. Staggered	A.S.	YES	YES
7	PS	PHOENIX SYLVESTRIS	SYLVESTER DATE PALM	10' clear trunk min. B&B, 20" O.A., Matched	A.S.	YES	NO
Hedge Shrubs							
119	PGR	PODOCARPUS GRACILIOR	WEEPING PODOCARPUS	6'-0" MIN HT. x 30" spr., container grown	36"/A.S.	YES	NO
146	MFR	MYRTANTHES FRAGRANS	SIMPSONS STOPPER	3 gal., 18" ht. x 18" spr.	36"/A.S.	YES	YES
89	VOB	VIBURNUM OBOVATUM	WALTERS VIBURNUM	3 gal., 18" ht. x 18" spr.	36"/A.S.	YES	YES
263	VSU	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 gal., 18" ht. x 18" spr.	36"/A.S.	YES	NO
608	VOO	VIBURNUM ODORATISSIMUM	SANDANKWA VIBURNUM	3 gal., 18" ht. x 18" spr.	36"/A.S.	YES	NO
534	IBN	ILEX BURFORDII "NANA"	DWARF BURFORD HOLLY	3 gal., 18" ht. x 18" spr.	36"/A.S.	YES	YES
180	PHO	PHILODENDRON S. "HOPE"	HOPE PHILODENDRON	3 gal., 18" ht. x 18" spr.	30"/A.S.	YES	NO
490	JCH	JUNIPERUS CHINENSIS "PARSONII"	PARSONS JUNIPER	3 gal., 18" ht. x 18" spr.	30"/A.S.	YES	NO
NOTE: ALL HEDGE SHRUBS FOR REQUIRED LANDSCAPE TO BE 18" MIN. HT. AT PLANTING AND 24" HT. WITHIN 12 MONTHS OF PLANTING.							
Dwarf Shrubs							
615	DGM	DURANTA "GOLD MOUND"	GOLD MOUND DURANTA	3 gal., 12" ht. x 12" spr.	24"/A.S.	YES	YES
401	IVB	ILEX VOMITORIA "BORDEAUX"	DWARF YAUPOH HOLLY	3 gal., 12" ht. x 12" spr.	24"/A.S.	YES	YES
437	RIN	RAPHIOLEPIS INDICA "ALBA"	DWARF INDIAN HAWTHORN	3 gal., 12" ht. x 12" spr.	24"/A.S.	YES	NO
273	NDF	NANDINA DOMESTICA "FIRE POWER"	"FIRE POWER" NANDINA	3 gal., 12" ht. x 12" spr.	24"/A.S.	YES	NO
NOTE: MAX. HT. 14". SPACED TO COVER IN 12 MONTHS. SPACING AS SHOWN.							
Ground Covers							
1785	TAS	TRACHELOSPERMUM ASIATICUM	DWARF CONF. JASMINE	1 gal., FULL IN POT	24"/A.S.	YES	YES
735	TAV	TRACHELOSPERMUM A. "TRICOLOR"	DWARF CONF. JASMINE	1 gal., FULL IN POT	24"/A.S.	YES	YES
1137	TJA	TRACHELOSPERMUM JASMINOIDES	CONFEDERATE JASMINE	1 gal., FULL IN POT	24"/A.S.	YES	YES
425	GSP	GAMOLEPIS CHRYSANTHEMOIDES	AFRICAN BUSH DAISY	1 gal., 12" ht. x 12" spr.	24"/A.S.	YES	NO
540	NBI	NEPHROLEPIS BISERRATA	MACHO FERN	1 gal., 12" ht. x 12" spr.	24"/A.S.	YES	YES
NOTE: SPACE/MAINTAIN TO PROVIDE COMPLETE COVERAGE WITHIN 12 MONTHS OF PLANTING.							
Ornamental Grasses							
135	DTA	DIANELLA TASMANICA	VAREGATED FLAX LILY	3 gal., 18" ht. x 18" spr.	30"	YES	YES
Accents							
15	CAS	CRINUM ASIATICUM	CRINUM LILY	10 gal., 36" ht. x 36" spr.	A.S.	YES	NO
Seasonal Color							
0	SEAS	TO BE DETERMINED	ANNUALS	6" POTS	8"	NO	NO
Turfgrass/Mulch							
TBD	SF	S.A. SOD	Stenotaphrum secundatum	Argentine Bahia Grass	Solid Sod		
TBD	SF	BAHIA	Paspalum notatum "Argentine"	Argentine Bahia Grass	Solid Sod		
TBD	SF	MULCH	PINE BARK MINI-NUGGETS		3" Depth		

TREE TABLE

TREES TO BE REMOVED

Size (Inches)	Number of Trees	Total Inches
10	0	0
11	0	0
12	3	36
13	1	13
14	0	0
15	0	0
16	0	0
17	1	17
18	0	0
19	0	0
20	1	20
21	0	0
22	1	22
23	0	0
24	0	0
25	1	25
Total:	0	133

TREES TO BE PLANTED

Size (Inches)	Number of Trees	Total Inches
2	271	542
Total:	271	542

NET INCHES

Totals:	Removed	Planted
	-133	542
Difference:	+409	

General Landscape Notes

- These plans respond to the criteria set forth in the most current Pasco County Tree Restoration and Protection and Landscape Codes.
- Related Information. See Civil site work and plans regarding all survey, utility and site construction information.
- Plant Material Standards. All plant material installed on this project shall be classified "Florida #1" or better as defined by the latest edition of "Grades and Standards for Nursery Plants" and "Grades and Standards for Nursery Plants, Part II, Palms and Trees" published by the State of Florida Department of Agriculture and Consumer Services. Refer to details for further quality specifications.
- Planting Standards. All recommended trees and plant material shall be planted in accordance with the specifications described in the latest edition of the State of Florida Department of Agriculture and Consumer Service, Division of Forestry, "Tree Protection Manual for Builders and Developers" and "American Nurseryman Standards."
- Curbing and Wheel Stops. Curbing and/or wheel stops shall be installed to protect required plantings. Plantings adjacent such pavement edges shall be offset from back of curb 30" to allow for vehicle overhang.
- Utility Conflicts. Plantings shall be placed in such a manner as to avoid conflicts with aboveground, underground, existing and proposed utilities.
- Sight Triangles. Plantings shall be placed in such a manner as to provide clear visibility for drivers of vehicles at the intersections of the driveways and rights of way, in accordance with Pasco County standards.
- Landscape Coverage. All areas of the site that are not covered by buildings, pavements, ponds or existing vegetation shall be covered with mulch, turf grass, ground covers, or shrubs.
- All planting beds and tree rings shall be covered with a 3" minimum depth of organic mulch material.
- In order to comply with the required limits on conventional irrigation, 50% of the greenspace comprised of the following areas shall be either non-irrigated or irrigated with micro-irrigation techniques: lake banks (bahia turf), all shrub bed areas (micro-irrigation), all mulch beds under trees (bubbler irrigation), all areas of existing vegetation (no irrigation).
- The Landscape Contractor shall review all landscape plans and specifications and perform an analysis of site conditions relative to the plans and specifications prior to construction. Report all discrepancies in site conditions and plans prior to commencing work. The landscape contractor shall be responsible for becoming familiar with all underground utilities, pipes, structures and line runs prior to construction.
- The Landscape Contractor shall be responsible for holding the fine grading of planting areas to insure positive drainage away from buildings and into drainage ways. In addition, the finish mulch elevation at the buildings shall be verified with the site work contractor and maintained at that level. Parking lot islands shall slope at 2% from center. Turf and planting beds shall meet sidewalks and flatwork at 2" below the flatwork.
- The Landscape Contractor shall coordinate work with other contractors to insure a timely flow of work.
- The Landscape Contractor shall be responsible for maintaining all plantings until final acceptance by the Owner. This maintenance includes keeping beds free of debris and weeds, all mechanical maintenance, fertilization, chemical treatments for disease or infestation, and watering.
- The Landscape Contractor is responsible for verifying the plant material quantities prior to bidding. Notify the Landscape Architect of any quantity discrepancies prior to construction. Plant quantity discrepancies discovered during construction shall be the responsibility of the Landscape Contractor.
- All edging shall be trench 4" deep x 6" wide at the edge of beds not otherwise bordered with structure or hardscape.
- All trees to be staked and guyed as shown in the details unless otherwise noted.
- All plant material shall be guaranteed for a period of one year from the date of final acceptance by the Owner.

Specific County Requirements

- A maximum of 50% of plant materials, other than trees, may be non drought-tolerant species.
- At least 30% of the plant species shall be native to Florida.
- No one plant species of shrubs or groundcover, excluding turf grass, shall constitute more than 25% of required overall landscape area.
- Minimum number of tree species shall be eight (8) for this project.
- Berm heights shall be measured from vehicular use area grade.
- For all buildings on the site, a minimum of ten percent (10%) of the building area shall be planted with trees (minimum 2"), shrubs and ground covers not including turfgrass in a 5'-0" minimum width bed within ten feet of the building perimeter.
- No more than 30% of required landscape areas may be grass; the balance must be shrubs or groundcover.

Vehicular Use Area Landscaping

- The total Vehicular Use Area is 254,885 square feet.
- Ten percent (10%) of the VUA, or 25,488 square feet, represents the required landscape area that is to be planted within the parking lot. Total Provided VUA Landscaping 26,132 square feet. (Note: See plan for notations of square footage at each VUA island.)
- The minimum number of trees to be planted in the required VUA landscape area is based on 1 tree per 200 s.f. of required landscape. The minimum number of trees to be planted within the VUA landscape area is 23. The number of VUA trees planted is 118.
- Single landscape islands must have one (1) 2" cal., 10' ht. tree and ground covers or shrubs. (Note: The term "ground cover" is not to be construed as turfgrass.)

Buffer Requirements

- EAST BUFFER: Type "A", 10'-0" wide, 597.5 l.f.
Shade Trees required at one (1) every 60'-0". Ten (10) trees required.
A continuous row of evergreen shrubs planted at 18" height (min.).
- SOUTH BUFFER: Type "D", 20'-0" wide, 291.12 l.f.
(Note: Driveway is 30'-0" wide)
Shade Trees required at 30'-0". Ten (10) trees required.
Two continuous rows of evergreen shrubs with staggered spacing.
Buffer plantings to be atop an 18" ht. berm when adjacent V.U.A.
- WEST & NORTH BUFFER: Type "B", 15'-0" wide, 741.58 l.f.
Shade Trees required at one (1) every 60'-0". Thirteen (13) trees required.
Visual screen designed to be eighty (80) percent opaque within one (1) year.
Screening a minimum of six (6) feet in height at the time of the installation.
Screening shall include one (1) or more of the following: opaque fence, wall, berm, or evergreen hedge. Wooden fences are prohibited. Fences and walls shall not exceed eight (8) feet in height and may be placed adjacent to the property line. Shrubs used to provide a visual screen shall be placed a maximum of five (5) feet on center.

NOTE: The existing wetland preserve more than accounts for the Type "B" buffer required trees and screening for this project.

Building Perimeter Landscaping

- Length of Perimeter Planting. At least 50% of the perimeter shall be planted within a minimum 5'-0" width bed. The perimeter of building "A" is 1,189 linear feet with a minimum requirement of 595 linear feet. The length provided is 609 linear feet. The perimeter of building "C" is 337 linear feet with a minimum requirement of 169 linear feet. The length provided is 337 linear feet.
- Minimum Perimeter Planting Area. At least 10% of the area of the building shall be planted along its perimeter within a minimum 5'-0" wide bed. The aggregate area of the building is 60,431 square feet. The minimum area of planting is 6,044 square feet. The area provided is 7,411 square feet.

Existing Tree Care Standards

- Flag all trees and palms to be saved in place. Provide barricading in accordance with local standards around trees to be saved in place prior to site demolition.
- All work shall be undertaken in the presence of a registered arborist employed by the landscape contractor. All trees and palms to be saved shall be examined for damage, disease and insect infestation. Parts of the tree showing these conditions shall be treated or pruned in accordance with the arborist's recommendations. Remove all dead limbs and vines.
- Root prune all trees to be saved prior to grading around trees. Cut along lines offset from lines of development surrounding the tree, i.e. at building foundations, parking lots, etc.
- Treat all cuts with a fungicidal barrier. Backfill the trench, within 4 hours of digging, with a 1:1 mixture of site soil and sawdust or other fine organic material. Do not compact.
- Fertilize the plant as directed by the consulting arborist.
- The arborist shall visit the site periodically to assess the health of the trees and issue reports on the relative health of the trees and make recommendations for further treatments if necessary.

Irrigation Notes

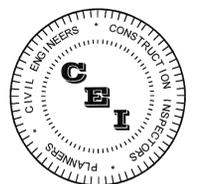
- An irrigation plan designed in accordance with Section 15.C of Pasco County Landscaping and Irrigation Ordinance 02-04 will be submitted for approval prior to construction.
- No more than 50% of the site greenspace will be irrigated with conventional spray heads. The remainder will be unirrigated or utilize low volume microirrigation techniques.
- Turfgrass areas shall be irrigated on zones separate from trees, shrubs and ground covers.
- The irrigation system shall include a rain sensor to avoid watering during periods of sufficient rainfall.

Plantings Along Roadways

- Landscaping shall be planted in such a manner as not to impede the access for maintenance and the storm-water run-off flow to or in a ditch, swale, or pond.
- All the trees overhanging to the public Right Of Way or trees within the ROW shall be trimmed and pruned to maintain a minimum vertical clear height of 8' from the finished ground surface of the sidewalk to the bottom of canopy/ 16.6' clear height above the roadway path."

Landscape Maintenance

- The Owner of each individual lot shall arrange for ongoing landscape maintenance to insure continued compliance with the Pasco County LDC with specific considerations for irrigation system performance, plant health and the health, safety and welfare of the occupants and users. Special attention shall be given to traffic and pedestrian visibility at points of ingress and egress to the property from rights of way, and any internal intersections where vehicular/pedestrian conflicts may occur.
- *COA: Any plant materials of whatsoever type and kind required by these regulations shall be replaced within thirty (30) days of their demise and/or removal."



CAMPO ENGINEERING, INC.

FBRP CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL. 33605
PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE

THE SHOPPES AT TRINITY LAKES

PASCO COUNTY, FLORIDA

CLIENT

50SEMBLER
YEARS Creating Retail Value.

THE SHOPPES AT TRINITY LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE
1	PER PUBLIX COMMENTS	10/14/14
2	PER COUNTY & CLIENT COMMENTS	11/14/14
3	PER FDOT, COUNTY & SWFWMD COMMENTS	12/15/14

ISSUE DATE: 6/2014

REVIEWED BY: MDC

DRAWN BY: BLM

DESIGNED BY: BLM

PROJECT NUMBER

14-026

GEORGE T. STURCH LA 00001295 01/16/2015
NAME SEAL NO. DATE

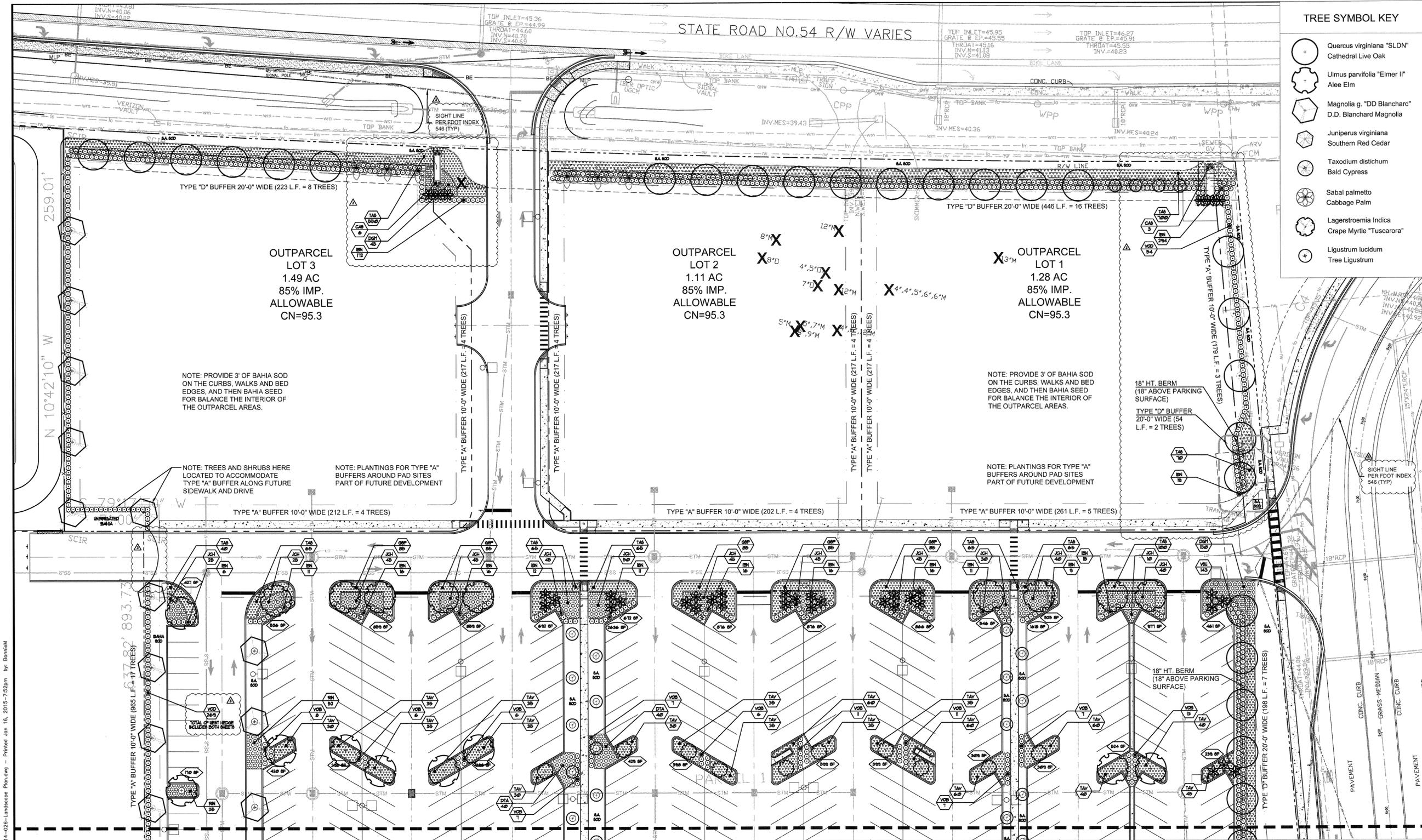
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LANDSCAPE PLAN

SHEET NUMBER

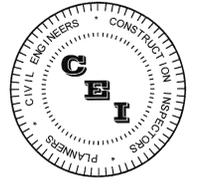
LS-1





TREE SYMBOL KEY

- Quercus virginiana "SLDN" Cathedral Live Oak
- Ulmus parvifolia "Elmer II" Alee Elm
- Magnolia g. "DD Blanchard" D.D. Blanchard Magnolia
- Juniperus virginiana Southern Red Cedar
- Taxodium distichum Bald Cypress
- Sabal palmetto Cabbage Palm
- Lagerstroemia Indica Crape Myrtle "Tuscarora"
- Ligustrum lucidum Tree Ligustrum



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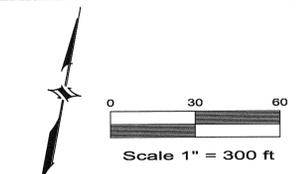
GEORGE T. STURCH LA 00001295 01/16/2015
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SHEET TITLE
LANDSCAPE PLAN

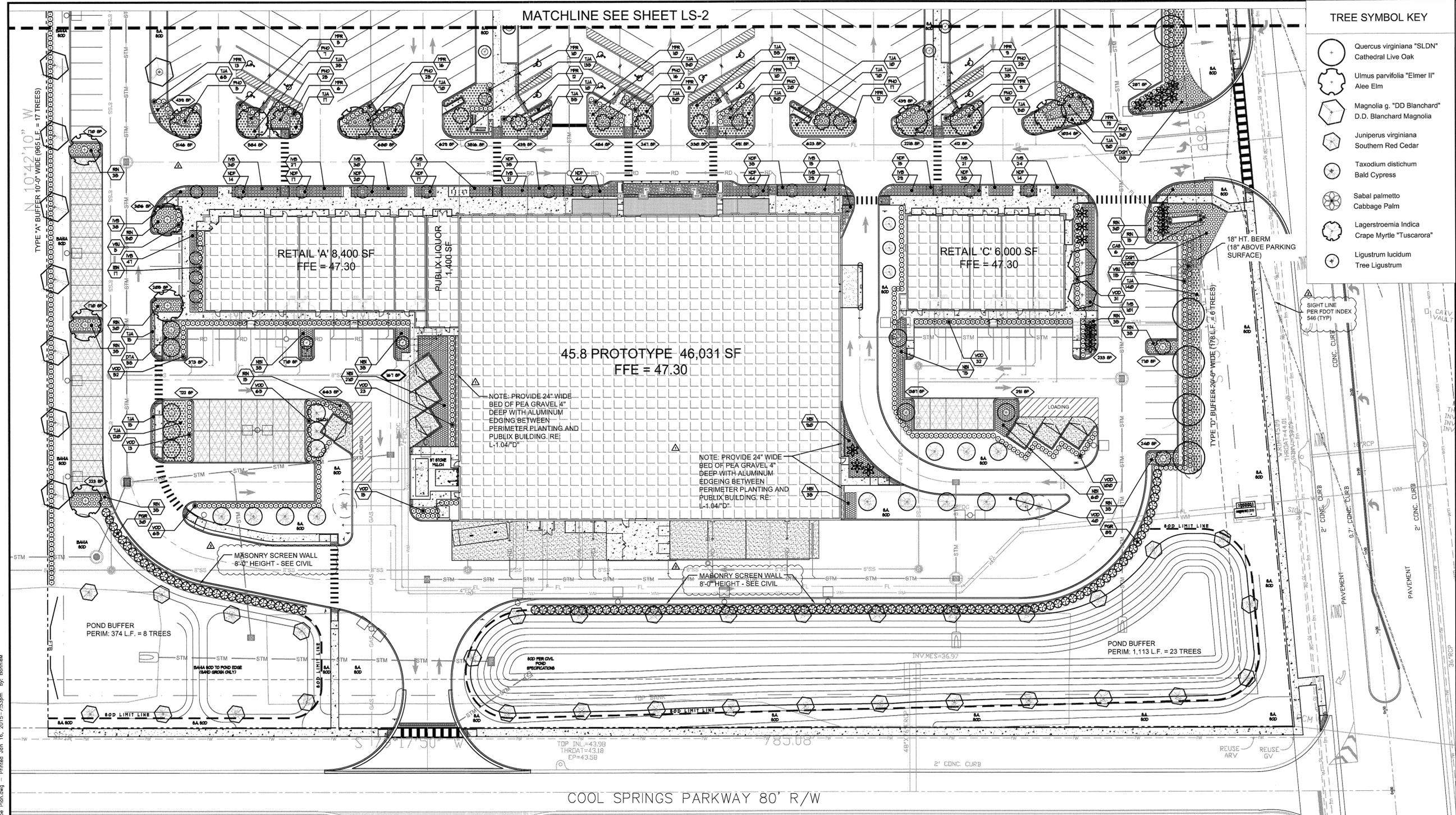
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LS-2

LEGEND

	PROPOSED BUILDING		EXISTING PAVEMENT
	PROPOSED 4" THK. CONCRETE		PROPERTY LINE
	PROPOSED 6" THK. CONCRETE (MIN.)		BUILDING SETBACK
			LANDSCAPE BUFFER

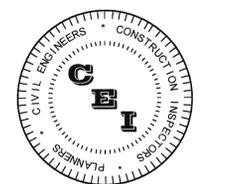


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TREE SYMBOL KEY

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- Ligustrum lucidum Tree Ligustrum



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DRAWN BY: BLM

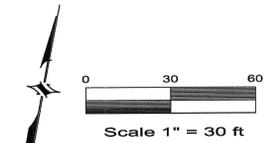
DESIGNED BY: BLM

PROJECT NUMBER

14-026

LANDSCAPE AREAS KEY

- 3146 SF OVERALL VIA ISLAND
- 439 SF AREA OF VIA SHRUB AND GROUND COVER PLANTINGS



GEORGE T. STURCH LA 00001295 01/16/2015
NAME SEAL NO. DATE

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

LS-3

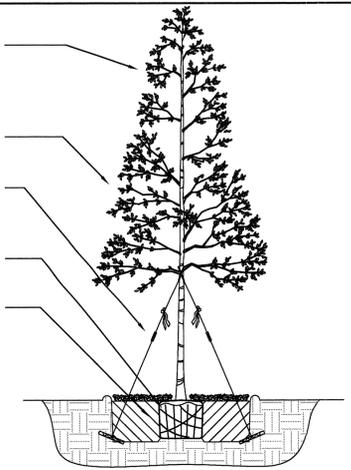
CROWN
 Crown dimensions shall be as specified in the Plant Schedule. For all oak, holly and pine trees, branching shall have a single dominant leader with proportionate secondary branching and trunks shall be clear for not less than 1/4 the overall height of the tree (measured from top of root ball). For crape myrtle, ligustrum and wax myrtle trees, multiple trunk branching shall occur at the root ball. All trees shall have been pruned during growth to discourage "cross branching". Trees showing signs of recent cross branching or radical pruning will be rejected. No irregular or poorly-shaped crowns nor crook-trunked trees will be accepted.

HANDLING
 Do not move trees to site until site is prepared for planting. Plant all trees the day they are moved to the site. Cover crown during transportation. Spray with antidesiccant in accordance with the Written Specifications. Always Handle tree by the root ball. NEVER LIFT BY TRUNK.

STAKING AND GUYING
 All trees between 2" and 6" in caliper shall be staked and guyed utilizing materials specified in the Written Specifications. Specified tags shall be tied to each guy wire at 3'-0" above the ground in plain view of passerby. Crape myrtle, ligustrum and wax myrtle shall be staked by routing one 2" pole 3'-0" deep, 2" outside of root ball and inside mulching, and tying the trunk to the pole with specified material.

ROOTBALL
 Root ball shall be a firm ball of tree roots and natural soil sized per the Written Specifications. Tree shall be grown in container or irrigated field from liner stock by a professional nurseryman. No field collected trees will be accepted. No "trow bag" will be accepted.

PLANTING
 Planting pit and backfill shall be as per the Written Specifications. Provide a compacted seat for root ball at the bottom of the pit at least 4" in height. Set tree straight and plumb so that the top of root ball is 2" above surrounding grade after setting. Provide 6" wide by 6" high watering ring around the circumference of the planting pit. Cover planting pit with 3" of specified mulch. Keep mulch at least 3" away from tree trunk.



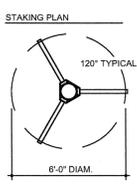
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A TYPICAL TREE PLANTING

CROWN AND TRUNK
 Palm fronds shall be tied up until after planting. Ties shall be removed as follows: Date Palm, one week; Washington Palm, Immediately; Queen Palm, Immediately; Sabal palms which are not "Hurricane Cut" shall remain tied for six months. Remove all dead or broken fronds. Never cut back. All trunks shall be prepared prior to delivery. Date Palm trunks shall be "Classic Cut". Sabal palms shall be boosted or shaved as specified.

STAKING AND GUYING
 Stake palms utilizing the "no nails" method. Wrap a triple layer of burlap 2'-0" wide around the trunk at approximately 4'-0" above the ground. Strap two 2x4 nailers at three locations 120 degrees apart to the trunk with packing straps. Drive 2x4 stake 3'-0" into ground 3'-0" from trunk in alignment with nailers. Nail 2x4 braces to nailer and stake.

PLANTING
 Plant all palms in pure sand. Raise root ball so that it will be 2" above surrounding grade after setting. Provide watering ring 6" wide and 4" high around planting pit. Cover with 3" specified mulch. Keep mulch 3" away from trunk.



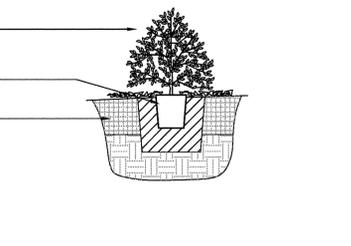
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B TYPICAL PALM PLANTING

CROWN
 Plant shall be equal or better than "Florida #1" as defined in the latest edition of "Grade and Standards for Nursery Plants" by Florida Department of Agriculture and Consumer Services. Plant shall be healthy, compact, dense and fully flushed with leaves.

ROOTBALL
 Container stock shall have been grown in container from liner stock so that roots hold soil ball together. No pot-bound or root-bound plants will be accepted.

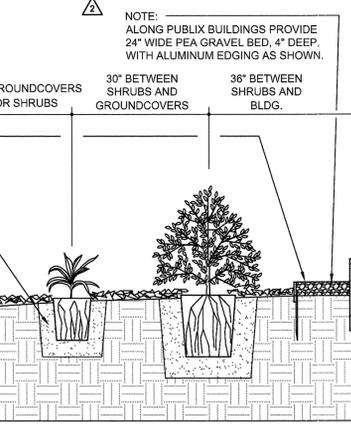
PLANTING
 Prepare planting bed, plant pit and backfill material in accordance with the Written Specifications. Slope the finish grade of the planting bed at 3/8" per foot to drain water. Set the plant so that top of ball is 1/8" the depth of the root ball above the finish grade of the planting bed. Align placement of each shrub and ground cover so that they are planted in straight rows, and are spaced equally as specified. Cover planting bed with specified depth of mulch. Keep mulch away from trunk of plant.



Not To Scale

C TYPICAL SHRUB PLANTING

Finish grade at building to be 6" below finish floor elevation.
 "Pit Plant" per Written Specifications.
 Bed grade to slope away from building.
 Bed edging to be at 6" wide x 4" deep trench filled with mulch at the edge of bed as shown in the plans.



Not To Scale

D TYPICAL BED PREPARATION

SECTION 2900 LANDSCAPE PLANTING

1. PART 1 - GENERAL
 1.0 SCOPE: Furnish all materials, tools, equipment and labor necessary for the installation of all plant material and accessories shown on the applicable drawings in accordance with all the requirements specified herein.

1.1 REFERENCES: The latest issues of the following documents form a part of this specification to the extent indicated:
 a. American National Standards Institute (ANSI): Joint Committee on Horticultural Nomenclature Standards: Standardized Plant Names (SPN) 1942 edition.
 b. American National Standards Institute (ANSI): Nursery Stock, Z 60.1
 c. American Society of Testing and Materials (ASTM): 60.1 Nursery Stock
 d. Florida Department of Agriculture and Consumer Services (FDACS): Grades and Standards for Nursery Plants, Parts 1 and 1 (GSNS).

1.2 NOTIFICATION: Notify Owner's representative 48 hours in advance of planting to allow on site inspection of planting procedures and verification of plant material size.

1.3 SUBMITTALS:
 1.3.1 At contract closeout submit all project record documents, operation and maintenance data warranty, and two copies of maintenance record.
 1.3.2 Submit copies of soil test Certificates of Analysis as described herein prior to commencement of construction.

1.4 QUALITY ASSURANCE:
 1.4.1 Qualifications: Contractor shall have not less than three years experience as a Landscape Contractor and have completed a minimum of 5 equivalent installations. Contractor shall submit a written description of ability including facilities, personnel and a list of similar completed work.
 1.4.2 Regulatory Requirements: All suppliers of plant material shall comply with the Horticultural laws of the State of Florida as regulated by the Florida Department of Agriculture and Consumer Services.
 1.4.3 Soil Testing: The Contractor shall perform and pay for soil testing as follows:
 a. Test two samples of stockpiled topsoil for pH level, sodium content, organic matter, nutrients and pathogens;
 b. Test two samples of imported, composted humus for pH level, sodium content, organic matter, nutrients and pathogens.

1.5 DELIVERY, STORAGE AND HANDLING
 1.5.1 Picking and Shipping:
 a. Balled and Burped (B&B) plants shall be dug and prepared for shipment in a manner that will not damage roots, branches, shape and future development after replanting. Dig root balls to size and shape according to ANSI Z60.1, ball with firm, natural balls of soil, and wrap ball firmly with burlap and tie (ANSI Z60.1).
 b. Specimen Plants shall be dug, wrapped and bound with care to assure safe loading, shipment and handling.

1.5.2 Acceptance of Site:
 a. Deliver fertilizers, pesticides, organic mulches, soil amendments, and peat to site in original unopened containers bearing manufacturer's guaranteed chemical analysis, name, trade name, trade mark, and conform to state law as applicable.
 b. Do not deliver more plant material than can be planted in one day.
 c. Deliver plants with all proper identification labels.
 d. Protect during delivery to prevent damage to root ball, windburn, or wilting of leaves.
 e. Notify Landscape Architect of delivery schedule in advance so plant material may be inspected upon arrival at job site.

1.5.3 Storage and Protection: Bare-root, or balled and burped plant stock shall be delivered directly from nursery and heeled-in immediately upon delivery if not to be planted within four hours.
 1.5.4 Handling: Do not drop plants; do not pick up container or balled plants by stems or trunks; all plants with crooked or mushroomed balls or with the plant loose in the ball will be rejected.

1.6 Project/Site Conditions: Planting season shall be in accordance with locally accepted practice. Perform actual planting only when weather and soil conditions are suitable in accordance with locally accepted practice as approved by the Landscape Architect.

1.7 Sequence and Scheduling: Planting to commence only when preceding work is complete to the point where other contractors do not need access to planting areas.

1.8 Landscape Architect may reject substandard materials discovered on the site at any point in the project.
 1.9 Warranty: Guarantee that all plant material shall be true to botanical name and variety and will replace them at no cost to the Owner regardless of the length of time it takes to make this determination.

2. PART 2 - PRODUCTS
 2.1 PLANT MATERIALS:
 2.1.1 Plant material shall mean trees, shrubs, vines and plants of all descriptions that are required to be furnished for the project in accordance with the plant schedules.
 2.1.2 QUALITY: All plant material furnished shall be healthy representatives, typical of their species or variety and shall have a normal habit of growth. They shall be full, well branched, well proportioned and have a vigorous, well developed root system. All plants shall be inspected and certified in compliance with State and Federal law by the State Nursery Inspector to be healthy vigorous plants free from harmful defects, decay, disfigured stems or roots, plant diseases, or insect pests.

2.1.3 NOMENCLATURE: (SPN, 1942) All plants shall be true to name and type in accordance with names used on plants. Substitutions shall be by consent of Landscape Architect.
 2.1.4 STANDARDS: (ANSI Z60.1 or GSNS, whichever is more restrictive) All plants shall be Florida #1 or better and shall be nursery grown within plant hardiness zones 9 or 10. Collected material shall not be acceptable except as noted on plans.
 2.1.5 Shade trees shall have trunks according to their habit of growth. The spread of the crown shall be in good proportion to the total height.
 2.1.6 Canned stock shall be grown in a container, such as pots or cans and have sufficient roots to hold earth together intact after removal, without being root bound.
 2.1.7 Ornamental trees shall be well formed and have a crown typical of the species or variety. Where a multi-stem is detailed on the Plant List, a plant having a minimum of two or more stems originating from a common base at the ground line shall be furnished.
 2.1.8 Deciduous shrubs shall be well branched and have ample well-balanced root systems capable of sustaining vigorous growth. They shall have a height-width ratio typical of sufficient well-spaced side branches to give it proper weight and density.
 2.1.9 Evergreen trees shall be of a form typical of their species or variety and not unduly sheared or color treated. They shall have received sufficient pruning of interior branches to develop full bodies and substantial side branching.
 2.1.10 Evergreen shrubs shall be well branched and have ample well-balanced root systems capable of sustaining vigorous growth. They shall have a compact form and dense branching typical of their species or variety.
 2.1.11 Vines and ground covers shall be adequate length and density typical of their species or variety.
 2.1.12 SPECIMEN STOCK: When detailed on the Plant Schedule, specimen shall mean exceptionally fully developed, bushy, and heavily branched plants that have been grown individually in the nursery. They shall surpass the normal standard for nursery stock in their density and maturity, and shall form a symmetrical, tightly ball plant or picturesque characteristic if indicated. Specimen stock shall be approved by Owner prior to installation.
 2.1.13 TRANSPLANTED STOCK: Where indicated on the plan, existing material on the site is to be transplanted to a new location. This work shall be accomplished as specified by the Owner's registered arborist.

2.2 FERTILIZER:
 2.2.1 For Summer Flowering Trees and Shrubs, fertilizer shall be granular form, 6-6-6 or similar analysis in ureaform or nitroform slow release formulation.
 2.2.2 For Spring-Flowering Trees and Shrubs, fertilizer shall be granular form, 6-12-6 or similar analysis in ureaform or nitroform slow release formulation.
 2.2.3 For Ground Cover and other Evergreen shrubs, fertilizer shall be a granular form, 18-8-12 fertilizer or similar analysis in ureaform or nitroform slow-release formulation.
 2.2.4 For Evergreen Trees, fertilizer shall be a granular form fertilizer, 6-24-6 High phosphorous or similar analysis in ureaform or nitroform slow-release formulation.

2.3 Composted Humus material shall be as manufactured by a licensed composting facility as regulated by the Environmental Protection Agency. Composted Humus shall meet all EPA guidelines, be free of pathogens and insects, and have a pH of 7.0 to 7.5. Local source: Recycled Wood Products; Tampa, Florida (813) 832-3634, or equal.
 2.4 Weed Control shall be a granular pre-emergent, a weed control which kills weed seeds as they germinate, conform per package label instructions.
 2.5 Organic Mulch shall be Grade "B" shredded cypress wood of uniform texture and size.

2.6 OUTING AND STAKING MATERIAL:
 a. Anchors for ground guying of trees shall be Liconia Metallegre Iron Co., size 12" LA-12-120; or Duxball Earth Anchors, Firelight Industries, Inc. or equal.
 b. Wire connectors shall be Microgreen Splice Clip, or equal.
 c. Safety Flags for guy wire shall be 3" x 12" wood or hard plastic pointed white.
 d. Cables shall be three twisted strands of 9 gauge galvanized steel.
 e. Turnbuckles shall be 5/16" x 4-1/2" galvanized steel.
 f. Hoop shall be new, 3/4" diameter, 2-ply black rubber.
 g. Wood stakes for vertical staking of trees shall be Form type, pressure treated wood posts, 2-1/2" to 3" diameter, 8'-0" long, unweathered, uniform in color and appearance.
 h. Braces for palm trees shall be pressure treated 2" x 4" lumber.
 2.7 PESTICIDES: Insecticide for plant material shall be an approved type for residential areas that may be used without having construction activity. Application shall be according to package label specifications.
 2.8 WATER: During the course of construction, the Contractor shall make, at his expense, whatever arrangements may be necessary to provide adequate irrigation of the planted areas. Contractor shall furnish all necessary hoses, equipment, attachments, accessories and labor.
 2.9 TWINE: Shall be jute twine not less than two ply.
 2.10 TOPSOIL: Shall be natural, friable, fertile, fine loam soil, which produces a heavy growth; free from subsoil objectionable weeds, litter, sods, stiff clay, stones larger than one inch in diameter, stumps roots, trash, toxic substances, or any other material which might be harmful to plant growth or hinder planting operations: between pH of more than 5.5 and less than 7.5.
 2.11 EDGING: Where metal edging is indicated on the plan, it shall be green Permalox Aluminum Edging, 3/16" x 4", black (Ph: 1-800-356-8660), or pre-bid approved equal.

2.12 SOIL AMENDMENTS:
 a. Lime shall be agricultural grade, ground dolomitic limestone. At least 90% shall pass a U.S.S. No. 10 sieve, and at least 80% shall pass a U.S.S. No. 60 sieve. Any coated or damaged lime will be rejected.
 b. Aluminum Sulfate shall be finely ground commercial grade aluminum sulfate.
 2.13 LOCAL AVAILABILITY: Where specified items and/or materials, such as mulch, fertilizer types, analysis, or quantities, etc. are unavailable or drastically different from appropriate local products, attach to bid a description of proposed substitute and effect of this bid price.

3. PART 3 - EXECUTION
 3.1 EXAMINATION
 3.1.1 Verify that final grades have been established prior to commencement of landscape construction operations.
 3.1.2 Inspect trees, shrubs and ground covers for injury, insect infestation; and trees and shrubs for improper pruning. Do not plant injured, infested or improperly pruned trees, shrubs or ground covers.
 3.2 PREPARATIONS
 3.2.1 Stake out location of all trees and bed areas for Architect's approval prior to commencement of landscape construction.
 3.2.2 Adhere to tree protection requirements regarding no digging within the protected root zone areas of existing trees as shown in the landscape drawings.
 3.2.3 All planting shall be done when weather and soil conditions are suitable.
 3.2.4 Take all proper precautions so as not to disturb or damage subsurface improvements. It shall be the Landscape Contractor's responsibility to locate electrical cables, storage tanks, subsurface drainage, gas lines, obstructions are encountered in the execution of plant pits. Alternate locations may be selected with the approval of the Architect.
 3.2.5 The Contractor shall at all times take reasonable and adequate precautions to protect the existing improvements during the course of the project. Any damage incurred shall be corrected by the Landscape Contractor at his expense.
 3.2.6 BED PREPARATION: Bed Preparation shall be a layer of 4" of Composted Humus filled 4" into the existing topsoil for an 8" bed depth. Begin by filling the existing soil to a depth of 4". Rotate out all debris. Apply a 4" layer of Composted Humus material over the entire bed area and till to 6" deep. Grade to drain toward points of natural outflow or toward storm sewer inlets. Grade at width and curve shall be 2" below the elevation of the pavement.
 3.2.7 BED EDGING: Install specified edging per manufacturer's recommendations where shown in the landscape plans.
 3.2.8 EXCAVATION: Plant pits shall be excavated with vertical sides and flat bottoms as per the details on landscape drawings.

3.3 PLANTING INSTALLATION:
 3.3.1 SETTING: All plants shall be set in pits excavated to a size of two times the diameter of plant ball and twice (2x) deeper than the height of the root ball and shall be set at such a level that the top of the root ball shall be 1/8" the depth of the root ball (or container) above the surrounding soil level. Each plant shall be planted in the center of an individual pit and set plumb and straight. All plants shall be adjusted to conform and align with surrounding plants and properly faced so as to give the best effect.
 3.3.2 All burlap shall be left on the plants. Burlap shall be cut open or removed to below the mid-line prior to backfilling. Plants grown in metal, plastic, or peat pots, shall be removed from their containers.
 3.3.3 Backfill material shall be the amended soil in the prepared bed of the plant.
 3.4 FERTILIZING:
 3.4.1 TREES: Shall have 1/2 cup for each 1/2" of the trunk caliper. Fertilizer shall be mixed into the backfill material prior to backfilling.
 3.4.2 SHRUBS: Shall have 1/4 cup for each shrub under 12" in height and 1/2 cup for each shrub over 12" in height. Fertilizer shall be mixed into the backfill material prior to backfilling.
 3.4.3 GROUNDCOVERS: Fertilizer shall be broadcast at the rate of 1.5 pounds of actual nitrogen per 1,000 square feet over the bed area and watered in prior to planting.
 3.5 PLANTING FINISHES: Pruning shall retain the form typical of the plant. It shall include all dead or injured limbs and cones according to standard horticultural practice.
 3.5.1 Weed control shall be done by applying the approved granular pre-emergent throughout the bed area per label instructions prior to mulching. Apply the herbicide in all mulched areas except within root zones of the existing trees as shown in the landscape drawings.
 3.5.2 For trees and palms, the planting mix shall be smoothed and shaped to form a shallow basin slightly larger than the pit. These basins shall then be mulched with a 3" layer of mulch. For bed plantings, the entire area shall be raked smooth and mulched to a depth of 3".
 3.5.3 Trees and palms shall be staked and guyed in an upright position as soon as practical after planting, as shown on the detail drawings. Plants shall stand plants after staking and guying is complete. Adjust all guys after setting has occurred to re-plumb trees and palms.
 3.5.4 During course of planting, excess and waste materials shall be promptly removed, lawn areas kept clear and precautions taken to avoid damage to existing structures, plants and grass. When planting in an area has been completed, the area shall be thoroughly cleaned up. Debris, rubbish, subsoil and waste material shall be removed from the site. All walks, drives, and patios tracked up with soil or materials from installation will be cleaned up for as practical.
 3.5.5 Existing grass areas which have been injured by the work shall be regraded and soded. The entire area, when completed, shall be neat and clean to the satisfaction of the Owner.
 3.6 PLANT GUARANTEE AND REPLACEMENT:
 3.6.1 GUARANTEE: Plants shall be guaranteed for 1 full year from the date of final acceptance.
 3.6.2 REPLACEMENT: At the end of the guarantee period, inspection will be made by the Owner upon written notice requesting such inspection submitted by the Contractor at least ten days before the anticipated date. Any plant required under this contract that is dead or not in satisfactory growth, as determined by the Owner, shall be removed from the project site and three (3) plants missing, due to the Contractor's negligence, shall be replaced as soon as conditions permit, but during the normal planting season.
 3.6.3 All replacements shall be plants of the same kind and size as specified in the plant schedule given on the project drawings. They shall be furnished and placed as specified under new planting; the cost shall be borne by the Contractor except for possible replacement resulting from removal, loss or damage due to occupancy of the project in any part, vehicles, or acts of neglect on the part of others, during the guarantee period after acceptance.
 3.7 MAINTENANCE:
 3.7.1 Maintenance shall begin immediately after each portion of lawn and each plant is planted and shall continue in accordance with the following requirements. The landscape contractor shall provide and pay for maintenance.
 3.7.2 Plant material shall be protected and maintained until installation of planting has been inspected and planting is accepted in accordance with the guarantee. Maintenance shall include watering, weeding, cultivating, mulching, lightening and reeding of guys, removal of dead material, resetting plants to proper grade or upright positions and restoring of the planting saucer and other necessary operations.
 3.7.3 Maintenance shall be continued until the date of final acceptance.
 3.7.4 The Contractor shall keep a record of landscape maintenance performed during the construction period noting the dates and types of mechanical and chemical maintenance. The record shall be submitted to the Owner upon project closeout.

SECTION 2930 SODDING ST. AUGUSTINE TURFGRASS

1. PART 1 - GENERAL
 1.0 SCOPE: Furnish all materials, tools, equipment and labor necessary to completely install the lawn shown on the applicable drawings in accordance with all requirements specified herein.

2. PART 2 - PRODUCTS
 2.1 SODDING MATERIALS
 2.1.1 Sod shall be nursery grown, machine-cut St. Augustine sod harvested from cultivated agricultural land and grown specifically for sod purposes. It shall have received a high degree of maintenance including regular mowing, watering, and weed control treatments to maintain superior quality and uniformity. It shall be vigorous, well rooting, healthy turf, free from diseases, insect pests, rootzone weeds, stone and any other harmful or deleterious matter. It shall have a uniform thickness of at least 5/8". Broken or torn sods will be rejected. The sod and shall be capable of supporting its own weight and retaining size and shape when supplier's standard size sod is expanded vertically from a firm grip on the upper 10 percent of the soil. Store sod no longer than 24 hours on site in a cool shade location.
 2.1.2 FERTILIZER: Be a complete uniform or nitroform fertilizer, uniform in composition, free flowing, granular or pelleted, delivered in original unopened containers with the analysis, type and trade name attached to each container. Analysis shall be Nitrogen 10%, Phosphorus 10%, Potash 10%. Applied at rate of 1 lb. of quickly available nitrogen per 1,000 sq. ft. Fertilizer shall not have been exposed to weather prior to delivery on the site and after delivery until used, it shall not be stored in direct contact with the ground.
 2.1.3 WATER: Water suitable for the execution of the work shall be provided by the Owner.
 2.1.4 TOPSOIL: Shall be natural, friable, fertile, fine loam soil, which produces a heavy growth free from subsoil objectionable weeds, litter, sods, stiff clay, stones larger than one inch in diameter, stumps roots, trash, toxic substances, or any other material which might be harmful to plant growth or hinder planting operations: between pH of more than 5.5 and less than 7.5.
 2.1.5 EDGING: Where metal edging is indicated on the plan, it shall be green Permalox Aluminum Edging, 3/16" x 4", black (Ph: 1-800-356-8660), or pre-bid approved equal.

3. PART 3 - EXECUTION
 3.1 EXAMINATION
 3.1.1 Verify that final grades have been established prior to commencement of landscape construction operations.
 3.1.2 Inspect trees, shrubs and ground covers for injury, insect infestation; and trees and shrubs for improper pruning. Do not plant injured, infested or improperly pruned trees, shrubs or ground covers.
 3.2 PREPARATIONS
 3.2.1 Stake out location of all trees and bed areas for Architect's approval prior to commencement of landscape construction.
 3.2.2 Adhere to tree protection requirements regarding no digging within the protected root zone areas of existing trees as shown in the landscape drawings.
 3.2.3 All planting shall be done when weather and soil conditions are suitable.
 3.2.4 Take all proper precautions so as not to disturb or damage subsurface improvements. It shall be the Landscape Contractor's responsibility to locate electrical cables, storage tanks, subsurface drainage, gas lines, obstructions are encountered in the execution of plant pits. Alternate locations may be selected with the approval of the Architect.
 3.2.5 The Contractor shall at all times take reasonable and adequate precautions to protect the existing improvements during the course of the project. Any damage incurred shall be corrected by the Landscape Contractor at his expense.
 3.2.6 BED PREPARATION: Bed Preparation shall be a layer of 4" of Composted Humus filled 4" into the existing topsoil for an 8" bed depth. Begin by filling the existing soil to a depth of 4". Rotate out all debris. Apply a 4" layer of Composted Humus material over the entire bed area and till to 6" deep. Grade to drain toward points of natural outflow or toward storm sewer inlets. Grade at width and curve shall be 2" below the elevation of the pavement.
 3.2.7 BED EDGING: Install specified edging per manufacturer's recommendations where shown in the landscape plans.
 3.2.8 EXCAVATION: Plant pits shall be excavated with vertical sides and flat bottoms as per the details on landscape drawings.

3.3 PLANTING INSTALLATION:
 3.3.1 SETTING: All plants shall be set in pits excavated to a size of two times the diameter of plant ball and twice (2x) deeper than the height of the root ball and shall be set at such a level that the top of the root ball shall be 1/8" the depth of the root ball (or container) above the surrounding soil level. Each plant shall be planted in the center of an individual pit and set plumb and straight. All plants shall be adjusted to conform and align with surrounding plants and properly faced so as to give the best effect.
 3.3.2 All burlap shall be left on the plants. Burlap shall be cut open or removed to below the mid-line prior to backfilling. Plants grown in metal, plastic, or peat pots, shall be removed from their containers.
 3.3.3 Backfill material shall be the amended soil in the prepared bed of the plant.
 3.4 FERTILIZING:
 3.4.1 TREES: Shall have 1/2 cup for each 1/2" of the trunk caliper. Fertilizer shall be mixed into the backfill material prior to backfilling.
 3.4.2 SHRUBS: Shall have 1/4 cup for each shrub under 12" in height and 1/2 cup for each shrub over 12" in height. Fertilizer shall be mixed into the backfill material prior to backfilling.
 3.4.3 GROUNDCOVERS: Fertilizer shall be broadcast at the rate of 1.5 pounds of actual nitrogen per 1,000 square feet over the bed area and watered in prior to planting.
 3.5 PLANTING FINISHES: Pruning shall retain the form typical of the plant. It shall include all dead or injured limbs and cones according to standard horticultural practice.
 3.5.1 Weed control shall be done by applying the approved granular pre-emergent throughout the bed area per label instructions prior to mulching. Apply the herbicide in all mulched areas except within root zones of the existing trees as shown in the landscape drawings.
 3.5.2 For trees and palms, the planting mix shall be smoothed and shaped to form a shallow basin slightly larger than the pit. These basins shall then be mulched with a 3" layer of mulch. For bed plantings, the entire area shall be raked smooth and mulched to a depth of 3".
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 3.6.1 GUARANTEE: Plants shall be guaranteed for 1 full year from the date of final acceptance.
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 3.7.1 Maintenance shall begin immediately after each portion of lawn and each plant is planted and shall continue in accordance with the following requirements. The landscape contractor shall provide and pay for maintenance.
 3.7.2 Plant material shall be protected and maintained until installation of planting has been inspected and planting is accepted in accordance with the guarantee. Maintenance shall include watering, weeding, cultivating, mulching, lightening and reeding of guys, removal of dead material, resetting plants to proper grade or upright positions and restoring of the planting saucer and other necessary operations.
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 3.7.4 The Contractor shall keep a record of landscape maintenance performed during the construction period noting the dates and types of mechanical and chemical maintenance. The record shall be submitted to the Owner upon project closeout.

END OF SECTION 2900 - LANDSCAPE PLANTING

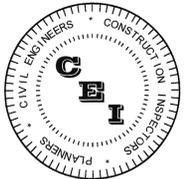
SECTION 2930 SODDING ST. AUGUSTINE TURFGRASS

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 1.0 SCOPE: Furnish all materials, tools, equipment and labor necessary to completely install the lawn shown on the applicable drawings in accordance with all requirements specified herein.

2. PART 2 - PRODUCTS
 2.1 SODDING MATERIALS
 2.1.1 Sod shall be nursery grown, machine-cut St. Augustine sod harvested from cultivated agricultural land and grown specifically for sod purposes. It shall have received a high degree of maintenance including regular mowing, watering, and weed control treatments to maintain superior quality and uniformity. It shall be vigorous, well rooting, healthy turf, free from diseases, insect pests, rootzone weeds, stone and any other harmful or deleterious matter. It shall have a uniform thickness of at least 5/8". Broken or torn sods will be rejected. The sod and shall be capable of supporting its own weight and retaining size and shape when supplier's standard size sod is expanded vertically from a firm grip on the upper 10 percent of the soil. Store sod no longer than 24 hours on site in a cool shade location.
 2.1.2 FERTILIZER: Be a complete uniform or nitroform fertilizer, uniform in composition, free flowing, granular or pelleted, delivered in original unopened containers with the analysis, type and trade name attached to each container. Analysis shall be Nitrogen 10%, Phosphorus 10%, Potash 10%. Applied at rate of 1 lb. of quickly available nitrogen per 1,000 sq. ft. Fertilizer shall not have been exposed to weather prior to delivery on the site and after delivery until used, it shall not be stored in direct contact with the ground.
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 2.1.5 EDGING: Where metal edging is indicated on the plan, it shall be green Permalox Aluminum Edging, 3/16" x 4", black (Ph: 1-800-356-8660), or pre-bid approved equal.

3. PART 3 - EXECUTION
 3.1 EXAMINATION
 3.1.1 Verify that final grades have been established prior to commencement of landscape construction operations.
 3.1.2 Inspect trees, shrubs and ground covers for injury, insect infestation; and trees and shrubs for improper pruning. Do not plant injured, infested or improperly pruned trees, shrubs or ground covers.
 3.2 PREPARATIONS
 3.2.1 Stake out location of all trees and bed areas for Architect's approval prior to commencement of landscape construction.
 3.2.2 Adhere to tree protection requirements regarding no digging within the protected root zone areas of existing trees as shown in the landscape drawings.
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 3.2.6 BED PREPARATION: Bed Preparation shall be a layer of 4" of Composted Humus filled 4" into the existing topsoil for an 8" bed depth. Begin by filling the existing soil to a depth of 4". Rotate out all debris. Apply a 4" layer of Composted Humus material over the entire bed area and till to 6" deep. Grade to drain toward points of natural outflow or toward storm sewer inlets. Grade at width and curve shall be 2" below the elevation of the pavement.
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 3.4 FERTILIZING:
 3.4.1 TREES: Shall have 1/2 cup for each 1/2" of the trunk caliper. Fertilizer shall be mixed into the backfill material prior to backfilling.
 3.4.2 SHRUBS: Shall have 1/4 cup for each shrub under 12" in height and 1/2 cup for each shrub over 12" in height. Fertilizer shall be mixed into the backfill material prior to backfilling.
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 3.6 PLANT GUARANTEE AND REPLACEMENT:
 3.6.1 GUARANTEE: Plants shall be guaranteed for



CAMPO
ENGINEERING, INC.

FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL 33605
PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE
THE SHoppes AT TRINITY LAKES

PASCO COUNTY, FLORIDA

CLIENT

50SEMBLER
YEARS Creating Retail Value.

THE SHoppes AT TRINITY LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE
1	PER FDOT COMMENTS & COUNTY COMMENTS	12/15/14

ISSUE DATE: 6/2014

REVIEWED BY: MDC

DRAWN BY: BLM

DESIGNED BY: BLM

PROJECT NUMBER

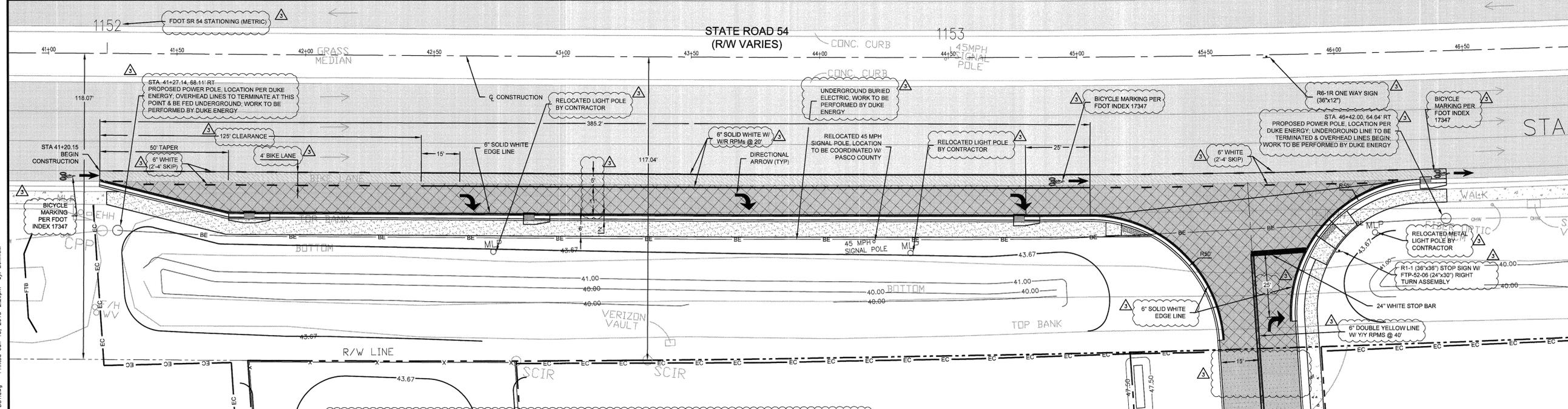
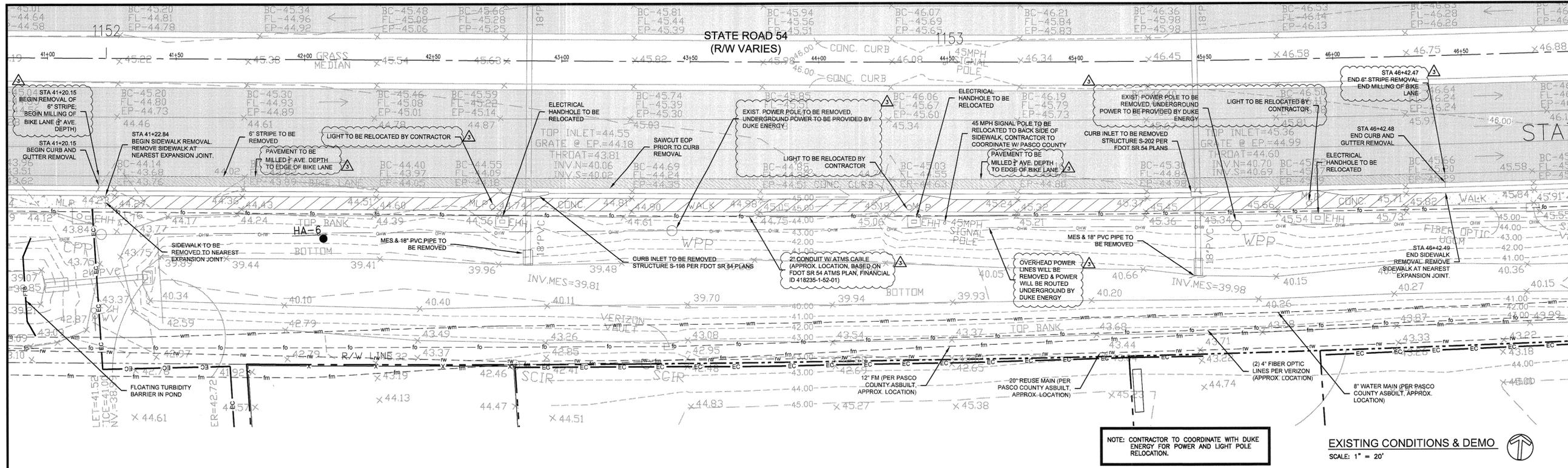
14-026

Matthew D. Campbell
 LICENSE NO. 53888 OF
 PROFESSIONAL ENGINEERS
 STATE OF FLORIDA
 DATE 12/15/2015

**OFFSITE ROADWAY
PLAN - SR 54**

SHEET NUMBER

OS-11



BROOKSVILLE MAINTENANCE FDOT GENERAL NOTES

- ALL WORK PERFORMED IN THE DEPARTMENT'S RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT EDITIONS OF:
- F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - F.D.O.T. DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM.
 - F.D.O.T. ROADWAY PLANS PREPARATION MANUAL VOLUME 1, CHAPTER 2 AND/OR 25.
 - F.D.O.T. FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION.
- ALL AREAS IN THE FDOT RIGHT OF WAY DISTURBED DURING CONSTRUCTION SHALL BE RESTORED, COMPACTED, SODED AND WATERED IN CONFORMANCE WITH THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 575 AND 981 STANDARDS INDEX 105.
 - DAYTIME WORK ONLY. THE F.D.O.T. ENGINEER MUST APPROVE NIGHT WORK AND LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE. THE APPLICANT MUST NOTIFY THE FLORIDA DEPARTMENT OF TRANSPORTATION LOCAL MAINTENANCE OFFICE 48 HOURS IN ADVANCE OF STARTING ANY PROPOSED WORK. CALL: BROOKSVILLE OPERATIONS, JOHN KILGERRY @ 352-948-2600.
 - ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS ARE TO BE LEAD-FREE, NON-SOLVENT BASED THERMOPLASTIC. THE PERMITTEE SHALL FURNISH THE DEPARTMENT WITH THE MANUFACTURER'S CERTIFICATION THAT THE THERMOPLASTIC IS "LEAD FREE". REMOVAL OF EXISTING STRIPING SHALL BE DONE BY MILLING AND RESURFACING OF THE FRICTION/SURFACE COURSE TO OBLITERATE OBSOLETE PAVEMENT MARKINGS.
 - ALL PROPOSED TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH AND CONSTRUCTED TO THE FDOT STANDARDS INDEX SERIES 11000 AND 17000 SERIES. THE PROPERTY OWNER MUST MAINTAIN THE TRAFFIC SIGNS AND MARKINGS FOR THE DRIVEWAY.
 - FOR WORK WITHIN THE FDOT RIGHT-OF-WAY, THE CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN PREPARED UNDER THE DIRECTION OF, AND SIGNED AND SEALED BY A LICENSED FLORIDA PROFESSIONAL ENGINEER WHO IS EXPERIENCED IN PREPARING TRAFFIC CONTROL PLANS AND WHO IS CERTIFIED PER FDOT PROCEDURE TOPIC NO. 625-010-010. THE FDOT REQUIRES DOCUMENTATION FOR SUCCESSFUL COMPLETION OF AN APPROVED WORK ZONE TRAFFIC CONTROL TRAINING COURSE FOR THE AGENCY, UTILITY OR CONTRACTOR EMPLOYEE(S) INSTALLING AND/OR MAINTAINING THE APPROVED MAINTENANCE OF TRAFFIC PLAN. DOCUMENTATION IS TO BE FURNISHED TO THE DEPARTMENT AT THE PRE-CONSTRUCTION MEETING OR BEFORE OCCUPANCY STATE RIGHT-OF-WAY.
 - MAINTENANCE OF TRAFFIC PLAN FOR WORK ZONES SHALL BE IN CONFORMANCE WITH SPECIFIC INDICES OF THE CURRENT STANDARDS INDEX 600 SERIES INCLUDED WITH THESE PLANS.
 - ALL TEMPORARY TRAFFIC CONTROL DEVICES FOR THE SHoppes AT TRINITY LAKES & SR 54 SHALL BE DESIGNED AND INSTALLED TO MEET THE EXISTING POSTED SPEED OF 55 MPH.
 - SIDEWALK SHALL BE CONSTRUCTED PER FDOT INDEX 304 AND 310.
 - MAINTENANCE OF TRAFFIC PLAN MUST INCLUDE FDOT DESIGN STANDARDS INDEX 660 PEDESTRIAN CONTROL FOR CLOSURE OF SIDEWALKS.

POSTED SPEED = 55 MPH (45 MPH SCHOOL ZONE)
DESIGN SPEED = 55 MPH

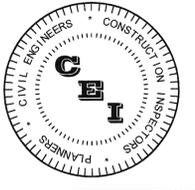
MAINTENANCE OF TRAFFIC NOTES

- CONTRACTOR SHALL CONTACT UTILITY COMPANIES AND COORDINATE ALL NECESSARY RELOCATION OF POWER POLES, OVERHEAD WIRES, AND UNDERGROUND UTILITIES TO FACILITATE ROADWAY CONSTRUCTION.
- THE APPLICANT MUST NOTIFY PASCO COUNTY AND FDOT IN ADVANCE OF STARTING PROPOSED WORK.
- A MAINTENANCE OF TRAFFIC (MOT) PLAN FOR ALL WORK TO BE PERFORMED WITHIN THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH FDOT DESIGN STANDARDS INDEX #611, #612, #660 AND OTHER APPLICABLE PORTIONS OF FDOT #600.
- THE DEPARTMENT REQUIRES DOCUMENTATION OF SUCCESSFUL COMPLETION OF A WORK ZONE TRAFFIC CONTROL (MOT) TRAINING COURSE FOR ALL DEPARTMENT EMPLOYEES, CONTRACTORS, CONSULTANTS, SURVEYORS, UTILITY COMPANY PERSONNEL, LOCAL MAINTAINING AGENCY, OR ANY OTHER APPROPRIATE PERSON RESPONSIBLE FOR WORK ZONE TRAFFIC CONTROL PLANNING, DESIGN, IMPLEMENTATION, INSPECTION, AND/OR SUPERVISING THE SELECTION, PLACEMENT, OR MAINTENANCE OF TRAFFIC CONTROL SCHEMES AND DEVICES IN WORK ZONES ON THE STATE HIGHWAY SYSTEM RIGHT OF WAY.

LEGEND

---	PROPERTY LINE	---	PROPOSED 6" THK. CONCRETE (MIN.)
---	SILT FENCE	---	PROPOSED FDOT ASPHALT PAVEMENT
---	BUILDING SETBACK	---	PROPOSED COUNTY ASPHALT PAVEMENT
---	LANDSCAPE BUFFER	---	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
---	EXISTING PAVEMENT	---	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
---	PROPOSED 4" THK. CONCRETE	---	MILL & RESURFACE

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CAMPO
ENGINEERING, INC.

FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL 33605
PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE
THE SHOPES AT TRINITY LAKES

PASCO COUNTY, FLORIDA

CLIENT

50 SEMBLER
YEARS Creating Retail Value.

THE SHOPES AT TRINITY
LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE
1	PER FDOT COMMENTS	12/15/14

ISSUE DATE: 6/2014

REVIEWED BY: MDC

DRAWN BY: BLM

DESIGNED BY: BLM

PROJECT NUMBER

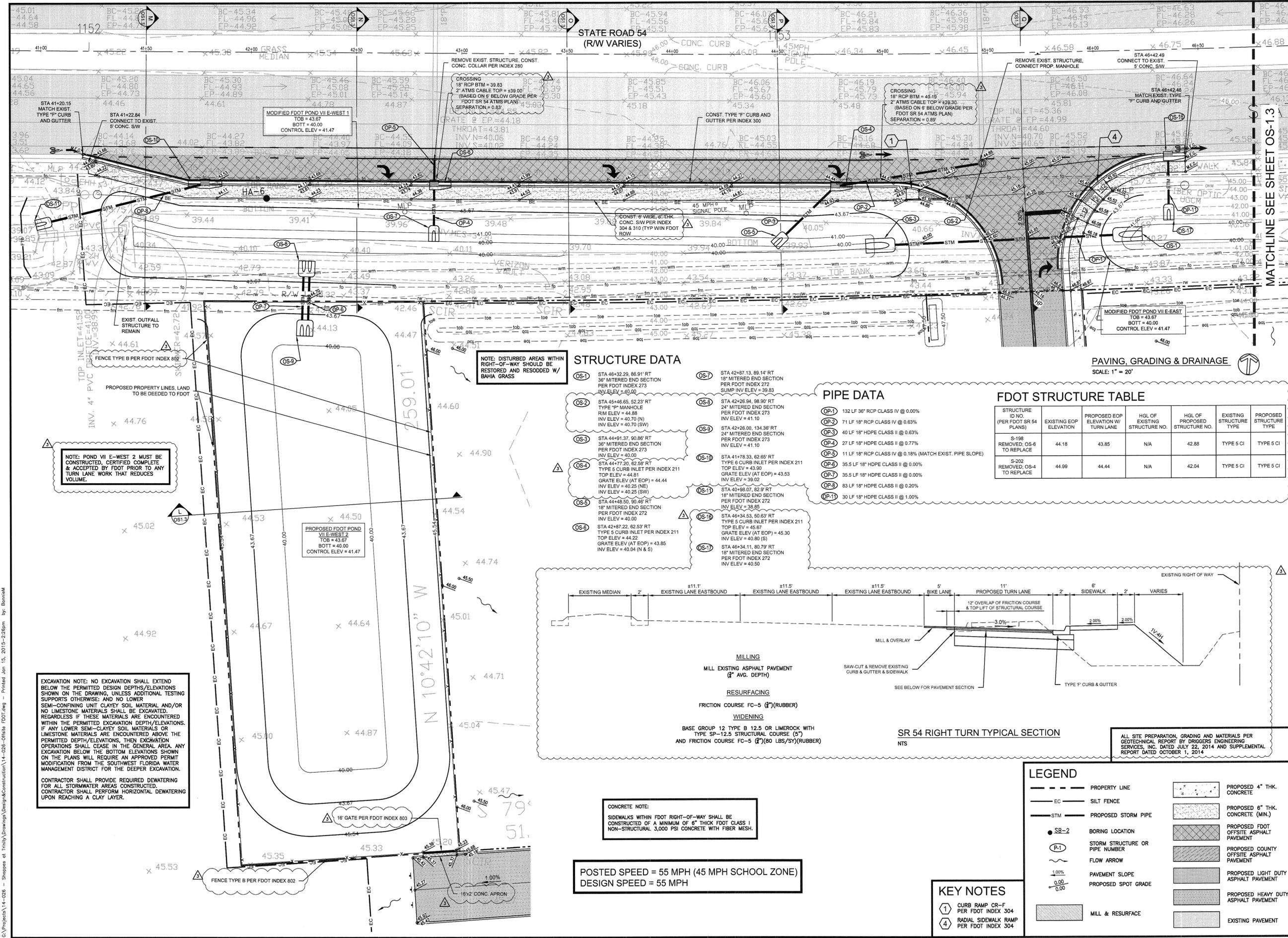
14-026

Matthew D. Campo
NAME
DATE
SHEET TITLE

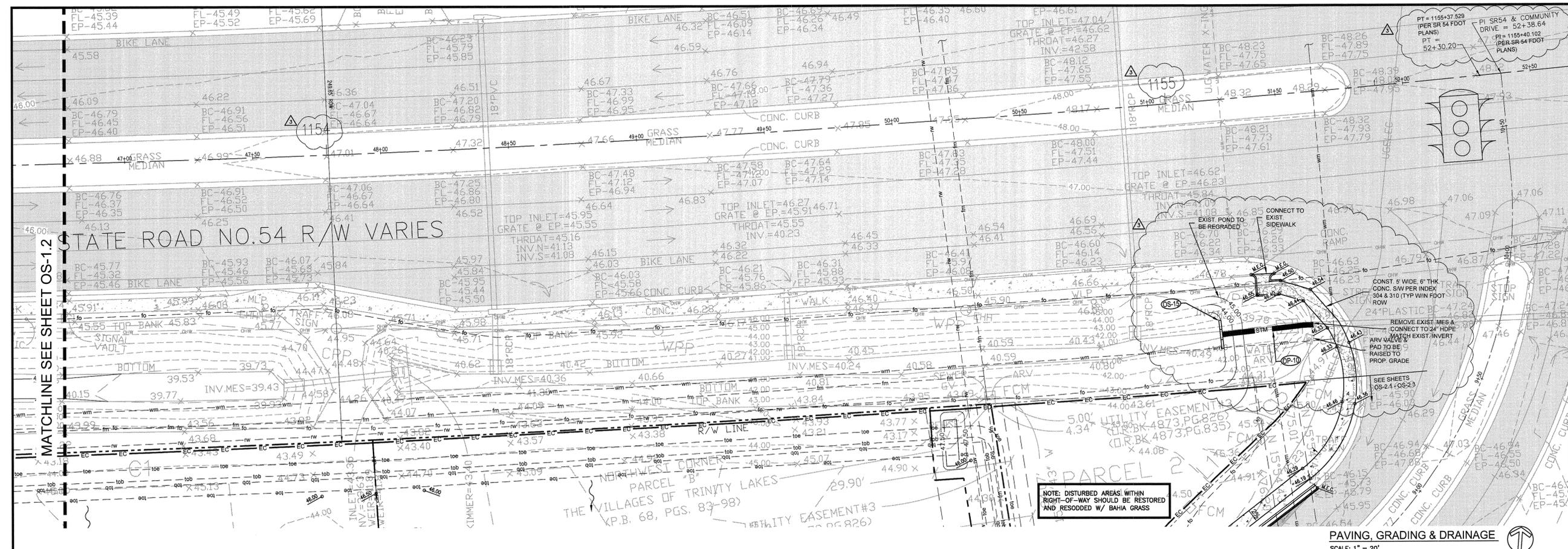
**OFFSITE ROADWAY
PLAN - SR 54**

SHEET NUMBER

OS-1.2



Campos\Projects\14-026 - Shoppes at Trinity\Drawings\Design\Construction\14-026-Offsite FDOT.dwg - Printed on 15, 2015 - 2:26pm by: Bonniacal



PAVING, GRADING & DRAINAGE
SCALE: 1" = 20'

STRUCTURE DATA **PIPE DATA**

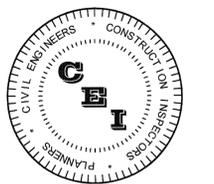
- (OS-15) STA 51+21.71, 91.41' RT STRAIGHT CONC. ENDWALL PER FDOT INDEX 250 INV ELEV = 39.70
- (OP-10) 36 LF 24" HDPE CLASS II @ 0.40%

CONCRETE NOTE:
SIDEWALKS WITHIN FDOT RIGHT-OF-WAY SHALL BE CONSTRUCTED OF A MINIMUM OF 6" THICK FDOT CLASS I NON-STRUCTURAL 3,000 PSI CONCRETE WITH FIBER MESH.

POSTED SPEED = 55 MPH (45 MPH SCHOOL ZONE)
DESIGN SPEED = 55 MPH

LEGEND

---	PROPERTY LINE	[Pattern]	PROPOSED 4" THK. CONCRETE
EC	SILT FENCE	[Pattern]	PROPOSED 6" THK. CONCRETE (MIN.)
STM	PROPOSED STORM PIPE	[Pattern]	PROPOSED FDOT OFFSITE ASPHALT PAVEMENT
● SB-2	BORING LOCATION	[Pattern]	PROPOSED COUNTY OFFSITE ASPHALT PAVEMENT
(P-1)	STORM STRUCTURE OR PIPE NUMBER	[Pattern]	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
~	FLOW ARROW	[Pattern]	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
1.00%	PAVEMENT SLOPE	[Pattern]	EXISTING PAVEMENT
0.00	PROPOSED SPOT GRADE		



CAMPO ENGINEERING, INC.

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1725 EAST 5TH AVENUE
TAMPA, FL 33605
PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE
THE SHOPES AT TRINITY LAKES

PASCO COUNTY, FLORIDA

CLIENT

50SEMBLER
YEARS Creating Retail Value.

THE SHOPES AT TRINITY LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE
1	PER FDOT COMMENTS	12/15/14

ISSUE DATE: 6/2014
REVIEWED BY: MDC
DRAWN BY: BLM
DESIGNED BY: BLM

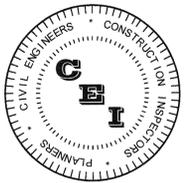
PROJECT NUMBER

14-026

Matthew D. Campo
NAME: Matthew D. Campo
SEAL NO.: 15888
DATE: 6/15/2015
SHEET TITLE: OFFSITE ROADWAY PLAN - SR 54

OFFSITE ROADWAY PLAN - SR 54

SHEET NUMBER
OS-13



CAMPO
ENGINEERING, INC.

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1725 EAST 5TH AVENUE
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PROJECT TITLE

THE SHOPES AT TRINITY LAKES

PASCO COUNTY, FLORIDA

CLIENT

50SEMBLER
YEARS Creating Retail Value.

THE SHOPES AT TRINITY LAKES, LLC
5858 CENTRAL AVENUE
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REVISIONS

NO.	DESCRIPTION	DATE
1	PER FDOT COMMENTS	12/15/14

ISSUE DATE: 6/2014

REVIEWED BY: MDC

DRAWN BY: BLM

DESIGNED BY: BLM

PROJECT NUMBER

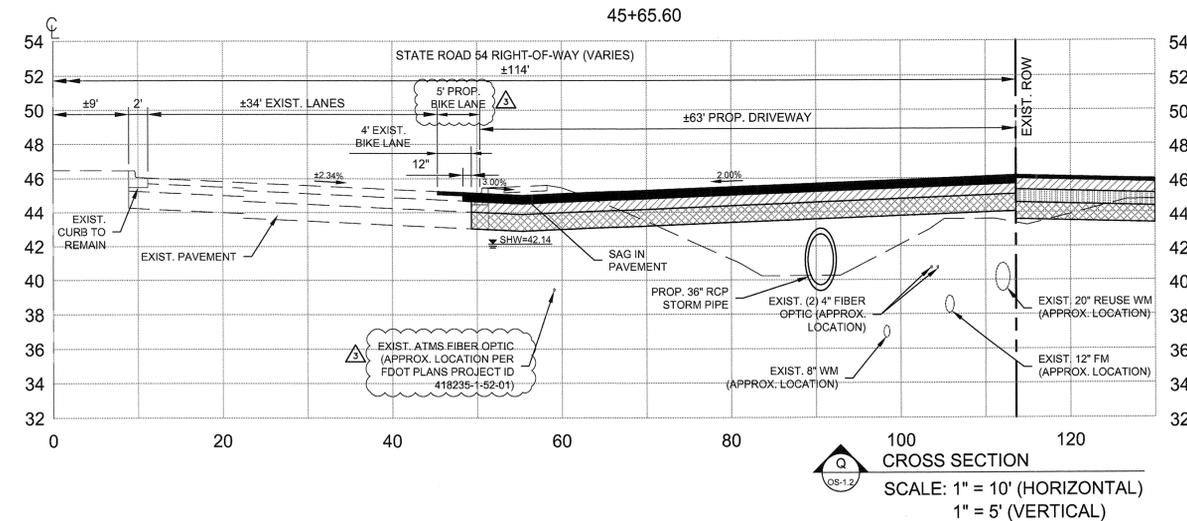
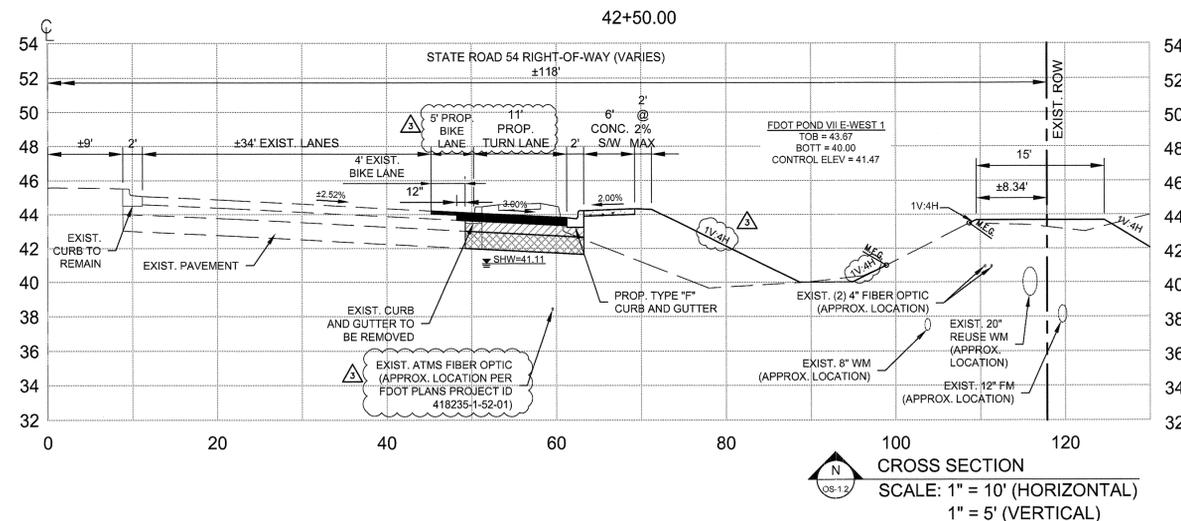
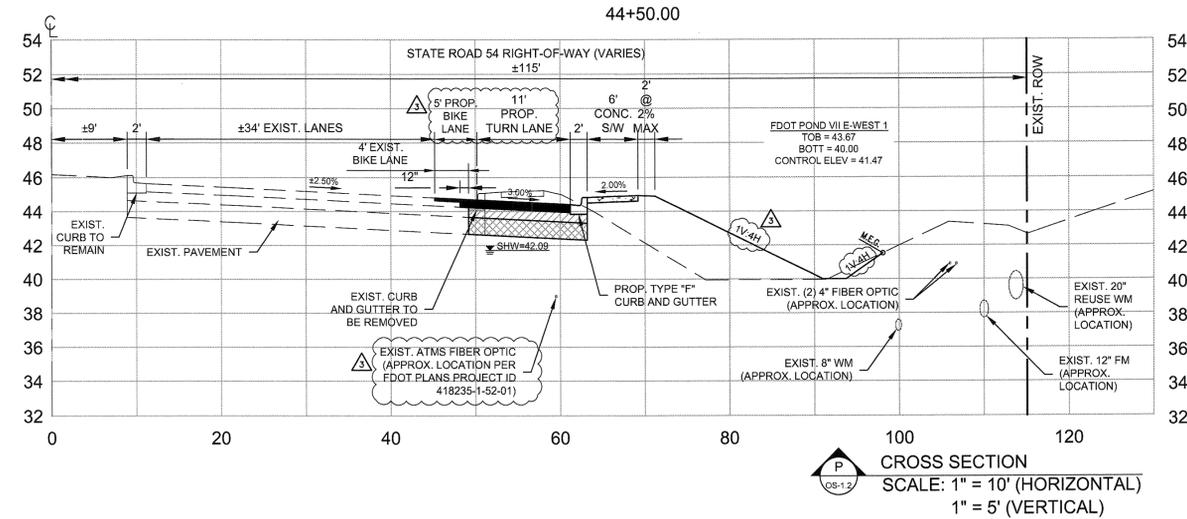
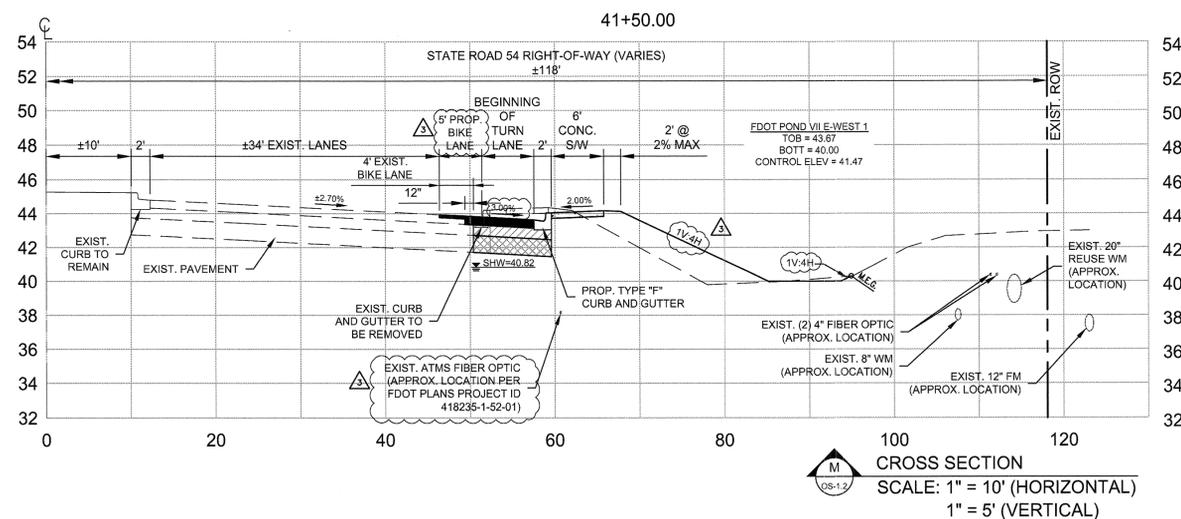
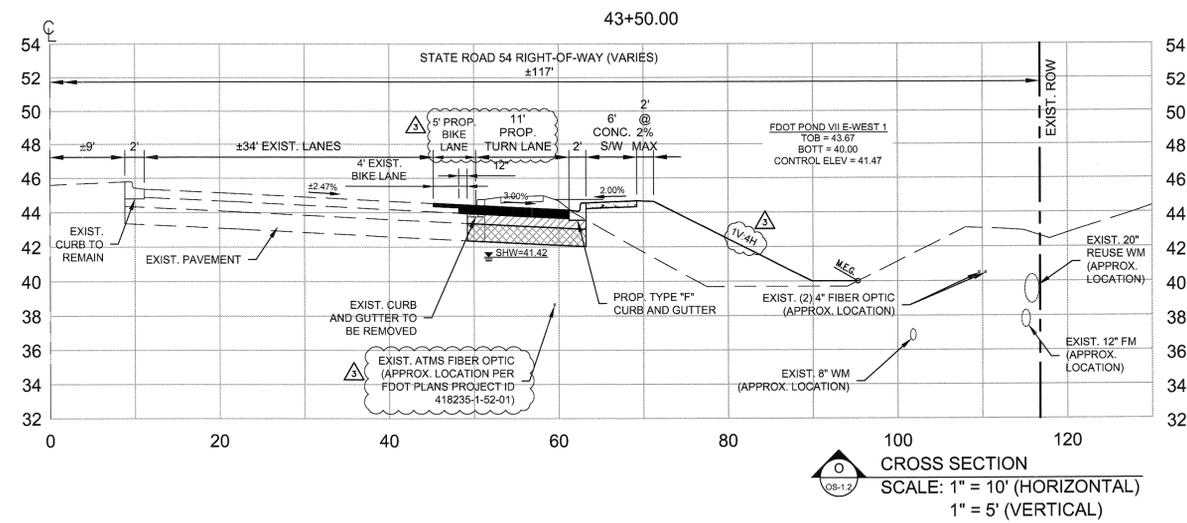
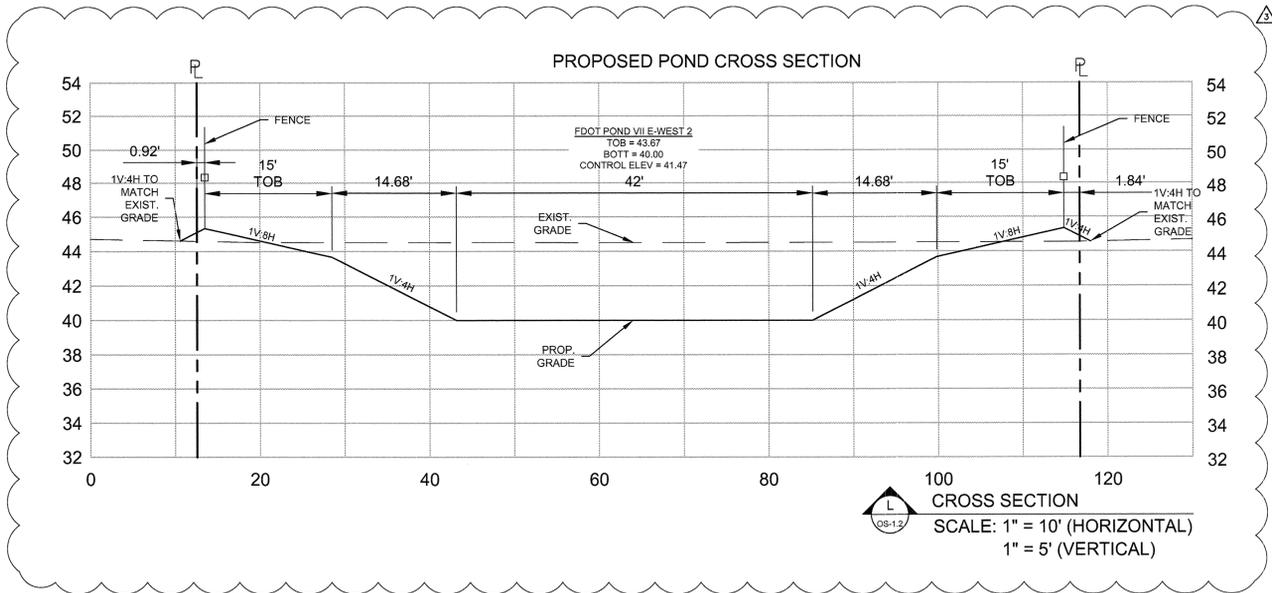
14-026

Matthew D. Campo, License No. 53968, State of Florida
NAME: Matthew D. Campo, License No. 53968, State of Florida
DATE: 01/15/2015

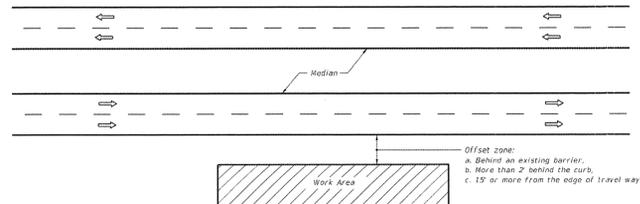
OFFSITE ROADWAY PLAN - CROSS SECTIONS

SHEET NUMBER

OS-14



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GENERAL NOTES

- If the work operation (including establishing and terminating the work area) requires that two or more work vehicles cross the offset zone in any one hour, traffic control will be in accordance with Index No. 612.
- No special signing is required.
- This index also applies when work is being performed on a multilane undivided highway.
- This index also applies to work performed in the median behind an existing barrier or more than 15' from the edge of travel way, both roadways. Work performed in the median behind curb and gutter shall be in accordance with Index No. 612.
- When a side road intersects the highway within the work area, additional traffic control devices shall be placed in accordance with other applicable TCZ indexes.
- When construction activities encroach on a sidewalk, refer to Index No. 660.
- For general TCZ requirements and additional information, refer to Index No. 600.

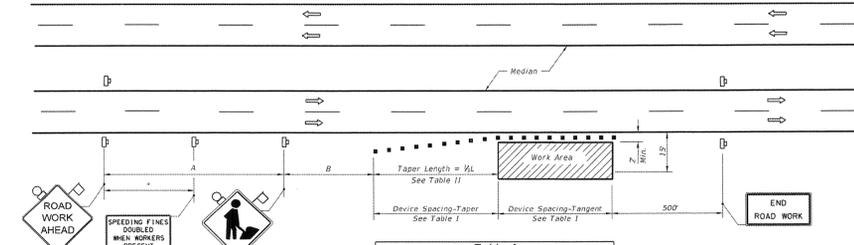
CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ARE BEHIND AN EXISTING BARRIER, MORE THAN 2' BEHIND THE CURB, OR 15' OR MORE FROM THE EDGE OF TRAVEL WAY.

SYMBOLS

- Work Area
- Work Zone Sign
- Lane Identification + Direction of Traffic

LAST REVISION 07/01/05	DESCRIPTION:	2015 FDOT DESIGN STANDARDS	MULTILANE WORK OUTSIDE SHOULDER	INDEX NO. 611	SHEET NO. 1 of 1
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**Table I
Device Spacing**

Speed (mph)	Max. Distance between Devices (ft.)			
	Cones or Tubular Markers		Type I or Type II Barricades or Vertical Panels or Drums	
	Taper	Tangent	Taper	Tangent
25	25	50	25	50
30 to 45	25	50	30	50
50 to 70	25	50	50	100

**Table II
Taper Length - Shoulder**

Speed (mph)	L _s (ft.)			Notes
	8' Shldr.	12' Shldr.	12' Shldr.	
25	28	33	42	L=WS/60
30	40	50	60	
35	55	68	82	L=WS
40	72	90	107	
45	120	150	180	L=WS
50	133	167	200	
55	147	183	220	L=WS
60	160	200	240	
65	173	217	260	L=WS
70	187	233	280	

SYMBOLS

- Work Area
- Sign With 18" x 18" (Min.) Orange Flag And Type B Light
- Channelizing Device (See Index No. 600)
- Work Zone Sign
- Lane Identification + Direction of Traffic

GENERAL NOTES

- If the work operation encroaches on the through traffic lanes or when four or more work vehicles enter the through traffic lanes in a one hour period (excluding establishing and terminating the work area), a flagger shall be provided and a FLAGGER sign shall be substituted for the WORKERS sign. The flagger shall be positioned at the point of vehicle entry or departure from the work area.
- This TCZ plan also applies to work performed in the median more than 2' but less than 15' from the edge of travelway.
- When work is being performed on a multilane undivided roadway the signs normally mounted in the median (as shown) shall be omitted.
- WORKERS signs to be removed or fully covered when no work is being performed.
- SHOULDER WORK sign may be used as an alternate to the WORKER symbol sign.
- When a side road intersects the highway within the TTC zone, additional TTC devices shall be placed in accordance with other applicable TCZ indexes.
- For general TCZ requirements and additional information, refer to Index No. 600.

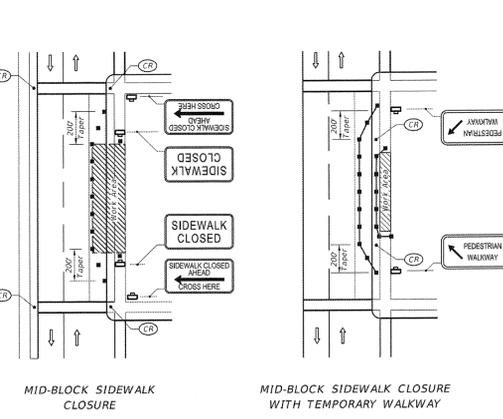
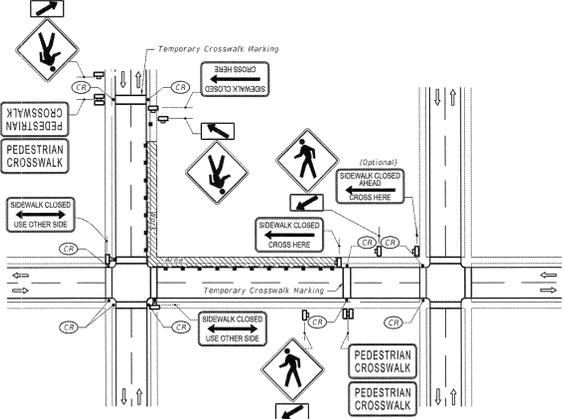
DURATION NOTES

- Signs and channelizing devices may be omitted if all of the following conditions are met:
 - Work operations are 60 minutes or less.
 - Vehicles in the work area have high-density, rotating, flashing, oscillating, or strobe lights operating.

CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCRUCH ON THE AREA CLOSER THAN 15' BUT NOT CLOSER THAN 2' TO THE EDGE OF TRAVEL WAY.

LAST REVISION 07/01/07	DESCRIPTION:	2015 FDOT DESIGN STANDARDS	MULTILANE, WORK ON SHOULDER	INDEX NO. 612	SHEET NO. 1 of 1
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CORNER SIDEWALK CLOSURE WITH TEMPORARY CROSSWALKS

MID-BLOCK SIDEWALK CLOSURE

MID-BLOCK SIDEWALK CLOSURE WITH TEMPORARY WALKWAY

GENERAL NOTES

- Only the signs controlling pedestrian flows are shown. Other work zone signs will be needed to control traffic on the streets.
- For spacing of traffic control devices and general TCZ requirements refer to Index No. 600. Maximum spacing between barricades, vertical panels, drums or tubular markers shall not be greater than 25'.
- Street lighting should be considered.
- For nighttime closures use Type A flashing warning lights on barricades supporting signs and closing sidewalks. Use Type C steady-burn lights on channelizing devices separating the work area from vehicular traffic.
- Pedestrian traffic signal displays controlling closed crosswalks shall be covered or deactivated.
- Post Mounted Signs located near or adjacent to a sidewalk shall have a 7' minimum clearance from the bottom of sign to the sidewalk.
- When construction activities involve sidewalks on both sides of the street, efforts should be made to stage the construction so that both sidewalks are not out of service at the same time.
- In the event that sidewalks on both sides of the street are closed, pedestrians shall be guided around the construction zone.
- Temporary walkways shall be a minimum of 4' wide with a maximum 0.02 cross slope and a maximum 0.05 running slope between ramps. Temporary walkways less than 5' in width shall provide for a 5' x 5' passing space at intervals not to exceed 200'. Temporary ramps shall meet the requirements for curb ramps specified in Index No. 304. Temporary walkway surfaces and ramps shall be stable, firm, slip resistant, and kept free of any obstructions and hazards such as holes, debris, mud, construction equipment, stored materials, etc.
- Temporary ramps and temporary crosswalk markings shall be removed with reopening of the sidewalk, unless otherwise noted in the plans. All work and materials associated with constructing temporary curb ramps and temporary crosswalk markings, removal and disposal of temporary curb ramps and temporary crosswalk markings, and restoration to original condition shall be paid for as Maintenance of Traffic, Lump Sum.
- A pedestrian longitudinal channelizing device shall be placed across the full width of the closed sidewalk.

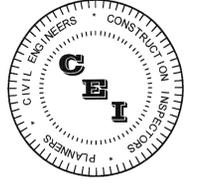
CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCRUCH ON THE SIDEWALK FOR A PERIOD OF MORE THAN 60 MINUTES.

SYMBOLS

- Work Area
- Channelizing Device (See Index No. 600)
- Work Zone Sign
- Required Locations For Either Temporary Or Permanent Curb Ramps
- Lane Identification + Direction of Traffic
- Pedestrian Longitudinal Channelizing Device

LAST REVISION 07/01/13	DESCRIPTION:	2015 FDOT DESIGN STANDARDS	PEDESTRIAN CONTROL FOR CLOSURE OF SIDEWALKS	INDEX NO. 660	SHEET NO. 1 of 1
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CAMPO ENGINEERING, INC.

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TAMPA, FL 33605
PHONE: (813) 215-7372
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PROJECT TITLE

THE SHOPPES AT TRINITY LAKES

PASCO COUNTY, FLORIDA

CLIENT

50SEMBLER
YEARS Creating Retail Value.

THE SHOPPES AT TRINITY LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE

ISSUE DATE: 6/2014

REVIEWED BY: MDC

DRAWN BY: BLM

DESIGNED BY: BLM

PROJECT NUMBER

14-026

Matthew D. Campo
NAME
SEAL NO. 53988
STATE OF FLORIDA
DATE 07/15/2015

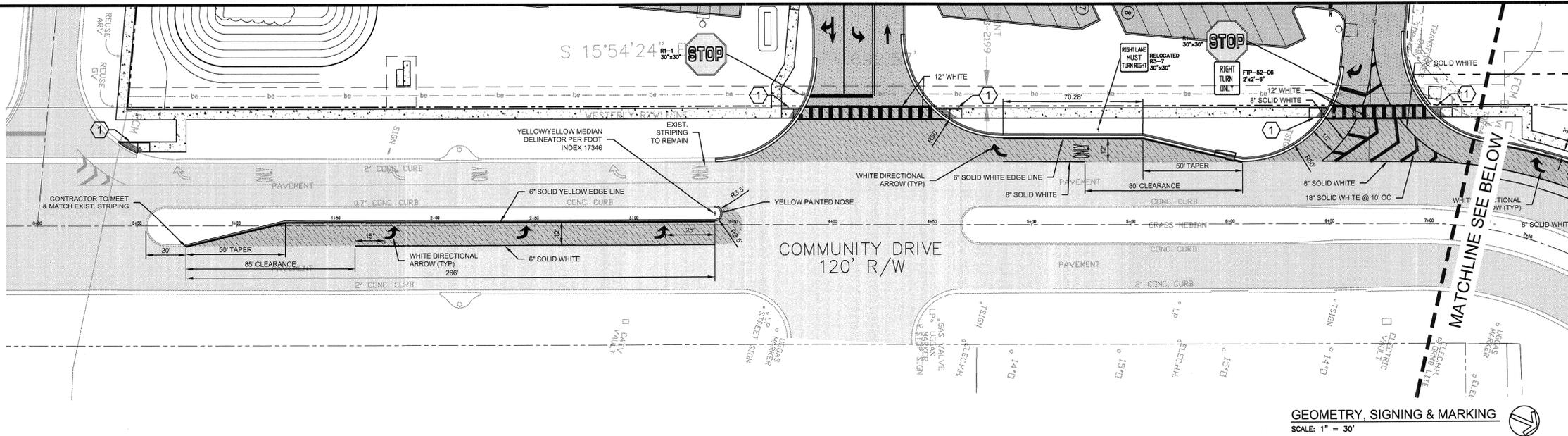
OFFSITE ROADWAY PLAN - MOT DETAILS

SHEET NUMBER

OS-1.5

LEGEND

- PROPERTY LINE
- EC SILT FENCE
- 4" PROPOSED 4" THK. CONCRETE
- 6" PROPOSED 6" THK. CONCRETE (MIN.)
- PROPOSED COUNTY OFF-SITE ASPHALT PAVEMENT
- PROPOSED LIGHT DUTY ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- EXISTING PAVEMENT



GEOMETRY, SIGNING & MARKING
SCALE: 1" = 30'

PASCO COUNTY SPECIFICATIONS FOR DESIGN AND INSTALLATION OF TRAFFIC CONTROL DEVICES ON COUNTY ROADS

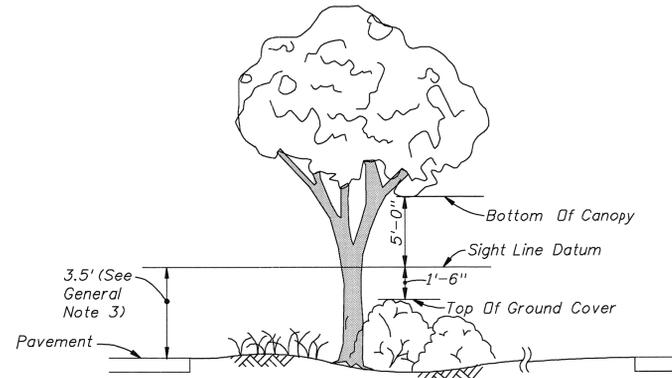
- 1) PURPOSE: THESE SPECIFICATIONS HAVE BEEN DEVELOPED TO PROVIDE DEVELOPERS WITH A UNIFORM SYSTEM FOR INSTALLATION OF TRAFFIC CONTROL DEVICES ON THE COUNTY ROAD SYSTEM. A UNIFORM SYSTEM PROVIDES FOR REDUCED MAINTENANCE COSTS AND A HIGH STANDARD OF VISIBILITY FOR DRIVERS. ALL REQUIRED TRAFFIC CONTROL DEVICES SHALL BE INSTALLED BY THE DEVELOPER OF THE PROJECT.
- 2) FLORIDA STATE STATUTE 316.0745:
 - 2.1) ANY AND ALL TRAFFIC CONTROL DEVICES INSTALLED ON THE COUNTY ROAD SYSTEM SHALL CONFORM TO FLORIDA STATE STATUTE 316.0745, UNIFORM SIGNALS AND DEVICES.
 - 2.2) THIS STATUTE REQUIRES THAT ALL DEVICES CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) SPECIFICATIONS. THE FDOT HAS ADOPTED THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AS THE STANDARDS TO BE USED IN THE STATE OF FLORIDA.
- 3) PAVEMENT MARKINGS:
 - 3.1) ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC OR PREFORMED TAPES; RAISED PAVEMENT MARKERS SHALL BE CLASS "B".
 - 3.2) PAVEMENT MARKINGS AND RAISED PAVEMENT MARKERS SHALL BE INSTALLED ON ALL ROADS CLASSIFIED OTHER THAN RESIDENTIAL WITH AN ADT GREATER THAN 500 VEHICLES, OR IF OTHER CONDITIONS EXIST THAT REQUIRE PAVEMENT MARKINGS. (SEE M.U.T.C.D. SECTION 3B-1).
- 4) TRAFFIC CONTROL SIGNS:
 - 4.1) ALL SIGN BLANKS SHALL BE OF A TYPE CURRENTLY CERTIFIED BY THE FDOT FOR USE IN THE STATE OF FLORIDA.
 - 4.2) ALL SIGN FACES SHALL BE HIGH INTENSITY GRADE AND OF A TYPE CURRENTLY CERTIFIED BY THE FDOT FOR USE IN THE STATE OF FLORIDA.
 - 4.3) ALL SIGNS SHALL BE NO LESS THAN THE STANDARD SIZE AS SPECIFIED BY THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. NO MINIMUM SIZE SIGNING SHALL BE ACCEPTED. LARGER SIGNS SHALL BE USED WHEN REQUIRED BY DESIGN SPEED ETC.
 - 4.4) ALL STREET NAME SIGNS ON PRIVATE ROADS SHALL BE D3 STREET NAME SIGNS WITH THE COLORS REVERSED, WHITE BACKGROUND WITH GREEN LETTERS AND BORDER. AT INTERSECTIONS WITH COUNTY, STATE OR CITY MAINTAINED ROADS, THE COUNTY OR STATE MAINTAINED ROAD SHALL BE GREEN BACKGROUND WITH WHITE LETTERS AND BORDER. THE CITY MAINTAINED ROAD SHALL BE GREEN BACKGROUND WITH WHITE LETTERS AND BORDER UNLESS THE CITY HAS ADOPTED OTHER COLORS. STREET NAME SIGNS SHALL BE 6" ON LOCAL ROADS AND 9" ON COLLECTOR AND ARTERIAL ROADS. SIX INCH SIGNS SHALL HAVE 4" SERIES C LETTERS AND 9" SIGNS SHALL HAVE 6" SERIES B LETTERS. STREET NAME SIGN BRACKETS FOR 6" SIGNS 30" LONG OR LESS, OR 9" SIGNS 24" LONG OR LESS, SHALL HAVE A 5 INCH BLADE OR CROSS. ALL OTHER STREET NAME SIGNS SHALL BE MOUNTED WITH BRACKETS WITH A 12 INCH BLADE OR 8 INCH CROSS. ALL STREET NAME SIGN BRACKETS SHALL BE SUPPLIED WITH BOLTS. SET SCREWS WILL NOT BE ACCEPTED.
 - 4.5) ON ROADS TO BE MAINTAINED BY PASCO COUNTY, ALL SIGNS OTHER THAN STREET NAMES SHALL BE DATE CODED WITH A YELLOW REFLECTIVE LABEL AFFIXED TO THE BACK OF THE SIGN. IT WILL BE PUNCHED TO SHOW MONTH, DAY, AND YEAR OF INSTALLATION (SEE SAMPLE LABEL). ALTERNATE LABEL DESIGNS PROVIDING THE DATE CODE INFORMATION MAY BE USED IF A SAMPLE IS SUBMITTED AND APPROVED BY PASCO COUNTY PRIOR TO INSTALLATION.
 - 4.6) ALL POST SYSTEMS, MOUNTING BRACKETS AND HARDWARE SHALL BE OF A TYPE CURRENTLY IN USE BY THE PASCO COUNTY PUBLIC WORKS DEPARTMENT AND CURRENTLY CERTIFIED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION FOR USE IN THE STATE OF FLORIDA. ALTERNATIVE SYSTEMS ETC. SHALL ONLY BE USED IF APPROVED BY THE COUNTY ENGINEER.
- 5) CERTIFICATION OF MATERIALS:
 - 5.1) ALL TRAFFIC CONTROL DEVICES AND MATERIALS SHALL BE ON THE CURRENT F.D.O.T. APPROVED PRODUCTS LIST. PROOF OF CERTIFICATION IS REQUIRED FOR ALL TRAFFIC CONTROL DEVICES.
 - 5.2) A TRAFFIC CONTROL DEVICES SUBMITTAL DATA FORM SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION OF ANY TRAFFIC CONTROL DEVICES. NO TRAFFIC CONTROL DEVICE SHALL BE INSTALLED UNTIL THE CERTIFICATION SUBMITTAL HAS BEEN APPROVED BY THE TRAFFIC OPERATIONS DIVISION. THESE FORMS ARE AVAILABLE FROM THE TRAFFIC OPERATIONS DIVISION. COPIES OF THE APPROVED TRAFFIC CONTROL DEVICES SUBMITTAL DATA FORM SHALL BE SENT TO THE CONTRACTOR AND THE ENGINEERING INSPECTIONS DIVISION.
- 6) TRAFFIC CONTROL DEVICES PLAN:
 - 6.1) A DETAILED SET OF PLANS FOR REQUIRED TRAFFIC CONTROL DEVICES SHALL BE SUBMITTED FOR ALL ROAD CONSTRUCTION SITE DEVELOPMENT, SUBDIVISION, AND RIGHT-OF-WAY USE PERMITS. THESE PLANS SHALL BE IN CONFORMANCE WITH FDOT DESIGN STANDARDS. ALL PLANS SHALL BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA.
 - 6.2) WITH THE SUBMITTAL OF FINAL PLANS TO THE DEVELOPMENT REVIEW DIVISION, TWO ADDITIONAL SETS OF THE TRAFFIC CONTROL PLAN PORTION OF THE ENTIRE PLAN SHALL BE SUBMITTED. THESE TWO SETS WILL BE FORWARDED TO THE TRAFFIC OPERATIONS DIVISION.
- 7) COST ESTIMATE: AN ENGINEER'S COST ESTIMATE SHALL BE REQUIRED FOR ALL PROPOSED TRAFFIC CONTROL DEVICES. THE ESTIMATE SHALL BE PROVIDED IN CONJUNCTION WITH THE TRAFFIC CONTROL DEVICES SUBMITTAL DATA FORM. SEE SECTION 5.2).
- 8) INSPECTION AND ACCEPTANCE:
 - 8.1) UPON COMPLETION OF THE INSTALLATION OF THE TRAFFIC CONTROL DEVICES, THE CONTRACTOR SHALL CALL THE ENGINEERING INSPECTIONS DIVISION FOR AN INSPECTION AT (727) 847-8154.
 - 8.2) THE INSPECTION SHALL BE MADE BY THE ENGINEERING INSPECTIONS DIVISION WITH 48 HOURS (TWO WORKING DAYS) OF THE REQUEST.
 - 8.3) AN INSPECTION REPORT SHALL BE MADE BY THE ENGINEERING INSPECTIONS DIVISION. COPIES OF THE REPORT SHALL BE SENT TO THE ENGINEER AND THE DEVELOPER.
 - 8.4) NO ROADWAY SHALL BE OPEN TO THE PUBLIC UNTIL ALL TRAFFIC CONTROL DEVICES HAVE BEEN INSPECTED AND ACCEPTED BY PASCO COUNTY.
- 9) ROADWAY DESIGN GEOMETRY PER INDEX 301 AND 526. DESIGN MATCHES EXISTING ROADWAY SLOPES AND GRADES.
- 10) PAVEMENT MARKINGS SHALL BE PER FDOT INDEX 17346. REFLECTIVE PAVEMENT MARKINGS SHALL BE PER FDOT INDEX 17352.
- 11) THE ROADWAY SYSTEM IS IN SUBSTANTIAL CONFORMANCE WITH THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE OF STREETS AND HIGHWAYS, STATE OF FLORIDA, IN EFFECT AT THE TIME THE PLANS WERE PREPARED.

CONSTRUCTION AND MAINTENANCE NOTES

1. NO TRACK TYPE EQUIPMENT WILL BE ALLOWED ON ANY ASPHALTIC OR CONCRETE SURFACES.
2. ALL LINES WITHIN THE RIGHT-OF-WAY WILL BE PLACED A MINIMUM OF 30' BELOW EXISTING GRADE.
3. EROSION AND SILT CONTROL DEVICES WILL BE IN PLACE DURING THE CONSTRUCTION AND RESTORATION PHASE AT ALL TIMES. AFTER PROPER AND NORMAL STABILIZATION HAS BEEN ESTABLISHED, CONTROL DEVICES MAY BE REMOVED. (LDC 604)
4. SIDEWALKS WILL BE CONSTRUCTED WITHIN THREE (3) DAYS AFTER REMOVAL AND SAFE PEDESTRIAN TRAFFIC WILL BE MAINTAINED AT ALL TIMES. IF EXISTING SIDEWALK IS REMOVED, IT WILL BE REMOVED TO THE NEAREST EXPANSION JOINT. ANY SIDEWALK WHICH BECOMES UNDERMINED, MUST BE REMOVED AND REPLACED. ROADWAY CONNECTIONS REPLACED MUST MEET CURRENT A.D.A. STANDARDS PER F.D.O.T. INDEX 304.
5. ALL EXISTING DRAINAGE TO BE MAINTAINED AND RESTORED TO DESIGN FLOW LINES.
6. ALL DISTURBED AREAS WILL BE COMPACTED, SEED, AND MULCHED TO THE PRE OR BETTER CONDITION. (LDC 605.3 D & F)
7. ALL TRAFFIC CONTROL DEVICES, I.E.: WARNING/CONSTRUCTION TYPE SIGNS WILL COMPLY WITH F.D.O.T. STANDARDS DURING THE CONSTRUCTION PHASE.
8. ALL BACKFILL SUBBASE, BASE, AND ASPHALT SURFACE RESTORATION WILL COMPLY WITH THE LATEST F.D.O.T. STANDARDS, OR AS OTHERWISE APPROVED BY THE COUNTY ENGINEER OR HIS DESIGNEE.
9. ASPHALT SURFACE SHALL BE A MINIMUM OF 1 INCH FC-9.5 FRICTION COURSE & 3" TYPE S ASPHALT.
10. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE AND RELOCATE ALL TRAFFIC CONTROL DEVICES DURING THE CONSTRUCTION PHASE. AFTER CONSTRUCTION IS COMPLETE THE DEVICES WILL BE REINSTALLED TO THE ORIGINAL LOCATION. ANY DAMAGED DEVICES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE.
11. NO WORK, EXCEPT FOR EMERGENCY TYPE, WILL BE PERFORMED AFTER SUNDOWN AND BEFORE SUNRISE.
12. NO OPEN CUTS WITHOUT SPECIFIC APPROVAL FROM THE COUNTY ENGINEER.
13. ALL LINES LOCATED WITHIN ROADSIDE DRAINAGE DITCHES SHALL BE A MINIMUM OF 30 INCHES BELOW THE LOWEST POINT OF THE DITCH OR THE INVERT OF ANY CULVERTS WITHIN RIGHT-OF-WAY WHICH EVER IS LOWER.
14. ALL PEDESTALS AND BOXES LOCATED WITHIN THE ROADSIDE DITCHES SHALL BE APPROPRIATELY MARKED AND/OR IDENTIFIED AND LOCATED WITHIN 24 INCHES OF THE BACK OF THE RIGHT-OF-WAY.
15. CALL 8-1-1 TWO FULL BUSINESS DAYS BEFORE YOU DIG.
16. AS APPLICABLE, THE OWNER/DEVELOPER WILL PROVIDE COPIES OF THE REQUIRED PERMITS FROM THE RESPECTIVE GOVERNING AGENCIES. (LDC 605.3 cc)
17. THE ROADWAY SYSTEM IS IN SUBSTANTIAL CONFORMANCE WITH THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION & MAINTENANCE OF STREETS & HIGHWAYS, STATE OF FLORIDA, IN EFFECT AT THE TIME THE PLANS WERE PREPARED.

PASCO COUNTY ONSITE SIGNING AND MARKING NOTES:

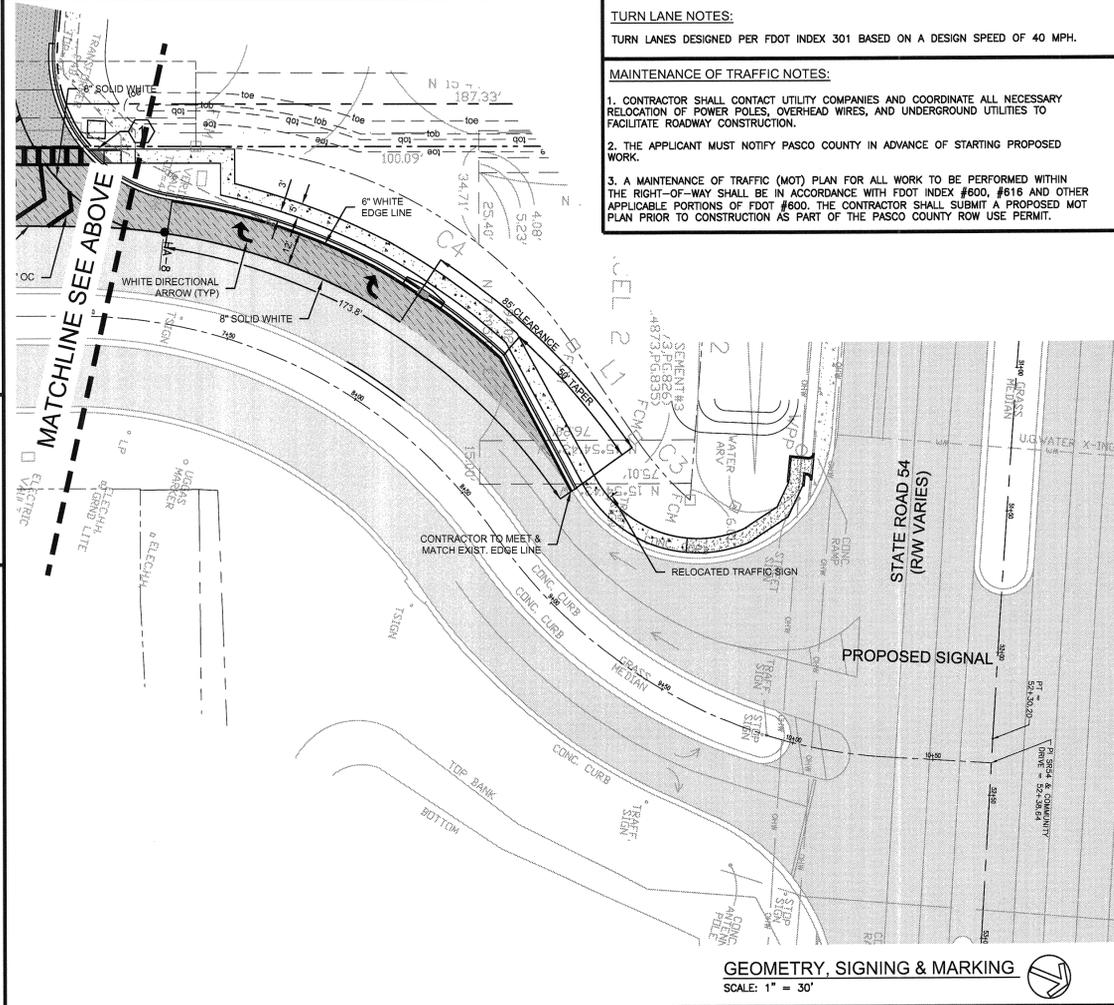
1. ALL TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
2. ALL STREET NAME SIGNS ON PRIVATE ROADS SHALL BE D3 STREET NAME SIGNS WITH THE COLORS REVERSED, WHITE BACKGROUND WITH GREEN LETTERS AND BORDER. AT INTERSECTIONS WITH COUNTY, STATE OR CITY MAINTAINED ROADS, THE COUNTY OR STATE MAINTAINED ROAD SHALL BE GREEN BACKGROUND WITH WHITE LETTERS AND BORDER. THE CITY MAINTAINED ROAD SHALL BE GREEN BACKGROUND WITH WHITE LETTERS AND BORDER UNLESS THE CITY HAS ADOPTED OTHER COLORS.
3. ANY TRAFFIC CONTROL DEVICE FOR A PRIVATE ROADWAY PLACED IN A COUNTY OR STATE RIGHT-OF-WAY SHALL BE INSTALLED ON THE APPROPRIATE BREAKAWAY POST ASSEMBLY.



The Intent Of This Standard Is To Provide A Window With Vertical Limits Of Not Less Than 5' Above And 1'-6" Below The Sight Line Datum, And Horizontal Limits Defined By The Limits Of Clear Sight.

PICTORIAL WINDOW DETAIL

- General Note:
1. Site triangles are to be unobstructed and are to remain unobstructed.
 2. The limits of clear sight define a corridor throughout which a clear sight window must be preserved. See Window Detail.
 3. Since observations are made in both directions along the line of sight, the reference datum between roadways is 3'-6" above respective pavements.

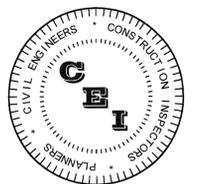


GEOMETRY, SIGNING & MARKING
SCALE: 1" = 30'

KEY NOTES

- 1 CURB RAMP CR-F PER FDOT INDEX 304

NOTE:
DETECTABLE WARNING SURFACE PER FDOT INDEX 304. TRUNCATED DOMES SHALL BE CAST IN PLACE & PROVIDED BY ARMOR-TILE OR APPROVED EQUAL (NO ADHESION OR SCREW PAD ALLOWED). INSTALL PER MANUFACTURER'S DETAILS.



CAMPO ENGINEERING, INC.

FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL. 33605
PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE

THE SHOPES AT TRINITY LAKES

PASCO COUNTY, FLORIDA

CLIENT



THE SHOPES AT TRINITY LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE

ISSUE DATE: 6/2014

REVIEWED BY: MDC

DRAWN BY: BLM

DESIGNED BY: BLM

PROJECT NUMBER

14-026



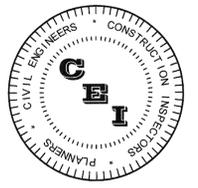
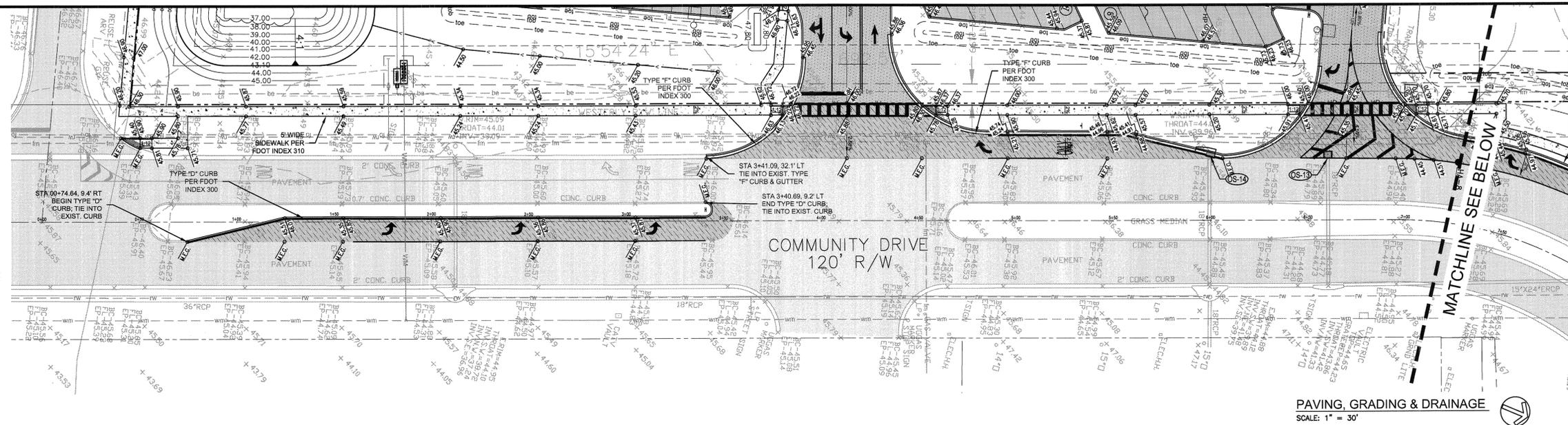
OFFSITE ROADWAY PLAN - COMMUNITY DR

SHEET NUMBER

OS-21

LEGEND

- PROPERTY LINE
- EC --- SILT FENCE
- STM --- PROPOSED STORM PIPE
- SB-2 BORING LOCATION
- (P-1) STORM STRUCTURE OR PIPE NUMBER
- FLOW ARROW
- 1.00% PAVEMENT SLOPE
- 0.00 PROPOSED SPOT GRADE
- [Pattern] PROPOSED 4" THK. CONCRETE
- [Pattern] PROPOSED 6" THK. CONCRETE (MIN.)
- [Pattern] PROPOSED COUNTY OFF-SITE ASPHALT PAVEMENT
- [Pattern] PROPOSED LIGHT DUTY ASPHALT PAVEMENT
- [Pattern] PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- [Pattern] EXISTING PAVEMENT



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PROJECT TITLE

THE SHOPPES AT TRINITY LAKES

PASCO COUNTY, FLORIDA

CLIENT

50SEMBLER
YEARS Creating Retail Value.

THE SHOPPES AT TRINITY LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE
Δ	PER FOOT COMMENTS	12/15/14

ISSUE DATE: 6/2014

REVIEWED BY: MDC

DRAWN BY: BLM

DESIGNED BY: BLM

PROJECT NUMBER

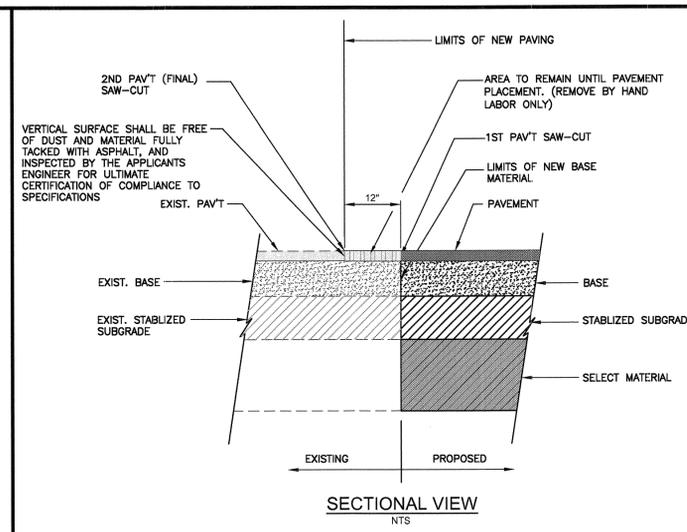
14-026

Matthew D. Campo
No. 53988
DATE 01/15/2015
NAME SEAL NO. DATE

OFFSITE ROADWAY PLAN - COMMUNITY DR

SHEET NUMBER

OS-2.2



NOTES:
1. THE DEVELOPER'S ENGINEER SHALL INVESTIGATE THE EXISTING PAVEMENT LAYER TYPES AND DEPTHS BY RESEARCHING "RECORD/AS-BUILT DRAWINGS" AND/OR PERFORM GEOTECHNICAL BORINGS.
2. THE NEW PAVEMENT SHALL PROVIDE THE MINIMUM STRUCTURAL NUMBER AS FOLLOWS:
TYPE 2 - 2.36
TYPE 1 - 3.50
COLLECTOR - 3.70
ARTERIAL - 4.00
NOTE:
NO DEVIATION TO THIS DETAIL WILL BE PERMITTED UNLESS APPROVED BY THE COUNTY ENGINEER. ANY PROPOSED ALTERATIONS SHALL BE CLEARLY IDENTIFIED AND HIGHLIGHTED ON DETAIL.
PASCO COUNTY PAVEMENT TIE-IN SAW CUT DETAIL
NTS

NOTE:
1. FOR COLLECTOR, ARTERIAL AND TYPE 1 (1A AND 1B) ROADS, BELOW THE STABILIZED SUBGRADE A MINIMUM OF 2 FT. OF SELECT MATERIAL, CONSISTING OF A-3 (SP) SOIL AND/OR A-2-4 WITH A MAXIMUM 15% PASSING NUMBER 200 SIEVE, SHALL BE PROVIDED.
2. THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY TO THE COUNTY ENGINEERING SERVICES DIRECTOR (THRU PASCO COUNTY ENGINEERING INSPECTIONS) THAT THE SELECT MATERIAL BELOW THE SUBGRADE MEETS THESE STANDARDS PRIOR TO INSTALLATION OF THE BASE. CERTIFICATION SHALL STRICTLY COMPLY WITH THE SUBGRADE CERTIFICATION FORM AVAILABLE IN "ENGINEERING SERVICES DEPARTMENT: A PROCEDURAL GUIDE FOR THE PREPARATION OF ASSURANCES OF COMPLETION AND MAINTENANCE."
3. CRUSH CONCRETE (LBR 150) SHALL BE COMPACTED TO 100 PERCENT T-180. THE CRUSHED CONCRETE BASE MATERIAL GRADATION SHALL CONFORM TO FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION SECTIONS 204 AND 901. THE CRUSHED CONCRETE SHALL ALSO CONFORM TO THE CRUSHED CONCRETE SPECIFICATIONS IN THE HILLSBOROUGH COUNTY TRANSPORTATION TECHNICAL MANUAL.



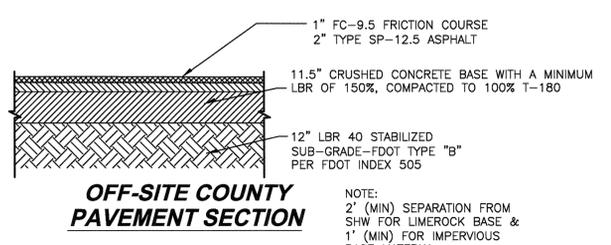
STRUCTURE DATA

- OS-12 STA 08+00.23, 43.2' LT FDOT TYPE 6 CURB INLET GRATE ELEV = 44.60 INV ELEV = 40.91
- OS-13 STA 06+60.28, 31.9' LT EXIST. CURB INLET TOP TO BE REMOVED AND REPLACED W/ TYPE "C" INLET TOP GRATE ELEV = 44.32
- OS-14 STA 05+99.91, 33.0' LT FDOT TYPE 6 CURB INLET GRATE ELEV = 44.54 INV ELEV = 39.96

PIPE DATA

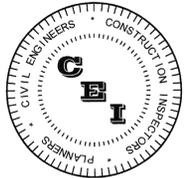
- OS-9 44 LF 14" X 23" ERCP @ 0.20%

NOTE: DISTURBED AREAS WITHIN RIGHT-OF-WAY SHOULD BE RESTORED AND RESODDED W/ BAHIA GRASS



OFF-SITE PAVEMENT SECTION:

LAYER	COEFF.	SN
1" TYPE FC-9.5 FRICTION COURSE	0.44	0.44
2" TYPE S ASPHALT	0.44	0.88
11.5" CRUSHED CONCRETE	0.15	1.72
12" STABILIZED SUBGRADE (MIN LBR-40) TYPE B MATERIAL PER FDOT INDEX 505	0.08	0.96
TOTAL SN PROVIDED:		4.00



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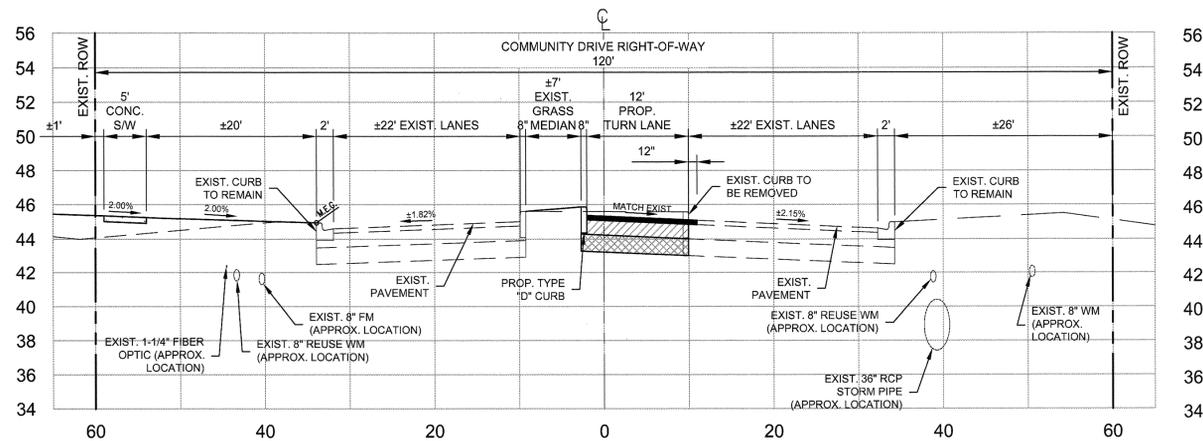
PROJECT NUMBER
14-026

Matthew D. Campo
NAME
53988
LICENSE NO.
01/15/2014
DATE
FLORIDA
STATE OF
PROFESSIONAL ENGINEER

SHEET TITLE
OFFSITE ROADWAY PLAN - COMMUNITY DR

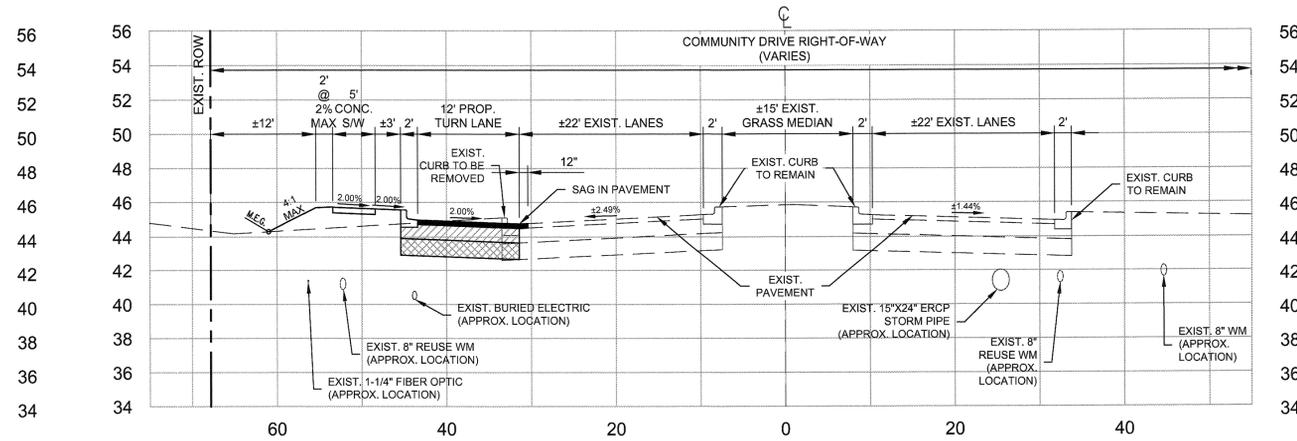
SHEET NUMBER
OS-2.3

LEFT TURN LANE (TYPICAL SECTION) - STA 1+24.66 TO 3+43.53



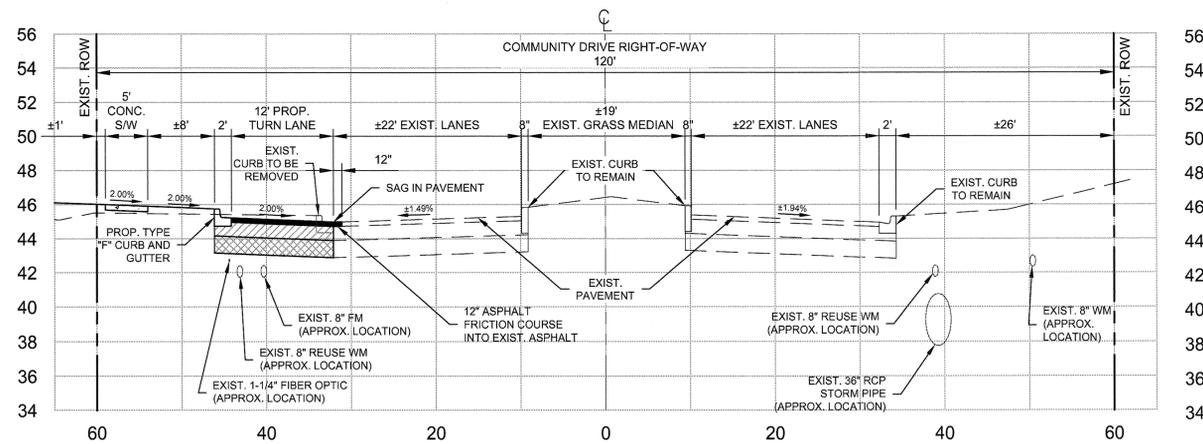
SCALE: 1" = 10' (HORIZONTAL)
1" = 5' (VERTICAL)

STA 7+50.00



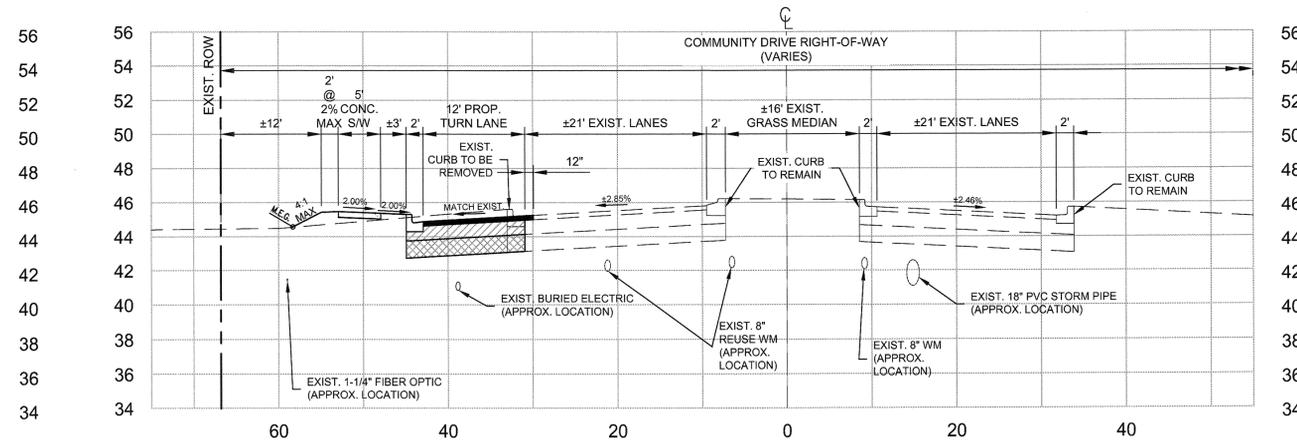
SCALE: 1" = 10' (HORIZONTAL)
1" = 5' (VERTICAL)

RIGHT TURN LANE (TYPICAL SECTION) - STA 4+85.86 TO 5+56.13



SCALE: 1" = 10' (HORIZONTAL)
1" = 5' (VERTICAL)

STA 8+25.00



SCALE: 1" = 10' (HORIZONTAL)
1" = 5' (VERTICAL)

IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATION, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OR THE RESOURCES FOUND ON THE SITE.