

# APPROVED

Pasco County Board of County Commissioners

October 6, 2015

PDD15-1685 – Exhibit B Unified Sign Plan

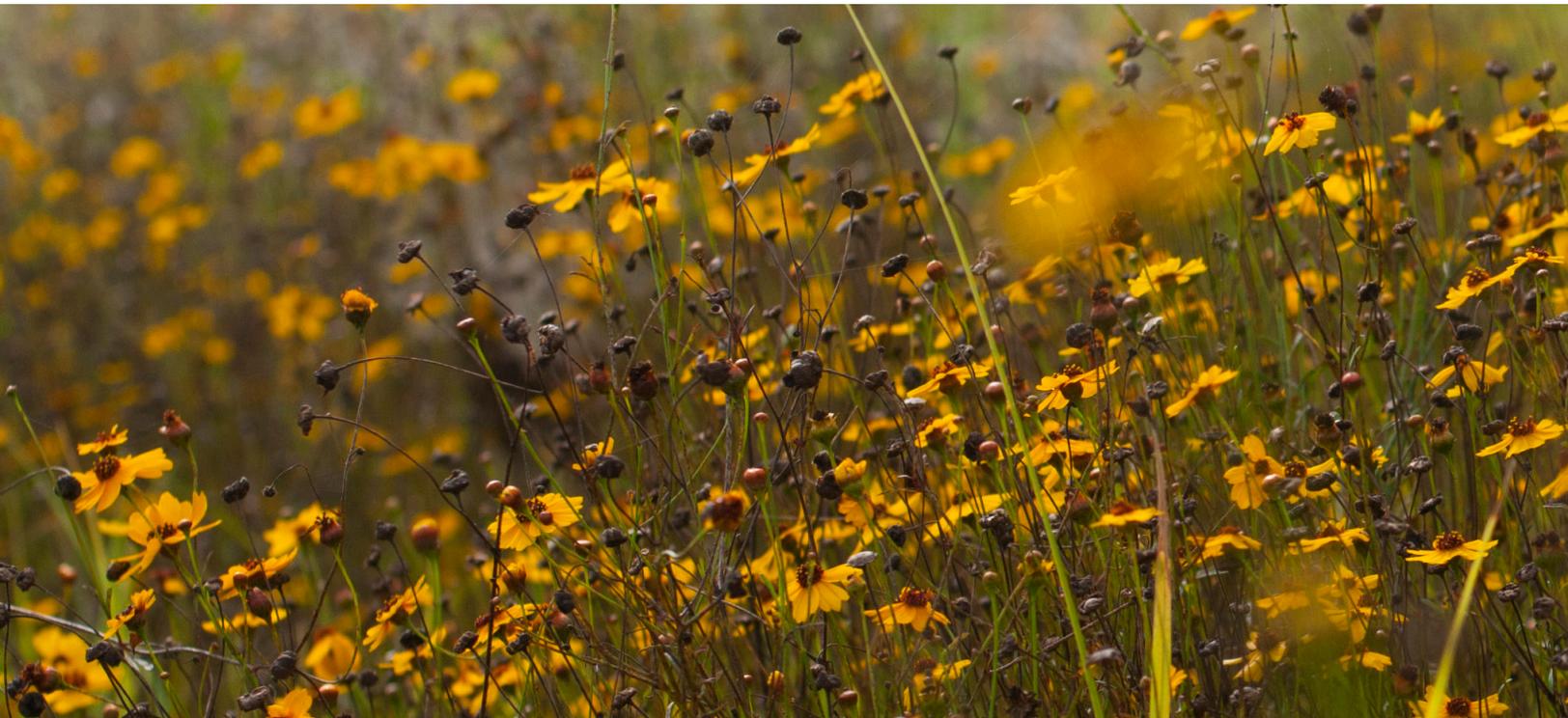
## Unified Sign Plan for Starkey Ranch



**Starkey**  
R A N C H

SEPTEMBER 2015

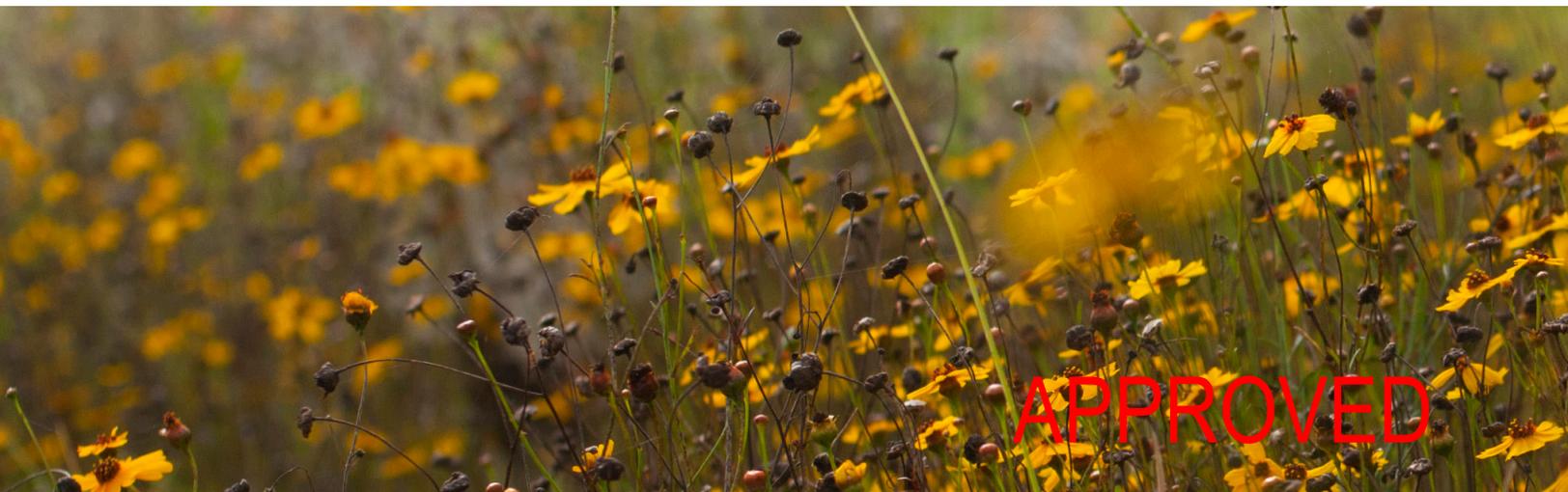
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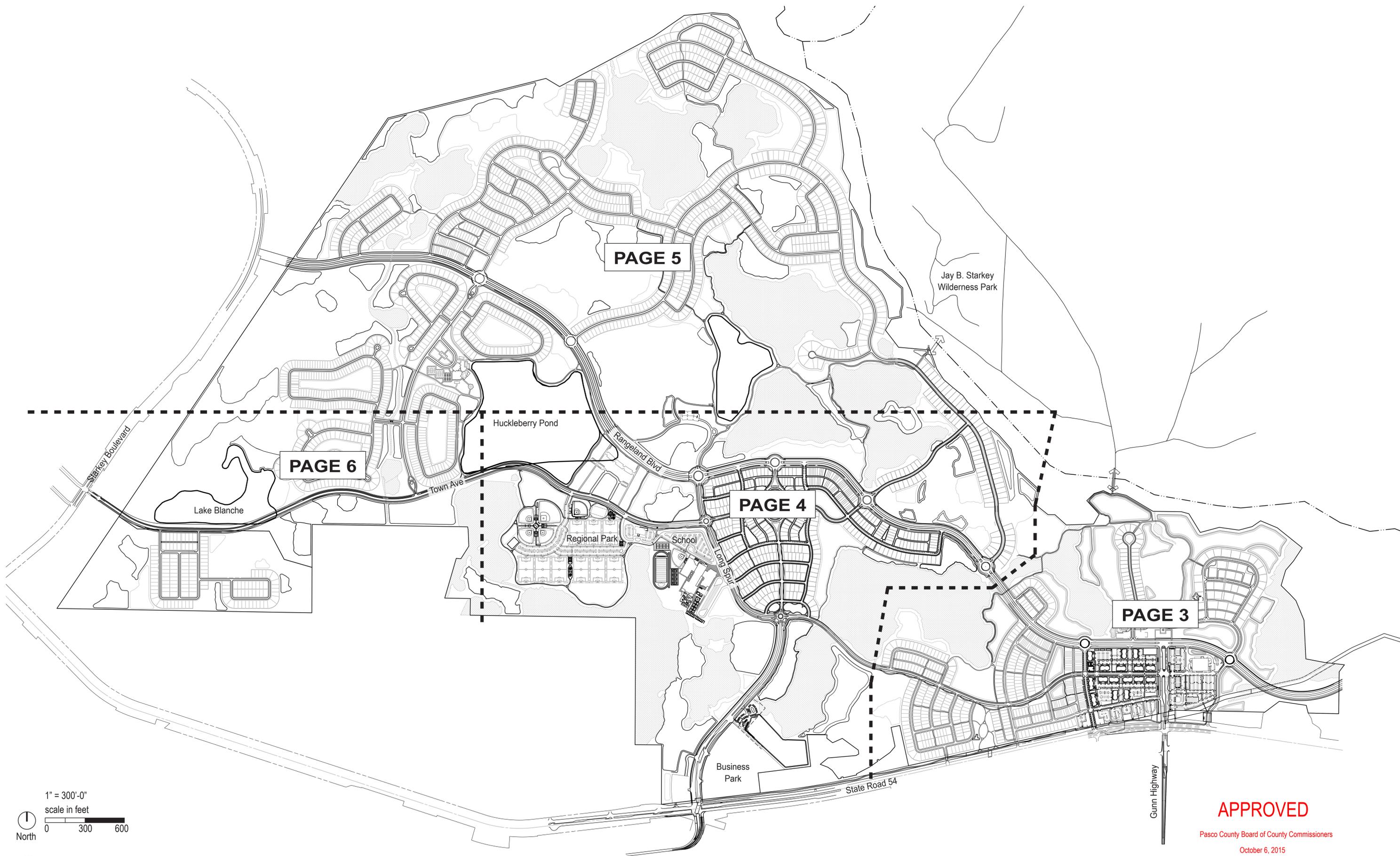
**Narrative**

**Statement**

The proposed USP is designed to serve as a strong place making element to the overall vision of Starkey Ranch with architectural features that are intended to elevate the perception of the community. High quality details in the materials and colors are designed to be harmonious with the character of the community.

STARKEY RANCH SIGN PLAN						
Sign #	Description	Quantity	Location(s)	Applicable Code	Meets Code Yes/No	Comments
1	10' x 20' Sign	3	Fronting SR 54 between Gunn Hwy & Heart Pine Ave	406.1.10.B Nonresidential Ground Signs // 406.1.9.B Signs at Entrances to Residential Developments	No	Designed to carry the community character, this sign design is inspired by a historic cattle scale found on the existing Starkey Homestead Site. Only to be located in key areas along SR 54, due to the size of the road, a large sign is needed for legibility.
2	8' x 4' Sign	15	Collector roads thru project	406.1.10.B Nonresidential Ground Signs // 406.1.9.B Signs at Entrances to Residential Developments	No	Designed to carry the community character, this sign design is inspired by a historic cattle scale found on the existing Starkey Homestead Site. Sign face is 8'x4', remaining sign portions are purely architectural to continue the community character.
3	Directional Sign	Unlimited	Throughout the community as needed.	406.1.9.C Signs Internal to a Residential Development // 406.1.10.F Signs Internal to a Nonresidential Development	No	Designed to carry the community character, this sign design is inspired by a historic cattle scale found on the existing Starkey Homestead Site.
A	Identity - Primary	1	Fronting SR 54, in front of Homestead Park	406.1.8 General Standards // 406.1.9.B Signs at Entrances to Residential Developments	No	Intended as an iconic art piece for Starkey Ranch, this architectural design embodies a ranch relic of a cattle feeder found on site.
B	Identity - Secondary	3	NE Gunn Hwy & SR 54; NE Heart Pine Ave & SR 54; Lake Blanche Drive	406.1.9.B Signs at Entrances to Residential Developments // 406.1.10.B Ground Signs at Entrances to a Nonresidential Development	Yes	Simply designed with materials found throughout design elements of Starkey Ranch, this sign signifies the main entries to Starkey Ranch.
C	Neighborhood Identity/ Marker	38	At intersections throughout the communities and SR 54	406.1.9.B Signs at Entrances to Residential Developments	Yes	Continuing Starkey Ranch design materials, these design elements will continue the community character throughout the development.
D	Traffic Control Device	N/A : Not regulated by Sign Code				
E	Vehicular Wayfinding Sign	7	Throughout Project	406.1.9.C Signs Internal to a Residential Development and 406.1.10.F Signs Internal to a Nonresidential Development	No	A Project Identity design to be used throughout the community.
F	Overall Identity	6	Main Roadways, site boundaries of downtown	406.1.9.B Signs at Entrances to Residential Developments	Yes	Serving as a place making element, these architectural features to be interior icons of the Starkey Ranch community.
G	Single Tenant Sign	3	One per parcel in Commercial Districts	406.1.10.B Nonresidential Ground Signs	Yes	Continuing the design language of Starkey Ranch, these signs are to serve as a piece of a harmonious activity center design.
H	Multi-tenant Sign	7	In Commercial Districts	406.1.10.B Nonresidential Ground Signs	Yes	Same architectural elements as the rest of the activity center signs, these will continue the sense of place for the Starkey Community.
I	Grocery Anchor Sign	3	In Commercial Districts	406.1.10.B Nonresidential Ground Signs	Yes	Same architectural elements as the rest of the activity center signs, these will continue the sense of place for the Starkey Community.
J	Retail Building Fascia Signage	1 per business	In Commercial Districts	406.1.10.C Nonresidential Wall Signs	Yes	Maintain a high level of design in materials and installation techniques.
K	Business Park Identity	3	In Business Park	406.1.10.B Nonresidential Ground Signs	Yes	To create a sense of place for the commerce portion of Starkey Ranch, while still keeping the same materials as the project identity signage.
L	Business Identity/ Address	1 per business	In Business Park	406.1.10.F Signs Internal to a Nonresidential Development	Yes	Maintaining a consistent sense of place for the commerce portion of Starkey Ranch, while still keeping the same materials as the project identity signage.
M	Park Sign	36	In Residential Districts to identify Neighborhood Parks	406.1.9.C Signs Internal to a Residential Development	Yes	Incorporating the design language of Starkey Ranch with traditional park signage, these signs will serve as a marker for park spaces throughout the community.
N	Trail Head + Bark Park Sign	5	At Trailheads	406.1.9.C Signs Internal to a Residential Development	Yes	Maintaining the park space design language, these signs will occur in specific areas of Starkey Ranch.
O	Homestead Park & Whitfield Park Sign & Regional Park	1 & 1 & 1	At Homestead, Whitfield and the Regional Park	406.1.9.C Signs Internal to a Residential Development	Yes	Reflecting the Project Identity design language, these will mark the main parks of the community.
P & Q	Welcome & Amenity Center Sign	1 & 1	At those facilities	406.1.9.D Nonresidential Permitted Uses	Yes	To continue the community character.
R	School/ Library/ Theater Identity	1 each	At those facilities	406.1.10.B Nonresidential Ground Signs	Yes	To continue the community character.
S	Miscellaneous Information	93	Throughout Project	406.1.9.C.1 Signs Internal to a Residential Development	Yes	Discrete design elements to subtly tie in the community character.
T	Ranch Art	N/A : Not regulated by Sign Code				
U	Not Used	-	-	-	-	-
V	Street Light Sign	210	All main roads in Project, and local streets in Downtown Activity Center	406.1.9.C Signs Internal to a Residential Development and Section 406.1.10.F Signs Internal to a Nonresidential Development	No	To be used throughout the community to mark special events and seasons and create continuity of the Starkey Ranch sense of place.

**APPROVED**



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Pasco County Board of County Commissioners  
 October 6, 2015  
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1" = 300'-0"  
 scale in feet  
 0 300 600  
 North

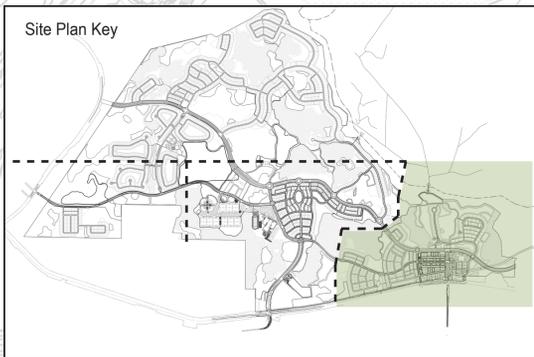
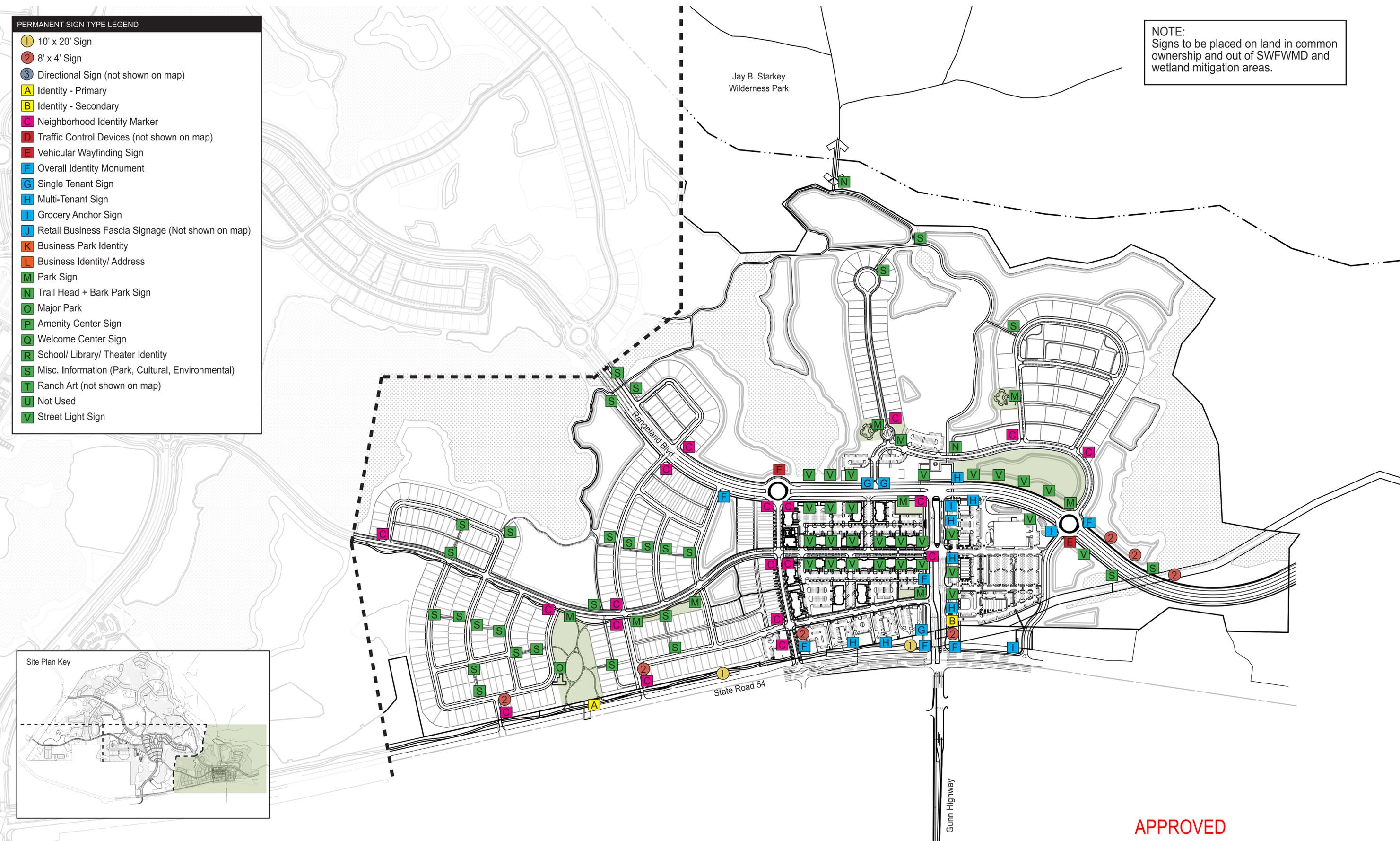


**SIGNAGE MASTER PLAN  
 KEY SHEET**  
 SEPTEMBER 2015

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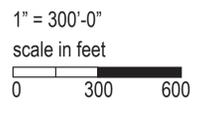
- PERMANENT SIGN TYPE LEGEND**
- ① 10' x 20' Sign
  - ② 8' x 4' Sign
  - ③ Directional Sign (not shown on map)
  - A Identity - Primary
  - B Identity - Secondary
  - C Neighborhood Identity Marker
  - D Traffic Control Devices (not shown on map)
  - E Vehicular Wayfinding Sign
  - F Overall Identity Monument
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  - H Multi-Tenant Sign
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  - U Not Used
  - V Street Light Sign

**NOTE:**  
Signs to be placed on land in common ownership and out of SWFWMD and wetland mitigation areas.



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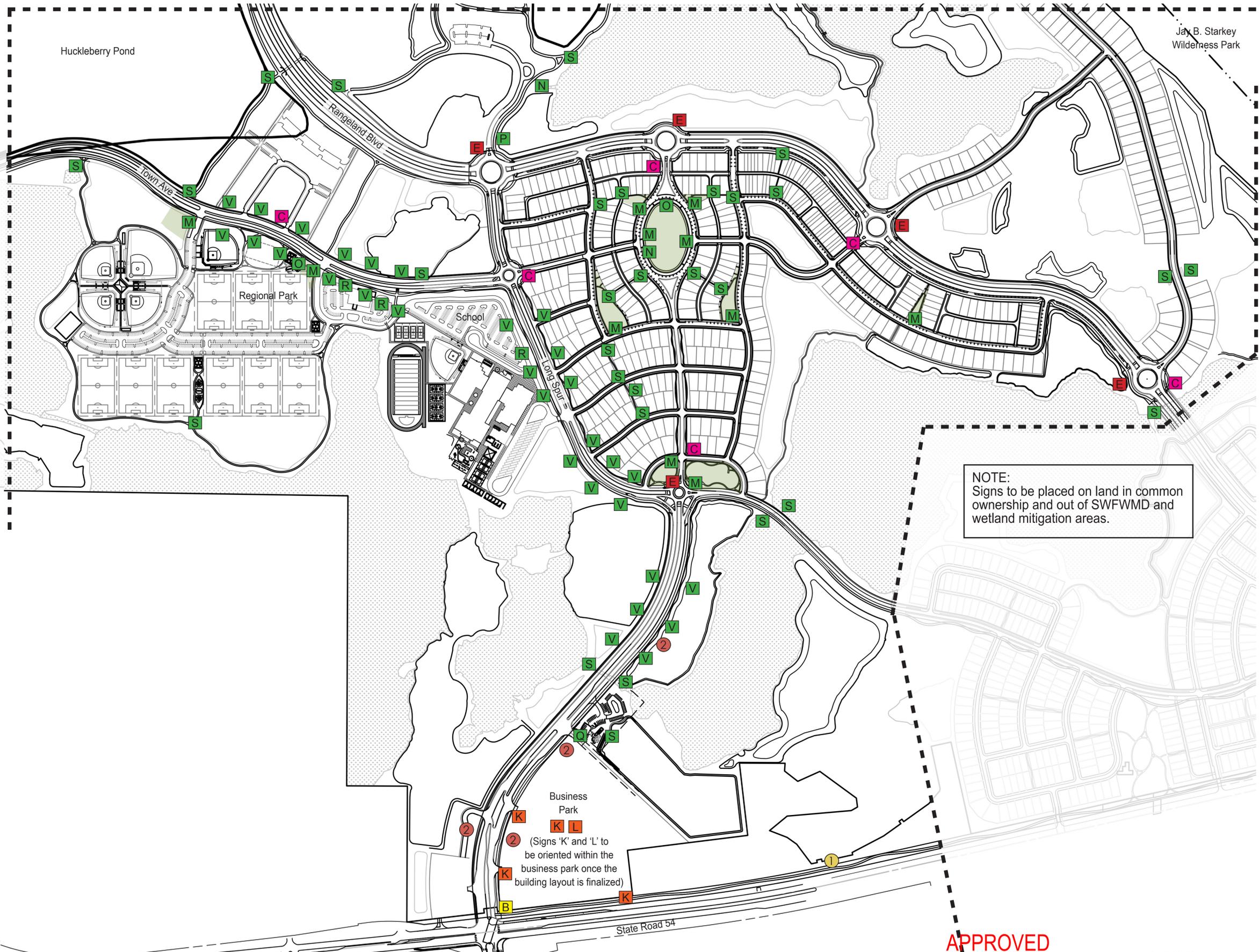
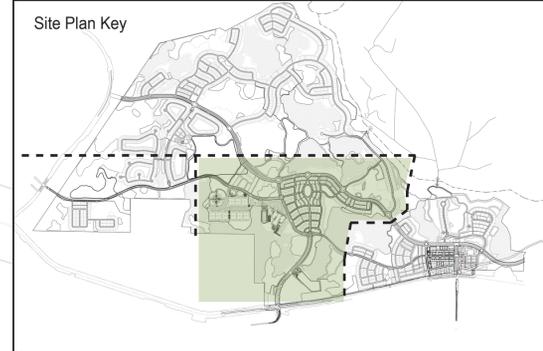
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**SIGNAGE MASTER PLAN**  
SEPTEMBER 2015

GENTRY LAND COMPANY | DIX.HITE + PARTNERS

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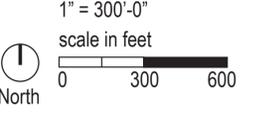


**NOTE:**  
Signs to be placed on land in common ownership and out of SWFWMD and wetland mitigation areas.

Business Park  
K L  
② (Signs 'K' and 'L' to be oriented within the business park once the building layout is finalized)

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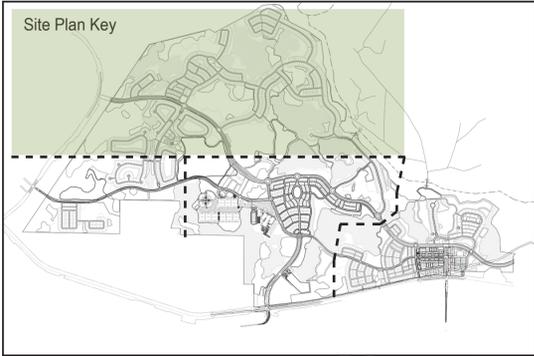


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SEPTEMBER 2015

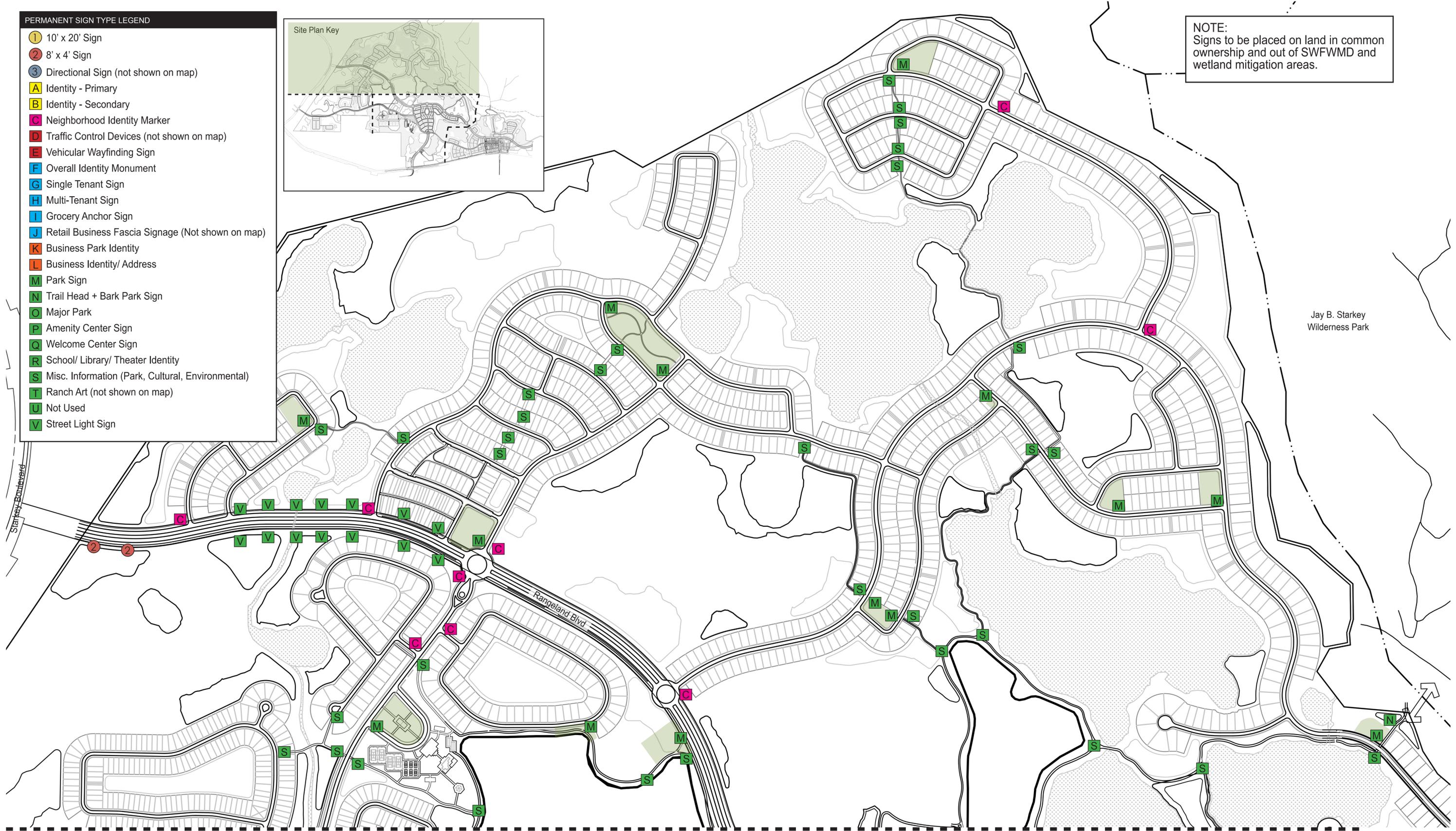
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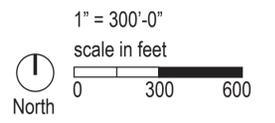
NOTE:  
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Jay B. Starkey Wilderness Park

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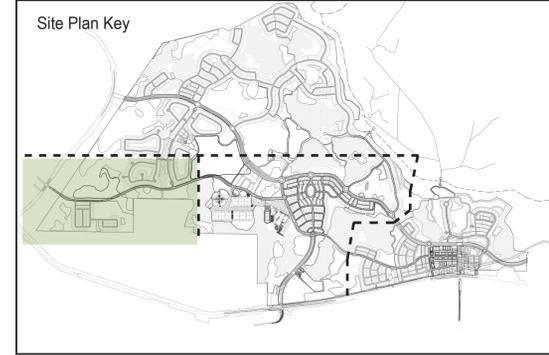
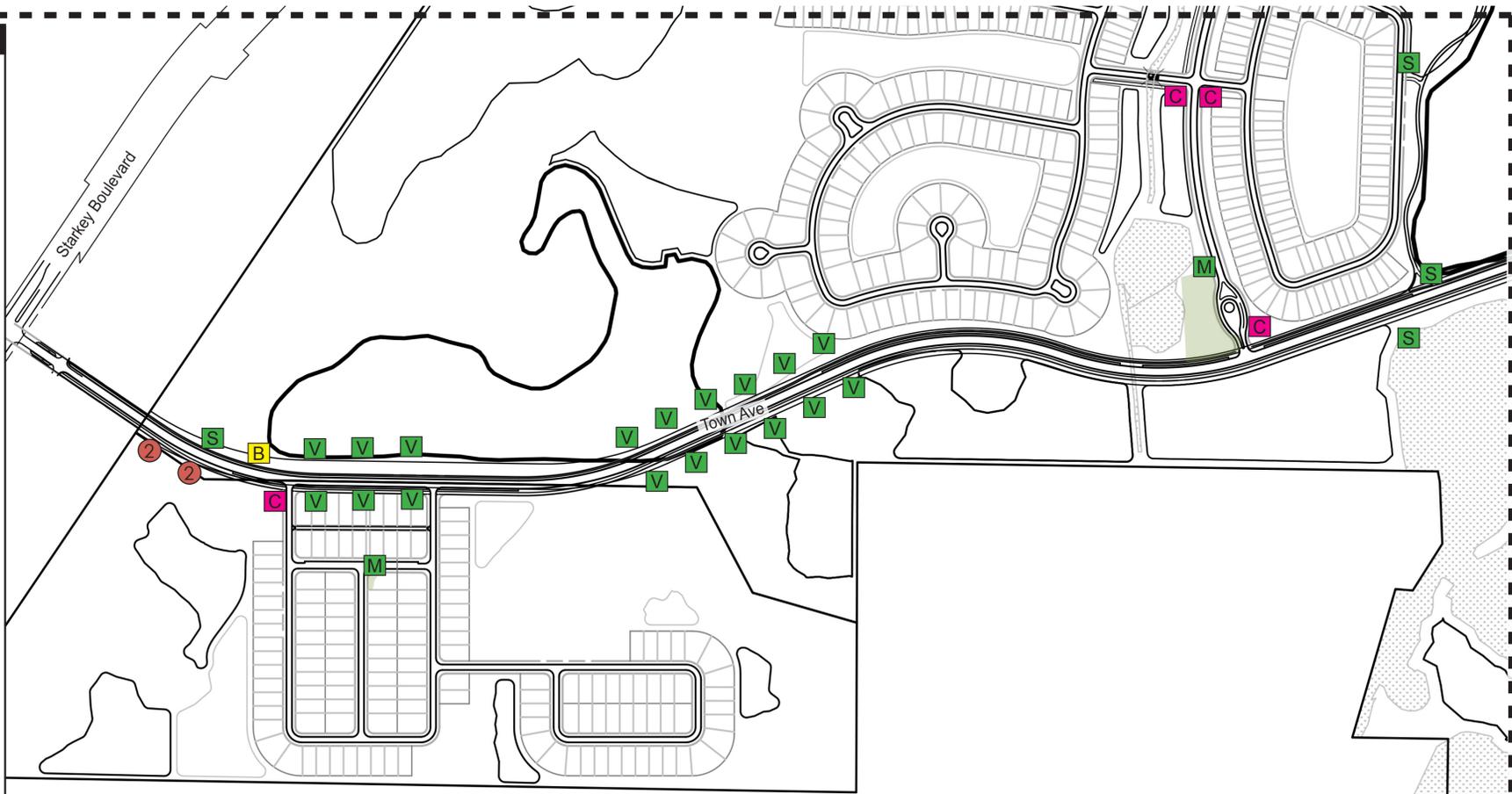
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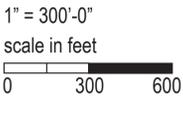
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NOTE:  
Signs to be placed on land in common ownership and out of SWFWMD and wetland mitigation areas.



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**SIGNAGE MASTER PLAN**  
SEPTEMBER 2015

GENTRY LAND COMPANY | DIX.HITE + PARTNERS

## SIGNAGE STANDARDS

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### MATERIALS



Galvanized Steel



Powder-Coated Aluminum or Painted Type I PVC;  
Rave Red, SW 6608                      Brittlebush, SW 6684  
Wheat Grass, SW 6408                Silver, MP41342SP  
Java, SW 6090



Wood; Stained and Sealed



Smooth stucco;  
Color to be Shoji White, SW 7042



Corten



Starkey Ranch logo artwork.

Note: All logo usage and typography to match brand book.

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PDD15-1685 – Exhibit B Unified Sign Plan

Unified Sign Plan for Starkey Ranch

**SIGN STANDARDS**

**1 10' x 20' Sign**

**Sign Description**

This sign is to serve as an icon of Starkey Ranch. Sign design is inspired by a historic cattle scale found on the existing Starkey Homestead Site (photo below).

**Location**

To be placed perpendicular to main roadway. Sign to be placed a minimum of 5 feet back from public right-of-way and 20 feet from the intersection of the rights-of-way.

**Materials**

Wood, Type I PVC ,vinyl print.

**Pasco County Code**

Does not comply with sections 406.1.09.B and 406.1.10.B as it exceeds the 40 SF of sign surface area.

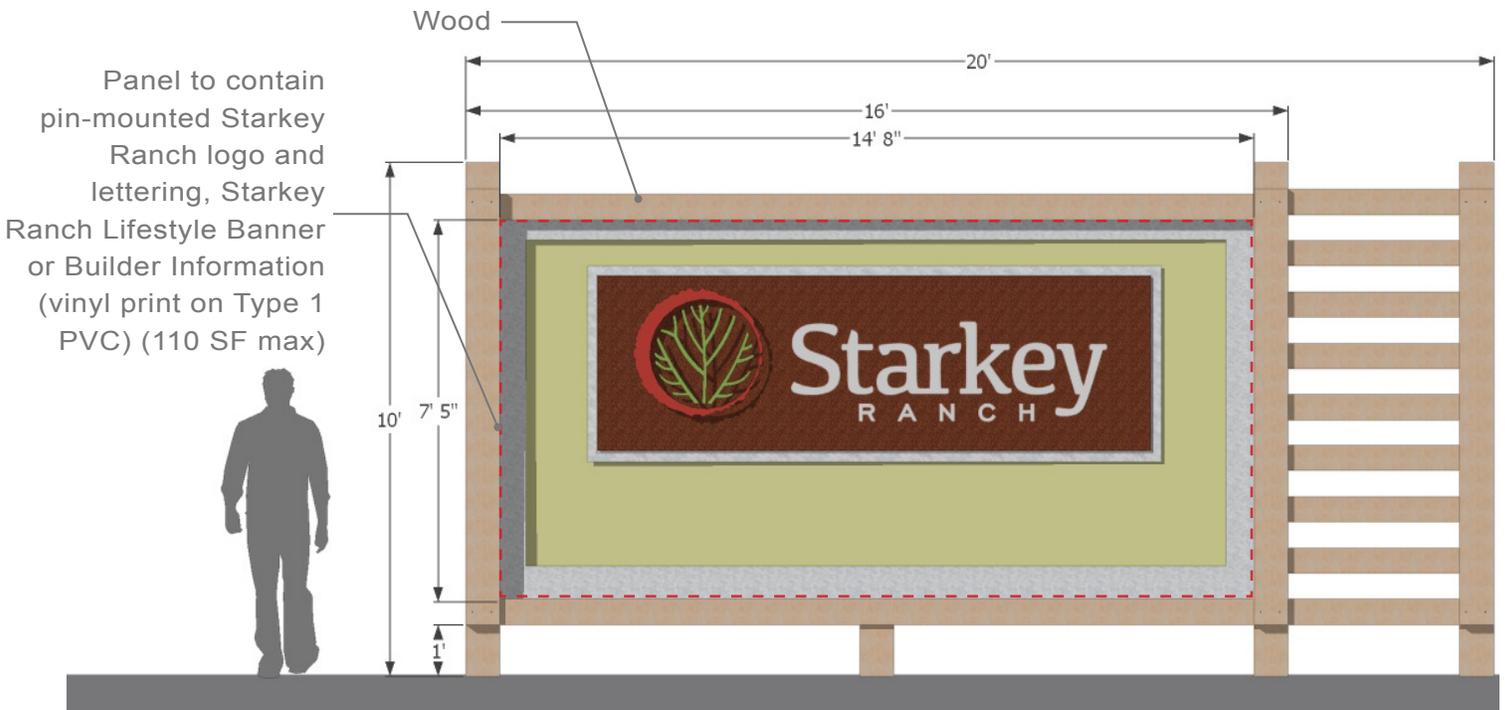
**Mounting**

Architectural mounting. Wood structure to extend into structurally engineered footing.

Does not comply with section 406.1.8 General Standards due to not having an enclosed base.

**Lighting**

N/A



Design Elevation

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Pasco County Board of County Commissioners

October 6, 2015



Cattle Scale



**SIGN DESIGN STANDARDS**  
SEPTEMBER 2015

**SIGN STANDARDS**

**2 8' x 4' Sign**

**Sign Description**

This sign is to serve as an identifier of Starkey Ranch. Sign design is inspired by a historic cattle scale found on the existing Starkey Homestead Site (photo below).

**Lighting**

N/A

**Location**

To be placed perpendicular to main roadway. Sign to be placed a minimum of 5 feet back from public right-of-way and 20 feet from the intersection of the rights-of-way.

**Materials**

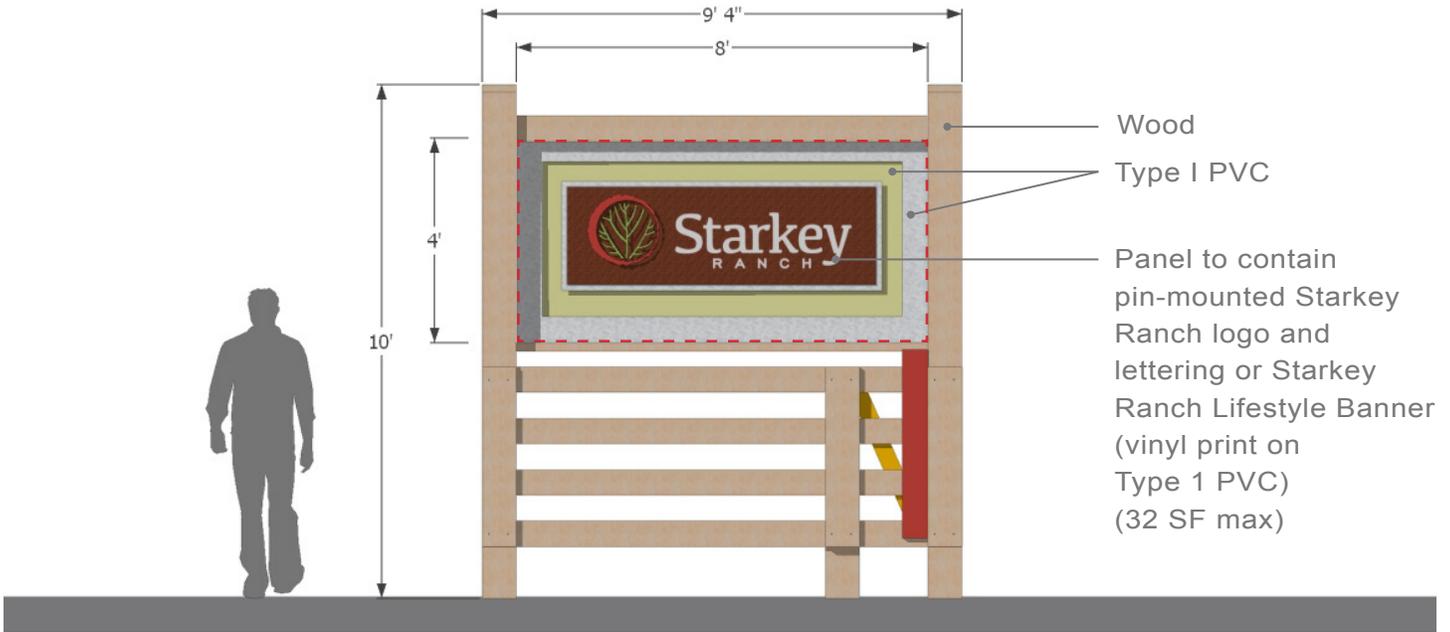
Type I PVC, wood, vinyl print.

**Pasco County Code**

Does not comply with section 406.1.8 General Standards due to not having an enclosed base.

**Mounting**

Architectural mounting. Wood structure to extend into structurally engineered footing.



Design Elevation

N.T.S.

**APPROVED**

Pasco County Board of County Commissioners



Cattle Scale



**SIGN DESIGN STANDARDS**  
SEPTEMBER 2015

October 6, 2015

## SIGN STANDARDS

### ③ Directional Sign

#### Sign Description

This sign is to serve as a vehicular and pedestrian directional signage for Starkey Ranch. Sign design is inspired by a historic cattle scale found on the existing Starkey Homestead Site (photo below).

#### Lighting

N/A

#### Pasco County Code

Does not comply with section 406.1.8 General Standards due to not having an enclosed base.

#### Materials

Wood, Type I PVC, vinyl print.

#### Mounting

Architectural mounting. Wood structure to extend into structurally engineered footing.



# APPROVED

N.T.S.

Pasco County Board of County Commissioners

October 6, 2015



Cattle Scale



SIGN DESIGN  
STANDARDS  
SEPTEMBER 2015

PD 15-1685 – Exhibit B Unified Sign Plan

**SIGN STANDARDS**

**3 Directional Sign**

**Sign Description**

This sign is to serve as a vehicular and pedestrian directional signage for Starkey Ranch. Sign design is inspired by a historic cattle scale found on the existing Starkey Homestead Site (photo below).

**Materials**

Wood, Type I PVC, vinyl print.

**Mounting**

Architectural mounting. Wood structure to extend into structurally engineered footing.

**Lighting**

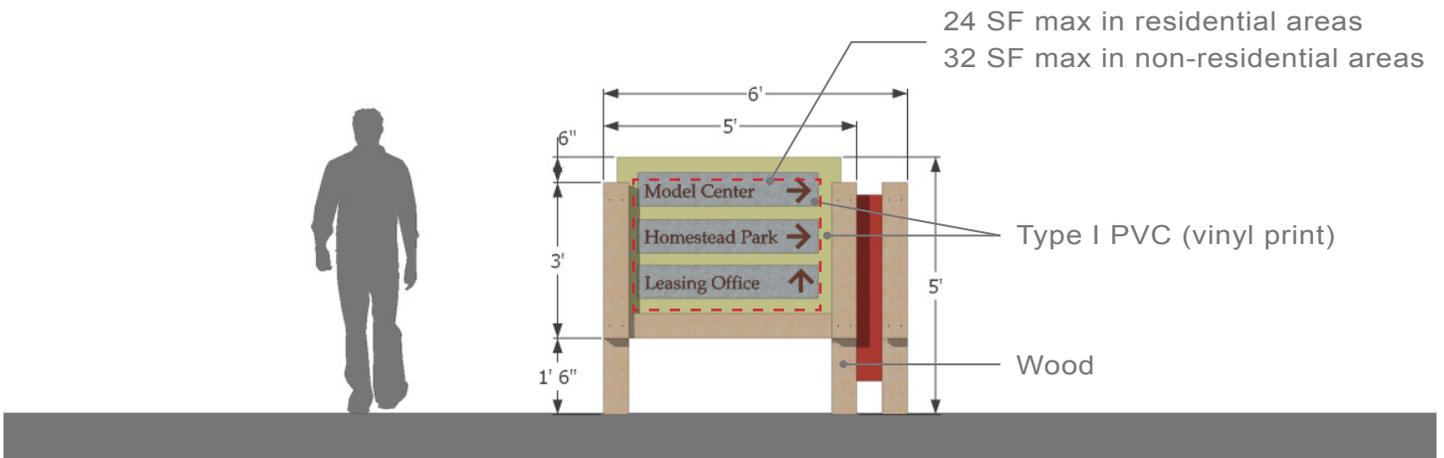
N/A

**Location**

To be placed perpendicular to main roadway. Sign to be placed a minimum of 20 feet from the intersection of the rights-of-way.

**Pasco County Code**

Does not comply with section 406.1.8 General Standards due to not having an enclosed base.



Design Elevation

**APPROVED**

N.T.S.

Pasco County Board of County Commissioners

October 6, 2015



Cattle Scale



**SIGN DESIGN STANDARDS**  
SEPTEMBER 2015

PDD15-1685 – Exhibit B Unified Sign Plan

**SIGN STANDARDS**

**A Identity - Primary**

**Sign Description**

Used at the old ranch entrance on SR54, now to be the pedestrian entrance to Homestead Park, the design of this sign was inspired by a cattle feeder originally used by the Starkey family (photo below). This element will serve as the permanent, main identifier for Starkey Ranch.

**Materials**

Powder-coated aluminum, wood, corten, galvanized steel.

**Mounting**

Architectural mounting. Galvanized steel structure to extend into structurally engineered footing.

**Lighting**

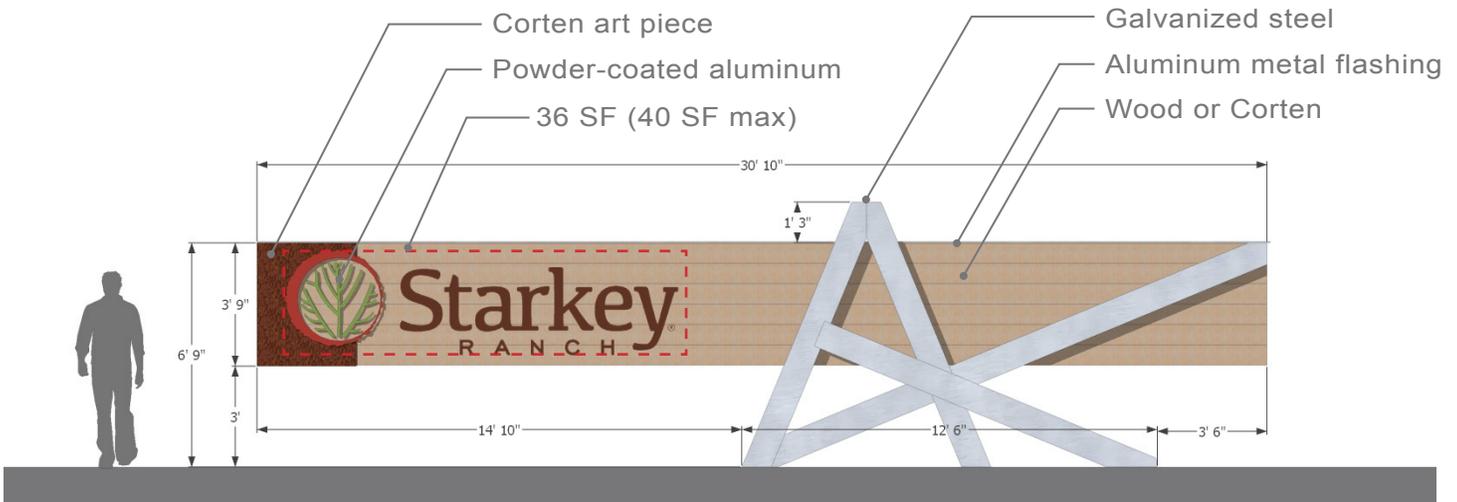
Ground mounted up lighting.

**Location**

To be placed parallel to main roadway. Art to be placed a minimum of 5 feet back from public right-of-way and 20 feet from the intersection of the rights-of-way.

**Pasco County Code**

Identity Primary does not comply with section 406.1.8 General Standards due to the artistic character of its base (non-enclosed base). This primary sign will be located at the pedestrian entrance to Homestead Park, currently the site of the existing Starkey homestead.



Design Elevation

**APPROVED**

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Pasco County Board of County Commissioners



Cattle Feeder



**SIGN DESIGN STANDARDS**  
SEPTEMBER 2015

October 6, 2015

## SIGN STANDARDS

### B Identity - Secondary

#### Sign Description

Same scale as the Primary Identity Sign, this sign is used to identify main entries into Starkey Ranch. This sign serves as the permanent main identifier for both the commercial area and residential neighborhoods and shall incorporate the overall look and feel of the project signage.

#### Materials

Corten, powder-coated aluminum, stucco.

#### Mounting

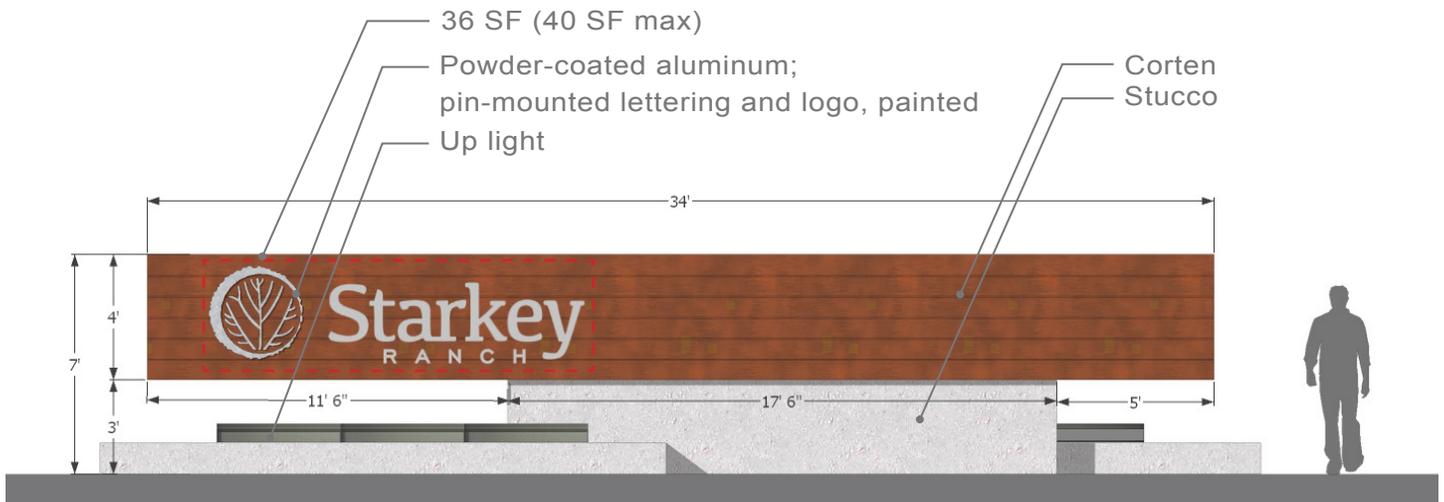
Ground mounted. Structure to extend into structurally engineered footing.

#### Lighting

Corten Sign cabinet to be internally lit, sign lettering and logo to be lit by ground mounted up lighting.

#### Location

To be placed perpendicular to flow of traffic. Sign to be placed a minimum of 5 feet back from public right-of-way and 20 feet from the intersection of the rights-of-way.



Design Elevation

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N.T.S.

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PDD15-1685 – Exhibit B Unified Sign Plan

Unified Sign Plan for Starkey Ranch

13



**Starkey**  
RANCH

GENTRY LAND COMPANY | DIX.HITE + PARTNERS

**SIGN DESIGN  
STANDARDS**  
SEPTEMBER 2015

Unified Sign Plan for Starkey Ranch

## SIGN STANDARDS

### C Neighborhood Identity/ Marker

#### Sign Description

This ground mounted sign is used to identify and announce unique residential neighborhoods found within Starkey Ranch. The design incorporates the look and feel of the project residential signage.

#### Materials

Powder-coated aluminum, galvanized steel, stucco.

#### Mounting

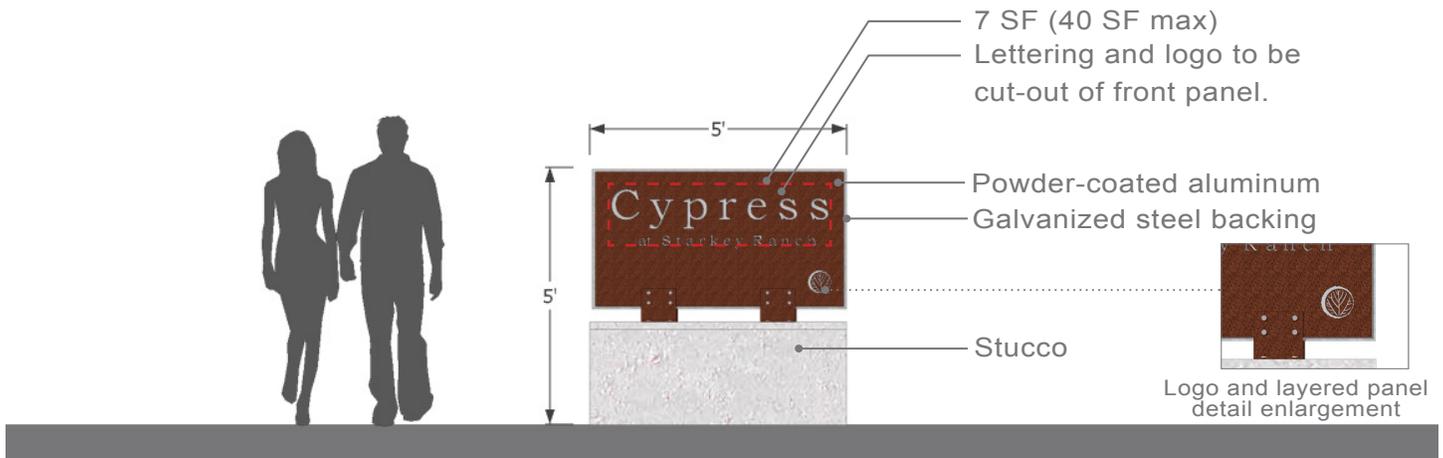
Ground mounted, structure to extend into structurally engineered footing.

#### Lighting

Powder-coated steel panel to be back-lit to illuminate letter cut-outs.

#### Location

To be placed perpendicular to flow of traffic. Sign to be placed a minimum of 5 feet back from public right-of-way and 20 feet from the intersection of the rights-of-way.



N.T.S.

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PDD15-1685 – Exhibit B Unified Sign Plan

Unified Sign Plan for Starkey Ranch

14



**Starkey**  
RANCH

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**SIGN DESIGN  
STANDARDS**  
SEPTEMBER 2015

PDD15-1685 – Exhibit B Unified Sign Plan

Unified Sign Plan for Starkey Ranch

14

## SIGN STANDARDS

### D Traffic Control Device

#### Sign Description

Sign type to follow Pasco County standards. These signs will be placed to help orient and direct Starkey Ranch visitors. This signage directs users to both commercial area and residential neighborhoods. It's design intent is to exhibit a cohesive look.

Note: Shown for information purposes only, not included in the unified sign plan approval.

#### Materials

Powder-coated aluminum, galvanized steel, reflective vinyl.

#### Mounting

To be mounted per Pasco County

directional signage standards.

#### Lighting

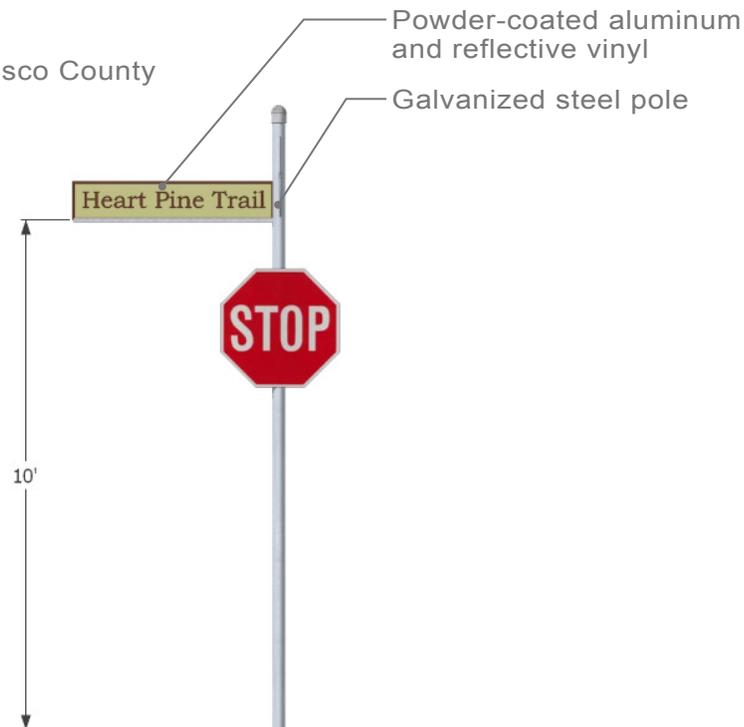
N/A

#### Location

To be placed roadside to facilitate the flow of traffic throughout the entire Starkey Ranch project.

Note:

Final locations to be determined and coordinated with civil drawings.



Design Elevation

# APPROVED

N.T.S.

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PDD15-1685 – Exhibit B Unified Sign Plan

Unified Sign Plan for Starkey Ranch

15



Starkey  
RANCH

GENTRY LAND COMPANY | DIX.HITE + PARTNERS

SIGN DESIGN  
STANDARDS  
SEPTEMBER 2015

Unified Sign Plan for Starkey Ranch

## SIGN STANDARDS

### E Vehicular Wayfinding Sign

#### Sign Description

Used to help orient and direct Starkey Ranch visitors, these signs will be placed roadside. This signage directs users to both commercial areas and residential neighborhoods. It's design intent is to exhibit a cohesive look.

#### Materials

Powder-coated aluminum, galvanized steel.

#### Mounting

Ground mounted, structure to extend into structurally engineered footing.

#### Lighting

N/A

#### Location

To be placed roadside to facilitate the flow of traffic throughout the entire Starkey Ranch project.

#### Note:

Locations shown are for general purposes only. Final locations to be determined and coordinated with civil drawings.

#### Pasco County Code

Vehicular Directional Sign does not comply with 406.1.9.C Signs Internal to a Residential Development or section 406.1.10.F Signs Internal to a Nonresidential Development due to its height exceeding (5) feet.



Design Elevation

**APPROVED**

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Pasco County Board of County Commissioners

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**Starkey**  
RANCH

**SIGN DESIGN  
STANDARDS**  
SEPTEMBER 2015

**SIGN STANDARDS**

**F Overall Identity Monument**

**Sign Description**

Used to define places, this item helps to define and announce arrival into Starkey Ranch's Downtown.

**Materials**

Stucco, powder-coated aluminum, galvanized steel.

**Mounting**

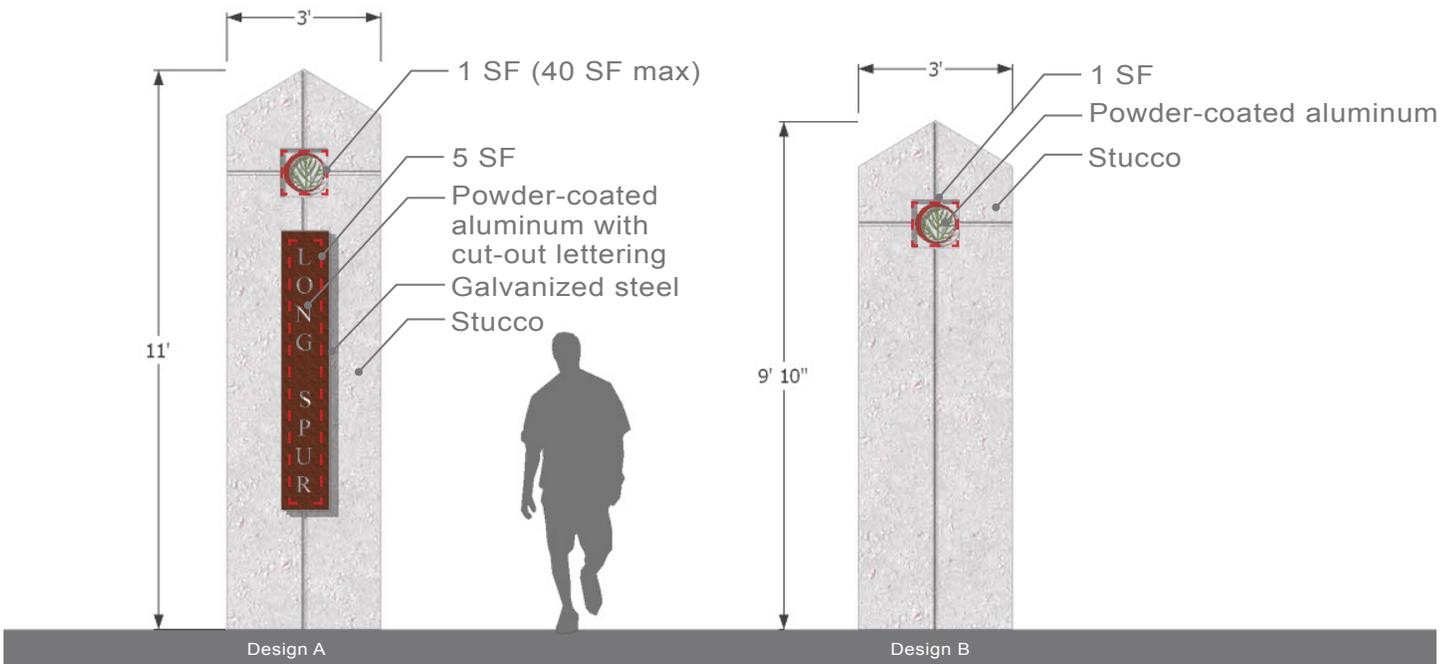
Ground mounted, structure to extend into structurally engineered footing.

**Lighting**

Powder-coated steel panel to be back-lit to illuminate letter cut-outs or logo.

**Location**

To be placed along main roadways entering Downtown. Sign to be placed a minimum of 20 feet from the intersection of the rights-of-way.



Design Elevation

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**SIGN DESIGN STANDARDS**  
SEPTEMBER 2015

## SIGN STANDARDS

### G Single Tenant Sign

#### Sign Description

This ground mounted sign is used to identify individual parcels within Starkey Ranch's Downtown. One ground sign is allowed for each parcel having frontage on a street.

Individual logo type styles and individual logo colors may be used; individual materials shall not be permitted.

#### Materials

Stucco, powder-coated aluminum, galvanized steel.

#### Mounting

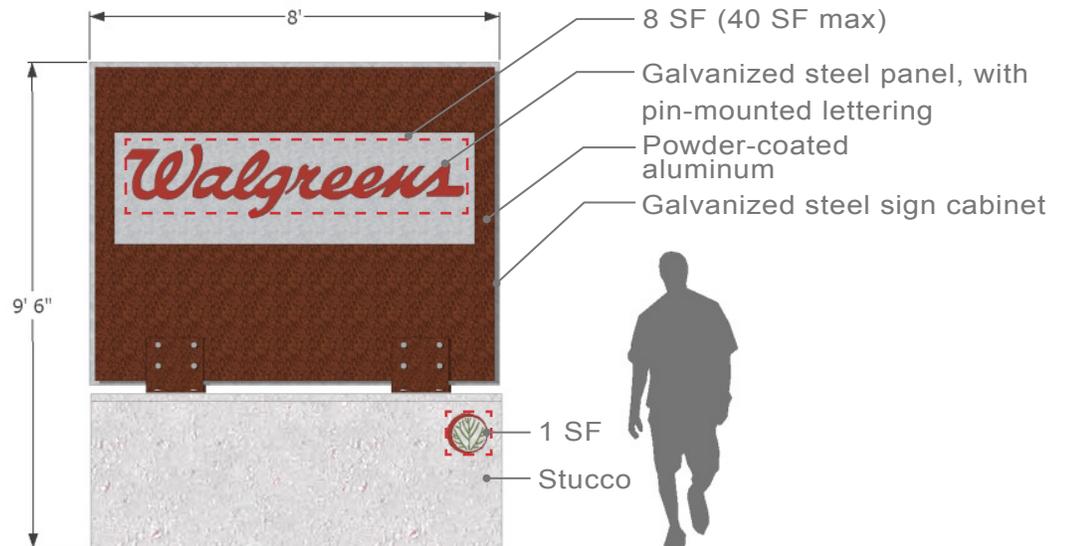
Ground mounted, structure to extend into structurally engineered footing.

#### Lighting

Ground mounted up lighting.

#### Location

Sign to be placed a minimum of 5 feet back from public right-of-way and 20 feet from the intersection of the rights-of-way. Not to be erected closer than 10 feet from any residential zoning district.



Design Elevation

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SIGN DESIGN  
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## SIGN STANDARDS

### H Multi-Tenant Sign

#### Sign Description

This ground mounted sign is used to identify individual tenants within Starkey Ranch's Downtown. Individual logo, and type styles may be used; individual colors and materials shall not be permitted.

#### Materials

Stucco, powder-coated aluminum, galvanized steel.

#### Mounting

Ground mounted, structure to extend into structurally engineered footing.

#### Lighting

Ground mounted up lighting.

#### Location

Sign to be placed a minimum of 5 feet back from public right-of-way and 20 feet from the intersection of the rights-of-way. Not to be erected closer than 10 feet from any residential zoning district. Each parcel will be allotted one sign, parcels with more than 600 feet of street frontage will be allotted two signs. Signs are to be placed no closer than 300 feet from each other on the same parcel.



Design Elevation

**APPROVED**

N.T.S.

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Starkey  
RANCH

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## SIGN STANDARDS

### I Grocery Anchor

#### Sign Description

This ground mounted sign is used to identify the Grocery anchor within Starkey Ranch's Downtown. Individual logo type styles and color may be used; individual materials shall not be permitted.

#### Materials

Stucco, powder-coated aluminum, galvanized steel.

#### Mounting

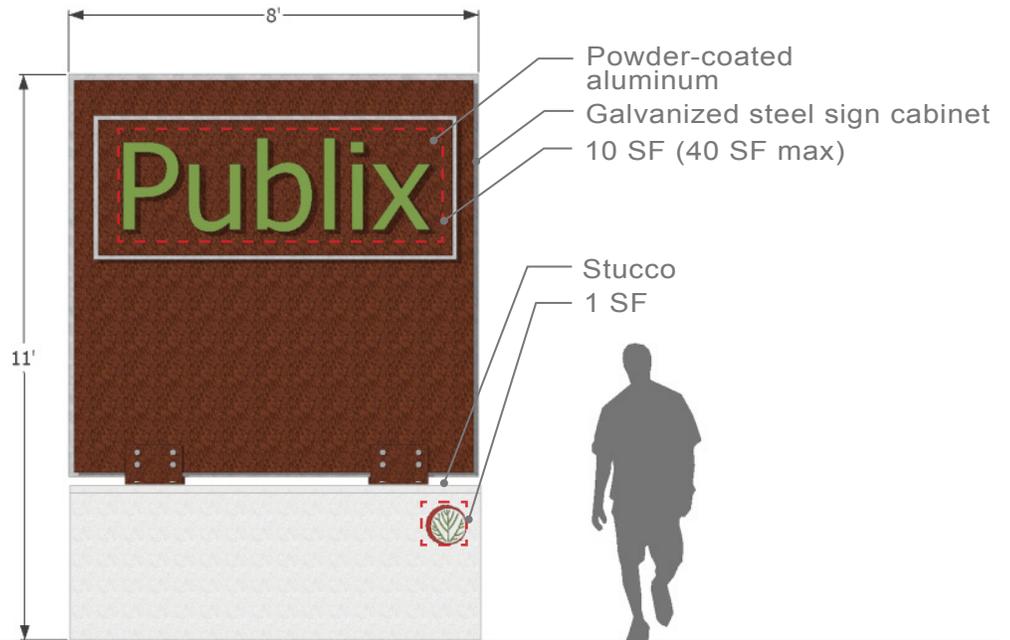
Ground mounted, structure to extend into structurally engineered footing.

#### Lighting

Ground mounted up lighting.

#### Location

Sign to be placed a minimum of 5 feet back from public right-of-way and 20 feet from the intersection of the rights-of-way. Not to be erected closer than 10 feet from any residential zoning district. Each parcel will be allotted one sign, parcels with more than 600 feet of street frontage will be allotted two signs. Signs are to be placed no closer than 300 feet from each other on the same parcel.



Design Elevation

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SEPTEMBER 2015

## SIGN STANDARDS

### J Retail Building Fascia Signage

#### Sign Description

Flat wall signs that are affixed securely to a building wall. These signs should be legible and easily distinguished from other signage on each building and serve to guide and orient pedestrian and vehicular traffic going to the building. Sign locations are to respect the design of the building.

#### Materials

- Powder-coated aluminum
- Natural finish materials (to include bronze, galvanized steel, aluminum)
- Metal screens, grids, and mesh
- Glass (to include frosted, colored, pattern, and/ or clear)
- Exterior grade vinyl materials
- Acrylic, poly-resin materials
- High Density Urethane
- Cast metals/ plaques, etched & polished metals

#### Mounting

Mounted to building face or on building canopy.

#### Lighting

Halo-illuminated or individually-lit channel letters.

#### Location

Wall mounted. Sign structure area shall conform with all Pasco County size requirements and be 150 SF maximum per building face.

#### Note:

Final locations to be coordinated with retailer.



Design Intent

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**SIGN STANDARDS**

**K Business Park Identity**

**Sign Description**

This ground mounted sign is used to identify the Business Park within Starkey Ranch (maximum 2 per entry).

**Materials**

Stucco, powder-coated aluminum, galvanized steel.

**Mounting**

Ground mounted, structure to extend into structurally engineered footing.

**Lighting**

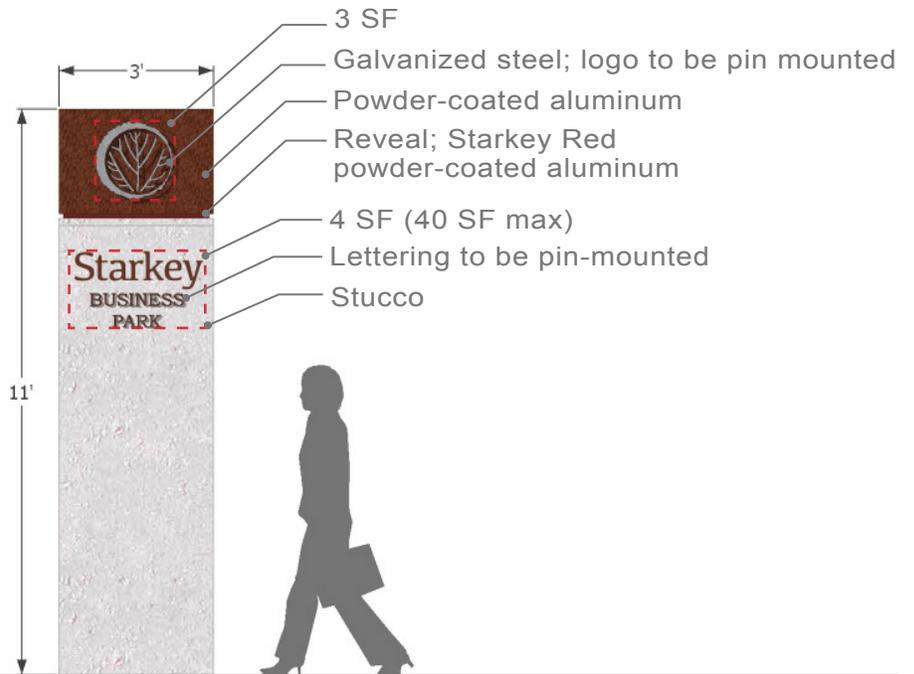
N/A

**Location**

Sign to be placed a minimum of 5 feet back from public right-of-way and 20 feet from the intersection of the rights-of-way. Not to be erected closer than 10 feet from any residential zoning district.

**Note:**

Final sign location within the business park parcel to be determined pending the business park site layout finalization.



Design Elevation

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**SIGN DESIGN STANDARDS**  
SEPTEMBER 2015

## SIGN STANDARDS

### L Business Identity/ Address

#### Sign Description

This ground mounted sign is used to identify building addresses internal to the Business Park.

#### Materials

Stucco, powder-coated aluminum, galvanized steel.

#### Mounting

Ground mounted, structure to extend into structurally engineered footing.

#### Lighting

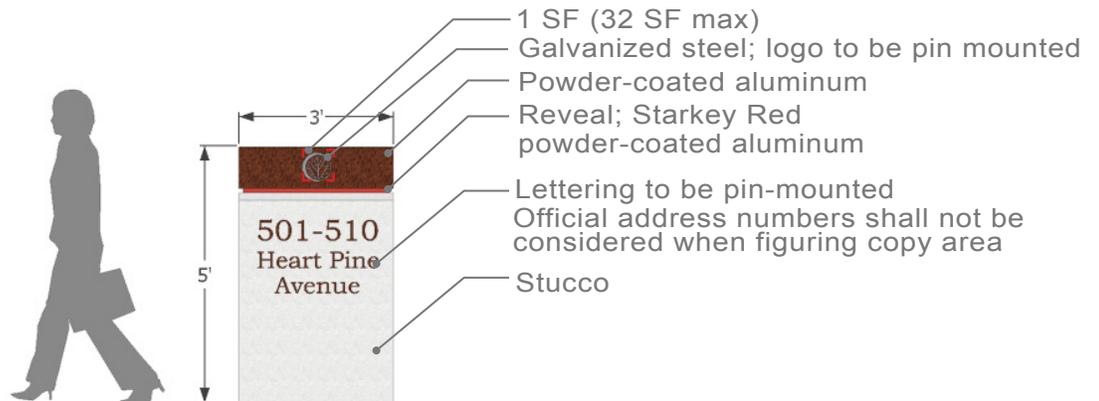
N/A

#### Location

Sign to be placed a minimum of 5 feet back from public right-of-way and 20 feet from the intersection of the rights-of-way. Not to be erected closer than 10 feet from any residential zoning district.

#### Note:

Final sign location within the business park parcel to be determined pending the business park site layout finalization.



Design Elevation

**APPROVED**

N.T.S.

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## SIGN STANDARDS

### M Park Sign

#### Sign Description

This sign is used to identify parks within Starkey Ranch.

#### Materials

Powder-coated aluminum, wood.

#### Mounting

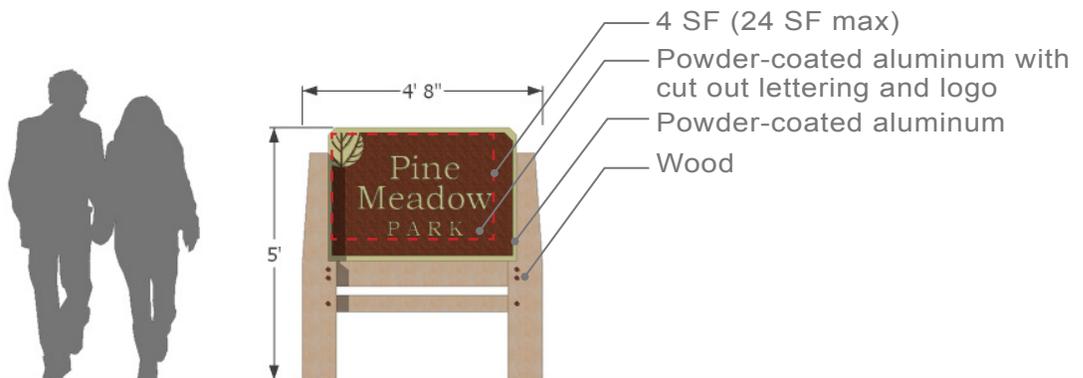
Post structures to extend into structurally engineered footings.

#### Lighting

N/A

#### Location

Sign to be placed a minimum of 5 feet back from public right-of-way and 20 feet from the intersection of the rights-of-way.



Design Elevation

N.T.S.

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## SIGN STANDARDS

### N Trail Head + Bark Park Sign

#### Sign Description

This sign is used to identify trailheads within the project of Starkey Ranch.

#### Materials

Powder-coated aluminum, wood.

#### Mounting

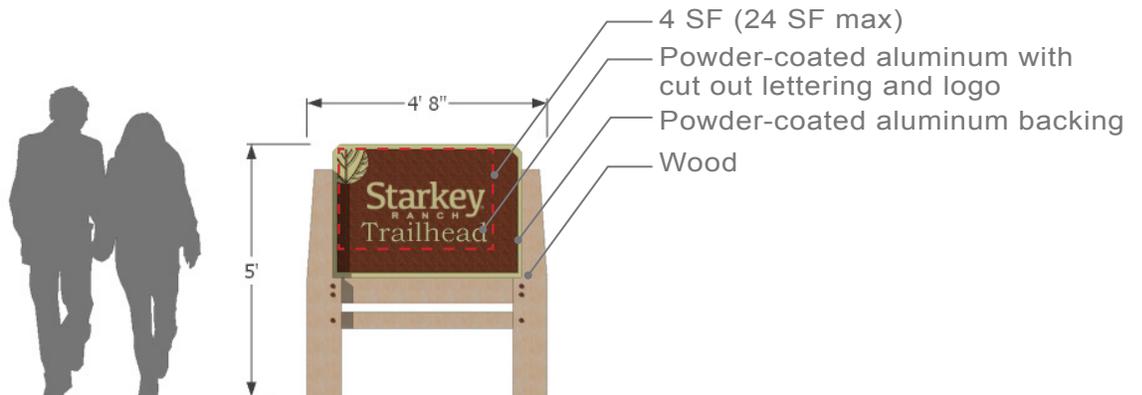
Post structures to extend into structurally engineered footings.

#### Lighting

N/A

#### Location

Sign to be placed a minimum of 5 feet back from public right-of-way and 20 feet from the intersection of the rights-of-way.



Design Elevation

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## SIGN STANDARDS

### **O** Major Parks (Homestead Park, Whitfield Park Sign, + Regional Park)

#### Sign Description

This sign is used to identify major parks within Starkey Ranch.

#### Materials

Powder-coated aluminum, galvanized steel, stucco.

#### Mounting

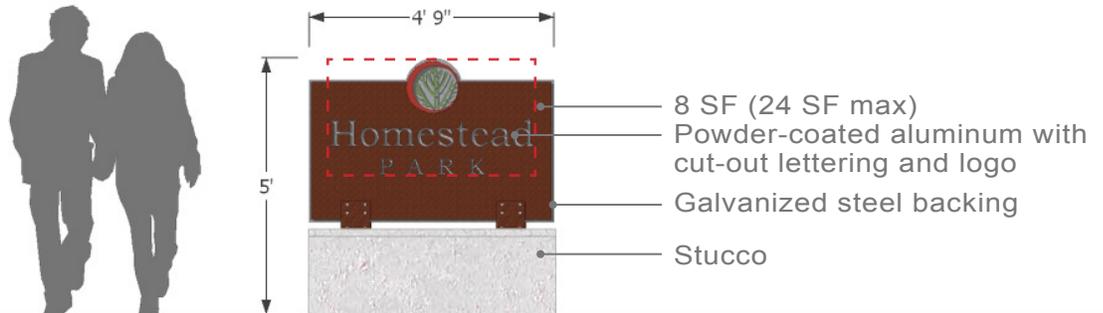
Ground mounted, structure to extend into structurally engineered footing.

#### Lighting

N/A

#### Location

Sign to be placed a minimum of 5 feet back from public right-of-way and 20 feet from the intersection of the rights-of-way.



Design Elevation

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## SIGN STANDARDS

- P** Amenity Center Sign
- Q** Welcome Center Sign
- R** School/ Library/ Theater Signs

### Sign Description

This ground mounted sign design is used to identify the Welcome Center, Amenity Center and the School/Library/Theatre of Starkey Ranch. The design incorporates the look and feel of the project signage.

### Materials

Powder-coated aluminum, galvanized steel, stucco.

### Mounting

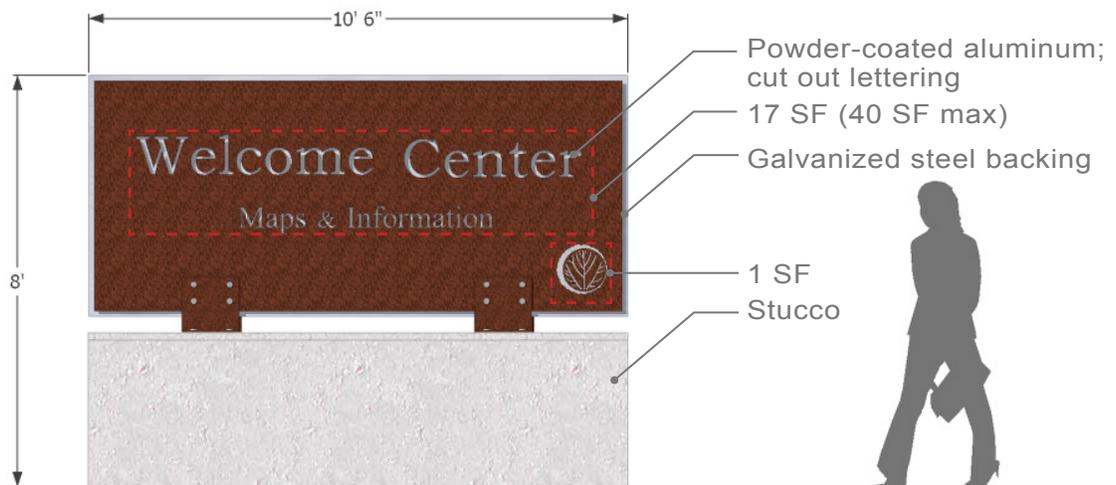
Ground mounted, structure to extend into structurally engineered footing.

### Lighting

Powder-coated aluminum panel to be back-lit to illuminate lettering and logo.

### Location

To be placed perpendicular to flow of traffic. Sign to be placed a minimum of 5 feet back from public right-of-way and 20 feet from the intersection of the rights-of-way.



Design Elevation

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**SIGN STANDARDS**

**S** Miscellaneous Information (Park, Cultural, Environmental)

**Sign Description**

These items will be used to identify individual trails and trail crossings within the project of Starkey Ranch. Signs may include the trail name or serve as a mile marker along the trail. Kiosks to provide information on the cultural, heritage, and environmental history of the area.

**Materials**

Powder-coated aluminum, wood.

**Mounting**

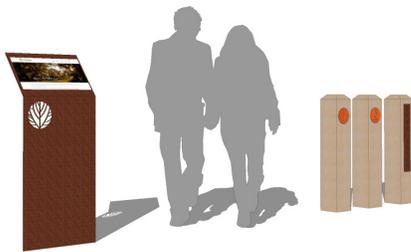
Post structures to extend into structurally engineered footings.

**Lighting**

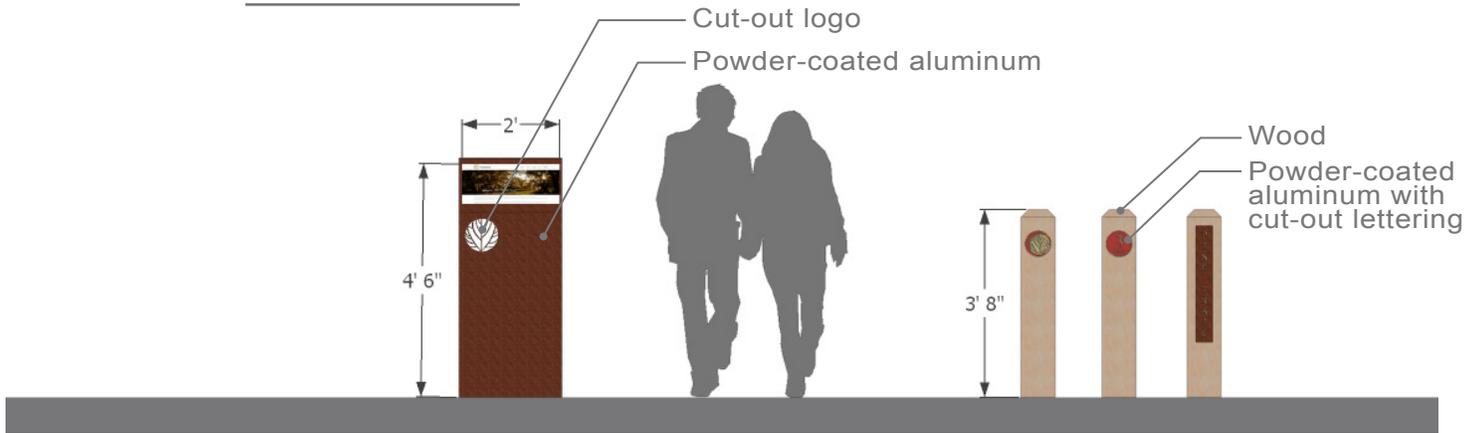
N/A

**Location**

Sign to be placed a minimum of 5 feet back from public right-of-way and 20 feet from the intersection of the rights-of-way.



Axonometric View



Information kiosk

Bollard, mile marker, trail marker

Design Elevation

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## SIGN STANDARDS

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### T Ranch Art

#### Art Description

At key locations throughout the community, the public art will help to announce the arrival into the various neighborhoods of the community and give a unique identity to each space. Artists to be selected by the Client/jury. Subject matter is yet to be determined, but each element will have an underlying story related back to Starkey Ranch and to re-purpose items of the ranch.

#### Note:

Shown for information purposes only, not included in the unified sign plan approval.

#### Materials

Final materials are to be determined as part of the juried competition.

#### Mounting

Art installation will be unique to each piece. Elements will be securely mounted to the ground to create a stable, permanent element.

#### Lighting

Accent lighting is to be determined pending the final art design.

#### Location

To be located at key locations throughout the community. All art elements to be clear of all sight triangle requirements.



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SIGN STANDARDS

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**U** Not Used

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## SIGN STANDARDS

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### V Street Light Sign

#### Sign Description

This is an interchangeable sign of Starkey Ranch to be mounted to street light to create a sense of place and community.

#### Note:

Final text and graphic content of sign to be consistent with the overall themeing and placemaking found throughout the Starkey Ranch USP.

#### Materials

Sunbrella or equal, vinyl coating.

#### Size

24" Wide x 84" Tall

#### Mounting

Light pole mounted per standards.

#### Lighting

N/A

#### Location

To be placed throughout Starkey Ranch. Placed on collector roads (Heart Pine Avenue, Long Spur, Gunn Highway, Lake Blanche Drive and Rangeland Boulevard) in village centers and commercial centers.

#### Pasco County Code

Street Light Sign is not addressed in the signage code.



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