

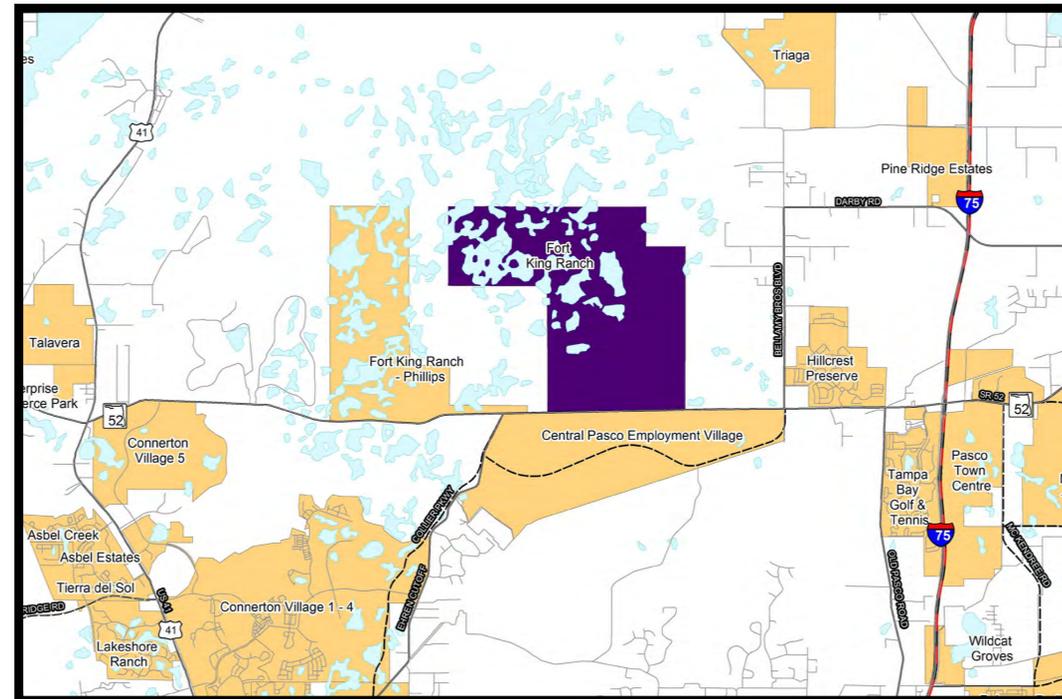
LEGAL DESCRIPTION

DESCRIPTION EAST PARCEL

THE EAST 1/2 OF SECTION 32, TOWNSHIP 24 SOUTH, 19 EAST; AND ALL OF SECTION 33, TOWNSHIP 24 SOUTH, RANGE 19 EAST; AND ALL OF SECTION 34, TOWNSHIP 24 SOUTH, RANGE 19 EAST; AND THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 24 SOUTH, RANGE 19 EAST; AND THE WEST 1/2 OF SECTION 2, TOWNSHIP 25 SOUTH, RANGE 19 EAST; AND ALL OF SECTION 3, TOWNSHIP 25 SOUTH, RANGE 19 EAST; AND THE EAST 1/4 OF SECTION 4, TOWNSHIP 25 SOUTH, RANGE 19 EAST; AND THE EAST 1/4 OF SECTION 9, TOWNSHIP 25 SOUTH, RANGE 19 EAST, LYING NORTH OF STATE ROAD NO. 52; AND ALL OF SECTION 10, TOWNSHIP 25 SOUTH, RANGE 19 EAST, LYING NORTH OF STATE ROAD 52; AND THE WEST 1/2 OF SECTION 11, TOWNSHIP 25 SOUTH, RANGE 19 EAST, LYING NORTH OF STATE ROAD 52 ALL LYING IN PASCO COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM THE NORTHWEST CORNER OF SAID SECTION 33 AS A POINT OF BEGINNING; THENCE S. 89°51'18" E ALONG THE NORTH BOUNDARY OF SAID SECTION 33, 5294.45 FEET TO THE NORTHWEST CORNER OF SAID SECTION 34; THENCE N 89°59'02" E ALONG THE NORTH BOUNDARY OF SAID SECTION 34, 5316.14 FEET TO THE NORTHEAST CORNER OF SAID SECTION 34; THENCE S 00° 10'40" W ALONG THE EASTERLY BOUNDARY OF SAID SECTION 34, 2656.00 FEET; THENCE N 89°54'05" E ALONG THE NORTHERLY BOUNDARY OF THE SOUTHWEST 1/4 OF SAID SECTION 35, 2649.53 FEET TO THE EASTERLY BOUNDARY OF THE SAID SOUTHWEST 1/4; THENCE S 00°00'20" E ALONG SAID EASTERLY BOUNDARY, 2646.09 FEET; THENCE ALONG THE EASTERLY BOUNDARY OF THE WEST 1/2 OF SAID SECTION 2 S 00°02'37" W, 2669.08 FEET; THENCE S 00°06'09" W, 2665.40 FEET; THENCE ALONG THE EASTERLY BOUNDARY OF THE WEST 1/2 OF SAID SECTION 11, S 00°00'45" E, 2864.87 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF STATE ROAD NO. 52, AS IT NOW EXISTS; THENCE ALONG SAID RIGHT OF WAY LINE S 88°50'51" W, 8179.85 FEET; THENCE S 88°48'51" W, 1063.85 FEET; THENCE LEAVING SAID RIGHT OF WAY LINE ALONG THE WESTERLY BOUNDARY OF THE EAST 1/4 OF SAID SECTION 9, N 00°05'51" E, 3035.31 FEET; THENCE ALONG THE WESTERLY BOUNDARY OF THE EAST 1/4 OF SAID SECTION 4, N 00°32'31" W, 5343.87 FEET TO THE SOUTH BOUNDARY OF SAID SECTION 33; THENCE ALONG SAID BOUNDARY N 89°46'35" W, 3971.25 FEET TO THE SOUTHEAST CORNER OF SAID SECTION 32; THENCE ALONG THE SOUTH BOUNDARY OF SAID SECTION 32, N 89°46'30" W, 2648.70 FEET; THENCE ALONG THE WESTERLY BOUNDARY OF THE EAST 1/2 OF SAID SECTION 32, N 00°09'03" E, 5295.57 FEET TO THE NORTH BOUNDARY OF SAID SECTION 32; THENCE ALONG SAID NORTH BOUNDARY S 89°53'25" E, 2647.20 FEET TO THE POINT OF BEGINNING.

CONTAINING 3535.79 ACRES, MORE OR LESS.



VICINITY MAP

SCALE N.T.S.

**FORT KING RANCH
MPUD REZONING**

Applicant:

Secret Promise, LLC

259 Third Street North
St. Petersburg, FL 33701
Phone: (727) 822-3907
Attn: Peter Wallace

Legal Counsel / Agent:

**Tew & Associates
Attorney At Law**

2999 Palm Harbor Boulevard, Suite A
Palm Harbor, FL 33683
Phone: (727) 216-6575
Attn: Joel Tew, ESQ.

Engineer / Planner:

Heidt Design, LLC

5806-B Breckenridge Parkway
Tampa, Florida 33610
Phone: (813) 253-5311
Fax: (813) 464-7629
Attn: B. Patrick Gassaway, P.E.

Fort King Ranch Product Type (See Pages L-705 through L-708 for detailed sketches)

Product Type	Minimum Width	Conventional Front Access Product Setbacks								Alley Access Product Setbacks					
		Minimum Side Setbacks	Minimum Side Setbacks	Minimum Side Setbacks	Minimum Side Setbacks	Front Setback	Front Setback	Rear Setback	Rear Setback	Minimum Side Setbacks	Minimum Side Setbacks	Minimum Side Setbacks	Front Setback	Rear Setback	Rear Setback
		0 feet / 10 feet	5 feet / 5 feet	7.5 feet / 7.5 feet	10 feet / 10 feet	20 Feet/ 25 feet Garage	10 feet	15 Feet	10 Feet	0 feet / 10 feet	5 feet / 5 feet	10 feet / 10 feet	10 Feet	4 Feet	Zero Feet
SF Detatched	28		YES	N/A	N/A	YES	N/A	YES	N/A	YES	N/A	YES	YES	N/A	N/A
SF Detatched	35		YES	N/A	N/A	YES	N/A	YES	N/A	YES	N/A	YES	YES	N/A	N/A
SF Detatched	40		YES	N/A	N/A	YES	N/A	YES	N/A	YES	N/A	YES	YES	N/A	N/A
SF Detatched	45		YES	N/A	N/A	YES	N/A	YES	N/A	YES	N/A	YES	YES	N/A	N/A
SF Detatched	50		YES	N/A	N/A	YES	N/A	YES	N/A	YES	N/A	YES	YES	N/A	N/A
SF Detatched	55		YES	N/A	N/A	YES	N/A	YES	N/A	N/A	YES	N/A	YES	N/A	N/A
SF Detatched	60		YES	YES	N/A	YES	N/A	YES	N/A	N/A	YES	N/A	YES	N/A	N/A
SF Detatched	65		YES	YES	N/A	YES	N/A	YES	N/A	N/A	YES	N/A	YES	N/A	N/A
SF Detatched	75		YES	YES	N/A	YES	N/A	YES	N/A	N/A	YES	N/A	YES	N/A	N/A
SF Attached Villas	32	YES	N/A	YES	N/A	N/A	N/A	N/A	YES	N/A	YES	N/A	YES	YES	N/A
SF Attached Villas	50	YES	N/A	YES	N/A	N/A	N/A	N/A	YES	N/A	YES	N/A	YES	YES	N/A

SHEET NO.	DESCRIPTION
L-700	COVER
L-701	EXISTING CONDITIONS
L-702	EXISTING CONDITIONS
L-703	AERIAL (2011)
L-704	MPUD PLAN
L-705	SINGLE FAMILY FRONT ACCESS PRODUCT DETAILS
L-706	SINGLE FAMILY FRONT ACCESS PRODUCT DETAILS
L-707	SINGLE FAMILY ALLEY ACCESS PRODUCT DETAILS
L-708	SINGLE FAMILY ALLEY ACCESS PRODUCT DETAILS

SOURCE NOTES

- LEGAL DESCRIPTION PROVIDED BY GEOPPOINT SURVEYING, INC.
- CULTURAL RESOURCE ASSESSMENT TO BE PROVIDED DURING THE MPUD PROCESS
- TIMING AND PHASING PROVIDED BY LINCKS AND ASSOCIATES.
- SOIL DATA BASED ON NRCS SOIL SURVEY FROM FLORIDA GEOGRAPHIC DATA LIBRARY.
- ZONING AND FUTURE LAND USE INFORMATION OBTAINED FROM PASCO COUNTY GIS SYSTEM.
- CONTOURS BASED ON NRCS FROM FLORIDA GEOGRAPHIC DATA LIBRARY.
- THE PROJECT LIES WITHIN FLOOD ZONE 'X' PER FEMA FIRM COMMUNITY PANEL NO. 1202300250E, DATED SEPTEMBER 30, 1992.
- AERIAL PROVIDED BY LABINS, FLOWN JANUARY 2011.
- WETLANDS INTERNAL TO THE SITE HAVE BEEN PHOTO INTERPRETED BY HEIDT DESIGN, LLC. WETLANDS WITHIN THE 500' WERE OBTAINED FROM PASCO COUNTY.
- ENVIRONMENTAL/WILDLIFE HABITAT STUDY WILL BE CONDUCTED BY HEIDT DESIGN LLC.

PROJECT SITE DATA	
EXISTING	
Total Project Acres	3,539.5 Ac.
Wetlands	1,495.6 Ac.
Lakes	0.0 Ac.
Uplands	2,043.9 Ac.
Future Land Use	AG
Existing Zoning	MPUD
Existing Land Use	VACANT

WETLANDS	
EXISTING	
Category I Wetlands	1,152.2 Ac.
Category II Wetlands	150.7 Ac.
Category III Wetlands	82.3 Ac.
Other Surface Waters	110.4 Ac.
TOTAL EXISTING WETLANDS	1,495.6 Ac.

Approval Type: **MPUD Rezoning** Project Name: **Fort King Ranch**

APPROVED _____ Date _____ Petition Number _____

FORT KING RANCH MPUD REZONING

L-700-COVER

SECRET PROMISE, LP

PASCO COUNTY

SCALE: 1" = 500'
0 250 500 1000
HALF SCALE 11" BY 17"

DATE: 4-30-15 DESCRIPTION: _____ BY: _____
JOB #: SPL FK 1005

Note: This is a preliminary/conceptual site plan and is subject to survey information, final design, engineering and governmental approvals, additional drainage, floodplain and grand tree analysis is required and may affect final unit totals and layout.

HEIDT DESIGN
5806-B Breckenridge Parkway
Tampa, FL 33610
Phone: (813) 253-5311
www.HeidtDesign.com

R:\FORT KING RANCH\MASTER PLANNING\ZONING\CADD\700-COVER.DWG-L-700-20150428 10:34 AM KEVEN STEELE

PARCEL ID

OBJECTID	VPARCEL	NAME1	NAME2
1	27 24 19 0000 00100 0000	BARTHLE BROTHERS RANCH INC	
2	28 24 19 0000 00100 0000	BARTHLE BROTHERS RANCH INC	
3	29 24 19 0000 00100 0000	BARTHLE BROTHERS RANCH INC	
4	32 24 19 0000 00100 0000	BARTHLE BROTHERS RANCH INC	
5	32 24 19 0000 00200 0000	SECRET PROMISE LTD	
6	33 24 19 0000 00100 0000	SECRET PROMISE LTD	
7	33 24 19 0000 00100 0010	SECRET PROMISE LTD	
8	33 24 19 0000 00100 0020	SECRET PROMISE LTD	
9	35 24 19 0000 00300 0050	REYNOLDS NANCY M & BRASS RING EQUESTRIAN CENTER	FENDLE PATRICK S LLC
10	35 24 19 0000 00300 0040	SECRET PROMISE LTD	
11	26 24 19 0000 00500 0030	T J HANLON RANCH LLLP	
12	34 24 19 0000 00100 0010	SECRET PROMISE LTD	
13	34 24 19 0000 00100 0000	SECRET PROMISE LTD	
14	35 24 19 0000 00300 0020	MARTINEZ MANUEL R & WENDY M	
15	35 24 19 0000 00100 0010	HOLLOWAY JOSEPH WAYNE & T J HANLON RANCH LLLP	CASSIE LYNN
16	35 24 19 0000 00100 0020	SMITH ALFRED T	
17	02 25 19 0000 00200 0010	BEAUREGARD ALAN D & SAUNDERS DARYL W	SAUNDERS DARYL L
18	02 25 19 0000 00100 0030	SECRET PROMISE LTD	
19	02 25 19 0000 00100 0040	FURNESS RICHARD & VELEDA	
20	11 25 19 0000 00500 0000	VALDEZ DENNIS A & BONNIE L	
21	11 25 19 0000 00400 0000	GATOR CREEK RANCH LLC	
22	11 25 19 0000 00600 0000	D & D RANCH OF PASCO LLC	
23	11 25 19 0000 00700 0000	SR 52 LIMITED PARTNERSHIP	
24	11 25 19 0000 29900 0000	FL DEPT OF TRANSPORTATION	BUREAU OF RIGHT OF WAY
25	11 25 19 0000 00300 0000	SECRET PROMISE LTD	
26	11 25 19 0000 00100 0020	SMITH ROBERT E & MONICA J	
27	11 25 19 0000 00100 0000	DELETOGLU ISMET	
28	11 25 19 0000 00200 0000	SECRET PROMISE LTD	
29	11 25 19 0000 00100 0010	SMITH ALFRED T	
30	03 25 19 0000 00100 0000	SECRET PROMISE LTD	
31	03 25 19 0000 00100 0010	SECRET PROMISE LTD	
32	10 25 19 0000 00200 0000	SR 52 LIMITED PARTNERSHIP	
33	10 25 19 0000 00300 0010	VALDES GABRIEL & IDANIA P & VALDES ALFREDO	
34	10 25 19 0000 00300 0000	DELBAR ENTERPRISES INC	
35	10 25 19 0000 00400 0000	3D-C & C INC	
36	10 25 19 0000 00500 0000	S MORRIS KEITHENDALE INC	
37	10 25 19 0000 00600 0000	S MORRIS KEITHENDALE INC	

41	10 25 19 0000 00700 0000	TAMPA ROOFING CO INC & SWOPE & PARTNERSHIP	ASSOC INC 401(K)PROFIT SHARING
42	10 25 19 0000 00700 0010	3KS FAMILY LIMITED PARTNERSHIP	
43	10 25 19 0000 29900 0000	FL DEPT OF TRANSPORTATION	BUREAU OF RIGHT OF WAY
44	10 25 19 0000 00100 0000	SECRET PROMISE LTD	
45	10 25 19 0000 00100 0010	SECRET PROMISE LTD	
46	04 25 19 0000 00100 0010	SECRET PROMISE LTD	
47	04 25 19 0000 00100 0000	SECRET PROMISE LTD	
48	04 25 19 0000 00200 0000	BARTHLE BROTHERS RANCH INC	
49	05 25 19 0000 00100 0000	BARTHLE BROTHERS RANCH INC	
53	09 25 19 0000 00700 0000	RODRIGUEZ BASILIO ANTONIO	
54	09 25 19 0000 00700 0010	YOUNG FRED C III & KRISTEN S	
59	09 25 19 0000 00100 0010	SECRET PROMISE LTD	
60	09 25 19 0000 00100 0000	SECRET PROMISE LTD	
72	09 25 19 0000 00300 0000	ELIRPA CORPORATION & APRILE JIMMIE V & JENNIE F	
74	09 25 19 0000 29900 0000	FL DEPT OF TRANSPORTATION	BUREAU OF RIGHT OF WAY
76	09 25 19 0000 00200 0000	BARTHLE BROTHERS RANCH INC	



LEGEND

	WETLANDS CAT I, II, & III		ADJACENT MPUD BOUNDARY		FLOOD ZONE LINE
	OTHER SURFACE WATER		500' SETBACK		36" RECLAIM LINE
	MPUD BOUNDARY		PARCEL LINES		PARCEL NUMBERS
			CONTOUR LINES		DIRECTION OF DRAINAGE FLOW

FORT KING RANCH MPUD REZONING
L-701 EXISTING CONDITIONS

SECRET PROMISE, LP
PASCO COUNTY

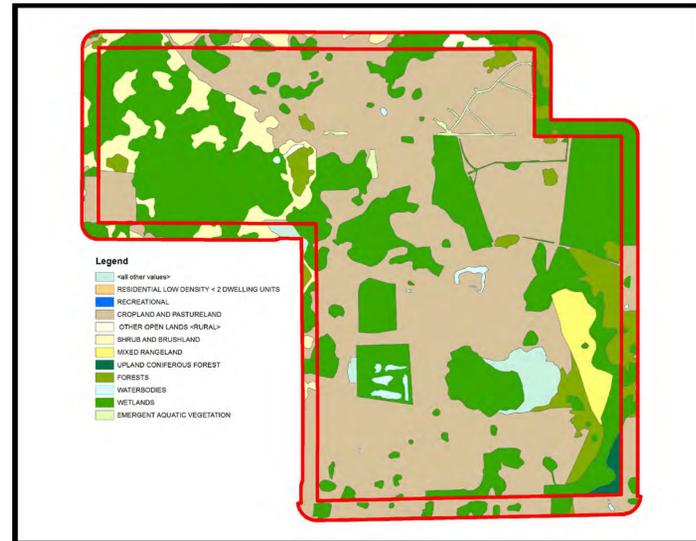
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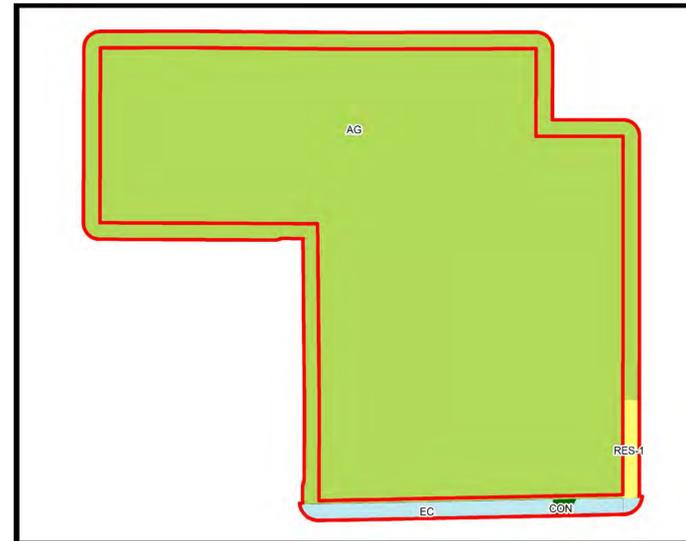
Note: This is a preliminary/conceptual site plan and is subject to survey information, final design, engineering and governmental approvals, additional drainage, floodplain and grand tree analysis is required and may affect final unit totals and layout.

HEIDT DESIGN
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www.HeidtDesign.com

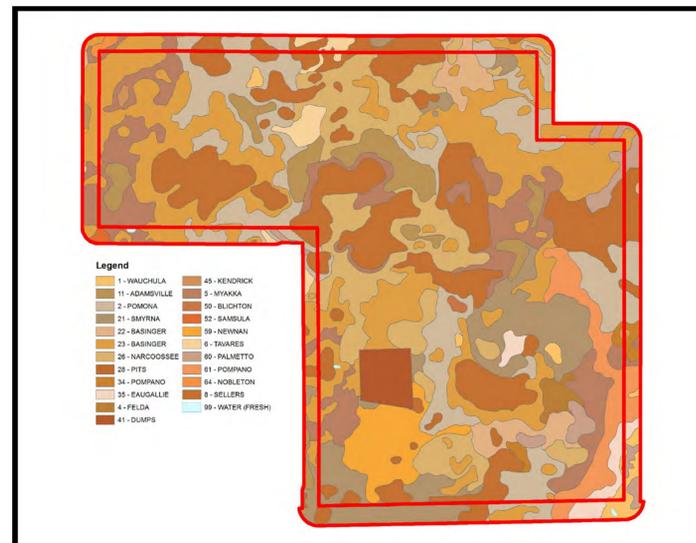
REVISION: 11/17/15 REVISED PLAN AND ZONING CAD/L-701-EXT-COND.DWG-L-701 REVEN STEELE



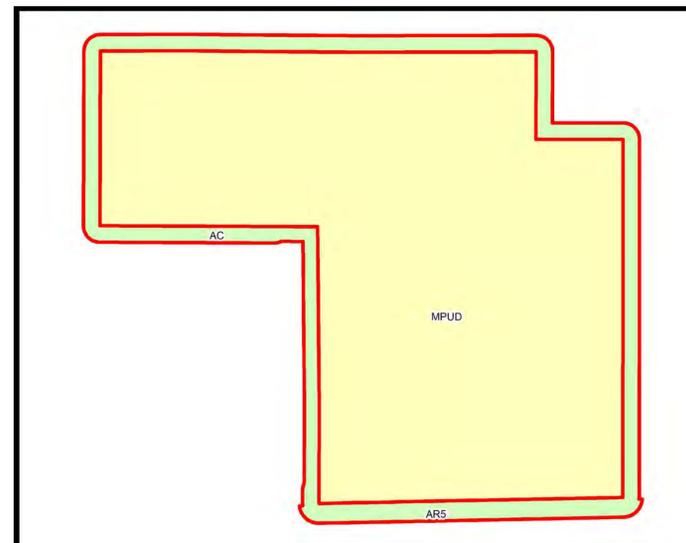
EXISTING LAND USE (ELU CCS)



FUTURE LAND USE



EXISTING SOILS



EXISTING ZONING

FORT KING RANCH MPUD REZONING

L-702 EXISTING CONDITIONS

SECRET PROMISE, LP

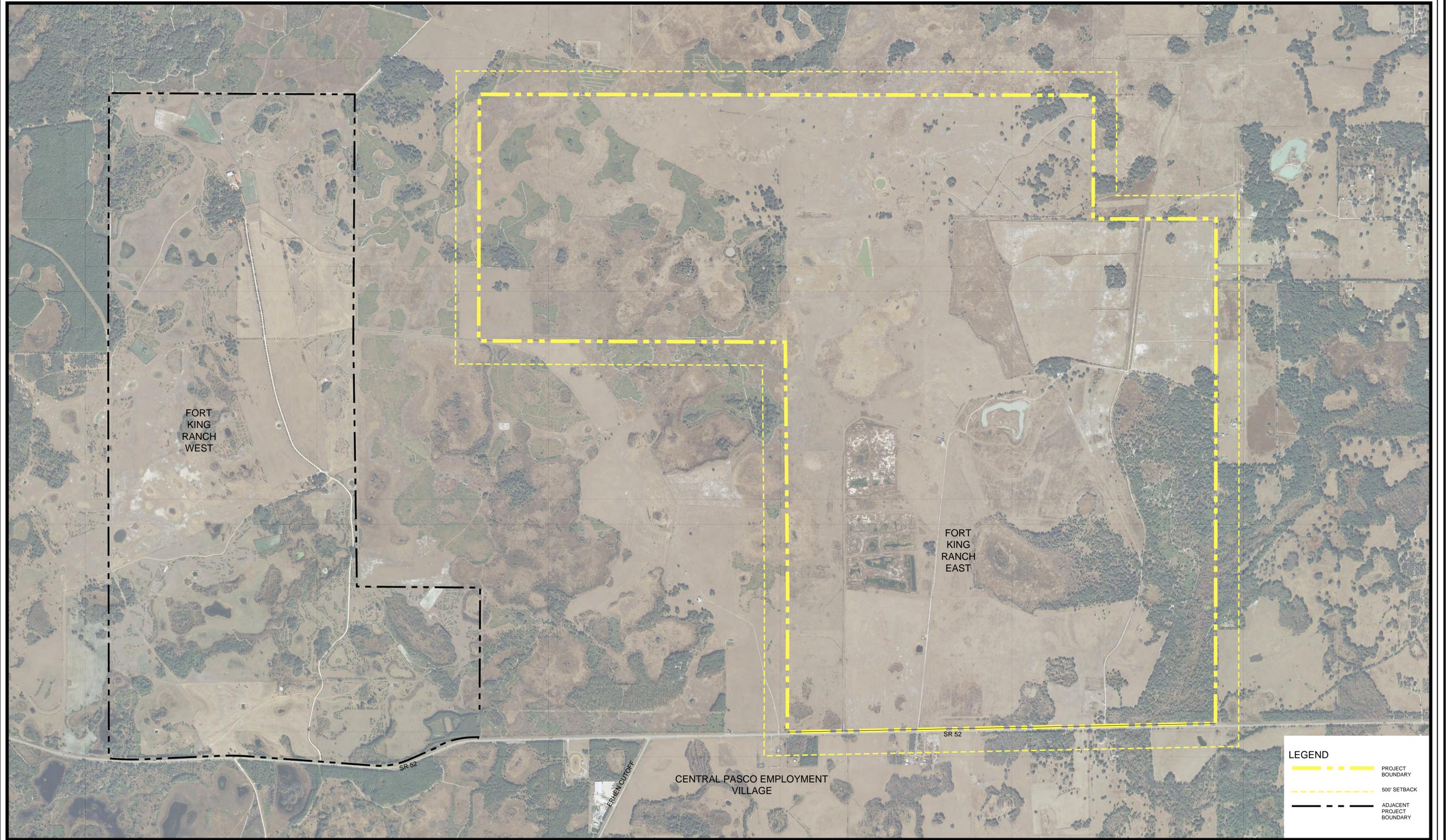
PASCO COUNTY

DATE	DESCRIPTION	BY
4-30-15	JOB # SPL FK 1005	

Note: This is a preliminary/conceptual site plan and is subject to survey information, final design, engineering and governmental approvals, additional drainage, floodplain and grand tree analysis is required and may affect final unit totals and layout.

SCALE: 1" = 1000'
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 HALF SCALE 11" BY 17"

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 www.HeidtDesign.com



FORT KING RANCH MPUD REZONING

L-703 AERIAL 2011

SECRET PROMISE, LP

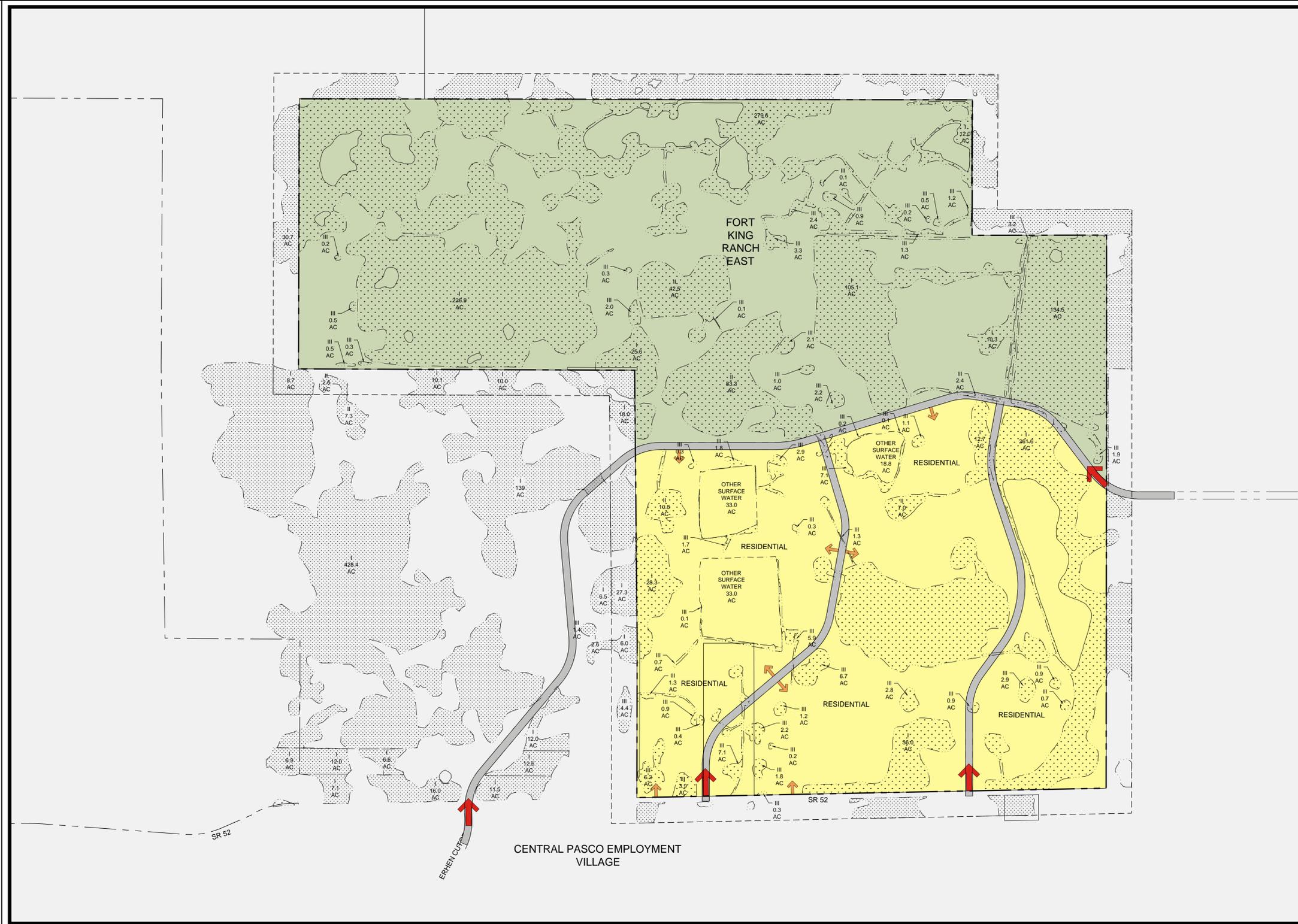
PASCO COUNTY

DATE	DESCRIPTION	BY
4-30-15	JOB # SPL FK 1005	

Note: This is a preliminary/conceptual site plan and is subject to survey information, final design, engineering and governmental approvals, additional drainage, floodplain and grand tree analysis is required and may affect final unit totals and layout.

SCALE: 1" = 500'
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 HALF SCALE 11" BY 17"

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 Phone: (813) 253-5311
 www.HeidtDesign.com



FORT KING RANCH PROPERTY GENERAL NOTES

1. ALL ACCESS POINTS ARE TO BE CONSIDERED CONCEPTUAL. THEY WILL BE SUBJECT TO REVIEW AT THE TIME OF PRELIMINARY SITE PLAN SUBMITTAL AND APPROVED SUBJECT TO REVIEW OF APPROPRIATE TRAFFIC STUDIES AND FINAL ENGINEERING DESIGN.

LEGEND

- MAJOR ROADS
- RESIDENTIAL
1,550 AC.
- UNDEVELOPED LAND
2,040 AC.
- PRE-DEVELOPMENT WETLANDS
- MINOR ACCESS POINT
- MAJOR ACCESS POINT
- PROJECT BOUNDARY
- 500' SETBACK
- ADJACENT PROJECT BOUNDARY

FORT KING RANCH MPUD REZONING
L-704 MPUD PLAN

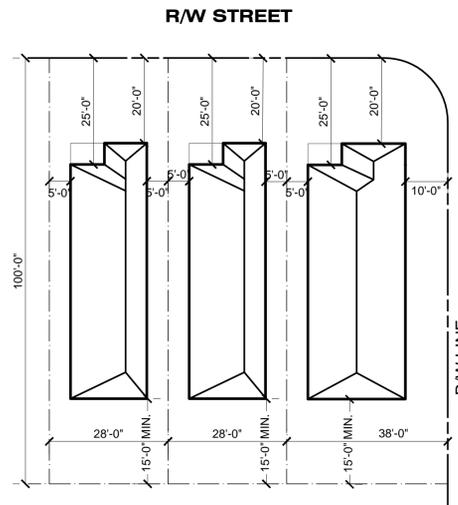
SECRET PROMISE, LP
PASCO COUNTY

SCALE: 1" = 1000'
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HALF SCALE 11" BY 17"

DATE	DESCRIPTION	BY
4-30-15	JOB #: SPL FK 1005	

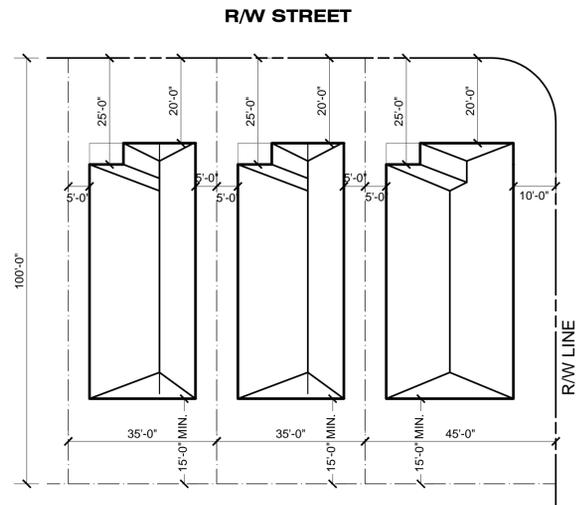
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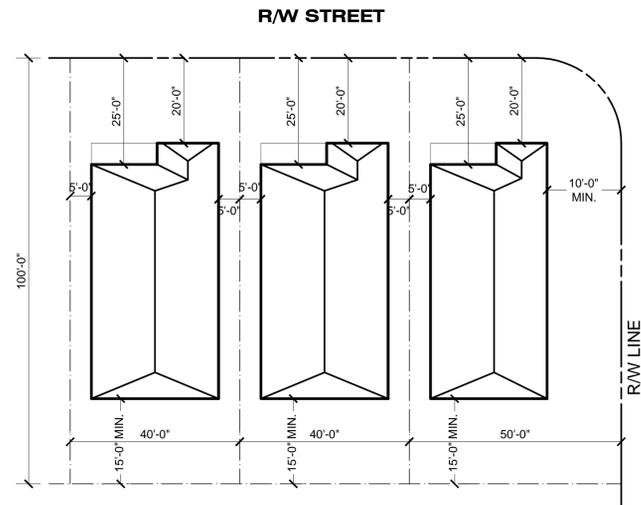
**TYPICAL BUILDING ARRANGEMENT
FRONT ACCESS
28X100' LOT (2,800 SF)**

- GENERAL NOTES:
1. LOT WIDTH IS MEASURED HORIZONTALLY AT THE FRONT BUILDING LINE.
 2. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 3. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 15 FEET FROM THE SIDE OF THE STRUCTURE.
 4. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.



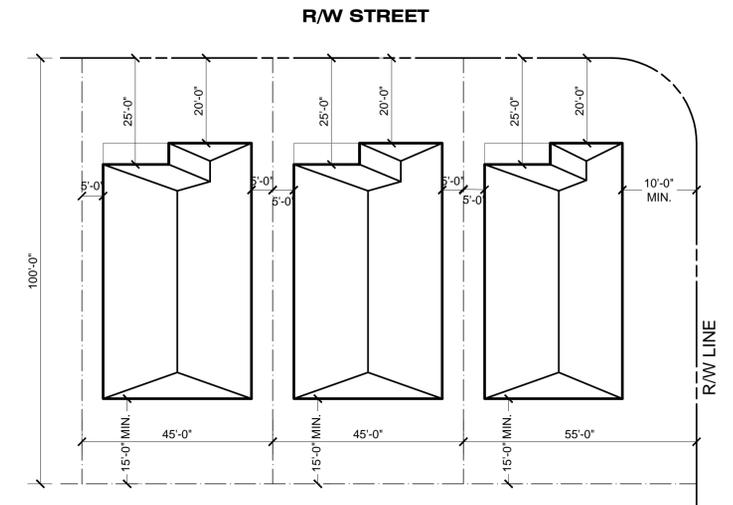
**TYPICAL BUILDING ARRANGEMENT
FRONT ACCESS
35X100' LOT (3,500 SF)**

- GENERAL NOTES:
1. LOT WIDTH IS MEASURED HORIZONTALLY AT THE FRONT BUILDING LINE.
 2. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 3. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 15 FEET FROM THE SIDE OF THE STRUCTURE.
 4. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.



**TYPICAL BUILDING ARRANGEMENT
FRONT ACCESS
40X100' LOT (4,000 SF)**

- GENERAL NOTES:
1. LOT WIDTH IS MEASURED HORIZONTALLY AT THE FRONT BUILDING LINE.
 2. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 3. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 15 FEET FROM THE SIDE OF THE STRUCTURE.
 4. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.



**TYPICAL BUILDING ARRANGEMENT
FRONT ACCESS
45X100' LOT (4,500 SF)**

- GENERAL NOTES:
1. LOT WIDTH IS MEASURED HORIZONTALLY AT THE FRONT BUILDING LINE.
 2. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 3. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 15 FEET FROM THE SIDE OF THE STRUCTURE.
 4. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.

**FORT KING RANCH MPUD REZONING
L-705 PRODUCT DETAILS**

**SECRET PROMISE, LP
Pasco County**

DATE	DESCRIPTION	BY
5-16-14	REVISED PER COUNTY COMMENTS	KJS
4-30-15		

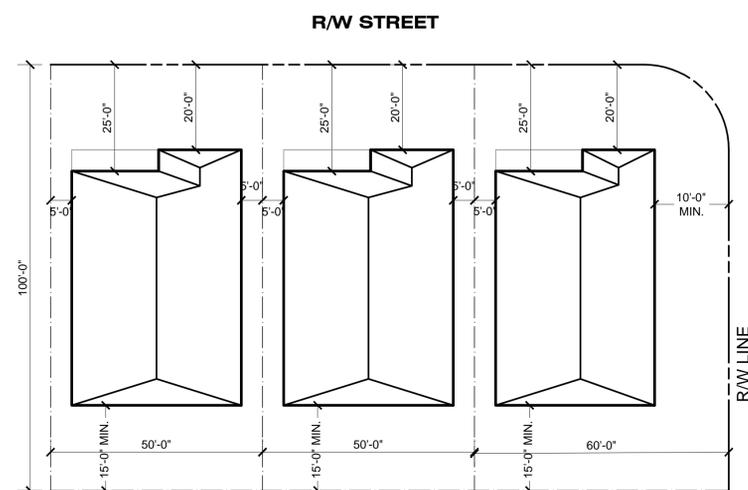
DATE: 4-30-15 JOB #: SPL FK 1005

Note: This is a preliminary/conceptual site plan and is subject to survey information, final design, engineering and governmental approvals, additional drainage, floodplain and ground tree analysis is required and may affect final unit totals and layout.

SCALE: 1" = 20'
HALF SCALE 11" BY 17"

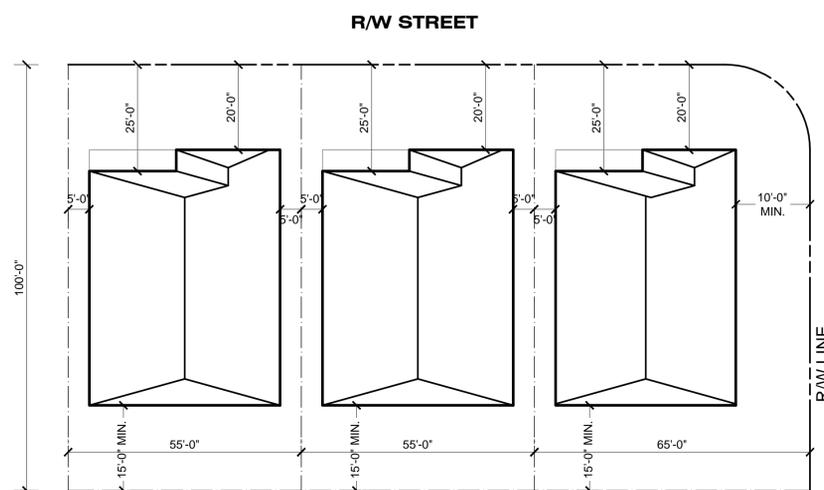
HEIDT DESIGN
5806-R Breckenridge Parkway
Tampa, FL 33610
Phone: (813) 253-9311
www.HeidtDesign.com

R:\FORT KING RANCH\MASTER PLAN\COMMUNITY PLANNING\ZONING\CADD\L-706-PRODUCT-DETAILS-FKRDWG-L-706-PRODUCT SF-2-2015\DWG28 10:38 AM KEVEN STEELE



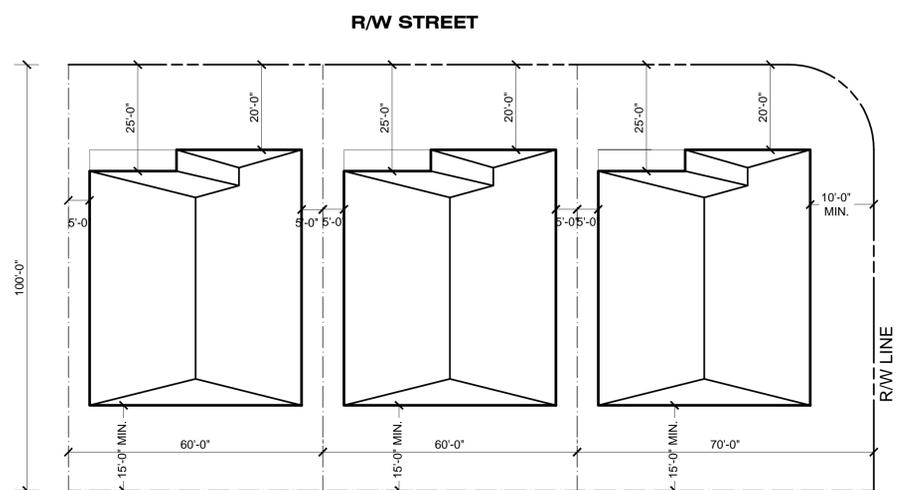
**TYPICAL BUILDING ARRANGEMENT
FRONT ACCESS
50'X100' LOT (5,000 SF)**

- GENERAL NOTES:
1. LOT WIDTH IS MEASURED HORIZONTALLY AT THE FRONT BUILDING LINE.
 2. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 65%.
 3. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 15 FEET FROM THE SIDE OF THE STRUCTURE.
 4. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.



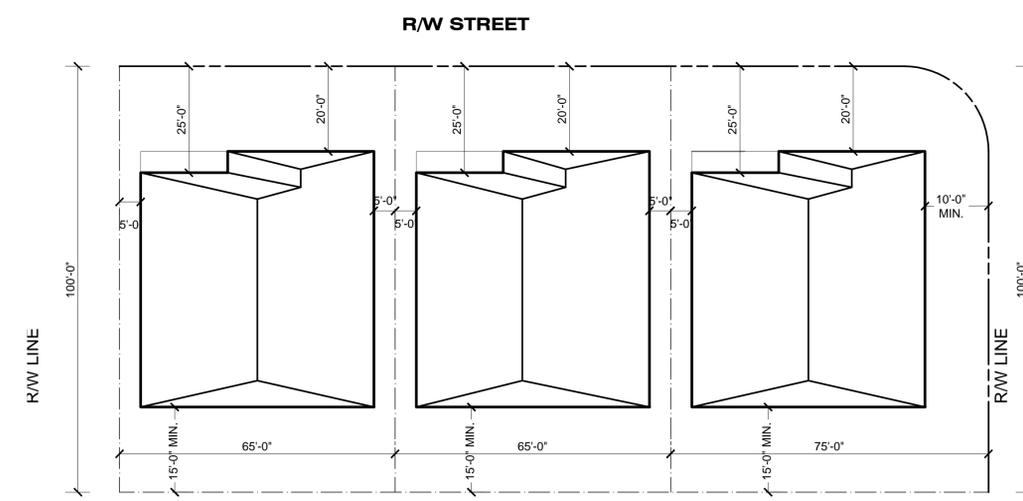
**TYPICAL BUILDING ARRANGEMENT
FRONT ACCESS
55'X100' LOT (5,500 SF)**

- GENERAL NOTES:
1. LOT WIDTH IS MEASURED HORIZONTALLY AT THE FRONT BUILDING LINE.
 2. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 65%.
 3. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 15 FEET FROM THE SIDE OF THE STRUCTURE.
 4. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.



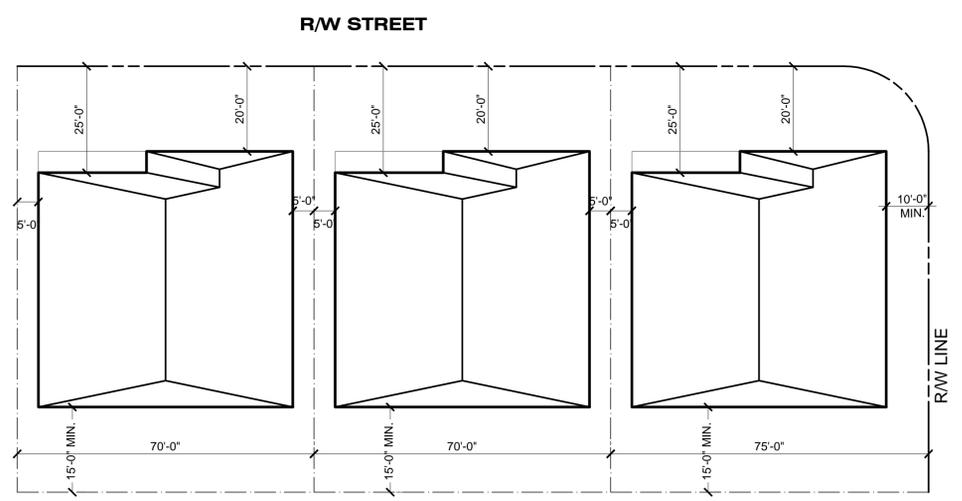
**TYPICAL BUILDING ARRANGEMENT
FRONT ACCESS
60'X100' LOT (6,000 SF)**

- GENERAL NOTES:
1. LOT WIDTH IS MEASURED HORIZONTALLY AT THE FRONT BUILDING LINE.
 2. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 65%.
 3. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 15 FEET FROM THE SIDE OF THE STRUCTURE.
 4. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.



**TYPICAL BUILDING ARRANGEMENT
FRONT ACCESS
65'X100' LOT (6,500 SF)**

- GENERAL NOTES:
1. LOT WIDTH IS MEASURED HORIZONTALLY AT THE FRONT BUILDING LINE.
 2. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 65%.
 3. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 15 FEET FROM THE SIDE OF THE STRUCTURE.
 4. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.



**TYPICAL BUILDING ARRANGEMENT
FRONT ACCESS
70'X100' LOT (7,000 SF)**

- GENERAL NOTES:
1. LOT WIDTH IS MEASURED HORIZONTALLY AT THE FRONT BUILDING LINE.
 2. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 65%.
 3. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 15 FEET FROM THE SIDE OF THE STRUCTURE.
 4. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.

**FORT KING RANCH MPUD REZONING
L-706 PRODUCT DETAILS**

**SECRET PROMISE, LP
Pasco County**

5-16-14	REVISED PER COUNTY COMMENTS	KJS
DATE	DESCRIPTION	BY
DATE: 4-30-15	JOB #: SPL FK 1005	

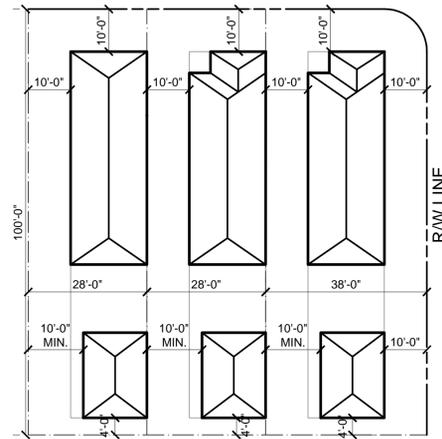
Note: This is a preliminary/conceptual site plan and is subject to survey information, final design, engineering and governmental approvals, additional drainage, floodplain and grade tree analysis is required and may affect final unit totals and layout.

SCALE: 1" = 20'
HALF SCALE 11" BY 17"

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R:\FORT KING RANCH\MASTER PLAN\COMMUNITY PLANNING\ZONING\CADD\L-706-PRODUCT-DETAILS\FR-DWGL-707-PRODUCT-TND-1-2015\DWG28 10:38 AM KEVEN STEELE

R/W STREET W/ ON-STREET PARKING

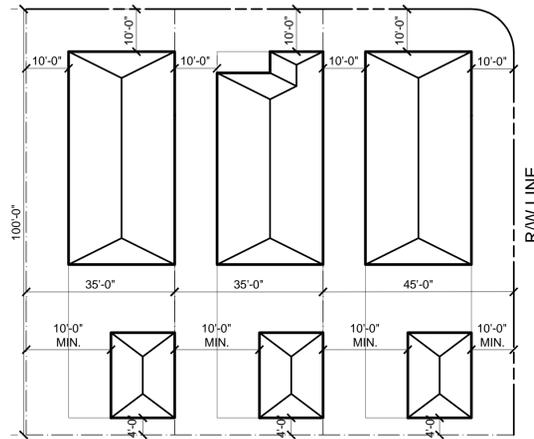


R/W ALLEY

**TYPICAL BUILDING ARRANGEMENT ALLEY ACCESS
28X100' LOT (2,800 SF)**

- GENERAL NOTES:
1. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 2. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 10 FEET FROM THE SIDE OF THE STRUCTURE.
 3. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.

R/W STREET W/ ON-STREET PARKING

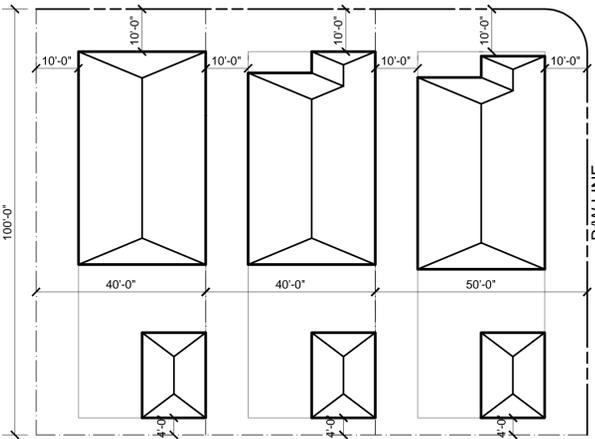


R/W ALLEY

**TYPICAL BUILDING ARRANGEMENT ALLEY ACCESS
35X100' LOT (3,500 SF)**

- GENERAL NOTES:
1. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 2. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 10 FEET FROM THE SIDE OF THE STRUCTURE.
 3. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.

R/W STREET W/ ON-STREET PARKING

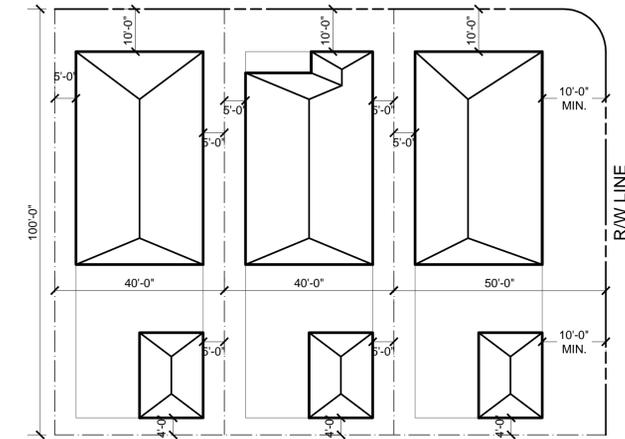


R/W ALLEY

**TYPICAL BUILDING ARRANGEMENT ALLEY ACCESS
40X100' LOT (4,000 SF)**

- GENERAL NOTES:
1. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 2. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 10 FEET FROM THE SIDE OF THE STRUCTURE.
 3. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.

R/W STREET W/ ON-STREET PARKING

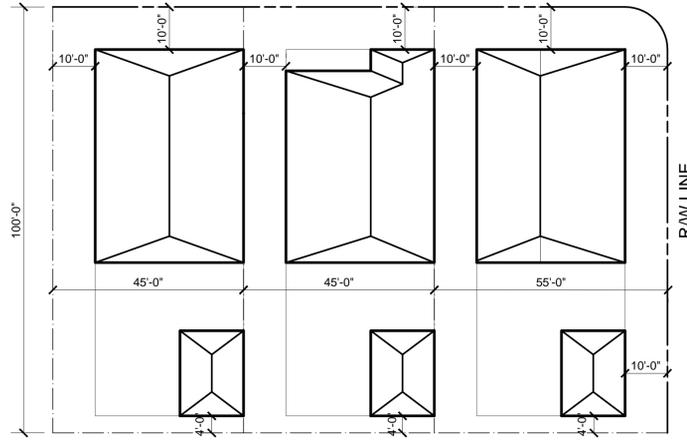


R/W ALLEY

**TYPICAL BUILDING ARRANGEMENT ALLEY ACCESS
40X100' LOT (4,000 SF)
(ALTERNATE SIDE SETBACK)**

- GENERAL NOTES:
1. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 2. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 10 FEET FROM THE SIDE OF THE STRUCTURE.
 3. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.

R/W STREET W/ ON-STREET PARKING

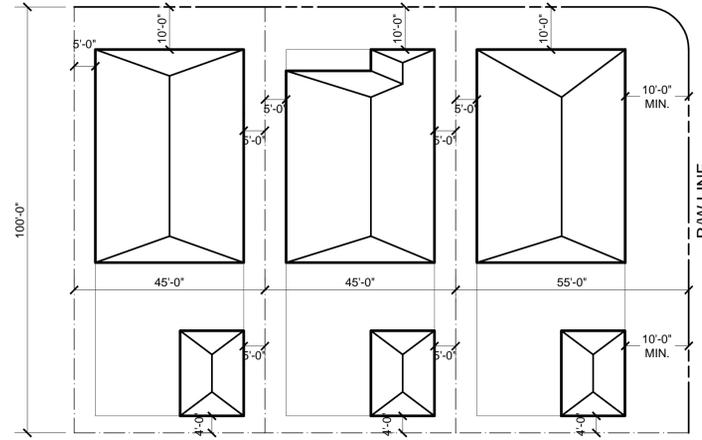


R/W ALLEY

**TYPICAL BUILDING ARRANGEMENT ALLEY ACCESS
45X100' LOT (4,500 SF)**

- GENERAL NOTES:
1. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 2. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 10 FEET FROM THE SIDE OF THE STRUCTURE.
 3. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.

R/W STREET W/ ON-STREET PARKING

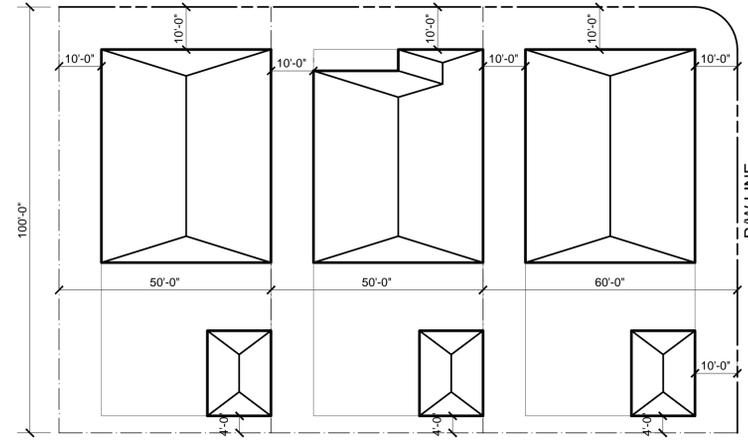


R/W ALLEY

**TYPICAL BUILDING ARRANGEMENT ALLEY ACCESS
45X100' LOT (4,500 SF)
(ALTERNATE SIDE SETBACK)**

- GENERAL NOTES:
1. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 2. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 10 FEET FROM THE SIDE OF THE STRUCTURE.
 3. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.

R/W STREET W/ ON-STREET PARKING



R/W ALLEY

**TYPICAL BUILDING ARRANGEMENT ALLEY ACCESS
50X100' LOT (5,000 SF)**

- GENERAL NOTES:
1. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 2. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 10 FEET FROM THE SIDE OF THE STRUCTURE.
 3. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.

**FORT KING RANCH MPUD REZONING
L-707 PRODUCT DETAILS**

**SECRET PROMISE, LP
Pasco County**

DATE	REVISION	BY
5-16-14	REVISED PER COUNTY COMMENTS	KJS
4-30-15		

DATE: 4-30-15 JOB #: SPL FK 1005

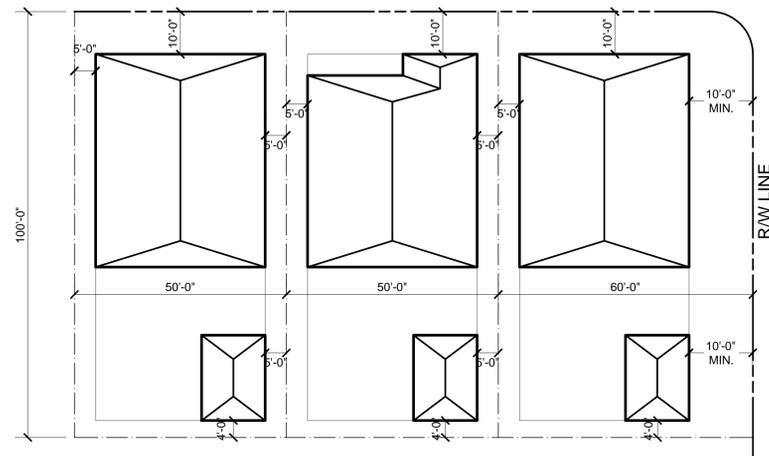
Note: This is a preliminary conceptual site plan and is subject to survey information, final design, engineering and governmental approvals, additional drainage, floodplain and grand tree analysis is required and may affect final unit totals and layout.

SCALE: 1" = 20'
HALF SCALE 11" BY 17"

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R/W STREET W/ ON-STREET PARKING

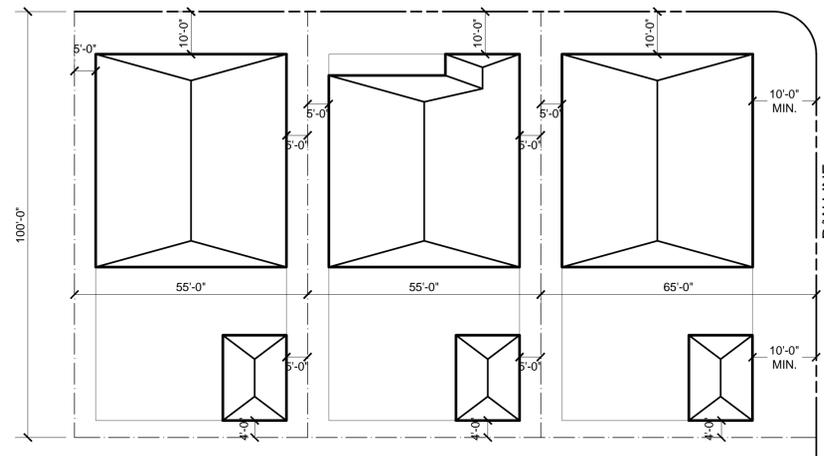


R/W ALLEY

**TYPICAL BUILDING ARRANGEMENT
50'X100' LOT (5,000 SF)**

- GENERAL NOTES:
1. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 2. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 10 FEET FROM THE SIDE OF THE STRUCTURE.
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R/W STREET W/ ON-STREET PARKING

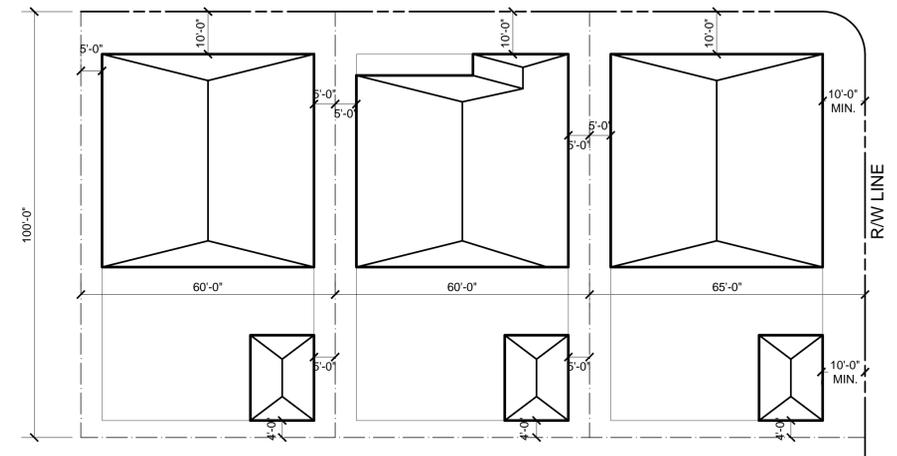


R/W ALLEY

**TYPICAL BUILDING ARRANGEMENT
55'X100' LOT (5,500 SF)**

- GENERAL NOTES:
1. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 2. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 10 FEET FROM THE SIDE OF THE STRUCTURE.
 3. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.

R/W STREET W/ ON-STREET PARKING

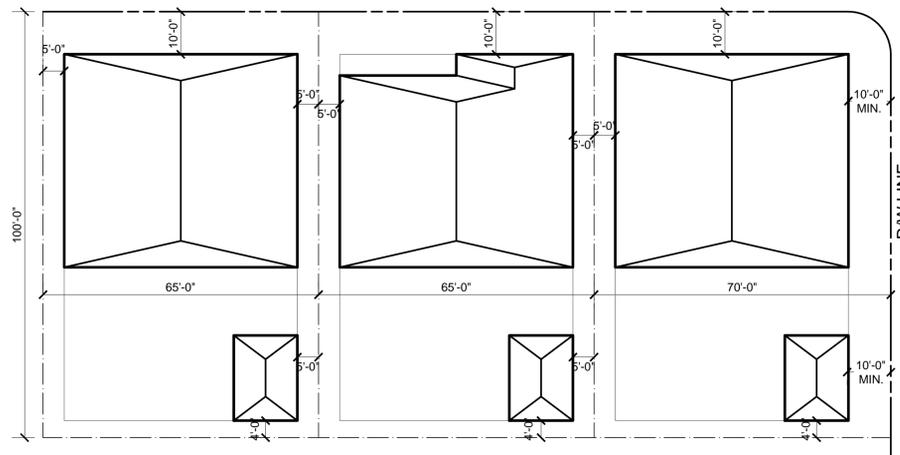


R/W ALLEY

**TYPICAL BUILDING ARRANGEMENT
60'X100' LOT (6,000 SF)**

- GENERAL NOTES:
1. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 2. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 10 FEET FROM THE SIDE OF THE STRUCTURE.
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R/W STREET W/ ON-STREET PARKING

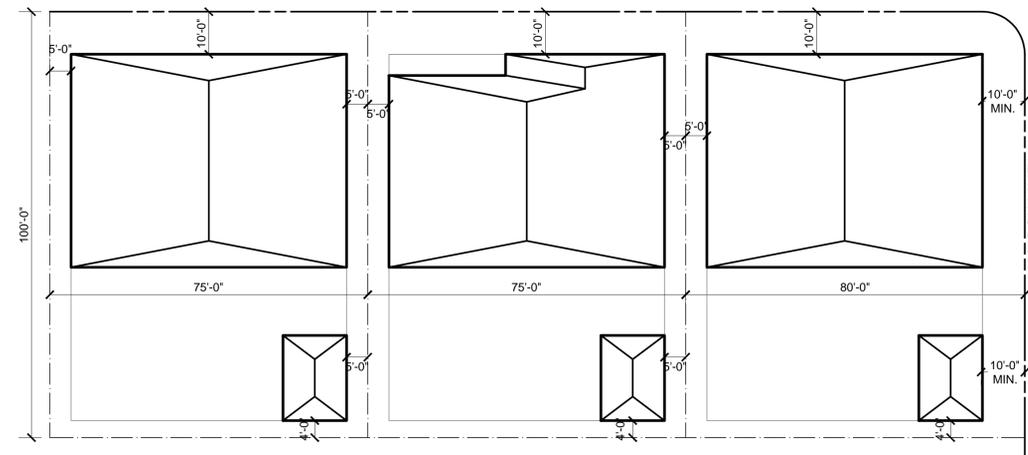


R/W ALLEY

**TYPICAL BUILDING ARRANGEMENT
65'X100' LOT (6,500 SF)**

- GENERAL NOTES:
1. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 2. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 10 FEET FROM THE SIDE OF THE STRUCTURE.
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R/W STREET W/ ON-STREET PARKING



R/W ALLEY

**TYPICAL BUILDING ARRANGEMENT
75'X100' LOT (7,500 SF)**

- GENERAL NOTES:
1. MAXIMUM LOT COVERAGE FOR SINGLE FAMILY DETACHED UNITS IS 80%.
 2. LAND CONSIDERED FOR THE NEIGHBORHOOD PARK REQUIREMENTS OR USED FOR STORMWATER RETENTION/DETENTION SHALL BE A MINIMUM OF 20 FEET FROM THE REAR OF THE STRUCTURE AND A MINIMUM OF 10 FEET FROM THE SIDE OF THE STRUCTURE.
 3. ON CORNER LOTS WHERE THERE IS MORE THAN ONE FRONT, ONE FRONT-YARD SETBACK MAY BE REDUCED TO 10 FEET.

**FORT KING RANCH MPUD REZONING
L-708 PRODUCT DETAILS**

**SECRET PROMISE, LP
Pasco County**

DATE	DESCRIPTION	BY
5-16-14	REVISED PER COUNTY COMMENTS	KJS
4-30-15		
4-30-15		

Job #: SPL-FK-1005

Note: This is a preliminary/conceptual site plan and is subject to survey information, final design, engineering and governmental approvals, additional drainage, floodplain and ground tree analysis is required and may affect final unit totals and layout.

SCALE: 1" = 20'
HALF SCALE 11" BY 17"

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R:\FORT KING RANCH\MASTER PLAN\COMMUNITY PLANNING\ZONING\CADD\FORT KING RANCH CONCEPT-1.DWG-CONCEPT-1.DWG 2014.08.05 2:25 PM REVEN STEELE



FORT KING RANCH MPUD REZONING
L-704 MPUD PLAN

S. R. 52
CENTRAL PASCO EMPLOYMENT VILLAGE

SECRET PROMISE, LP
PASCO COUNTY

01-28-15	MODIFIED CONCEPT PLAN	KJS
DATE:	DESCRIPTION	BY
DATE: 8-5-14	JOB #: SPL FK 1005	

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