

EXHIBIT A
LAND USE EQUIVALENCY MATRIX

<u>Trade From</u>	<u>Trade To</u>								
	<u>Single Family Detached (DU's)</u>	<u>Single Family Attached (DU's)</u>	<u>Multi-Family (DU's)</u>	<u>Shopping Center (KSF)</u>	<u>ALF (Beds)</u>	<u>Hotel (Rooms)</u>	<u>Medical Office (KSF)</u>	<u>Office (KSF)</u>	<u>Nursing Homes (Beds)</u>
Single Family Detached (DU's)	1.000	1.846	1.600	0.425	4.364	1.600	0.308	0.358	4.364
Single Family Attached (DU's)	0.542	1.000	0.867	0.230	2.364	0.867	0.167	0.194	2.364
Multi-Family (DU's)	0.625	1.154	1.000	0.265	2.727	1.000	0.192	0.224	2.727
Shopping Center (KSF)	2.354	4.346	3.767	1.000	10.273	3.767	0.724	0.843	10.273

Example:

Convert (Trade From) 100 Multi-Family DU's to Shopping Center (Trade To)

$$(100 \times 0.265) \times 1,000 = 26,500 \text{ SF of Shopping Center}$$

EXHIBIT B MITCHELL 54 WEST MPUD MASTER PLAN MARCH 20, 2015

LEGEND

- EXISTING TRAFFIC SIGNAL
- PROPOSED TRAFFIC SIGNAL
- UPLAND
- PRESERVED WETLAND OR SURFACE WATER AND CATEGORY
- EXISTING CONTOUR
- FUTURE TRANSIT STOP
- DRAINAGE FLOW DIRECTION
- PROPERTY LINE
- ACCESS DESIGNATION
- PROPOSED WELBILT BLVD EXTENSION
- MAJOR N/S SPINE ROAD

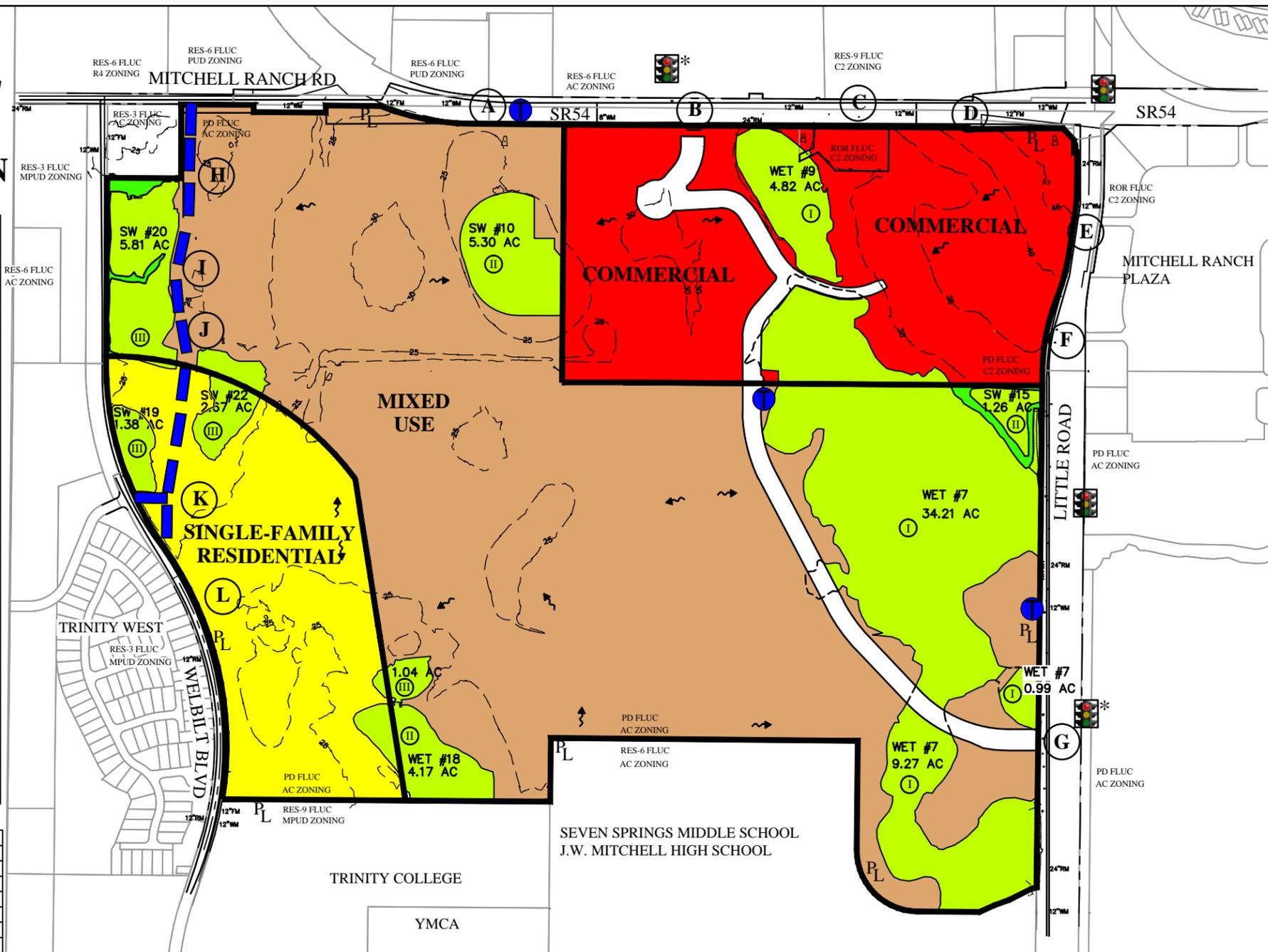
REVISIONS

DATE	REV. NO.	REVISION
9/26/2014	1	REMOVED WORD COMMUNITY IN N/W QUAD
1/30/2015	2	REV INTERNAL STREET NETWORK

TYPICAL LOT LAYOUTS

RESIDENTIAL PRODUCT TYPE	MINIMUM SETBACKS (FT)					MAXIMUM		
	WIDTH (FT)	DEPTH (FT)	FRONT	SIDE	REAR	LOT COVERAGE	BUILDING HEIGHT (FT)	ALLEY
Single Family Product	28	115	15	0/10	15	80%	45	YES
	30	100	10	5	4	80%	45	YES
	32	100	10	5	4	80%	45	YES
	40	115	15	5	15	80%	35	YES
	40	100	10	5	4	80%	35	YES
Duplex Product	28	100	10	0/7.5	10	85%	45	YES
	28	100	10	5	4	85%	45	YES
	36	100	10	0/10	10	85%	35	YES
Townhome Product	16	50	10	0/10	10	90%	35	YES
	16	50	10	0/10	0	90%	35	YES
	23	75	10	0/10	0	90%	35	YES
	20	100	10	0/10	10	90%	45	YES
	21	53	10	0/10	0	90%	45	YES

- ### NOTES:
- 1) All corner lots shall be a minimum of 10' wider than the standard lot width on that block.
 - 2) Forward facing garages will have a minimum setback of 20 feet.
 - 3) Lot width is measured horizontally at the front setback line.
 - 4) On corner lots where there is more than one front setback, one front yard setback may be reduced to 10 feet.
 - 5) Side yard setbacks shown with dual values represent a side setback of zero on one side.



SEVEN SPRINGS MIDDLE SCHOOL
J.W. MITCHELL HIGH SCHOOL

- ### NOTES:
1. TOTAL SITE IS 333 ACRES +/-
 2. FUTURE LAND USE - PLANNED DEVELOPMENT (PD)
 3. PRE-DEVELOPMENT WETLANDS: (CATEGORIES FROM PASCO COUNTY GIS AND COUNTY STAFF COMMENT REVISING WETLANDS CATEGORY I = 50.81 ACRES CATEGORY II = 15.62 ACRES CATEGORY III = 54.17 ACRES TOTAL = 120.60 ACRES)
 4. WETLAND LINES SHOWN HAVE BEEN APPROVED IN ERP NO. 42013055.001
 5. THE INITIALLY PROPOSED DEVELOPMENT PROGRAM INCLUDES 800 DWELLING UNITS AND 980,000 SQUARE FEET OF NON-RESIDENTIAL, SUBJECT TO THE EQUIVALENCY MATRIX.
 6. THE EXCHANGE OF USES IN CONFORMANCE WITH THE EQUIVALENCY MATRIX WILL BE TREATED AS A NON-SUBSTANTIAL AMENDMENT TO THE MPUD.
 7. THE ALIGNMENT OF THE EXTENSION OF WELBILT BOULEVARD IS SUBJECT TO CHANGE DURING ENGINEERING DESIGN. THE CONSTRUCTION OF THIS EXTENSION IS SUBJECT TO MOBILITY FEE CREDITS FROM PASCO COUNTY.
 8. LANDSCAPING SHALL BE IN ACCORDANCE WITH THE LAND DEVELOPMENT CODE (LDC), UNLESS AN ALTERNATIVE STANDARD IS APPROVED DURING THE REVIEW PROCESS.
 9. OPEN SPACE SHALL BE PROVIDED AS ANTICIPATED BY THE GENERALIZED PEDESTRIAN, TRAILS, PARKS, AND MOBILITY PLAN.
 10. THE PROJECT IS WITHIN THE FOLLOWING UTILITIES SERVICE AREAS: SANITARY SEWER - FLORIDA GOVERNMENTAL UTILITY AUTHORITY (FGUA) WATER - FLORIDA GOVERNMENTAL UTILITY AUTHORITY (FGUA) ELECTRIC - DUKE ENERGY
 11. LEGAL INSTRUMENTS WILL BE CREATED PROVIDING FOR THE MANAGEMENT OF COMMON AREAS AND FACILITIES.
 12. LOCATION OF EXISTING WATER/SANITARY SEWER FACILITIES:
 - a. STATE ROAD 54
 - i. 12" WATER MAIN
 - ii. 12" FORCE MAIN
 - iii. 24" REUSE WATER MAIN
 - b. LITTLE ROAD
 - i. 12" WATER MAIN
 - ii. 24" REUSE WATER MAIN
 - c. WELBILT BOULEVARD
 - i. 12" WATER MAIN
 - ii. 12" FORCE MAIN
 - iii. 12" REUSE WATER MAIN
 13. ROADWAY ALIGNMENTS AND INTERNAL ACCESS POINTS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING THE PERMITTING PROCESS WITHOUT REQUIRING A MPUD MODIFICATION.

LAND USE TABLE

LAND USE	GROSS ACRES	NET ACRES
COMMERCIAL	70.6	60.4
MIXED USE	218.5	160.2
SINGLE FAMILY	43.9	39.6
WETLANDS & ISOLATED UPLANDS		72.8
TOTAL	333.0	333.0

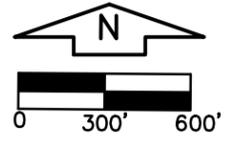
POST-DEVELOPMENT WETLANDS

CATEGORY	ACRES
CATEGORY I	49.29
CATEGORY II	10.73
CATEGORY III	10.90

- ### UTILITY COMPANIES
- WATER AND WASTEWATER:** FLORIDA GOVERNMENTAL UTILITY AUTHORITY, 280 WEKIVA SPRINGS RD SUITE #2000, LONGWOOD, FLORIDA 32779, TELEPHONE: (407) 629-6900
 - ELECTRICITY:** DUKE ENERGY, 4121 ST. LAWRENCE DRIVE, NEW PORT RICHEY, FLORIDA 34655, TELEPHONE: (727) 372-5148
 - TELEPHONE:** VERIZON FLORIDA, INC., 1280 CLEVELAND STREET, CLEARWATER, FLORIDA 33755, TELEPHONE: (727) 562-1101
- ### PLANNING
- KING HELIE PLANNING GROUP, P.O. BOX 5062, HUDSON, FLORIDA 34674, TELEPHONE: (727) 863-7006
 - DESIGN 3 INTERNATIONAL, 4 EAST ROLLING CROSSROADS, SUITE 303, BALTIMORE, MD 21228, TELEPHONE: (410) 744-3579
 - CLEARVIEW LAND DESIGN, P.L., 1213 E. 6th AVENUE, TAMPA, FLORIDA 33605, TELEPHONE: (813) 223-3919
 - LINKS & ASSOCIATES, INC., 5023 W. LAUREL STREET, TAMPA, FLORIDA 33607, TELEPHONE: (813) 289-0039
- ### PROFESSIONAL TEAM
- ENVIRONMENTAL:** CARNO ENTRIX, 3905 CRESCENT PARK DRIVE, RIVERVIEW, FLORIDA 33578, TELEPHONE: (813) 664-4500
 - ENGINEERING:** REGENCY DESIGN & ENGINEERING, INC., 9400 RIVER CROSSING BOULEVARD, SUITE 104, NEW PORT RICHEY, FLORIDA 34655, TELEPHONE: (727) 375-1155
 - SURVEYING:** FLORIDA DESIGN CONSULTANTS, 3030 STARKEY BOULEVARD, NEW PORT RICHEY, FLORIDA 34655, TELEPHONE: (727) 849-7588
 - LEGAL:** HOBBS & HOBBS, P.A., 109 NORTH BRUSH STREET, SUITE 250, TAMPA, FLORIDA 33602, TELEPHONE: (813) 223-3338

LEGAL DESCRIPTION

PORTION OF SECTIONS 23 AND 26, TOWNSHIP 26 SOUTH, RANGE 16 EAST, PASCO COUNTY, FL. REFER TO COMPLETE LEGAL DESCRIPTION IN ACCOMPANYING SIGNED AND SEALED SURVEY.



PREPARED FOR:

KITSON & PARTNERS

4500 PGA BOULEVARD SUITE 400 PALM BEACH GARDENS, FL 33418

PREPARED BY:

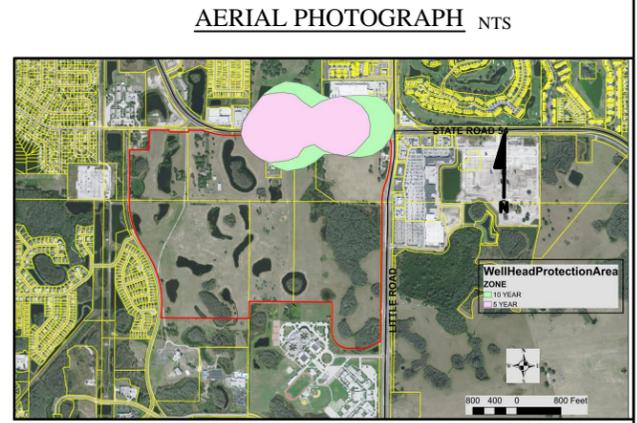
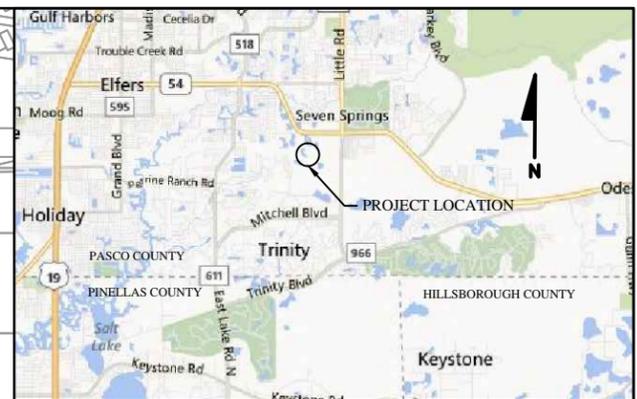
SHEET:
EXHIBIT
B

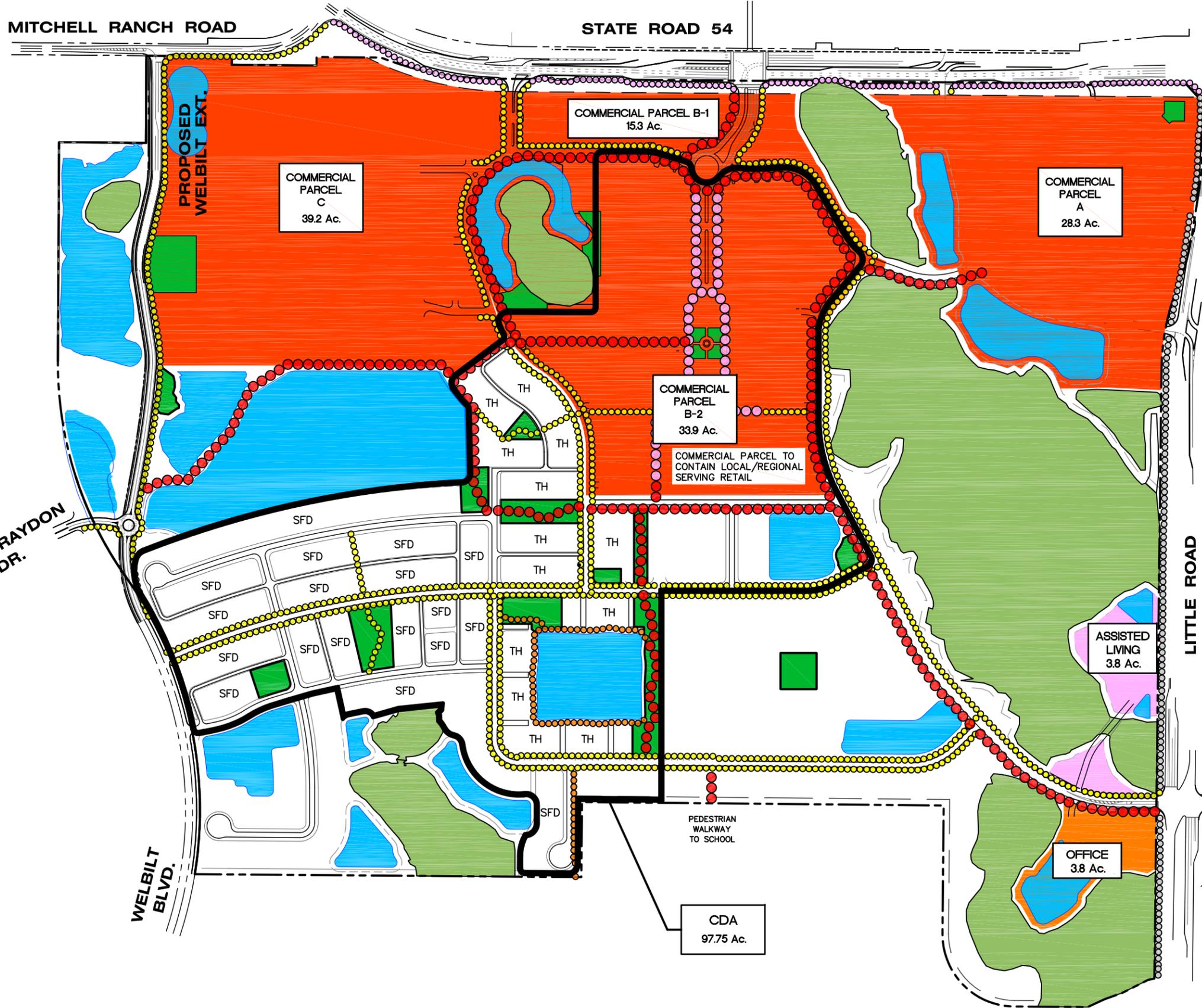
REGENCY

Design & Engineering, Inc.

9400 RIVER CROSSING BOULEVARD, SUITE 104 NEW PORT RICHEY, FLORIDA 34655
727-375-1155 EXT. 4 - FAX 727-375-1156

CERTIFICATE OF AUTHORIZATION NO. 28386





LEGEND

- COMMERCIAL
- OFFICE
- ASSISTED LIVING
- PONDS/RETENTION
- PARKS
- WETLANDS
- 10' MULTI-USE TRAIL
- 5' SIDEWALK
- 6' SIDEWALK
- 8' SIDEWALK
- 5-15' URBAN WALKWAY
- 8' EXISTING SIDEWALK
- CDA

NOTES:

1. BASED ON THE ILLUSTRATIVE PLAN.
2. THE ALIGNMENT OF THE EXTENSION OF WELBILT BOULEVARD IS SUBJECT TO CHANGE DURING ENGINEERING DESIGN. THE CONSTRUCTION OF THIS EXTENSION IS SUBJECT TO MOBILITY FEE CREDITS FROM PASCO COUNTY.
3. ROADWAY ALIGNMENTS AND INTERNAL ACCESS POINTS ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE DURING THE PERMITTING PROCESS WITHOUT REQUIRING A MPUD MODIFICATION.

LINCKS & ASSOCIATES, INC.
 5023 West Laurel Street
 Tampa, Florida 33607
 Tel (813) 289-0039
 Fax (813) 287-0674
 Lic. No. EB0004638

Engineers
Planners

DATE	05/16/14
DESIGNED	OAR/SJH
DRAWN	OAR
CHECKED	SJH
JOB NO.	13135

MITCHELL 54 WEST
EXHIBIT 'C'
MUTRM
MASTER PLAN

REVISIONS	DESCRIPTION
09/26/14	ADDED S/W ON LITTLE RD AND WELBILT AND REVISED 5' TRAIL.
09/29/14	ADDED NOTE 1.
10/06/14	REVISED SW ALONG WELBILT EXTENSION.
01/20/15	REVISED PER SITE PLAN AND ROADWAY LAYOUT CHANGES.
03/06/15	REVISED CDA AREA AND ADDED COMMERCIAL PARCEL NOTE.
03/19/15	ADDED MINI ROUNDABOUT AT BRAYDON DR AND WELBILT BLVD.
04/09/15	REVISED SIDEWALK ON SR 54 AND ADDED SIDEWALK TO MITCHELL RANCH ROAD.

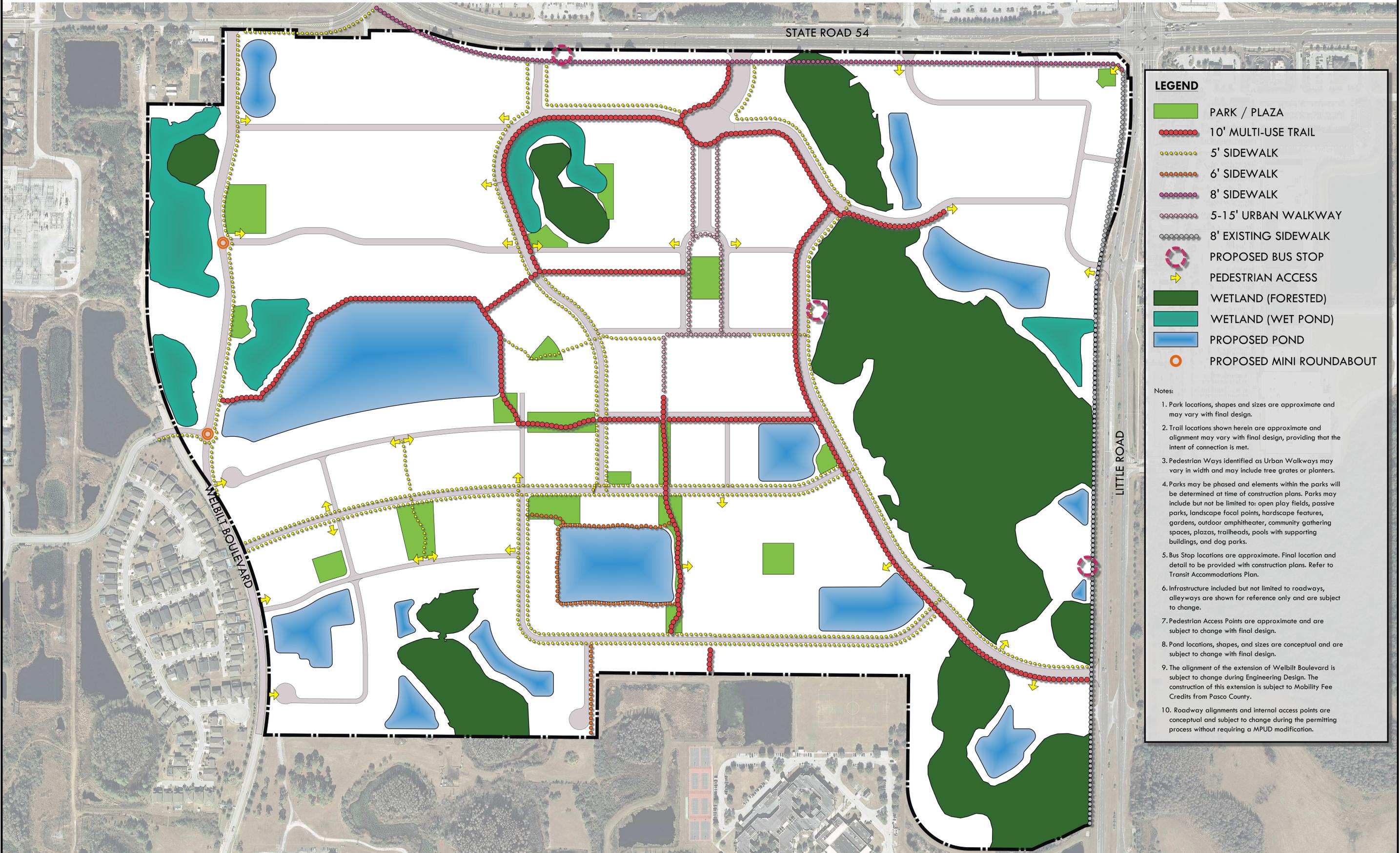
EXHIBIT D MITCHELL 54 WEST PARKS & PEDESTRIAN PLAN

KITSON
& PARTNERS

0 200' 400'
SCALE: 1" = 200'
This is a conceptual site plan and is subject to rezoning, final design, survey, environmental analysis, engineering, permitting and governmental approval. Site layout, product type and density are subject to change.

04/13/2015	Trail Welbilt/SR54
03/20/2015	Roundabout Welbilt
02/19/2015	Rev. per client comments
02/05/2015	Rev. per client comments
01/30/2015	Initial Submittal
Date	Revision

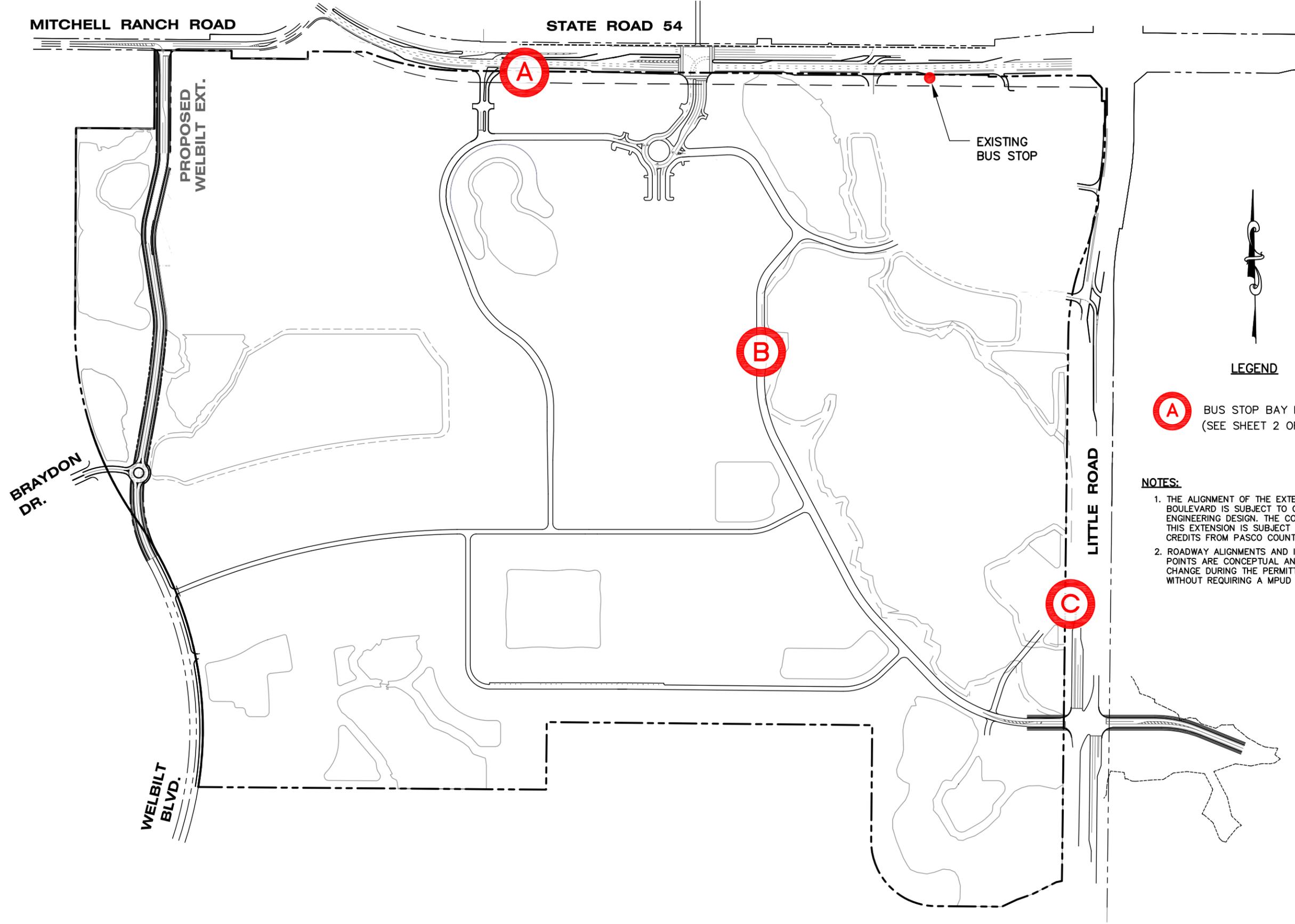
CLEARVIEW
LAND DESIGN, P.L.
Engineering Business C.A. No.: 28858
1213 E. 6th Avenue, Tampa, Florida 33605
Office: 813-223-3919 Fax: 813-223-3975



LEGEND

- PARK / PLAZA
- 10' MULTI-USE TRAIL
- 5' SIDEWALK
- 6' SIDEWALK
- 8' SIDEWALK
- 5-15' URBAN WALKWAY
- 8' EXISTING SIDEWALK
- PROPOSED BUS STOP
- PEDESTRIAN ACCESS
- WETLAND (FORESTED)
- WETLAND (WET POND)
- PROPOSED POND
- PROPOSED MINI ROUNDABOUT

- Notes:
1. Park locations, shapes and sizes are approximate and may vary with final design.
 2. Trail locations shown herein are approximate and alignment may vary with final design, providing that the intent of connection is met.
 3. Pedestrian Ways identified as Urban Walkways may vary in width and may include tree grates or planters.
 4. Parks may be phased and elements within the parks will be determined at time of construction plans. Parks may include but not be limited to: open play fields, passive parks, landscape focal points, hardscape features, gardens, outdoor amphitheater, community gathering spaces, plazas, trailheads, pools with supporting buildings, and dog parks.
 5. Bus Stop locations are approximate. Final location and detail to be provided with construction plans. Refer to Transit Accommodations Plan.
 6. Infrastructure included but not limited to roadways, alleyways are shown for reference only and are subject to change.
 7. Pedestrian Access Points are approximate and are subject to change with final design.
 8. Pond locations, shapes, and sizes are conceptual and are subject to change with final design.
 9. The alignment of the extension of Welbilt Boulevard is subject to change during Engineering Design. The construction of this extension is subject to Mobility Fee Credits from Pasco County.
 10. Roadway alignments and internal access points are conceptual and subject to change during the permitting process without requiring a MPUD modification.



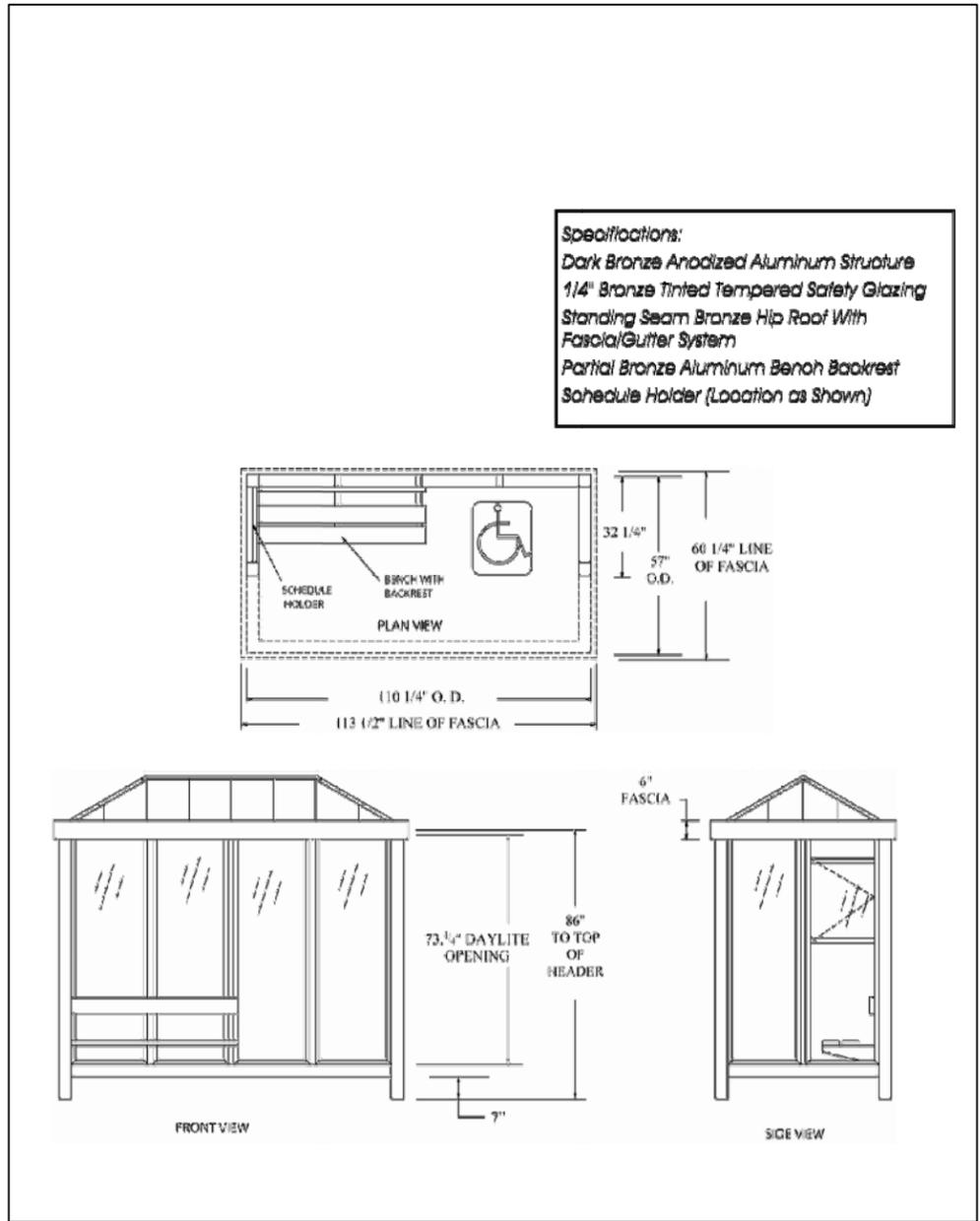
LEGEND

A BUS STOP BAY LOCATION
(SEE SHEET 2 OF 2 FOR DETAIL)

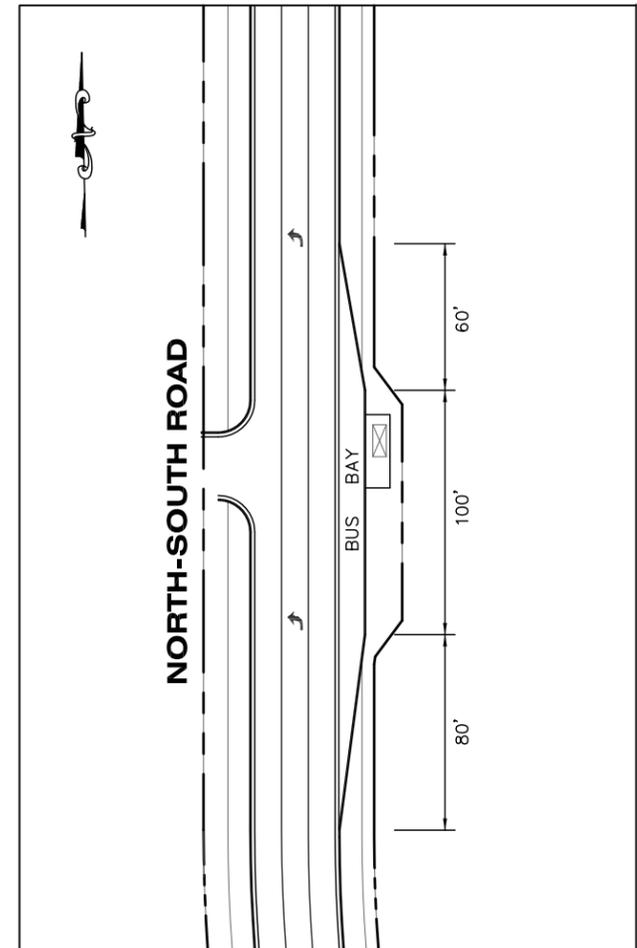
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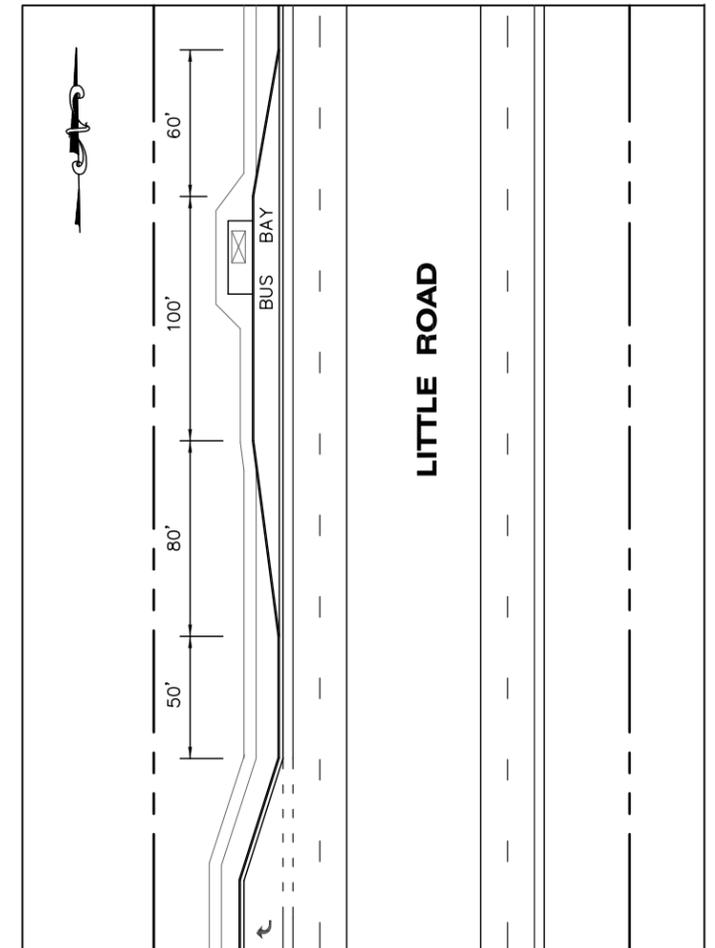
<p>REVISIONS</p> <p>03/20/15 ADDED MINI ROUNDABOUT AT BRAYDON DR.</p> <p>03/20/15 REVISED PER PASCO COUNTY COMMENTS.</p> <p>04/09/15 REMOVED OUT-PARCEL LINES, CURB CUTS, AND REVISED SHEET 2 OF 2.</p>		<p>DATE 01/30/15</p> <p>DESIGNED OAR/SJH</p> <p>DRAWN OAR</p> <p>CHECKED SJH</p> <p>JOB NO. 13135</p>	<p>5023 West Laurel Street Tampa, Florida 33607 Tel (813) 289-0039 Fax (813) 287-0674 Lic. No. EB0004638</p>
<p>MITCHELL 54 WEST EXHIBIT 'E'</p> <p>TRANSIT ACCOMMODATIONS PLAN</p>		<p>ENGINEERS PLANNERS</p>	<p>LINCKS & ASSOCIATES, INC.</p>
<p>1 OF 2</p>			



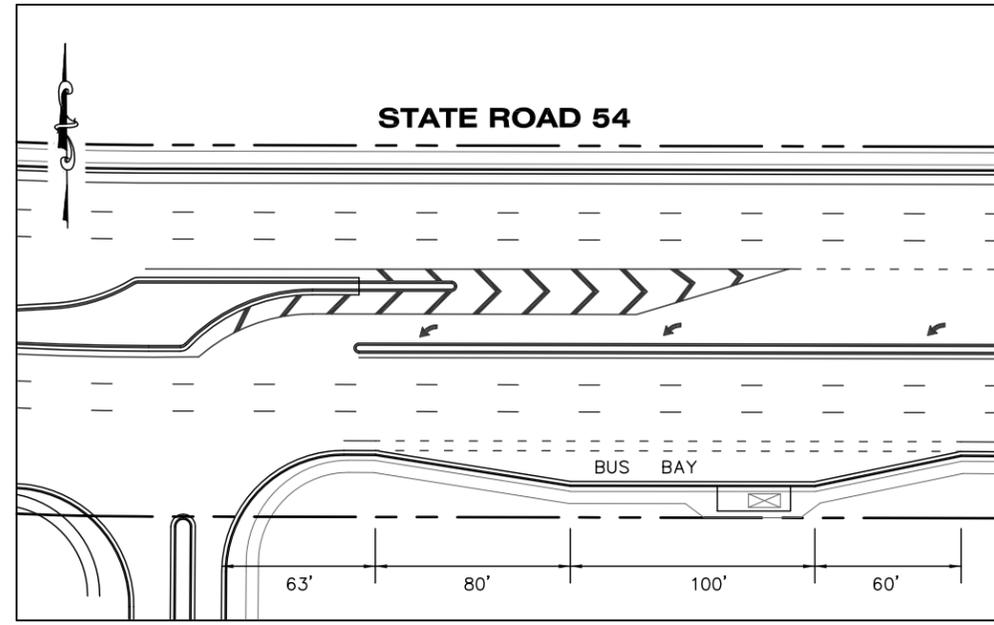
BUS STOP SHELTER DETAIL



BUS STOP BAY B LOCATION DETAIL



BUS STOP BAY C LOCATION DETAIL



BUS STOP BAY A LOCATION DETAIL

MITCHELL 54 WEST EXHIBIT 'E'
TRANSIT ACCOMMODATIONS PLAN

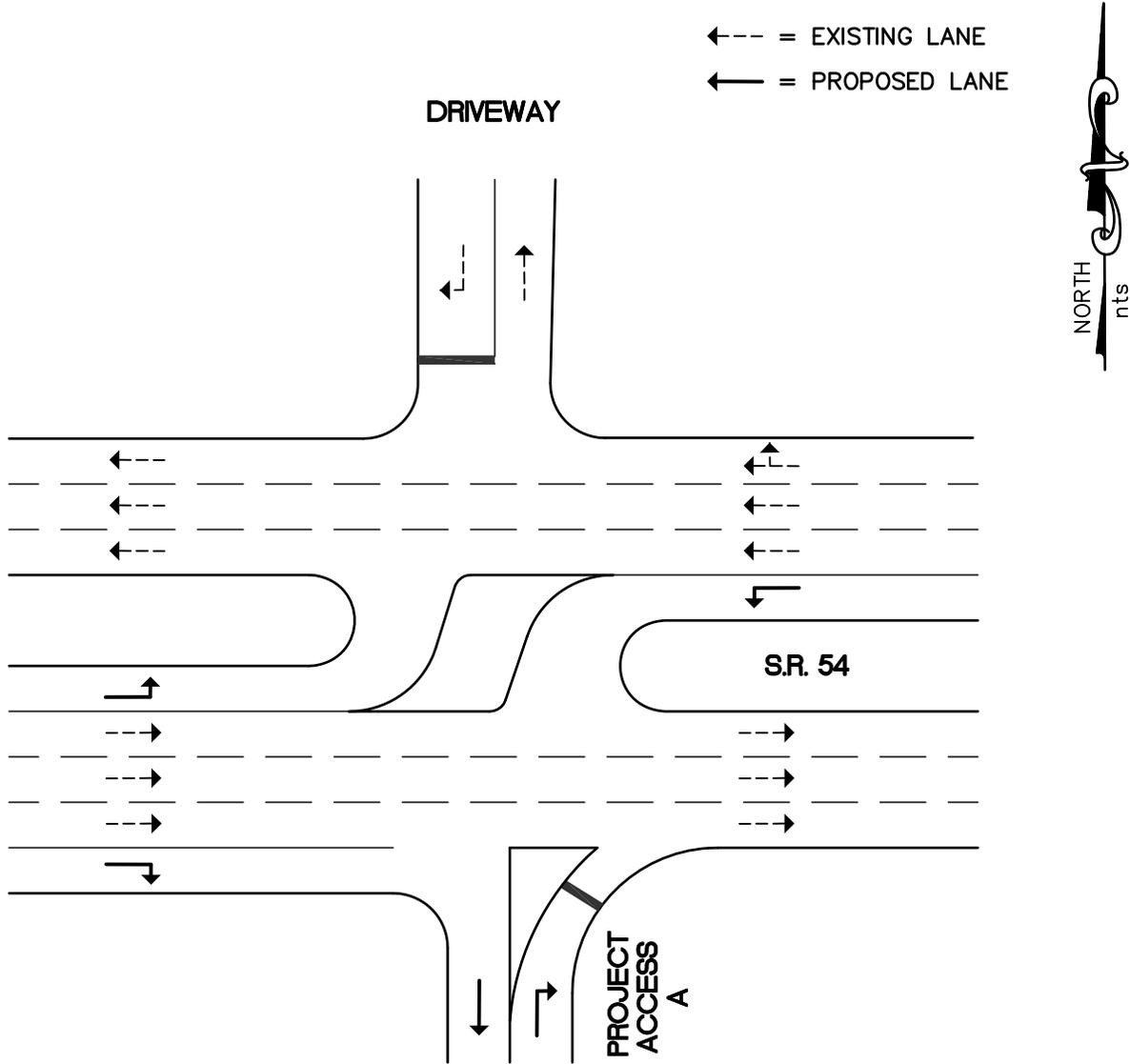
DATE	01/30/15
DESIGNED	OAR/SJH
DRAWN	OAR
CHECKED	SJH
JOB NO.	13135

LINCKS & ASSOCIATES, INC.
 5023 West Laurel Street
 Tampa, Florida 33607
 Tel (813) 289-0039
 Fax (813) 287-0674
 Lic. No. EB0004638

Engineers Planners

REVISIONS
03/20/15 REVISED PER PASCO COUNTY COMMENTS.
04/09/15 ADDED BUS SHELTER TO BUS STOP A AND REVISED BUS STOP B ROADWAY TEXT.

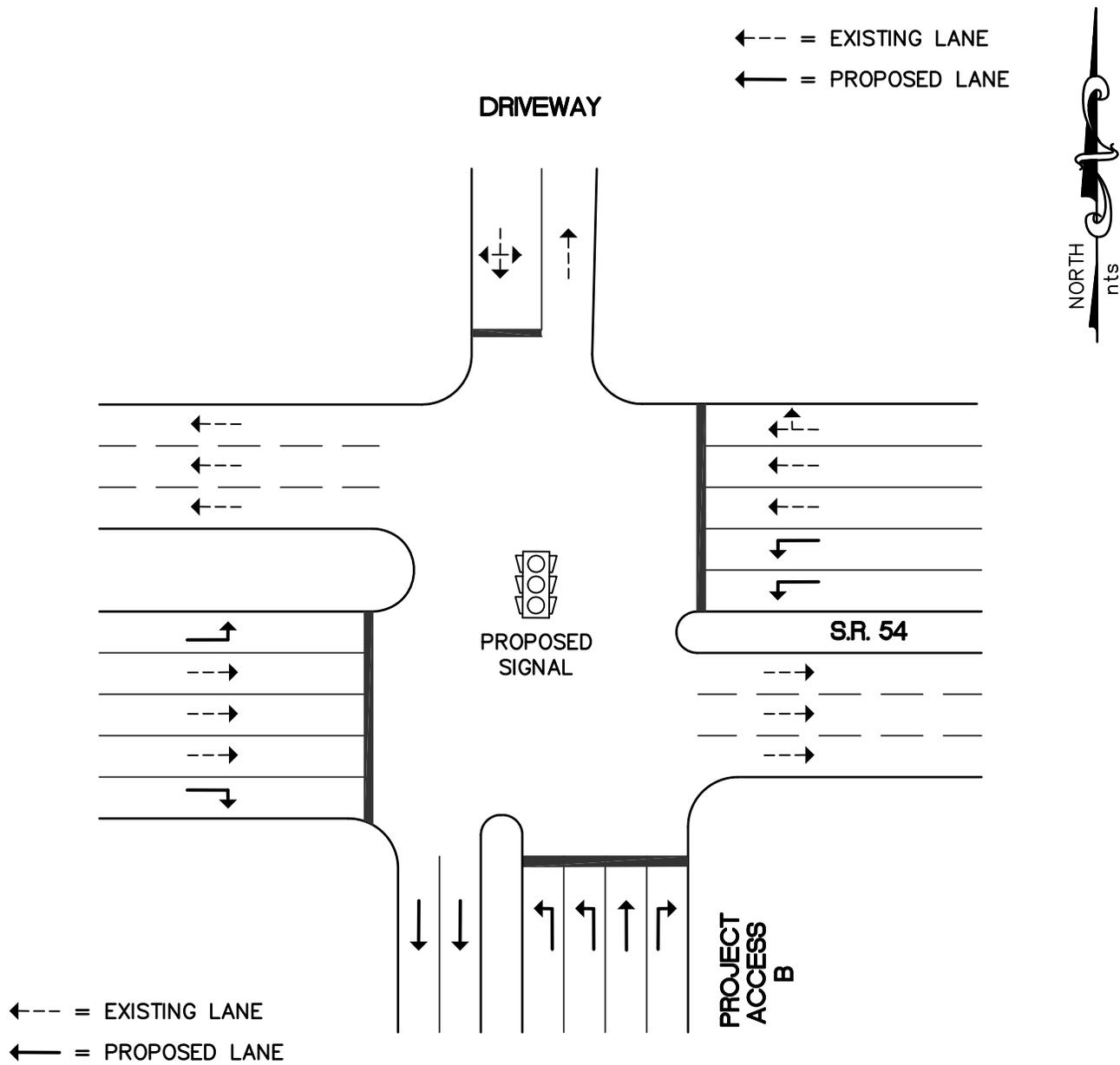
2 of 2



INTERSECTION GEOMETRY

<u>MOVEMENT</u>	<u>LANES</u>	<u>LANE LENGTH</u>
EBL	1	290'
EBR	1	265'
WBL	1	390'

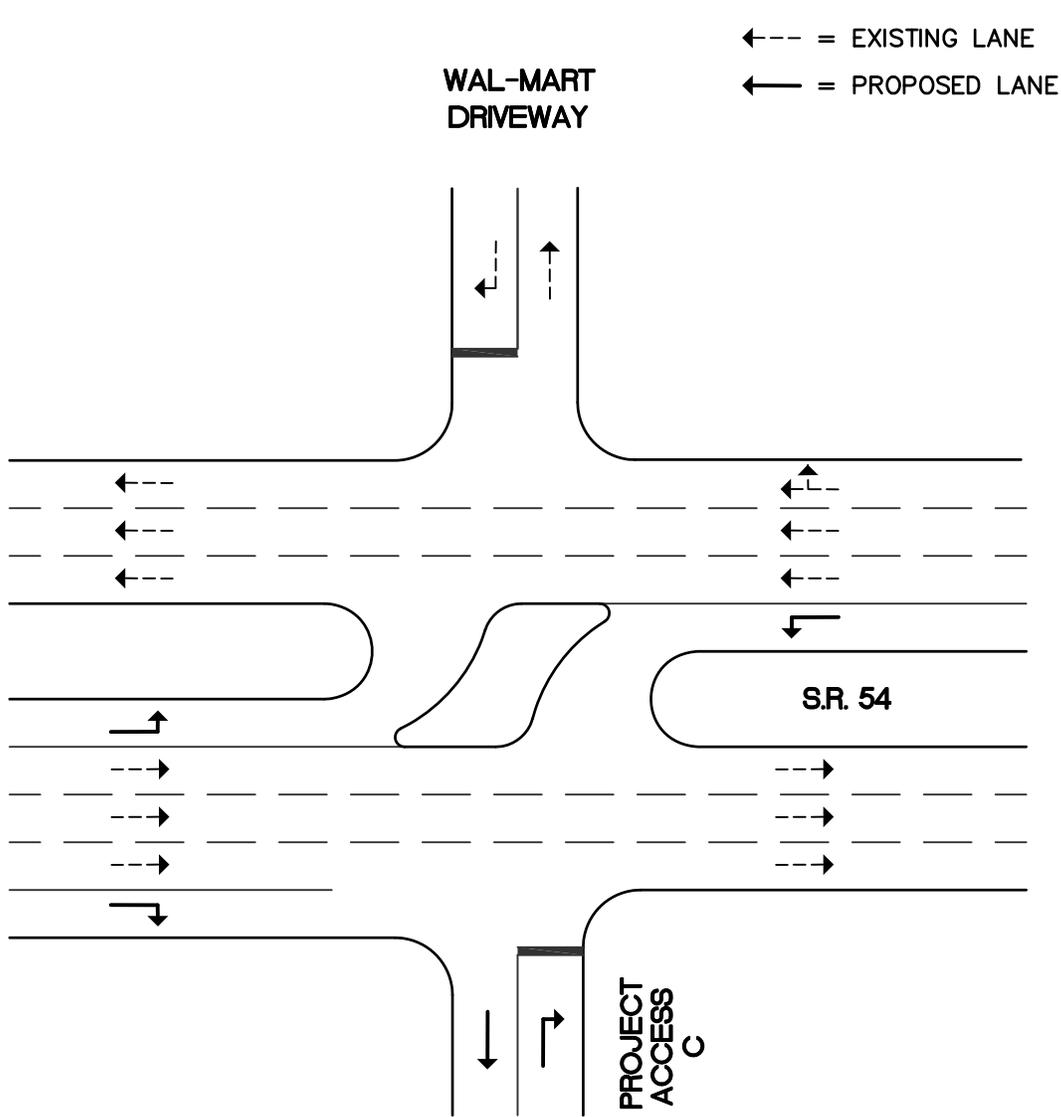
(1) TURN LANE LENGTH INCLUDE DECELERATION AND TAPER.



INTERSECTION GEOMETRY

<u>MOVEMENT</u>	<u>LANES</u>	<u>LANE LENGTH</u>
EBL	1	390'
EBR	1	290'
WBL	2	415'
NBL	2	
NBR	1	

(1) TURN LANE LENGTH INCLUDE DECELERATION AND TAPER.



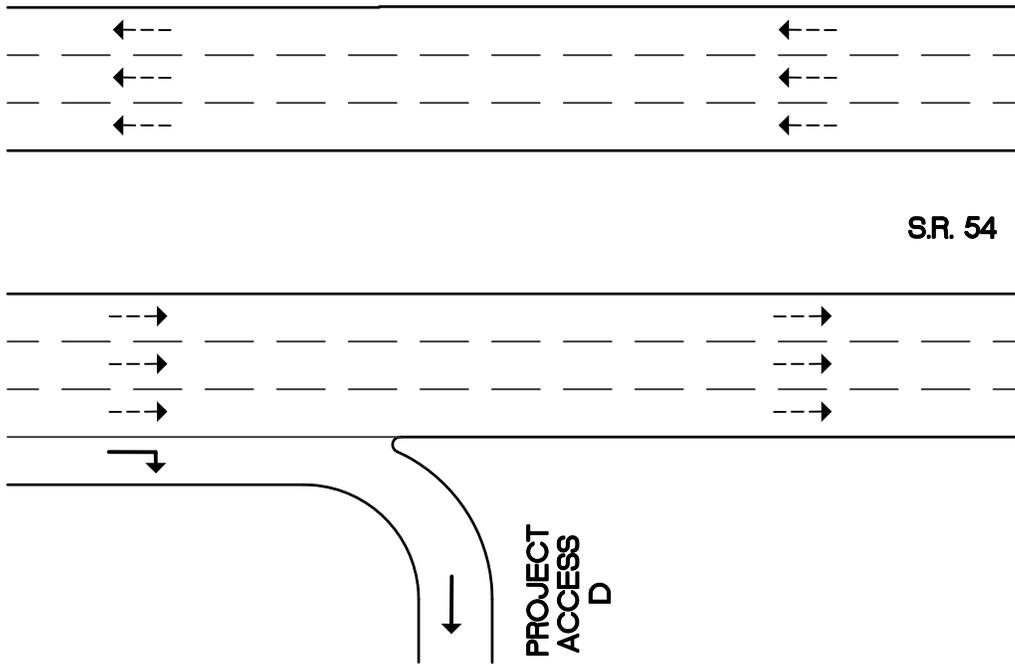
←--- = EXISTING LANE
← = PROPOSED LANE

INTERSECTION GEOMETRY

<u>MOVEMENT</u>	<u>LANES</u>	<u>LANE LENGTH</u>
EBL	1	390'
EBR	1	265'
WBL	1	315'

(1) TURN LANE LENGTH INCLUDE DECELERATION AND TAPER.

←--- = EXISTING LANE
 ← = PROPOSED LANE



←--- = EXISTING LANE
 ← = PROPOSED LANE

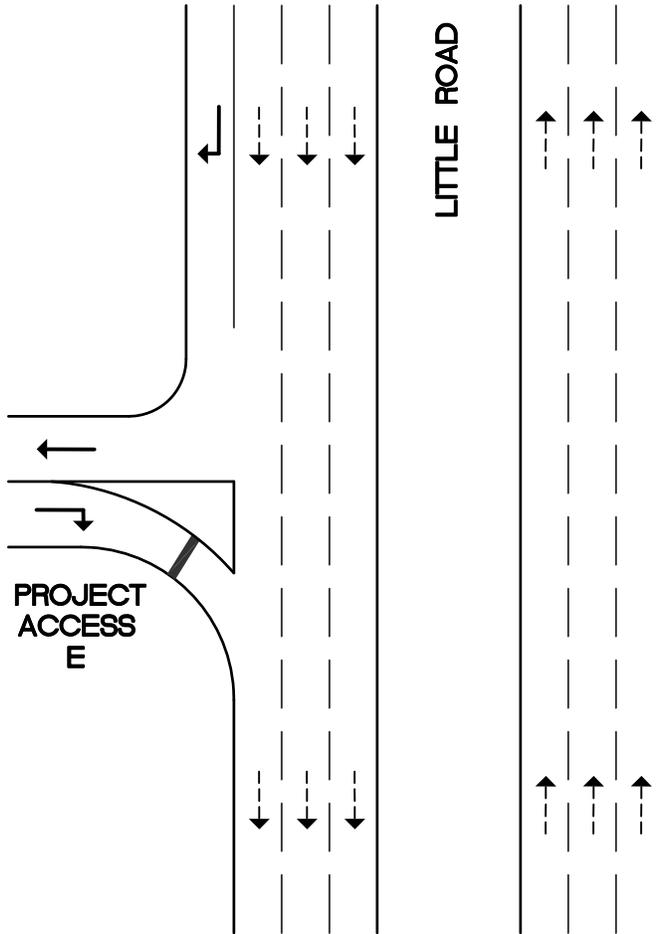
INTERSECTION GEOMETRY

<u>MOVEMENT</u>	<u>LANES</u>	<u>LANE LENGTH</u>
EBR	1	265'

(1) TURN LANE LENGTH INCLUDE DECELERATION AND TAPER.

EXHIBIT F-4

← - - = EXISTING LANE
 ← = PROPOSED LANE

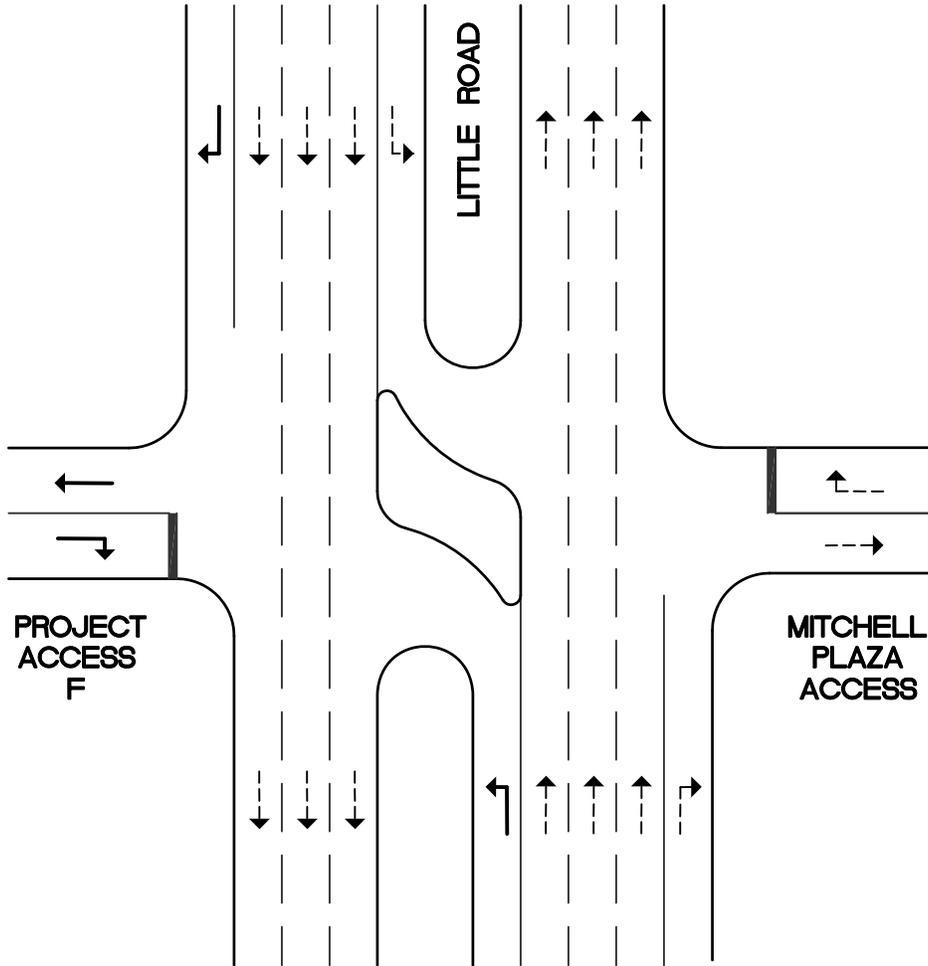


INTERSECTION GEOMETRY

<u>MOVEMENT</u>	<u>LANES</u>	<u>LANE LENGTH</u>
SBR	1	210'

(1) TURN LANE LENGTH INCLUDE DECELERATION AND TAPER.

←--- = EXISTING LANE
 ← = PROPOSED LANE

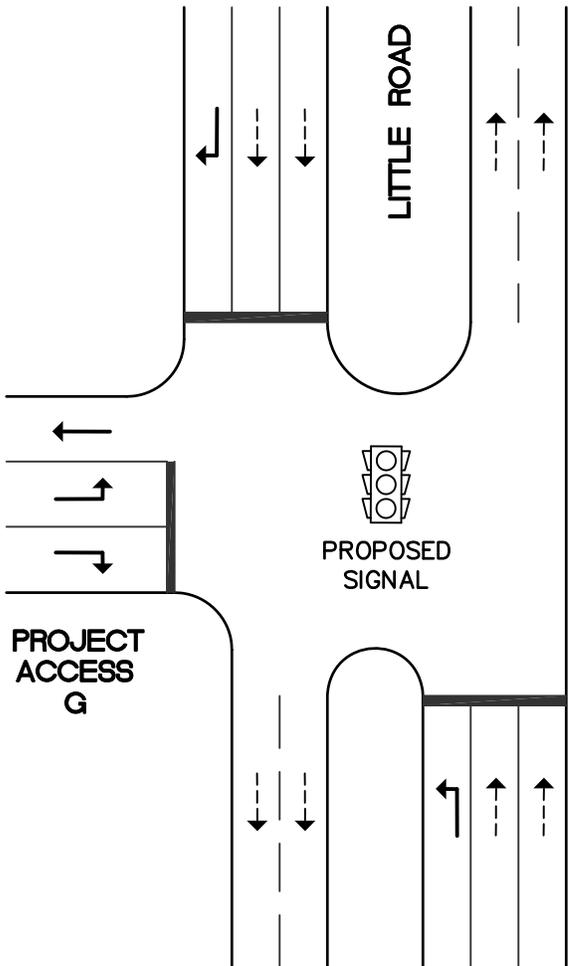


INTERSECTION GEOMETRY

<u>MOVEMENT</u>	<u>LANES</u>	<u>LANE LENGTH</u>
NBL	1	450'
SBR	1	375'

(1) TURN LANE LENGTH INCLUDE DECELERATION AND TAPER.

← - - - = EXISTING LANE
 ← ——— = PROPOSED LANE

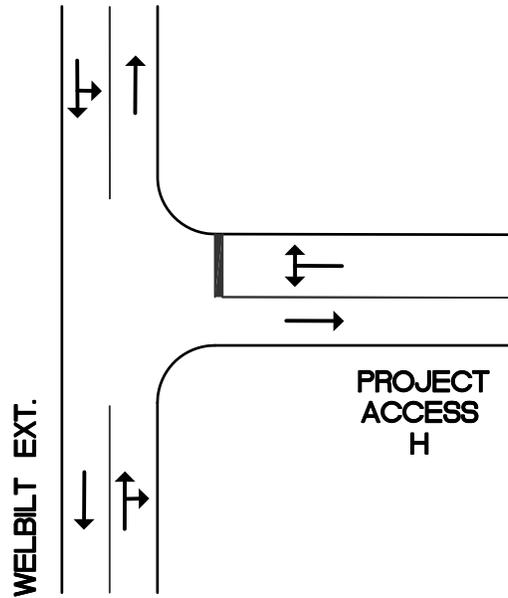


INTERSECTION GEOMETRY

<u>MOVEMENT</u>	<u>LANES</u>	<u>LANE LENGTH</u>
NBL	1	575'
SBR	1	575'
EBL	1	

(1) TURN LANE LENGTH INCLUDE DECELERATION AND TAPER.

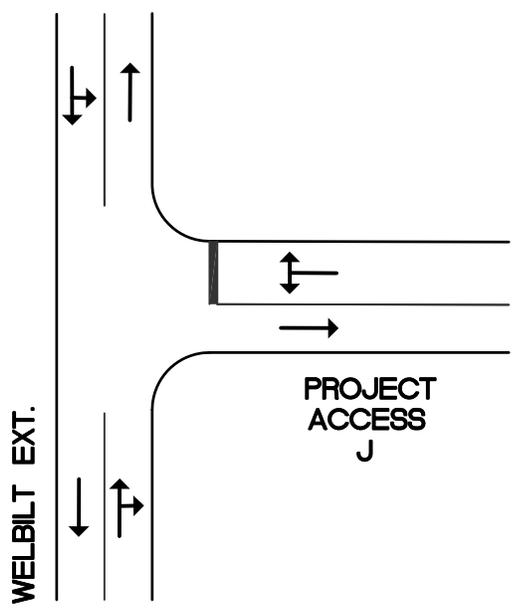
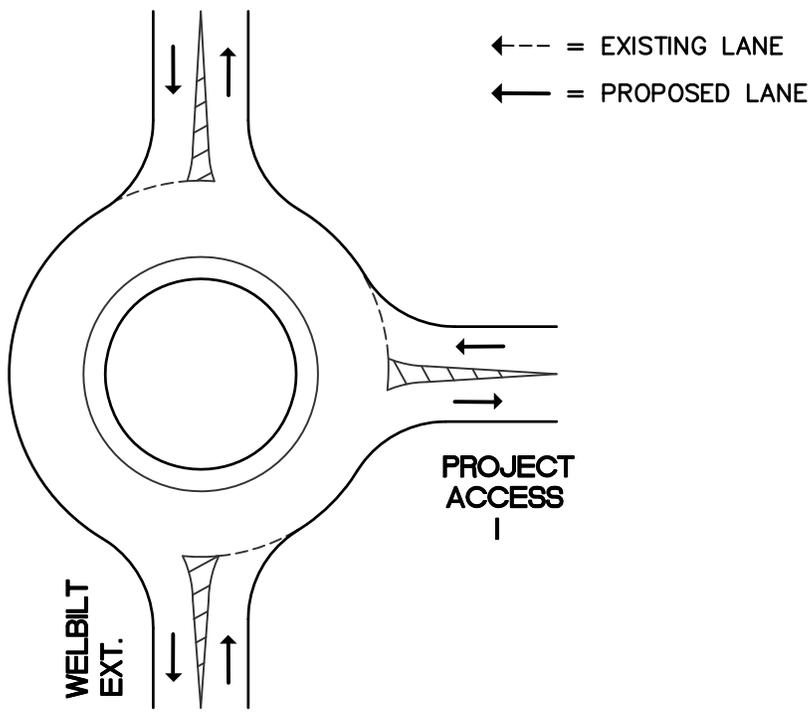
←-- = EXISTING LANE
 ← = PROPOSED LANE



INTERSECTION GEOMETRY

<u>MOVEMENT</u>	<u>LANES</u>	<u>LANE LENGTH (1)</u>
SBL	1	195'

(1) TURN LANE LENGTH INCLUDE DECELERATION AND TAPER.



(1) A MINI ROUNDABOUT WILL BE CONSTRUCTED AT ACCESS I OR J. THE DETERMINATION OF THE LOCATION SHALL BE THE SOLE DISCRETION OF THE DEVELOPER.

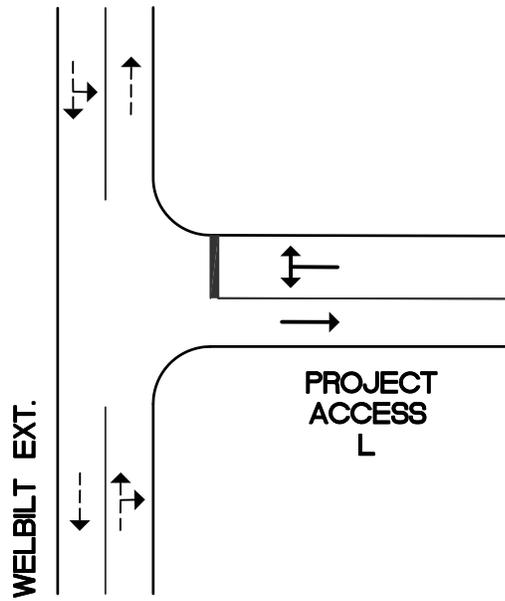
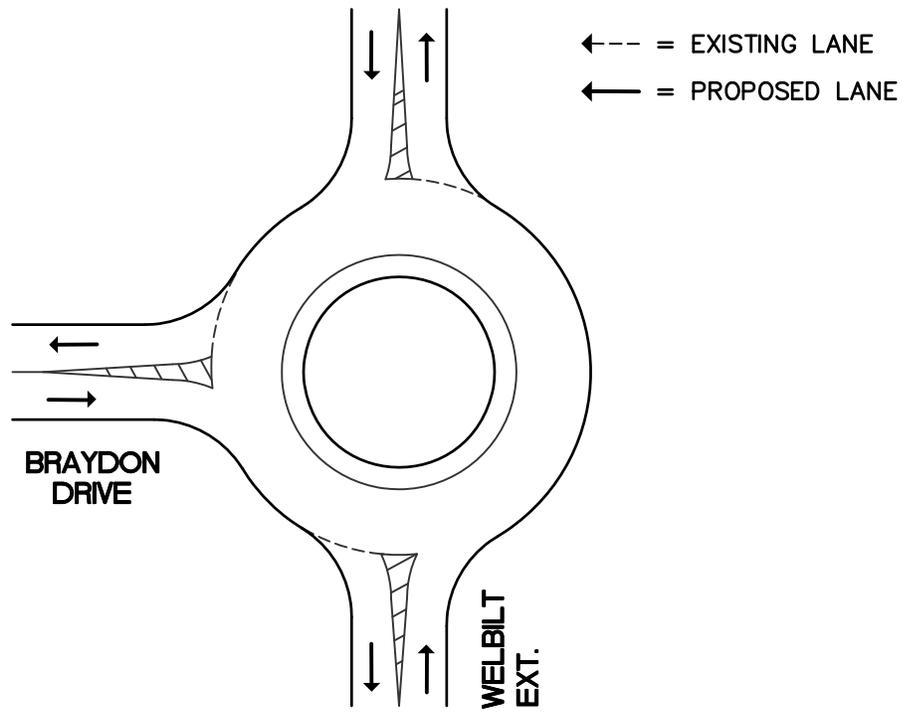


EXHIBIT G

PHASING INFORMATION FOR EXTERNAL SITE ACCESS IMPROVEMENTS

<u>Access</u>	<u>Percent of Total</u>
A	18%
B	28%
C	9%
D	2%
E	5%
F	7%
G	24%
H	1%
I	1%
J	1%
L	<u>4%</u>
	100%

EXHIBIT H

TRIP GENERATION MONITORING TABLE
(GROSS TRIPS)

<u>PERIOD</u>	<u>IN</u>	<u>OUT</u>	<u>TOTAL</u>
PM PEAK HOUR	1,724	1,695	3,419

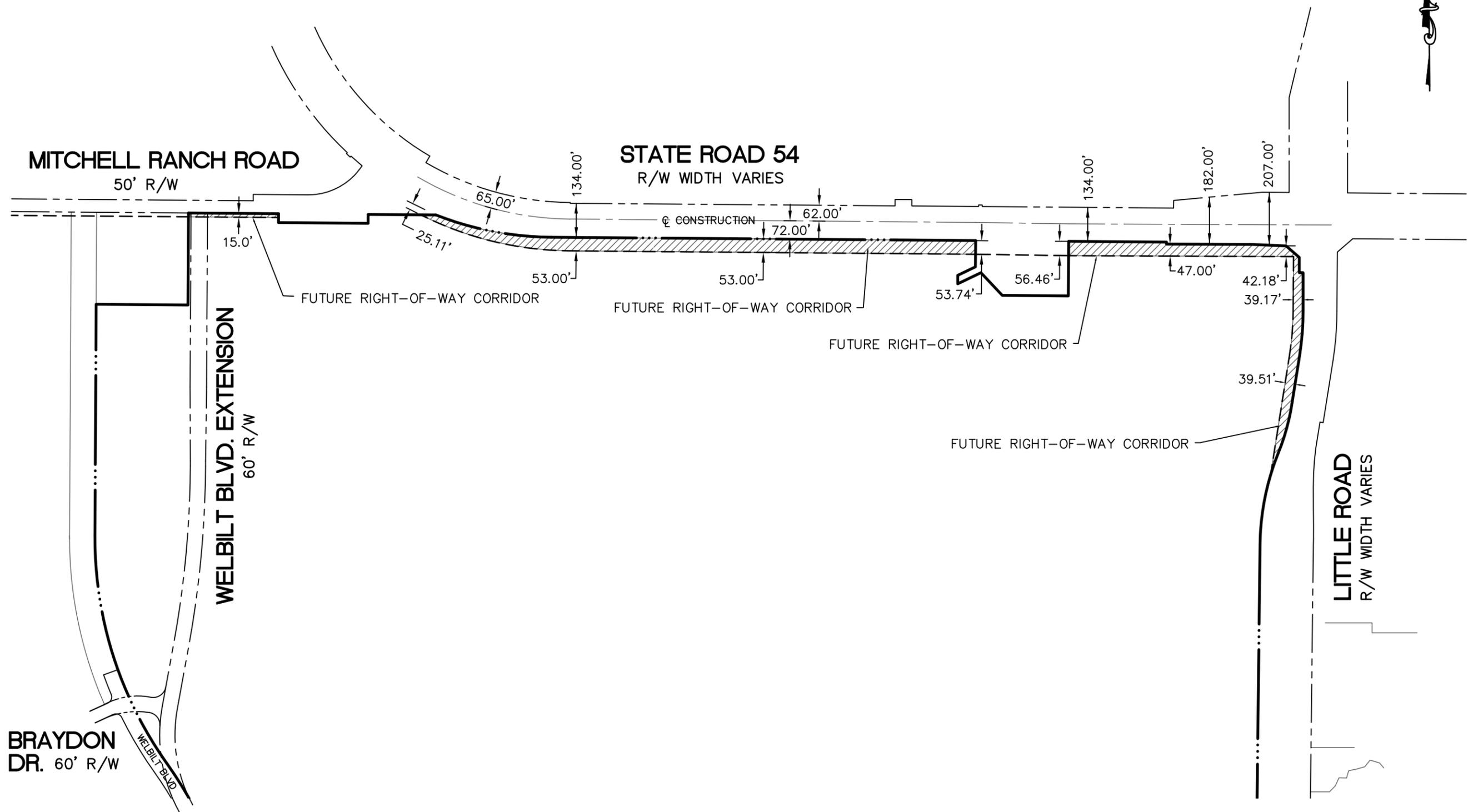
MITCHELL RANCH ROAD
50' R/W

WELBILT BLVD. EXTENSION
60' R/W

BRAYDON DR. 60' R/W

STATE ROAD 54
R/W WIDTH VARIES

LITTLE ROAD
R/W WIDTH VARIES



REVISIONS
03/20/15 ADDED RIGHT-OF-WAY AT BRAYDON DR.

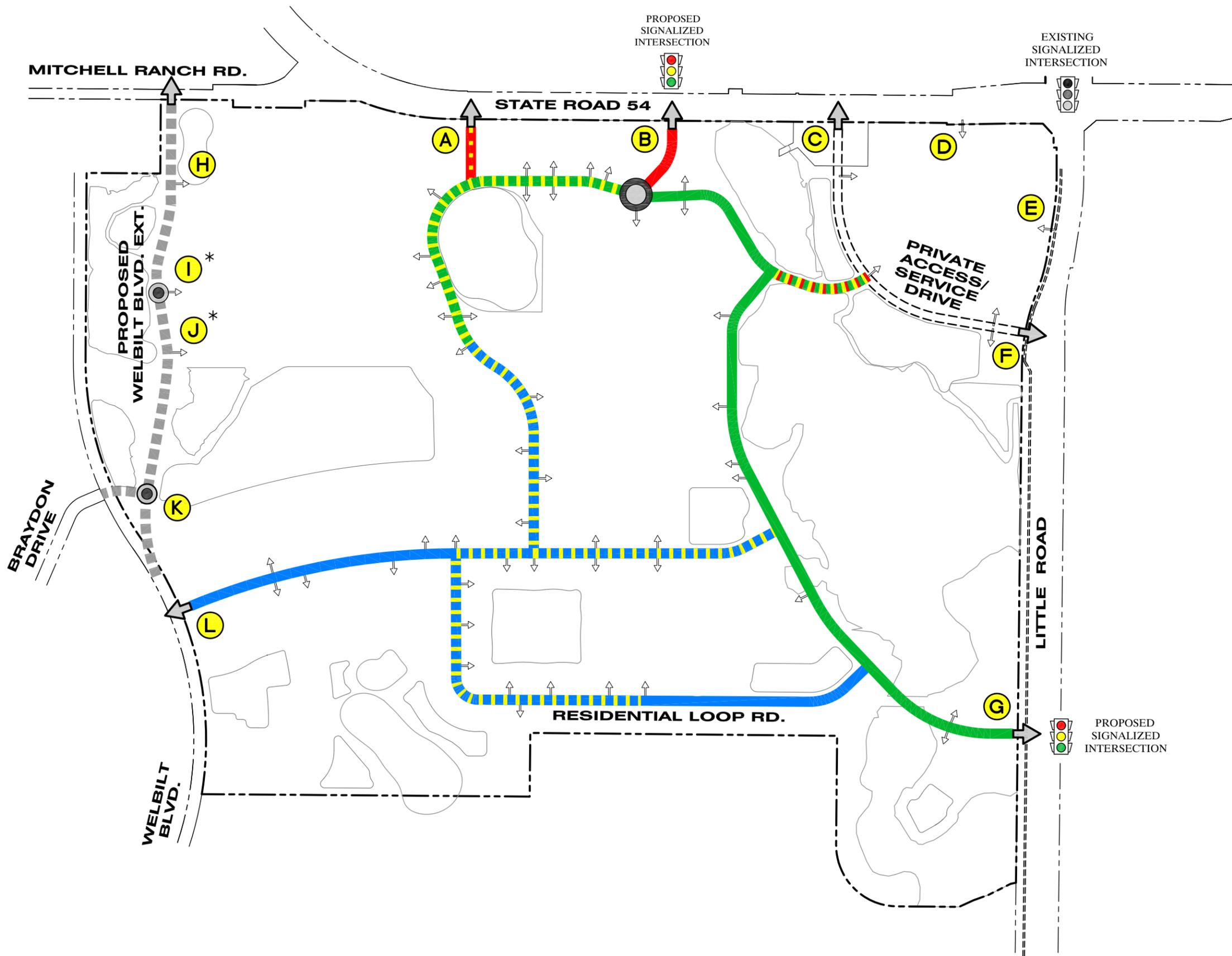
MITCHELL 54 WEST
EXHIBIT 'I'
**RIGHT-OF-WAY
DEDICATIONS**

DATE	01/30/15
DESIGNED	OAR/SJH
DRAWN	OAR
CHECKED	SJH
JOB NO.	19135



LINCKS & ASSOCIATES, INC.
5023 West Laurel Street
Tampa, Florida 33607
Tel (813) 289-0039
Fax (813) 287-0674
Lic. No. EB0004638

Engineers
Planners



LEGEND

- 113' ROW
NO ON-STREET PARKING
- 70' ROW
NO ON-STREET PARKING
- 51' ROW
ON-STREET PARKING
- 55' ROW
ON-STREET PARKING
- 70' ROW
NO ON-STREET PARKING
- 60' ROW
NO ON-STREET PARKING
- 43' ROW
NO ON-STREET PARKING
- 60' ROW - PROPOSED
NO ON-STREET PARKING
- PRIVATE ACCESS DRIVE
- PROPERTY BOUNDARY
- RIGHT-OF-WAY
- EXISTING 8' SIDEWALK
- ROUNDABOUT
- MINI ROUNDABOUT
- HIGHWAY ACCESS
- PARCEL ACCESS
- EXISTING SIGNAL
- PROPOSED SIGNAL
- ACCESS DESIGNATION
(SEE SHEET 4 FOR DETAILS)

NOTES:

1. THE ALIGNMENT OF THE EXTENSION OF WELBILT BOULEVARD IS SUBJECT TO CHANGE DURING ENGINEERING DESIGN. THE CONSTRUCTION OF THIS EXTENSION IS SUBJECT TO MOBILITY FEE CREDITS FROM PASCO COUNTY.
2. ROADWAY ALIGNMENTS AND INTERNAL ACCESS POINTS ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE DURING THE PERMITTING PROCESS WITHOUT REQUIRING A MPUD MODIFICATION.
- * 3. A MINI ROUNDABOUT WILL BE CONSTRUCTED AT ACCESS I OR J. THE DETERMINATION OF THE LOCATION SHALL BE THE SOLE DISCRETION OF THE DEVELOPER.

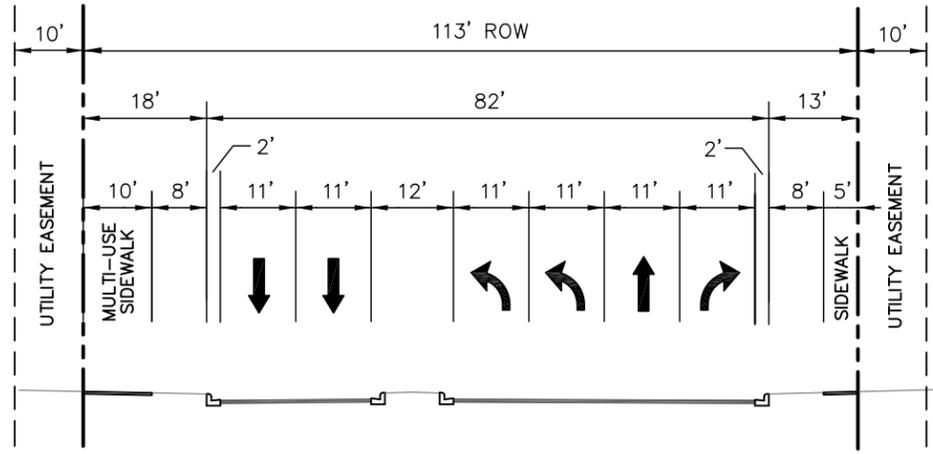
LINCKS & ASSOCIATES, INC.
 5023 West Laurel Street
 Tampa, Florida 33607
 Tel (813) 289-0039
 Fax (813) 287-0674
 Lic. No. EB0004638



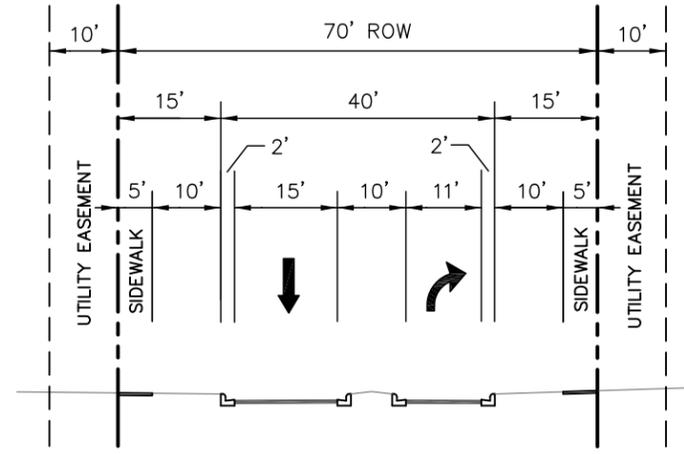
DATE	05/16/14
DESIGNED	OAR/SJH
DRAWN	OAR
CHECKED	SJH
JOB NO.	13135

**MITCHELL 54 WEST
EXHIBIT 'J'
MASTER ROADWAY
PHASING PLAN**

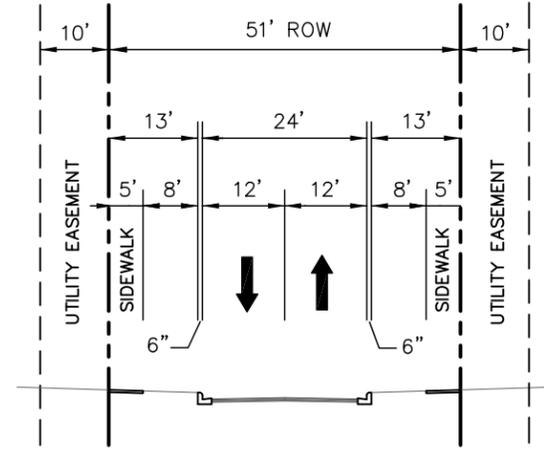
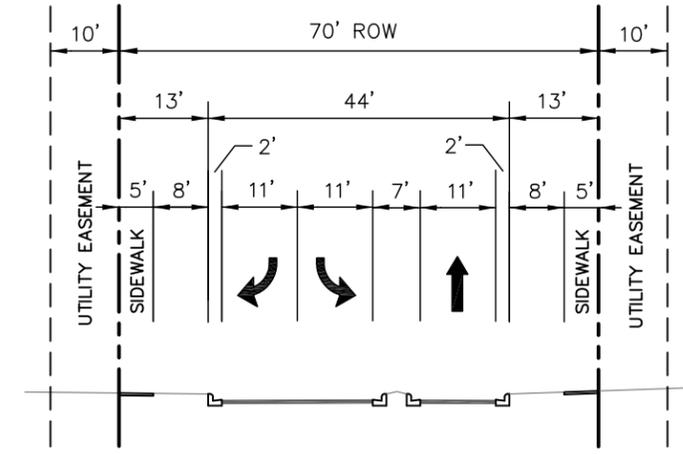
REVISIONS	DATE	DESCRIPTION
09/15/14		REVISED ROADWAY LINES, SIDEWALKS, AND BUFFERS.
10/06/14		REVISED ROADWAY RIGHT-OF-WAY.
10/23/14		ADDED 43' ROW ROADWAY.
07/20/15		REVISED PER SITE PLAN AND ROADWAY LAYOUT CHANGES.
02/06/15		ADDED ACCESS DESIGNATIONS.
03/18/15		REVISED ACCESSES AND ADDED MINI ROUNDABOUTS.
04/09/15		REVISED CROSS SECTION ON SHEET 2 OF 4.



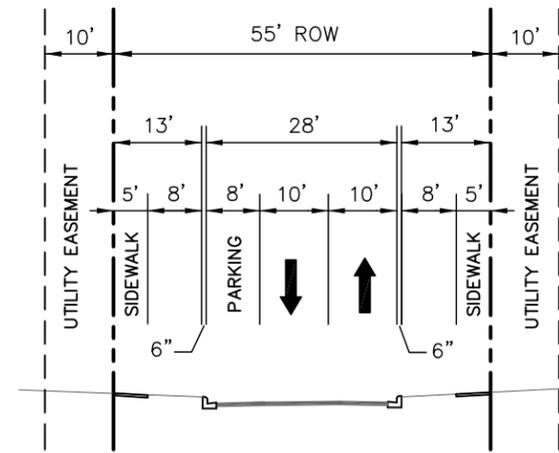
TYPICAL SECTION
 113' RIGHT-OF-WAY
 NO ON-STREET PARKING
 LOW
 DESIGN SPEED: 30-35MPH



TYPICAL SECTION
 70' RIGHT-OF-WAY
 NO ON-STREET PARKING
 LOW
 DESIGN SPEED: 30-35MPH



TYPICAL SECTION
 51' RIGHT-OF-WAY
 ON-STREET PARKING
 YIELD
 DESIGN SPEED: 10-20MPH



TYPICAL SECTION
 55' RIGHT-OF-WAY
 ON-STREET PARKING
 YIELD
 DESIGN SPEED: 10-20MPH



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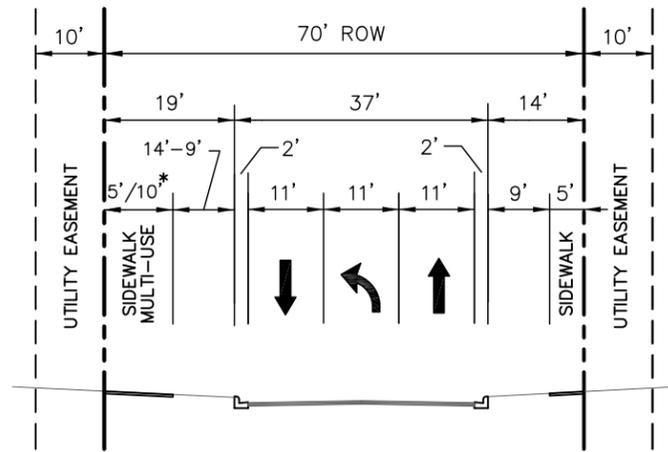


**Engineers
 Planners**

DATE	05/16/14
DESIGNED	OAR/SJH
DRAWN	OAR
CHECKED	SJH
JOB NO.	13135

MITCHELL 54 WEST
 EXHIBIT 'J'
**MASTER ROADWAY
 PHASING PLAN**

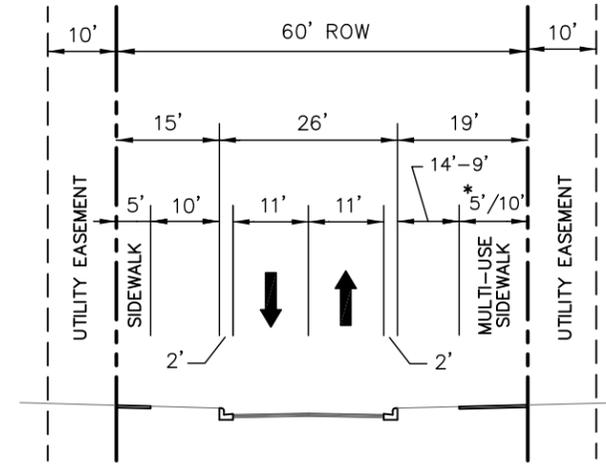
REVISIONS
09/15/14 REVISED ROADWAY LANES, SIDEWALKS, AND BUFFERS.
01/20/15 REVISED PER SITE PLAN AND ROADWAY LAYOUT CHANGES.
04/09/15 REVISED CROSS SECTION LANE ARROWS.



TYPICAL SECTION - N/S ROAD
 70' RIGHT-OF-WAY
 NO ON-STREET PARKING
 SLOW
 DESIGN SPEED: 20-25MPH



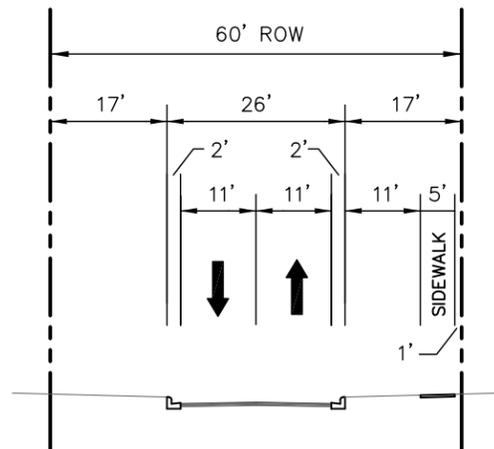
* 5'/10' - SEE THE PEDESTRIAN, TRAILS, PARKS, & MOBILITY PLAN FOR THE LOCATION OF 5' OR 10' SIDEWALK



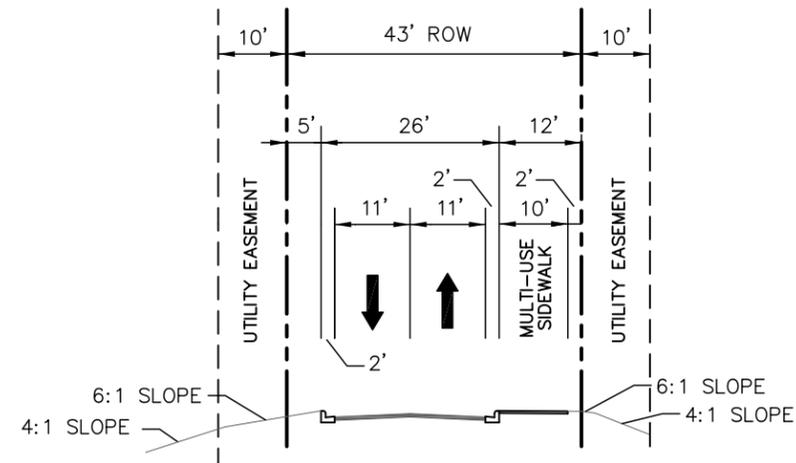
TYPICAL SECTION
 60' RIGHT-OF-WAY
 NO ON-STREET PARKING
 YIELD
 DESIGN SPEED: 10-20MPH



* 5'/10' - SEE THE PEDESTRIAN, TRAILS, PARKS, & MOBILITY PLAN FOR THE LOCATION OF 5' OR 10' SIDEWALK



**TYPICAL SECTION
 WELBILT BLVD. EXTENSION**
 60' RIGHT-OF-WAY
 NO ON-STREET PARKING
 SLOW
 DESIGN SPEED: 20-25MPH



TYPICAL SECTION
 43' RIGHT-OF-WAY
 NO ON-STREET PARKING
 YIELD
 DESIGN SPEED: 10-20MPH



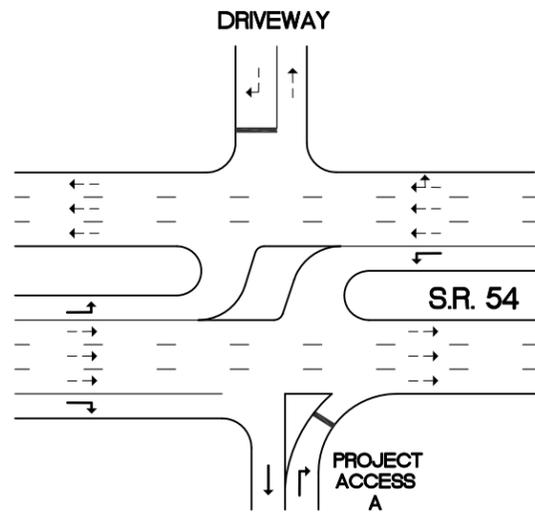
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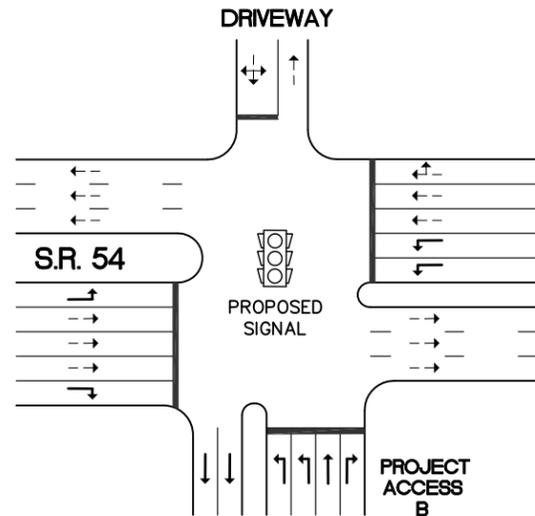
DATE	05/16/14
DESIGNED	OAR/SJH
DRAWN	OAR
CHECKED	SJH
JOB NO.	13135

MITCHELL 54 WEST
 EXHIBIT 'J'
**MASTER ROADWAY
 PHASING PLAN**

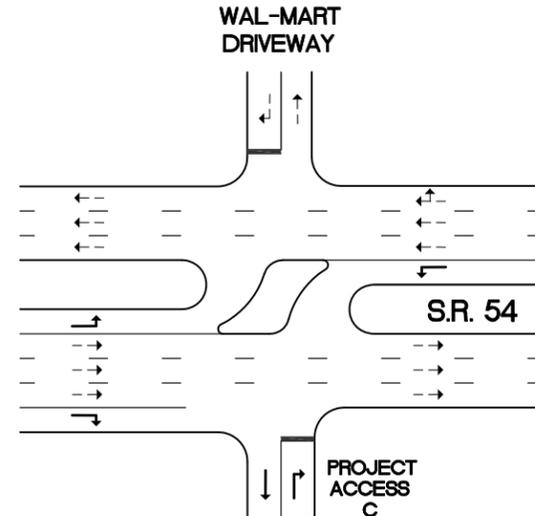
REVISIONS
09/15/14 REVISED ROADWAY LANES, SIDEWALKS, AND BUFFERS.
10/23/14 ADDED NEW 43' ROW CROSS SECTION.
01/20/15 REVISED PER SITE PLAN AND ROADWAY LAYOUT CHANGES.
03/16/15 REVISED PER ROADWAY LAYOUT CHANGES.
04/09/15 REVISED CROSS SECTION DETAIL TEXT.



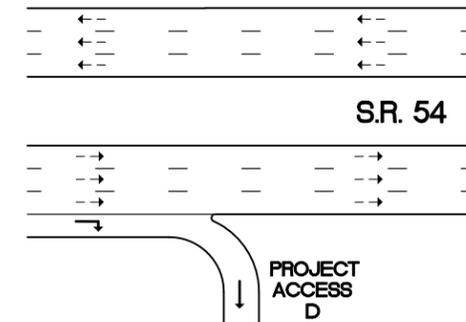
ACCESS (A) DETAIL



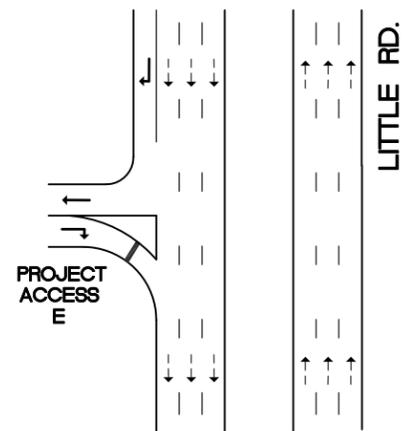
ACCESS (B) DETAIL



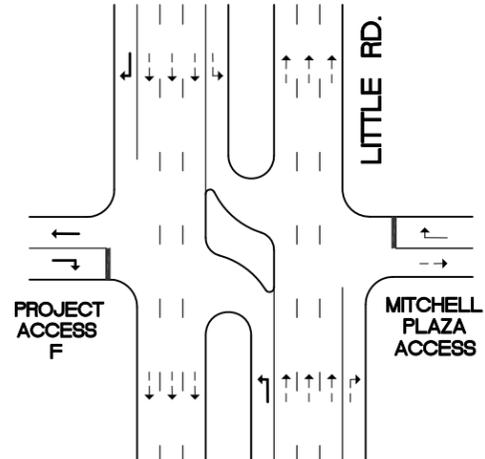
ACCESS (C) DETAIL



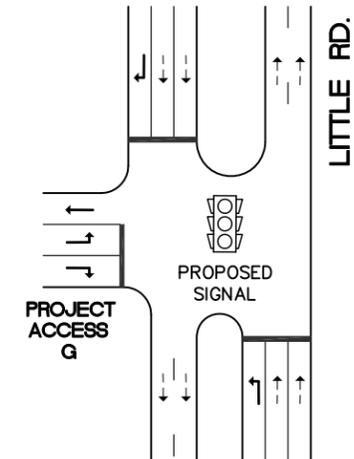
ACCESS (D) DETAIL



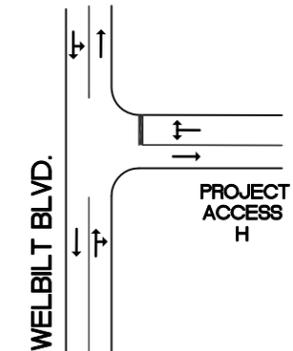
ACCESS (E) DETAIL



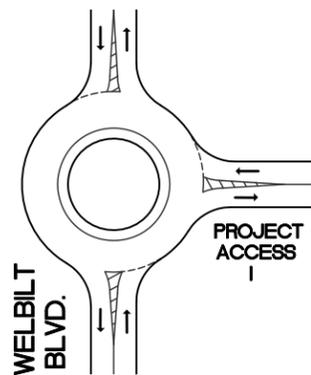
ACCESS (F) DETAIL



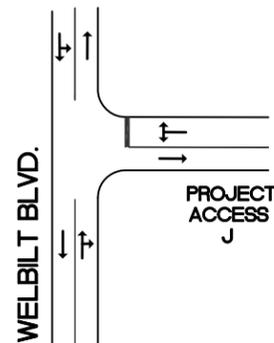
ACCESS (G) DETAIL



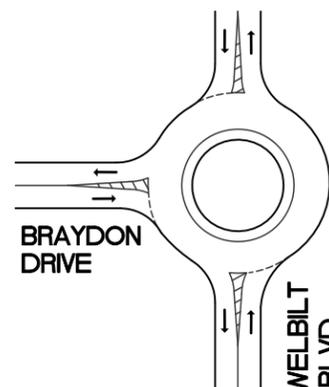
ACCESS (H) DETAIL



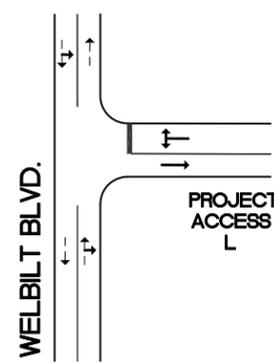
ACCESS (I) DETAIL*



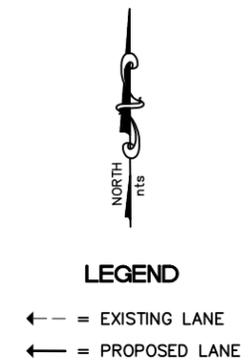
ACCESS (J) DETAIL*



ACCESS (K) DETAIL



ACCESS (L) DETAIL



* A MINI ROUNDABOUT WILL BE CONSTRUCTED AT ACCESS I OR J. THE DETERMINATION OF THE LOCATION SHALL BE THE SOLE DISCRETION OF THE DEVELOPER.

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DATE	02/06/15
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CHECKED	SJH
JOB NO.	13135

MITCHELL 54 WEST
 EXHIBIT 'J'
**MASTER ROADWAY
 PHASING PLAN**

REVISIONS
03/06/15 REVISED ACCESSES I AND H.
03/20/15 REVISED ACCESSES J AND K.