

4-5-15 Approval
for Non Substantial Modification
for Phasing 1 & 2

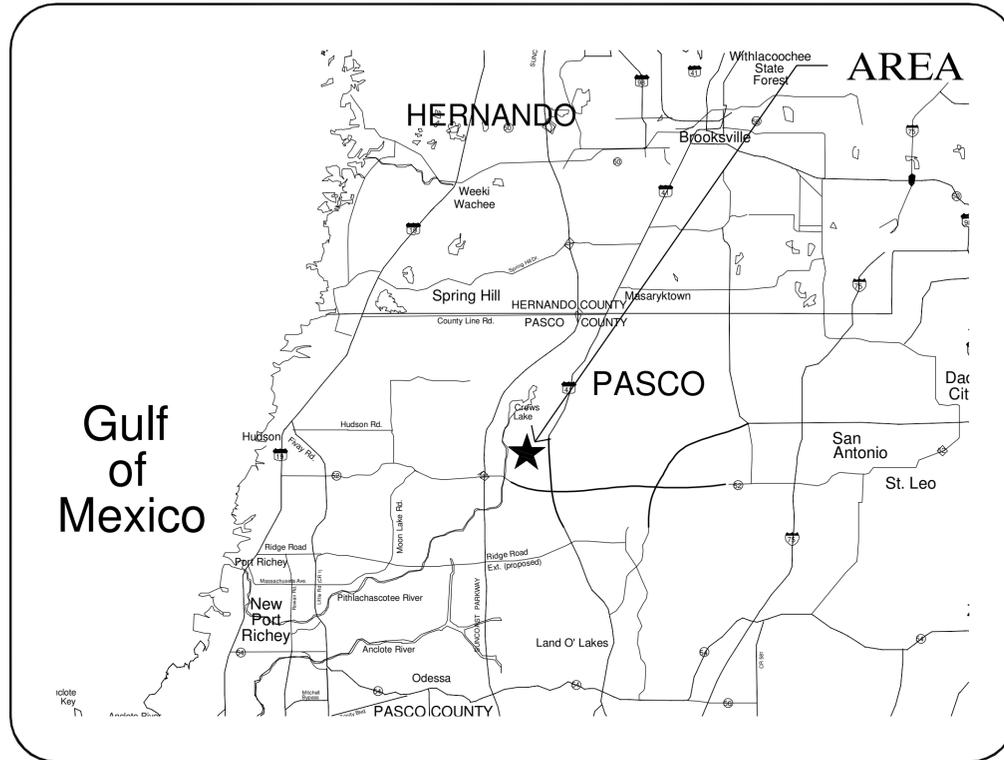
TALAVERA AMENITIES CENTER

NON-SUBSTANTIAL MODIFICATION

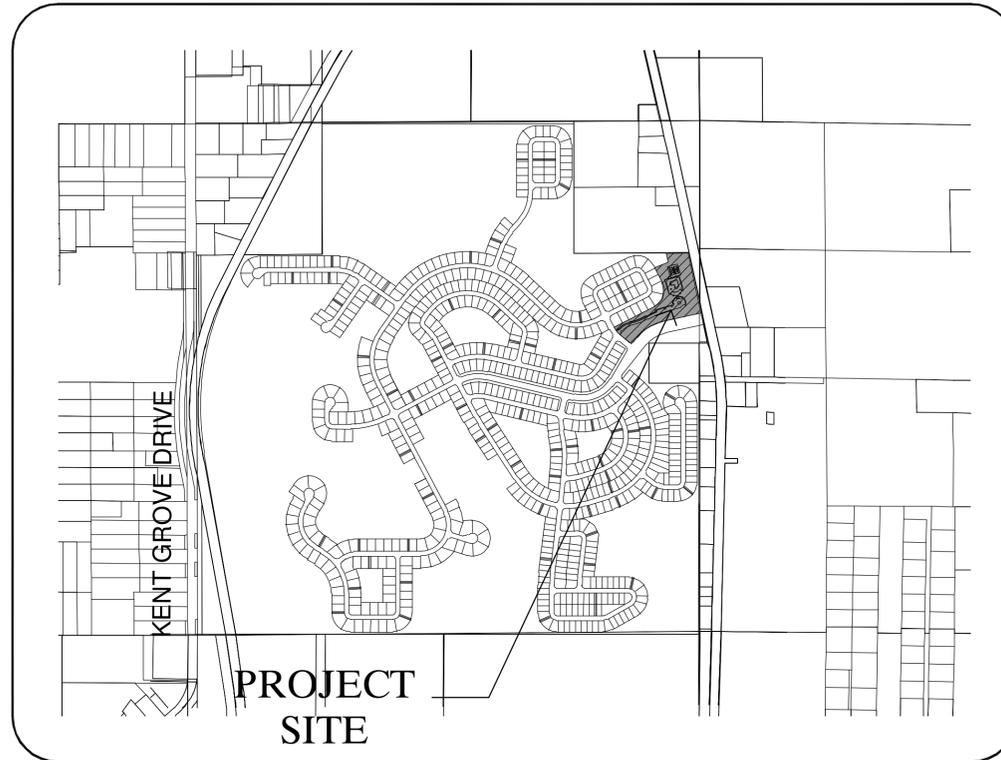
SIMULTANEOUS PRELIMINARY / CONSTRUCTION PLANS

SECTION 4, TOWNSHIP 25 S, RANGE 18 E
PASCO COUNTY, FLORIDA

PARCEL ID#
04-25-18-0000-00800-0000



LOCATION MAP



VICINITY MAP

SFWMD SUBMITTAL	UTILITY SUBMITTAL	COUNTY/CITY SUBMITTAL	DRAWING INDEX	
			SHEET NUMBER	SHEET TITLE
*	*	*	C1.01	COVER SHEET
*	*	*	C1.02	NOTES AND LEGEND
*	*	*	C1.03	NOTES AND LEGEND
*	*	*	C2.01	CONSTRUCTION POLLUTION PERVENTION PLAN
*	*	*	C3.01	HORIZONTAL CONTROL, SIGNAGE AND PAVEMENT MARKING PLAN
*	*	*	C4.01	PAVING, GRADING, AND DRAINAGE PLAN
*	*	*	C5.01	SANITARY SEWER AND WATER DISTRIBUTION PLAN
*	*	*	C7.01 - C7.02	TYPICAL SECTION AND STORM SEWER DETAILS
*	*	*	C8.01	EROSION CONTROL DETAILS
*	*	*	C11.01	WATER DISTRIBUTION DETAILS
*	*	*	C12.01	SANITARY SEWER DETAILS
*	*	*	L1.01	CODE LANDSCAPE PLAN
*	*	*	L1.02	CODE LANDSCAPE PLAN

CONSTRUCTION STAKEOUT NOTE

Digital or electronic representation of these construction plans does not constitute a coordinate control map for the use of construction stakeout. It is the contractor and/or contractor's surveyor responsibility to prepare the mathematically controlled information for the use of construction stakeout.

GENERAL NOTES

In order for the engineer of record to certify compliance with plans, specifications and permits, upon completion of construction, the surveyor of record may be required to submit an "AS-BUILT" survey and/or a "Surveyor's Report" in compliance with Florida's Minimum Technical Standards

FOR:

M/I HOMES OF TAMPA, LLC

4343 ANCHOR PLAZA PARKWAY, SUITE 200
TAMPA, FL 33634

BY:

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Permit Type	Permit No.	Status
S.W.F.W.M.D.	43028383.011	APPROVED (07-21-2014)
PASCO COUNTY	SML 14-025	APPROVED (07-22-2014)
PRELIM PASCO COUNTY	DR06-295 (INCR 1) DR06-406 (INCR 2)	APPROVED (08-11-2005) APPROVED (12-15-2005)

NO.	DATE	DESCRIPTION	APP'D BY	TUYEN L. TRAN APR-02-2015 FL P.E. NO. 54099	JOB NO. 3855-006-000 DATE 01/17/2014 SCALE AS SHOWN	SHEET NO. C1.01
				PASCO COUNTY SUBMITTAL APR-02-2015		

PAVING, GRADING AND DRAINAGE NOTES

- THE LOCATION OF EXISTING UTILITIES ARE APPROXIMATE AS SHOWN AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, DIRECTION AND ELEVATION OF THE EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION IN THEIR VICINITY.
- CONTRACTOR TO NOTIFY ONE CALL OF FLORIDA, WREC, AND ANY OTHER UTILITY COMPANIES NOT REPRESENTED BY ONE CALL OF FLORIDA 48 HOURS PRIOR TO CONSTRUCTION FOR LOCATION OF EXISTING UTILITIES. CALL ONE CALL OF FLORIDA AT 1-800-432-4770.
- ALL UNDERGROUND UTILITIES MUST BE INSTALLED BEFORE SUB-BASE, BASE AND SURFACE ARE CONSTRUCTED.
- ALL PRACTICAL AND NECESSARY EFFORT SHALL BE TAKEN DURING CONSTRUCTION TO CONTROL AND PREVENT EROSION AND TRANSPORT OF SEDIMENT TO SURFACE DRAINS.
- SPECIAL CARE IS TO BE TAKEN TO INSURE THAT TREES OUTSIDE CLEARING LIMITS FOR ROADWAY, UTILITIES, DRAINAGE, ETC., REMAIN UNHARMED.
- CONFLICTS BETWEEN WATER, STORM LINES AND STRUCTURES ARE TO BE RESOLVED BY ADJUSTING WATER AND FORCEMAIN LINES AS NECESSARY.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH PASCO COUNTY STANDARDS AS REQUIRED.
- PIPE MEASUREMENTS ARE TO CENTER OF STRUCTURES FOR INLETS AND STORM MANHOLES, AND TO THE BEGINNING OF STRUCTURES FOR END STRUCTURES (FES OR MES). CURB INLET STATIONS ARE CALCULATED TO EDGE OF PAVEMENT, ALL PIPE LENGTHS ARE PLUS OR MINUS.
- ALL PROPOSED ROADWAY CONSTRUCTION AND TRAFFIC CONTROL DEVICES ARE PREPARED IN ACCORDANCE WITH THE CURRENT VERSION OF THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS", STATE OF FLORIDA AND THE PASCO COUNTY DEVELOPMENT CODE.
- SIDEWALKS AND PERMANENT CURB RAMPS (IN ACCORDANCE WITH FDOT INDEX NO. 304.) ARE TO BE INSTALLED BY THE CONTRACTOR AS PART OF THE CONSTRUCTION ACTIVITIES IN AREAS WHERE LOTS DO NOT ABUT THE ROADWAY.
- THE STAKED SILT FENCE WILL BE INSTALLED PRIOR TO EARTHWORK OPERATIONS COMMENCING AND IS TO BE MAINTAINED THROUGH PROJECT COMPLETION.
- ALL SWALES SHALL BE SODDED, OR AS SHOWN ON THE SECTIONS/DETAILS.
- STORM SEWER PIPE LINES WILL NOT BE INSTALLED PRIOR TO PLACEMENT AND ALIGNMENT OF INLET STRUCTURES.
- ALL REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III, OR A-2000, UNLESS IDENTIFIED DIFFERENTLY ON PLANS.
- ALL PRACTICAL EFFORTS SHALL BE TAKEN TO ASSURE THAT RUNOFF FROM ALL IMPERVIOUS AREAS SHALL BE DIRECTED TO THE INTERNAL STORM WATER MANAGEMENT SYSTEM. THIS INCLUDES REDIRECTION OF ROOF GUTTER LEADERS.
- CONTRACTOR SHALL LIMIT GRADING OPERATION WHERE ALLOWABLE TO SAVE 6" MIN. TREES PER COUNTY REQUIREMENTS.
- ALL ABOVE NOTES APPLY TO ALL PAVING, GRADING AND DRAINAGE PLAN SHEETS.

FIRE HYDRANT NOTES

- FIRE HYDRANTS WILL REQUIRE FLOW TESTING AND COLOR CODING PER FLOW TEST RESULTS.
- FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.

SITE DATA NOTES

AMMENITIES CENTER SITE AREA (TWO PHASES) = 5.91 AC.
 ENTIRE PROJECT AREA (TALAVERA, ALL PHASES) = 543 ± AC.
 SITE PARK AREA = 4.52 AC. (THIS AREA CONSTITUTES A PORTION OF ENTIRE PROJECT PARK AREA.)

TOTAL PROPOSED STRUCTURES = 1 EA. (CABANA)
 TOTAL EXISTING STRUCTURES = 0 EA.
 CABANA 4000 SF
 PROJECT F.A.R. = 4000 SF/5.19 AC = 0.0177 (F.A.R. = 0.027 ALLOWED)
 POOL WATER AREA = 4963 SF
 POOL PARKING SPACES REQ'D CALCS (1 PER 200 SF WATER AREA) = 4963/200 = 24.82 SPACES.
 STRUCTURE PARKING SPACES REQ'D CALCS (1 PER 200 SF STRUCTURE AREA) = 4000/200 = 20.00 SPACES.
 THEREFORE 25 SPACES REQUIRED (POOL PARKING GOVERNS).

PHASE 1:
 MAIL KIOSK
 PROPOSED PARKING SPACES PROVIDED = 9 SPACES
 PROPOSED HC PARKING SPACES PROVIDED = 1 SPACE

PHASE 2:
 CABANA
 PROPOSED PARKING SPACES PROVIDED = 33 SPACES
 PROPOSED HC PARKING SPACES PROVIDED = 4 SPACES

APPROVED RZ#6256 09/21/04 BCC APPROVED 07/26/05
 PREVIOUS RZ#6067 11/04/03
 ZONING DISTRICT = MPUD
 FUTURE COMPREHENSIVE PLAN LAND USE = RES-3
 PARCEL ID# = 04-25-18-0000-00800-0000

PASCO COUNTY INCREMENT I APPROVED (08-11-2005)
 PASCO COUNTY INCREMENT II APPROVED (12-15-2005)
 PASCO COUNTY SIMULTANEOUS PLAN APPROVED (07-22-2014)

CABANA SETBACKS--FRONT - 167'±
 SIDE (SR41 R/W) - 138.5'±
 SIDE (WEST) - 74.3'±
 REAR (NORTH) - 395.6'±

USE:
 BUILDING IS SINGLE STORY CABANA WITH REST ROOMS BUILDING HEIGHT - MAX. 35 FT.

PASCO COUNTY SANITARY SEWER, WATER DISTRIBUTION & RECLAIMED WATER NOTES

- SANITARY SEWERS, STORM SEWER OR FORCE MAINS CROSSING UNDER WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN OUTSIDE OF PIPE TO OUTSIDE OF PIPE. CROSSINGS SHALL BE CONSTRUCTED SO THAT THE SEWER JOINTS AND WATER JOINTS WILL BE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN 10 FEET BETWEEN ANY TWO JOINTS. WHERE THE MINIMUM 18 INCH SEPARATION CANNOT BE MAINTAINED, THE SEWER SHALL BE PLACED IN A SLEEVE FOR 20 FEET CENTERED ON THE POINT OF CROSSING.
- SANITARY SEWERS OR STORM SEWERS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAINS. THE DISTANCE SHALL BE MEASURED FROM EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10 FOOT SEPARATION, THE WATER MAIN SHALL BE INSTALLED IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELVE LOCATED ON ONE SIDE OF THE SEWER AND AT AN ELEVATION SO THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, AND THE WATER AND SEWER JOINTS SHALL BE STAGGERED.
- ALL SEWER AND WATER SERVICE LATERALS ARE TO BE MARKED WITH PAINT ON THE EDGE OF PAVEMENT AND WITH WOOD STAKES AT THE END OF SERVICE LATERALS (BLUE PAINT FOR WATER, GREEN PAINT FOR SEWER, AND PURPLE PAINT FOR REUSE).
- CONFLICTS OF WATER LINES WITH SANITARY SEWER AND STORM SEWER SYSTEMS TO BE RESOLVED BY ADJUSTING WATER LINES AS NECESSARY.
- THE CONSTRUCTION AND TESTING OF ALL UTILITIES SHALL COMPLY WITH ALL PERMIT CONDITIONS AND/OR REQUIREMENTS. CONSTRUCTION AND TESTING OF ALL UTILITIES SHALL ALSO COMPLY WITH ALL LOCAL, COUNTY, AND STATE REQUIREMENTS.
- WATER LINES AND SANITARY FORCE MAINS ARE TO HAVE A MINIMUM OF 36-INCHES OF COVER FROM PROPOSED GRADE.
- APPROXIMATE WATER LINE DISTANCES ARE SHOWN BETWEEN CENTERS OF MAIN FITTINGS. THE CONTRACTOR SHALL PROVIDE ALL FITTINGS REQUIRED FOR COMPLETE SYSTEMS IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE.
- THE LOCATION OF EXISTING UTILITIES ARE APPROXIMATE AS SHOWN AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, DIRECTION, AND ELEVATION OF THE UTILITIES PRIOR TO CONSTRUCTION IN THEIR VICINITY.
- THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES IN THE AREA BEFORE BEGINNING CONSTRUCTION.
- ALL UNDERGROUND UTILITIES MUST BE INSTALLED BEFORE SUB-BASE, BASE & SURFACE ARE CONSTRUCTED.
 SPECIAL CARE IS TO BE TAKEN SO TREES THAT ARE TO REMAIN ARE UNHARMED DURING CONSTRUCTION.
- ALL WATER MAINS ARE TO BE PVC OR AS NOTED ON PLANS.
 - PIPE SIZES FROM 2" TO 3" SHALL CONFORM TO ASTM DESIGNATION D-1784 AND D-2241, CLASS 1120 OR 1220 (SDR 21).
 - PIPE SIZES FROM 4" TO 12" SHALL CONFORM TO AWWA C-900 SPECIFICATIONS (DR-18).
- SANITARY SEWER PIPE MATERIAL SHALL BE AS FOLLOWS
 SDR 35 FOR PIPES 3'-12" DEEP
 SDR 26 FOR PIPES 12'-18" DEEP
 C-900 FOR PIPES GREATER THAN 18" DEEP WITH FERRO ADAPTERS.
- SANITARY SEWER PIPE MEASUREMENTS ARE TO CENTER OF MANHOLES.
- ALL FORCE MAINS ARE TO BE PVC OR AS NOTED ON THE PLANS. PIPE SIZES FROM 4" TO 12" SHALL CONFORM TO AWWA C-900 SPECIFICATIONS AND SHALL BE DR-25.
- WATER MAINS WILL NOT BE INSTALLED PRIOR TO INSTALLATION OF THE SANITARY AND STORM SEWER SYSTEMS UNLESS WATER MAIN IS TO BE BELOW UTILITIES OR STORM SEWER AS SHOWN ON THE PLANS.
 WATER MAIN: ALL INSTALLED UNDERGROUND WATER MAINS SHALL BE BLUE COLORED PIPE MARKED WITH A CONTINUOUS TAPE LOCATED DIRECTLY OVER THE PIPE 12 INCHES TO 18 INCHES BELOW GRADE. SAID TAPE SHALL BE A MINIMUM OF TWO INCHES IN WIDTH AND SHALL BE METALLIC-BACKED, BLUE, AND MARKED "WATER MAIN BURIED BELOW".
 FORCE MAIN: ALL INSTALLED UNDERGROUND SANITARY SEWAGE FORCE MAINS SHALL BE GREEN COLORED PIPE MARKED WITH A CONTINUOUS TAPE LOCATED DIRECTLY OVER THE PIPE 12 INCHES TO 18 INCHES BELOW GRADE. SAID TAPE SHALL BE A MINIMUM OF TWO INCHES IN WIDTH AND SHALL BE METALLIC-BACKED, GREEN, AND MARKED "FORCE MAIN BURIED BELOW".
 REUSE MAIN: ALL INSTALLED UNDERGROUND REUSE MAINS SHALL BE PURPLE COLORED PIPE MARKED WITH A CONTINUOUS TAPE LOCATED DIRECTLY OVER THE PIPE 12" TO 18" BELOW GRADE. SAID TAPE SHALL BE A MINIMUM OF TWO INCHES IN WIDTH AND SHALL BE METALLIC BACKED, PURPLE, AND MARKED "WATER MAIN BURIED BELOW".
- ALL UTILITY MATERIAL AND WORKMANSHIP MUST COMPLY WITH THE "STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER AND RECLAIMED FACILITIES FOR PASCO COUNTY", JUNE 1995 EDITION AND SHALL BE IN ACCORDANCE WITH FDEP & FDOT PERMIT REGULATIONS AS WELL AS CHAPTERS 62-604, 62-5502, 62-555 FAC AS REQUIRED.
- CONNECTIONS INTO EXISTING COUNTY-OWNED SYSTEMS SHALL BE VIA WET TAP. WET TAPS SHALL BE PERFORMED BY THE PASCO COUNTY UTILITIES SERVICES BRANCH AT THE OWNER'S EXPENSE. MATERIAL FOR WET TAPS LARGER THAN 2" SHALL BE PROVIDED AND INSTALLED BY THE PROJECT CONTRACTOR.
- WATER MAIN DEFLECTIONS SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATION AND/OR PASCO COUNTY AND FDEP REGULATIONS.
- AT THE TERMINATION OF EACH CONSTRUCTION PHASE, GATE VALVES AND 2" TEMPORARY BLOW-OFFS INSTALLED ON POTABLE WATER MAINS SHALL BE LOCATED AT THE CONSTRUCTION UNIT LINE. VALVES AND BLOW-OFFS TO BE RESTRAINED AND CONSTRUCTED IN ACCORDANCE WITH CURRENT PASCO COUNTY STANDARDS.
- TYPICAL--ALL WATER, SANITARY SEWER AND FORCE MAIN PIPE LINES--CONSTRUCT USING PIPE DEFLECTION METHOD AS REQUIRED BY P.C.U.D. AND/OR FDEP.
- THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING OF ALL SANITARY SEWAGE FORCE MAINS, AS SET FORTH IN THE FOLLOWING, AND SHALL CONDUCT SAID TESTS IN THE PRESENCE OF REPRESENTATIVES FROM THE ENGINEER AND P.C.U.D. WITH TWO DAYS ADVANCE NOTICE PROVIDED.
- CONTRACTOR SHALL INSTALL THE FORCE MAIN WITH A UNIFORM SLOPE FROM THE LOW POINTS IDENTIFIED BY THE CONTRACTOR TO THE AIR RELEASE VALVE. CONTRACTOR SHALL INSTALL AIR RELEASE VALVES AT HIGH POINTS IN THE FOREMAN PROFILE.
- WATER AND SEWER SYSTEMS CONSTRUCTED WITHIN PHASES NOT CONSTRUCTED SIMULTANEOUSLY MUST BE INSTALLED WITHOUT SERVICES AND SANITARY MANHOLES MUST BE STABILIZED WITH 10 FOOT DIAMETER OF LIME ROCK.
- ALL ABOVE NOTES APPLY TO PROFILE, SANITARY SEWER, WATER DISTRIBUTION, AND ANY OTHER APPLICABLE PLAN SHEET.

GENERAL NOTES

- TALAVERA IS CURRENTLY ZONED MPUD. THE COMPREHENSIVE PLAN LAND USE IS RES-3. THIS PLAN SHALL COMPLY WITH EXISTING ZONING.
- SEWAGE DISPOSAL WILL BE PROVIDED BY PASCO COUNTY UTILITIES THE OVERALL SITE WILL DISCHARGE TO AN EXISTING 8" SANITARY FORCE MAIN ON 12830 SHADY HILLS RD.
- POTABLE WATER WILL BE PROVIDED BY PASCO COUNTY UTILITIES FROM AN EXISTING 20" MAIN ON THE SOUTH SIDE OF SR 52.
- FIRE PROTECTION WILL BE PROVIDED FROM HYDRANTS BY EXISTING PASCO COUNTY FIRE STATION NO. 22, LOCATED ON 9930 US HIGHWAY 41.
- THE DEVELOPER WILL NOT PROVIDE FOR TREATED WASTEWATER (RECLAIMED WATER) DISPOSAL IN AN AMOUNT EQUAL TO OR GREATER THAN THE COMMITTED WASTEWATER TREATMENT CAPACITY DUE TO NO WASTEWATER (RECLAIMED WATER) MAINS LOCATED NEAR PROJECT SITE.
- ELECTRICAL SERVICE WILL BE PROVIDED BY WREC.
- TELEPHONE SERVICE WILL BE PROVIDED BY VERIZON.
- STREET LIGHTING WILL BE PROVIDED ON INTERIOR ROADS (STREET TYPE 1A, 1B, 1BM, 2, 3, & 4) BY WREC.
- BASED ON THE FLOOD INSURANCE RATE MAP, PANEL 1202300225D, THE ENTIRE SITE IS LOCATED IN FLOOD ZONES A AND X THESE FLOOD ZONES REPRESENT AREAS OF MINIMAL FLOODING. FIRST FLOOR ELEVATIONS WILL BE AT OR ABOVE THE 100-YEAR DHWL ELEVATIONS OF THE PONDS. THE AMENITIES CENTER IS IN FLOOD ZONE X, DATE: FEMA FIRM PANEL 09/30/1992.
- TALAVERA LIES ON A NATURAL SITE WITH A LARGE AMOUNT OF NATURAL VEGETATION. BOTH TREES OR WETLANDS ARE WITHIN THE LIMITS OF CONSTRUCTION.
- THE PREDOMINANT SURFICIAL SOIL TYPES ON-SITE CONSIST OF ANCLOETE FINE SAND, POMELLO FINE SAND: 0 TO 5 PERCENT SLOPES, TAVARES SAND: 0 TO 5 PERCENT SLOPES, ADAMSVILLE FINE SAND, SELLERS MUCKY LOAMY FINE SAND, SMYRNA FINE SAND AND SAMSULA MUCK. THE AMENITIES IS ON TAVARES JANDO-05K.
- RECREATION AREAS WILL BE OWNED AND MAINTAINED BY THE CDD. THE AMENITIES CENTER IS A RECREATION AREA.
- THERE ARE NO KNOWN SIGNIFICANT ARCHAEOLOGICAL OR HISTORIC RESOURCES LOCATED WITHIN THE LIMITS OF CONSTRUCTION. IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATION, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE RESOURCES BEING FOUND ON SITE.
- IN ACCORDANCE WITH SECTION 603 OF THE PASCO COUNTY LAND DEVELOPMENT CODE, RETENTION AREAS THAT ABUT RIGHTS-OF-WAY SHALL BE PLANTED WITH TREES SELECTED FROM THE TREE LIST AT A RATE OF (1) ONE TREE PER (50) FIFTY LINEAR FEET OF RETENTION AREA BANK.
- THERE SHALL BE A MINIMUM BUFFER WETLAND SETBACK OF AN AVERAGE OF 25 FEET (10 FEET AVERAGE FOR RIM DITCH LOCATIONS), OR AS REQUIRED BY THE APPROPRIATE AGENCY OR APPROVED PERMITS, FROM ANY CONSERVATION OR PRESERVATION AREA.
- TYPE 2, 3, & 4 ROADWAYS SHALL HAVE MINIMUM CENTERLINE RADII OF 50'.
- ELEVATIONS ARE IN FEET AND ARE BASED ON NATIONAL GEODETIC SURVEY(NGS), CONTROL STATION "C-261 1965", HAVING A PUBLISHED ELEVATION OF 71.28 (REFERENCED TO NORTH AMERICA VERTICAL DATUM 1988).
- DRAINAGE RUNOFF (POST DESIGN) WILL BE COLLECTED AND DIRECTED VIA PIPES AND SWALES TO THE (3) EXISTING WET BOTTOM ATTENUATION SITES.
- PROPOSED DRAINAGE AND UTILITY EASEMENTS WILL BE GRANTED ON THE PLAT WHEN RECORDED.
- CONSERVATION AREAS WILL BE OWNED AND MAINTAINED BY THE CDD. LANDSCAPE/ACCESS EASEMENTS WILL BE DEDICATED TO THE CDD FOR MAINTENANCE.
- THE CONTRACTOR SHALL NOT ENTER UPON, OR IN ANY WAY ALTER, ANY WETLAND AREAS, EXCEPT AS AUTHORIZED BY THE APPROPRIATE ENVIRONMENTAL PERMIT. ALL WORK IN THE VICINITY OF OPEN WATER OR WETLANDS IS TO BE PERFORMED IN COMPLIANCE WITH ANY AND ALL PERMITS.
- THE CONTRACTOR IS TO CONTROL ALL FUGITIVE DUST ORIGINATING ON THIS PROJECT BY WATERING OR OTHER METHODS AS APPROVED BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE.
- THESE PLANS SHALL CLARIFY THAT THE ROADWAY SYSTEM IS IN SUBSTANTIAL CONFORMANCE WITH THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE OF STREETS & HIGHWAYS, STATE OF FLORIDA", IN EFFECT AT THE TIME THE PLANS WERE PREPARED.
- ALL PRACTICABLE AND NECESSARY EFFORT, INCLUDING BUT NOT LIMITED TO THE USE OF STAKED HAY BALES OR STAKED SILT SCREEN BARRIERS, SHALL BE TAKEN DURING CONSTRUCTION TO CONTROL AND PREVENT EROSION AND TRANSPORT OF SEDIMENT MATERIALS TO INLETS, SURFACE DRAINS, WETLANDS AND LAKE AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RESTORATION EFFORTS THAT MAY BE REQUIRED.
- THE CONTRACTOR IS TO EXERCISE EXTREME CAUTION IN THE VICINITY OF TREES TO REMAIN AND IS RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS WORK.
- EXCESS SUITABLE FILL MATERIAL SHALL BE STOCKPILED AS DIRECTED BY THE OWNER.
- ALL DISTURBED AREAS IN EXISTING RIGHT-OF-WAY SHALL BE SODDED.
- MINIMUM DRAINAGE EASEMENT WIDTHS WILL BE 15 FT.
- ALL PERMANENT UTILITIES WILL BE PROVIDED UNDERGROUND
- BUFFERING WILL BE PROVIDED IN COMPLIANCE WITH THE PERMIT LANDSCAPE PLANS INCLUDED IN THIS PLAN SET.
- PROTECTED TREES WILL NOT BE REMOVED DURING CONSTRUCTION.
- THE STORMWATER FOR TALAVERA AMENITIES CENTER WILL DRAIN INTO 3 EXISTING WET BOTTOM STORM WATER ATTENUATION SITES AND PREVIOUSLY APPROVED BY PASCO COUNTY AND SWFWD.
- THE TALAVERA AMENITIES CENTER WILL DRAIN TO THREE (3) EXISTING WET BOTTOM STORMWATER AREAS PERMITTED AND CONSTRUCTED IN TALAVERA PHASE 1A.
- THERE WILL BE NO SITE BURNING DURING CONSTRUCTION OF AMENITIES CENTER.
- IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATION, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE RESOURCES FOUND ON THE SITE.
- IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.

EROSION AND SEDIMENTATION CONTROL NOTES

- PROVIDE ALL DISTURBED AREAS WITHIN THE LIMITS OF THE WORK WITH TEMPORARY SOIL EROSION CONTROL AND SEDIMENT CONTROL. UTILIZING EARTH DAMS & PONDS, GRADE TO DRAIN SWALES, SETTLING BASINS, SILT FENCES, STONE FILTERS, HAY BALE FILTERS, ETC., TREATING ALL SOIL SURFACES WITH SEEDED TOPSOIL AND / OR MULCH AFTER GRADING.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION, AIR AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS SHALL BE COMPLIED WITH AT ALL TIMES.
- MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ONE TIME AND INSTALL SOIL EROSION CONTROL FENCES AS SHOWN AND IN SUCH A MANNER AS TO CAPTURE AND FILTER SURFACE WATER DURING CONSTRUCTION.
- PERMANENT VEGETATION SHALL BE BY SEEDING OR SODDING ALL EXPOSED AREAS WITHIN THREE DAYS AFTER FINAL GRADING. MULCH SHALL BE USED AS NECESSARY FOR PROTECTION UNTIL 75% GROWTH IS ESTABLISHED.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO ACCOMPLISHED, ANY SOIL WHICH WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY AS TO PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER.
- ALL NEW EROSION AND SILT CONTROL METHODS AND LOCATIONS INDICATED ON THIS DRAWING ARE FOR START-UP AND GENERAL REFERENCE AND SHALL BE ADJUSTED, AS REQUIRED, TO SUIT THE PROCESS OF THE CONSTRUCTION.
- ALL DISTURBED AREAS WITHIN THE LIMITS OF CONSTRUCTION SHALL RECEIVE VEGETATIVE TREATMENT AFTER FINAL GRADING IN ACCORDANCE WITH THESE PLANS. DISTURBED AREAS NOT SPECIFICALLY DESIGNATED WITH A VEGETATIVE COVER SHALL BE VEGETATED AS FOLLOWS:
 UNLESS OTHERWISE NOTED, ALL COMMON AREAS AND SIDE SLOPES CONSTRUCTED AT 4:1 (H TO V) SHALL BE SODDED WITH ARGENTINE BAHIA OR, SEEDED AND THEN COVERED WITH AN EROSION CONTROL BLANKET. THE BLANKET SHALL BE THE S75BN BLANKET AS MANUFACTURED BY NORTH AMERICA GREEN OR APPROVED EQUIVALENT. SIDE SLOPES LESS THAN 5:1 (H TO V) SHALL BE SEEDED AND MULCHED OR HYDROSEEDED. ALL SODDED SLOPES OVER 4:1 (H TO V) SHALL BE INSTALLED WITH 50D PEGS.
- HAY BALES SHALL BE PLACED ON THE UPLAND SIDE AND ADJACENT TO ALL SILT FENCE WHICH IS ADJACENT TO WETLAND AREAS TO PROVIDE ADDED SILTATION PROTECTION AT THE COMMENCEMENT OF CONSTRUCTION. THE HAY BALES SHALL BE REMOVED AT SUCH TIME AS THEIR PRESENCE IMPEDES CONSTRUCTION.
- ALL PRACTICABLE AND NECESSARY EFFORT, INCLUDING BUT NOT LIMITED TO THE USE OF STAKED HAY BALES OR STAKED SILT SCREEN BARRIERS, SHALL BE TAKEN DURING CONSTRUCTION TO CONTROL AND PREVENT EROSION AND TRANSPORT OF SEDIMENT MATERIALS TO INLETS, SURFACE DRAINS, WETLANDS AND LAKE AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RESTORATION EFFORTS THAT MAY BE REQUIRED.

STANDARD FIRE PROTECTION NOTES

- ALL PROJECTS MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE NO. 46-51.
- FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.
- PER THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA, 16.4.3.1.3: WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
- PER NFPA-1, 18.3.4.1: CLEARANCES OF 7½ FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A FOUR-FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.
- GATED ENTRIES REQUIRE A SIREN OPERATING SYSTEM OR A 3M OPTICOM SYSTEM FOR EMERGENCY ACCESS.

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DESIGNED	
DRAWN	
CHECKED	TTL/AGK
G.C.	LFK


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TALAVERA AMENITIES CENTER
 FOR:
M/I HOMES OF TAMPA, LLC
4343 ANCHOR PLAZA PARKWAY, SUITE 200
TAMPA, FL 33634

NOTES AND LEGEND

NO.	DATE	DESCRIPTION	APP'D BY
1.	03/17/2015	PROJECT SUBPHASING	
2.	10/07/2014	REVISED PER PASCO COUNTY COMMENTS	
1.	04/25/2014	REVISED PER PASCO COUNTY COMMENTS	

TUYEN L. TRAN
APR-02-2015
 FL P.E. NO. 54099

JOB NO.	3855-006-000	C1.02
DATE	01/17/2014	
SCALE	AS SHOWN	
PASCO COUNTY SUBMITTAL		
APR-02-2015		

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SITE DESCRIPTION
PROJECT NAME: TALAVERA AMENITIES CENTER PROJECT ADDRESS: SEC 4 TWP 25 RG 18 LAT. = 28.33888 LONG. = 82.50888 OWNER'S NAME: M/I HOMES OF TAMPA, LLC 4343 ANCHOR PLAZA PARKWAY, SUITE 200 TAMPA, FL 33634
DESCRIPTION OF NATURE OF CONSTRUCTION ACTIVITY CONSTRUCTION OF AMENITIES CENTER, ROADWAYS, POOL, CABANA AND OTHER ASSOCIATED SITE IMPROVEMENTS. SOIL DISTURBING ACTIVITIES INCLUDE: INSTALLING STABILIZED CONSTRUCTION ENTRANCE, CONSTRUCTION OF EROSION AND SEDIMENT CONTROLS, FINAL GRADING, CONSTRUCTION OR ADJUSTMENTS OF STORM SEWER, SANITARY COLLECTION, WATER DISTRIBUTION SYSTEM INSTALLATION, ROAD CONSTRUCTION, AND PREPARATION FOR FINAL LANDSCAPING. RUNOFF COEFFICIENT: THE FINAL COEFFICIENT OF RUNOFF FOR THE SITE WILL BE C = (0.81) SITE AREA: THE TOTAL SITE IS 547± ACRES +/- THE DISTURBED AREA OF THE SITE WILL BE (4.81) ACRES +/-
SEQUENCE OF MAJOR ACTIVITIES: 1. PRIOR TO COMMENCEMENT OF CLEARING OPERATIONS NEAR WETLANDS, THE SITE CONTRACTOR SHALL INSTALL ALL EROSION PROTECTION DEVICES THAT ARE CALLED FOR ON THE PLANS FOR WETLANDS THAT MAY BE IMPACTED BY THE PROPOSED ACTIVITY. THIS INCLUDES BOTH SILT FENCE AND STACKED HAY BALES. 2. PRIOR TO COMMENCEMENT OF CLEARING FOR THE CONSTRUCTION OF EACH POND, SITE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL DEVICES CALLED FOR ON PLANS AROUND THE POND AND AT THE POND OUTFALL. 3. AFTER INSTALLATION OF THE EROSION CONTROL DEVICES, THE SITE CONTRACTOR MAY BEGIN CLEARING OF THE POND AREA, WHERE POND BERMS ARE CALLED FOR ON PLANS, THE SITE CONTRACTOR SHALL COMPLETE THE BERM, INCLUDING STABILIZATION, IMMEDIATELY FOLLOWING POND CLEARING ACTIVITIES. 4. UPON COMPLETION OF THE POND BERM, THE SITE CONTRACTOR SHALL INSTALL THE POND OUTFALL WITH TEMPORARY EROSION CONTROL DEVICES. THE SITE CONTRACTOR MAY ELECT TO INSTALL THE PERMANENT CONTROL STRUCTURE OR PROVIDE A TEMPORARY STRUCTURE DEPENDING ON THE BERM ELEVATION AND PERMANENT CONTROL STRUCTURE ELEVATION. THE PONDS ARE TO SERVE AS SEDIMENT SUMP AREAS DURING CONSTRUCTION. 5. UPON COMPLETION OF THE POND OUTFALL, THE SITE CONTRACTOR MAY BEGIN SITE CLEARING, EARTHWORK, DRAINAGE, UTILITY AND ROADWAY CONSTRUCTION ACTIVITIES WITHIN THE CONTRIBUTING BASIN. THE SITE CONTRACTOR SHALL STABILIZE ALL AREAS DISTURBED WITHIN FIVE DAYS OF THE COMPLETION OF GRADING ACTIVITIES OF THE DISTURBED AREA. 6. THE SITE CONTRACTOR SHALL REMOVE ALL EROSION PROTECTION DEVICES WITHIN EACH CONTRIBUTING AREA FOLLOWING PERMANENT STABILIZATION OF ALL DISTURBED AREAS.
NAME OF RECEIVING WATERS: PITHLACHASCOTEE RIVER
CONTROLS
EROSION AND SEDIMENT CONTROLS
STABILIZATION PRACTICES
WIND EROSION STABILIZATION: THE CONTRACTOR SHALL DENUDE ONLY AREAS WHERE IT IS EXPECTED TO BE GRADED OR ALTERED WITHIN A TWO (2) WEEK TIME-FRAME. FINAL GRADES SHALL BE PERFORMED AND TEMPORARY OR PERMANENT SOIL STABILIZATION SHALL BE APPLIED. AREAS WHERE CONSTRUCTION OPERATIONS WILL BE CONTINUOUS, FUGITIVE DUST SHALL BE MANAGED BY APPLYING A WATER SPRAY TO SATURATE THE SURFACE SOILS ON A DAILY BASIS, OR AS NEEDED TO MAINTAIN MINIMAL DUST TRANSPORT. FUGITIVE DUST SHALL BE MONITORED CONTINUOUSLY AND ADDITIONAL MEASURES MAY NEED TO BE TAKEN TO CONTROL OFF-SITE TRANSPORT OF UNACCEPTABLE LEVELS OF DUST. TEMPORARY STABILIZATION: TOP OF SOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 21 DAYS WILL BE STABILIZED WITH TEMPORARY GRASS AND MULCH NO LATER THAN 5 DAYS FROM THE LAST CONSTRUCTION ACTIVITY. GRASS SEED SHALL BE A MIXTURE OF 20 PARTS OF BERMUDA SEED AND 80 PARTS OF PENSACOLA BAHIA. THE SEPARATE TYPES OF SEED USED SHALL BE THOROUGHLY DRY MIXED IMMEDIATELY BEFORE SOWING. SEED WHICH HAS BECOME WET SHALL NOT BE USED. THE MULCH MATERIAL USED SHALL NORMALLY BE DRY MULCH. DRY MULCH SHALL BE STRAW OR HAY, CONSISTING OF OAT, RYE OR WHEAT STRAW, OR OF PANGOLA, PEANUT, COASTAL BERMUDA OR BAHIA GRASS HAY. ONLY UNDETERIORATED MULCH WHICH CAN BE READILY CUT INTO THE SOIL SHALL BE USED. AREAS OF THE SITE WHICH ARE TO BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING STABILIZATION AND BASE. PERMANENT STABILIZATION: DISTURBED PORTIONS OF THE SITE, WHEN CONSTRUCTION ACTIVITIES PERMANENTLY CEASE, SHALL BE STABILIZED WITH SOD NO LATER THAN 5 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.
STRUCTURAL PRACTICES
STAKED SILT FENCES: THE STAKED SILT FENCES WILL BE CONSTRUCTED ALONG THE PERIMETER AS PREVIOUSLY EXPLAINED. THESE DEVICES WILL STOP AND DIVERT RUNOFF TO THE SEDIMENT BASINS. SEDIMENT BASINS: THE STORM WATER MANAGEMENT AREAS WILL ACT AS SEDIMENT BASINS DURING CONSTRUCTION. THE SEDIMENT BASINS WILL BE CONSTRUCTED TO THE DESIGN CROSS-SECTION, OR A MINIMUM OF 2' BELOW EXISTING GROUND AT THE CONTRACTORS DISCRETION TO ALLOW SILTS TO BE COLLECTED AND REMOVED PRIOR TO COMPLETION OF THE GRADING.
STORM WATER MANAGEMENT
STORM WATER DRAINAGE WILL BE PROVIDED BY A CURB, SWALE, STORM SEWER, AND CATCH BASIN SYSTEM FOR THE DEVELOPED AREAS. SWALES TO BE SODDED AND INCLUDE CHECK DAMS AND RIPRAP TO CONTROL RUNOFF VELOCITY AND TRANSPORT OF SEDIMENT. WHEN CONSTRUCTION IS COMPLETE THE IMPROVED PORTION OF THE SITE WILL DRAIN TO STORM WATER PONDS. THE PONDS WILL BE IN THE LOCATION OF THE TEMPORARY SEDIMENT BASINS. WHEN UPSLOPE AREAS ARE STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASINS. THE PONDS HAVE BEEN DESIGNED BY A PROFESSIONAL ENGINEER TO LIMIT PEAK FLOW RATES FROM THE DESIGN STORM EVENT AT OR BELOW PRE-DEVELOPMENT RATES, AND CONSTRUCTION PER DETAILS SHOWN IN THE PLANS IS IMPERATIVE.
OTHER CONTROLS
WASTE DISPOSAL
WASTE MATERIALS: ALL WASTE MATERIAL WILL BE COLLECTED AND STORED IN DUMPSTERS PER PASCO COUNTY SOLID WASTE REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTERS. THE DUMPSTERS WILL BE EMPTIED A MINIMUM OF ONCE A WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED TO A REGISTERED LANDFILL FOR DISPOSAL. NO CONSTRUCTION MATERIALS WILL BE BURIED ON-SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE ON-SITE OFFICE TRAILER AND THE CONSTRUCTION MANGER RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED. HAZARDOUS WASTE: ALL HAZARDOUS WASTE MATERIALS, IF ENCOUNTERED, WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS. THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED. SANITARY WASTE: ALL SANITARY WASTE WILL BE COLLECTED FROM PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION.
OFFSITE VEHICLE TRACKING
STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREETS WILL BE CLEANED AS NEEDED TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM OR TO THE SITE WILL BE COVERED WITH A TARPULIN AT ALL TIMES.

TIMING OF CONTROL MEASURES		
AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, STAKED SILT BARRIERS, STABILIZED CONSTRUCTION ENTRANCES AND SEDIMENT BASINS WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 21 DAYS WILL BE STABILIZED WITH A TEMPORARY GRASS AND MULCH WITHIN 5 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN THAT AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SOD. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE TRAPS AND THE STAKED SILT BARRIERS WILL BE REMOVED.		
CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS		
THE STORM WATER POLLUTION PREVENTION PLAN REFLECTS THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT'S (SWFWMD) REQUIREMENTS FOR STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL, AS ESTABLISHED BY THE FLORIDA ADMINISTRATIVE CODE, CHAPTER 400-4 AND 400-40. TO ENSURE COMPLIANCE, THIS PLAN WAS PREPARED IN ACCORDANCE WITH SWFWMD'S "BASIS OF REVIEW FOR SURFACE WATER MANAGEMENT PERMIT APPLICATIONS WITHIN THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT." THIS PLAN ALSO REFLECTS THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR WORK IN BRANCH 6.		
MAINTENANCE INSPECTION PROCEDURES		
EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES		
THESE ARE THE INSPECTION AND MAINTENANCE PRACTICES THAT SHALL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROL. ALL CONTROL MEASURES IN DISTURBED AREAS WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND WITHIN 24 HOURS OF THE END OF ANY STORM EVENT OF 0.25 INCHES OR GREATER BY A CONTRACTORS REPRESENTATIVE. (WHERE SITES HAVE BEEN FINALLY STABILIZED SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH). ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE. SILT FENCE WILL BE INSPECTED REGULARLY FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND. THE SEDIMENT BASINS WILL BE INSPECTED FOR DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB. TEMPORARY AND PERMANENT GRASSING, MULCHING AND SODDING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH. A MAINTENANCE INSPECTION REPORT SHALL BE MADE AFTER EACH INSPECTION BY THE CONTRACTOR AND SHALL BE KEPT IN AN ACTIVE LOG READILY AVAILABLE AT THE JOB SITE CONSTRUCTION TRAILER. THE SITE SUPERINTENDENT WILL SELECT INDIVIDUALS WHO WILL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES. FILLING OUT THE INSPECTION AND MAINTENANCE REPORT WILL BE BY THE CONTRACTOR. PERSONNEL SELECTED FOR ANY MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ON-SITE IN GOOD WORKING ORDER.		
NON-STORM WATER DISCHARGES		
IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD: WATER FROM FIRE FIGHTING ACTIVITIES, FIRE HYDRANT FLUSHING, WATER LINE FLUSHING, WATER USED TO SPRAY OFF LOOSE SOILS FROM VEHICLES, DUST CONTROL, PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED). ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE. GROUNDWATER DEWATERING ACTIVITIES ARE NOT COVERED BY THIS PERMIT. THE CONTRACTOR MUST APPLY FOR COVERAGE UNDER THE GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY PURSUANT TO 62-621.300 (2), F.A.C.		
INVENTORY FOR POLLUTION PREVENTION PLAN		
THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED, BUT NOT LIMITED, TO BE PRESENT ON-SITE DURING CONSTRUCTION: <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; border: none;"> CONCRETE DETERGENTS PAINTS (ENAMEL AND LATEX) METAL STUDS GLASS TAR SAND </td> <td style="width: 50%; border: none;"> FERTILIZERS PETROLEUM BASED PRODUCTS AND FUELS CLEANING SOLVENTS WOOD MASONRY BLOCK ROOFING SHINGLES STONE </td> </tr> </table>	CONCRETE DETERGENTS PAINTS (ENAMEL AND LATEX) METAL STUDS GLASS TAR SAND	FERTILIZERS PETROLEUM BASED PRODUCTS AND FUELS CLEANING SOLVENTS WOOD MASONRY BLOCK ROOFING SHINGLES STONE
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SPILL PREVENTION		
MATERIAL MANAGEMENT PRACTICES		
THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF. GOOD HOUSEKEEPING: THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHALL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PROJECT. AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER CONTAINED ENCLOSURE. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL MANUFACTURER'S LABELED CONTAINERS. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON-SITE. HAZARDOUS PRODUCTS: THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS. PRODUCTS SHALL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS' OR LOCAL AND STATE RECOMMENDED METHODS OF PROPER DISPOSAL SHALL BE FOLLOWED. THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON-SITE: PETROLEUM PRODUCTS: ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. FERTILIZERS: FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS. PAINTS: ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS. CONCRETE TRUCKS: CONTRACTOR SHALL DESIGNATE AN AREA FOR DISCHARGE OF SURPLUS CONCRETE OR DRUM WASH WATER AND SHALL INSTALL A CONTAINMENT BERM AROUND THIS AREA TO PREVENT RUNOFF TO THE REMAINDER OF THE SITE. HARD DEBRIS SHALL BE DISPOSED OF BY CONTRACTOR UPON COMPLETION OF THE PROJECT.		

SPILL CONTROL PRACTICES																																							
IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP: MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIALS WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. THE SPILL AREAS WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE WILL DESIGNATE OTHER SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ON-SITE.																																							
NOTICE OF TERMINATION																																							
A NOTICE OF TERMINATION WILL BE SUBMITTED TO EPA AFTER THE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE HAS UNDERGONE FINAL STABILIZATION.																																							
POLLUTION PREVENTION PLAN CERTIFICATION																																							
I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS HAVE BEEN READ BY ME OR MY DESIGNATED REPRESENTATIVE AND UNDERSTAND THAT THIS SYSTEM HAS BEEN PREPARED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.																																							
OWNER _____ SIGNED: _____ NAME AND TITLE: MARK J. SPADA, VICE PRESIDENT COMPANY: M/I HOMES OF TAMPA, LLC ADDRESS: 4343 ANCHOR PLAZA PARKWAY, SUITE 200 TAMPA, FL 33634 DATE: _____																																							
CONTRACTOR'S CERTIFICATION																																							
I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERIC STORM WATER PERMIT ISSUED PURSUANT TO SECTION 403.0885, F.S., THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.																																							
<table style="width: 100%; border: none;"> <tr> <td style="width: 33%; border: none;">SIGNATURE</td> <td style="width: 33%; border: none;">FOR</td> <td style="width: 33%; border: none;">RESPONSIBLE FOR</td> </tr> <tr> <td style="border: none;">_____</td> <td style="border: none;">COMPANY: _____</td> <td style="border: none;">_____</td> </tr> <tr> <td style="border: none;">NAME: _____</td> <td style="border: none;">ADDRESS: _____</td> <td style="border: none;">GENERAL CONTRACTOR</td> </tr> <tr> <td style="border: none;">TITLE: _____</td> <td style="border: none;">PHONE: _____</td> <td style="border: none;">_____</td> </tr> <tr> <td style="border: none;">DATE: _____</td> <td style="border: none;">_____</td> <td style="border: none;">_____</td> </tr> <tr> <td style="border: none;">_____</td> <td style="border: none;">COMPANY: _____</td> <td style="border: none;">TEMPORARY AND PERMANENT STABILIZATION</td> </tr> <tr> <td style="border: none;">NAME: _____</td> <td style="border: none;">ADDRESS: _____</td> <td style="border: none;">_____</td> </tr> <tr> <td style="border: none;">TITLE: _____</td> <td style="border: none;">PHONE: _____</td> <td style="border: none;">_____</td> </tr> <tr> <td style="border: none;">DATE: _____</td> <td style="border: none;">_____</td> <td style="border: none;">_____</td> </tr> <tr> <td style="border: none;">_____</td> <td style="border: none;">COMPANY: _____</td> <td style="border: none;">STABILIZED CONSTRUCTION ENTRANCE, EARTH DIKES, SEDIMENT BASIN</td> </tr> <tr> <td style="border: none;">NAME: _____</td> <td style="border: none;">ADDRESS: _____</td> <td style="border: none;">_____</td> </tr> <tr> <td style="border: none;">TITLE: _____</td> <td style="border: none;">PHONE: _____</td> <td style="border: none;">_____</td> </tr> <tr> <td style="border: none;">DATE: _____</td> <td style="border: none;">_____</td> <td style="border: none;">_____</td> </tr> </table>	SIGNATURE	FOR	RESPONSIBLE FOR	_____	COMPANY: _____	_____	NAME: _____	ADDRESS: _____	GENERAL CONTRACTOR	TITLE: _____	PHONE: _____	_____	DATE: _____	_____	_____	_____	COMPANY: _____	TEMPORARY AND PERMANENT STABILIZATION	NAME: _____	ADDRESS: _____	_____	TITLE: _____	PHONE: _____	_____	DATE: _____	_____	_____	_____	COMPANY: _____	STABILIZED CONSTRUCTION ENTRANCE, EARTH DIKES, SEDIMENT BASIN	NAME: _____	ADDRESS: _____	_____	TITLE: _____	PHONE: _____	_____	DATE: _____	_____	_____
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DATE: _____	_____	_____																																					

DESIGNED: _____
 DRAWN: _____
 CHECKED: TLT/AGK
 P.L.C. LFK

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TALAVERA AMENITIES CENTER
 FOR:
M/I HOMES OF TAMPA, LLC
 4343 ANCHOR PLAZA PARKWAY, SUITE 200
 TAMPA, FL 33634

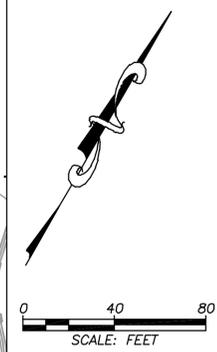
CONSTRUCTION POLLUTION PERVENTION PLAN

NO.	DATE	DESCRIPTION	APPROVED BY

JOB NO. 3855-006-000
 DATE: 01/17/2014
 SCALE: AS SHOWN
 Tuyen L. Tran
 APR-02-2015
 FL P.E. NO. 54099

SHEET NO. **C2.01**
 PASCO COUNTY SUBMITTAL
 APR-02-2015

C-1 NEIGHBORHOOD COMMERCIAL DISTRICT DEVELOPMENT STANDARDS	
MAXIMUM HEIGHT	35'
MAXIMUM FLOOR AREA RATIO	0.35
MINIMUM YARDS	
FRONT/CORNER SIDE	30' PLUS 2' FOR EACH 1' OF BUILDING HEIGHT OVER 30'
SIDE	15'
REAR	20' PLUS 2' FOR EACH 1' OF BUILDING HEIGHT OVER 30'
RESIDENTIAL SETBACK	20' PLUS 2' FOR EACH 1' OF BUILDING HEIGHT OVER 30'
REGIONAL ARTERIAL SETBACK	70' PLUS 2' FOR EACH 1' OF BUILDING HEIGHT OVER 30'
MINIMUM PARKING LOT SETBACKS	
FRONT/CORNER SIDE	7'
SIDE	7'
REAR	20' PLUS 2' FOR EACH 1' OF BUILDING HEIGHT OVER 30'
ABUTTING RESIDENTIAL DISTRICT	20' PLUS 2' FOR EACH 1' OF BUILDING HEIGHT OVER 30'
ABUTTING REGIONAL ARTERIAL	7'
MINIMUM LOT WIDTH	N/A



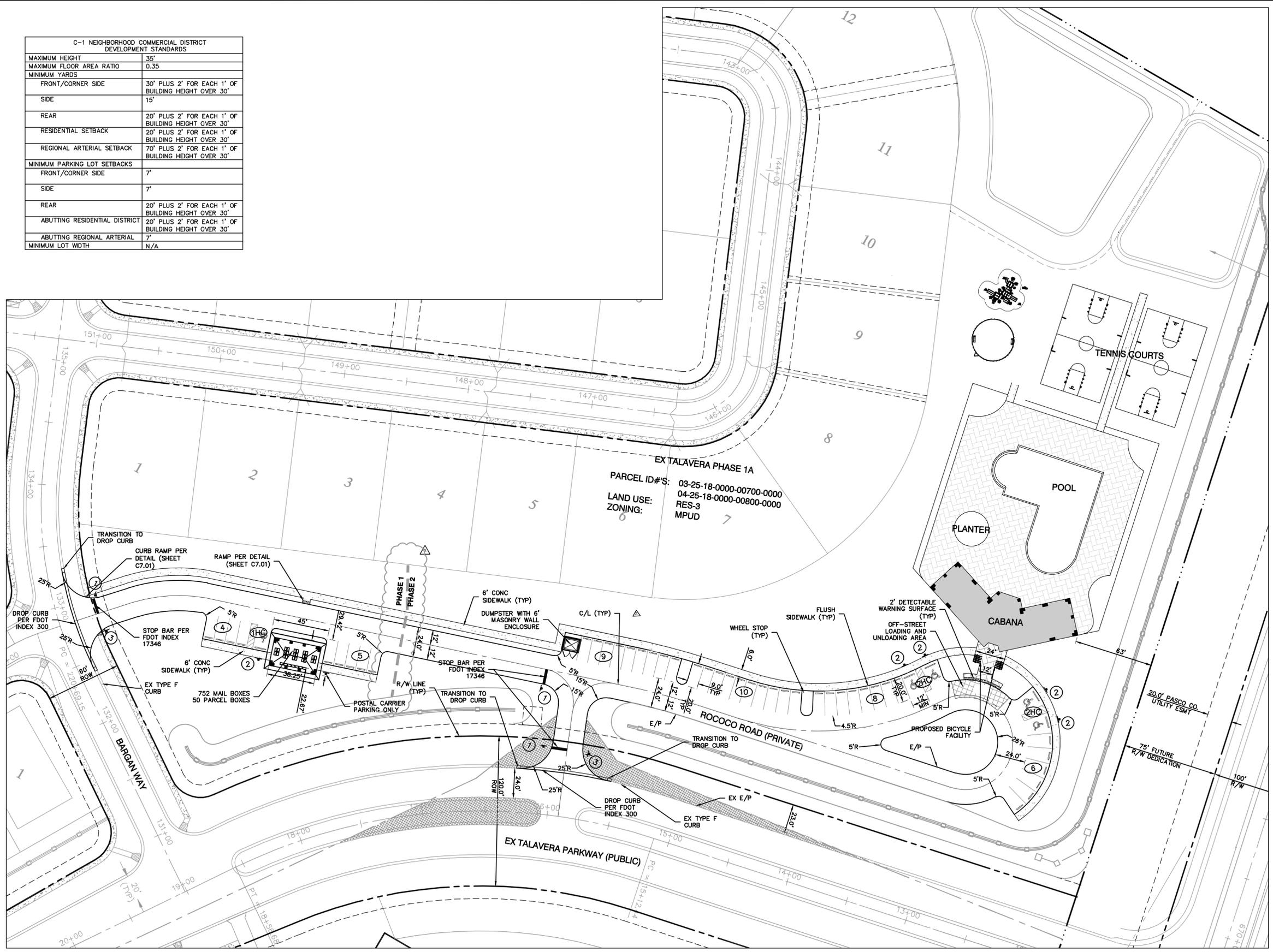
SIGN LEGEND					
NO.	SYMBOL	DESCRIPTION	REGULATORY NO.	SIZE	TOTAL
1		STOP	R1-1	30"x30"	1
2		HANDICAP PARKING	N/A	18"x12"	4
		\$250 FINE	N/A	6"x12"	
3		STREET NAME SIGN	D3	VARIES	1

- NOTES**
- ALL STRIPING AND SIGNING TO BE PER FDOT INDEX 17346 AND THE MUTCD.
 - REFLECTIVE PAVEMENT MARKINGS TO BE PLACED PER FDOT INDEX 17352 AND ALSO DISTRICT SEVEN INDEX 102.
 - ALL STRIPING AND PAVEMENT MARKING TO BE THERMOPLASTIC.

- PASCO COUNTY
TRAFFIC CONTROL DEVICES NOTES FOR PRIVATE STREETS
REVISED JULY 27, 2006
- ALL TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
 - ALL STREET NAME SIGNS ON PRIVATE ROADS SHALL BE D3 STREET NAME SIGNS WITH THE COLORS REVERSED, WHITE BACKGROUND WITH GREEN LETTERS AND BORDER. AT INTERSECTIONS WITH COUNTY, STATE, OR CITY MAINTAINED ROADS; THE COUNTY OR STATE MAINTAINED ROAD SHALL BE GREEN BACKGROUND WITH WHITE LETTERS AND BORDER. THE CITY MAINTAINED ROAD SHALL BE GREEN BACKGROUND WITH WHITE LETTERS AND BORDER UNLESS THE CITY HAS ADOPTED OTHER COLORS.
 - ANY TRAFFIC CONTROL DEVICE FOR A PRIVATE ROADWAY PLACED IN A COUNTY OR STATE RIGHT-OF-WAY SHALL BE INSTALLED ON THE APPROPRIATE BREAKAWAY POST ASSEMBLY.

- SIGHT DISTANCE NOTES**
- TALavera PARKWAY DESIGN SPEED = 30 MPH.
 - REFERENCE FDOT DESIGN STANDARD NO. 546. REQUIRED SIGHT DISTANCE FOR TWO LANE DIVIDED/MEDIAN SHOWN ON PLANS. SIGHT DISTANCE MEETS OR EXCEEDS REQUIREMENTS.
-

CLEAR-SIGHT TRIANGLE ADDED TO SHEET C3.01 PER PASCO COUNTY COMMENTS



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DESIGNED: [Signature]
 DRAWN: [Signature]
 CHECKED: TTL/AGK
 I.C.: LFK

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 Fax 813 880-8882
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 Engineering License #2610

TALavera AMENITIES CENTER
 FOR:
 M/I HOMES OF TAMPA, LLC
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 TAMPA, FL 33634

HORIZONTAL CONTROL AND SIGNAGE AND PAVEMENT MARKING PLAN

NO.	DATE	DESCRIPTION
1	03/17/2015	PROJECT SUBPHASING
2	06/18/2014	REVISED TO ADD MAIL KIOSK ACCESS
1	04/25/2014	REVISED PER PASCO COUNTY COMMENTS

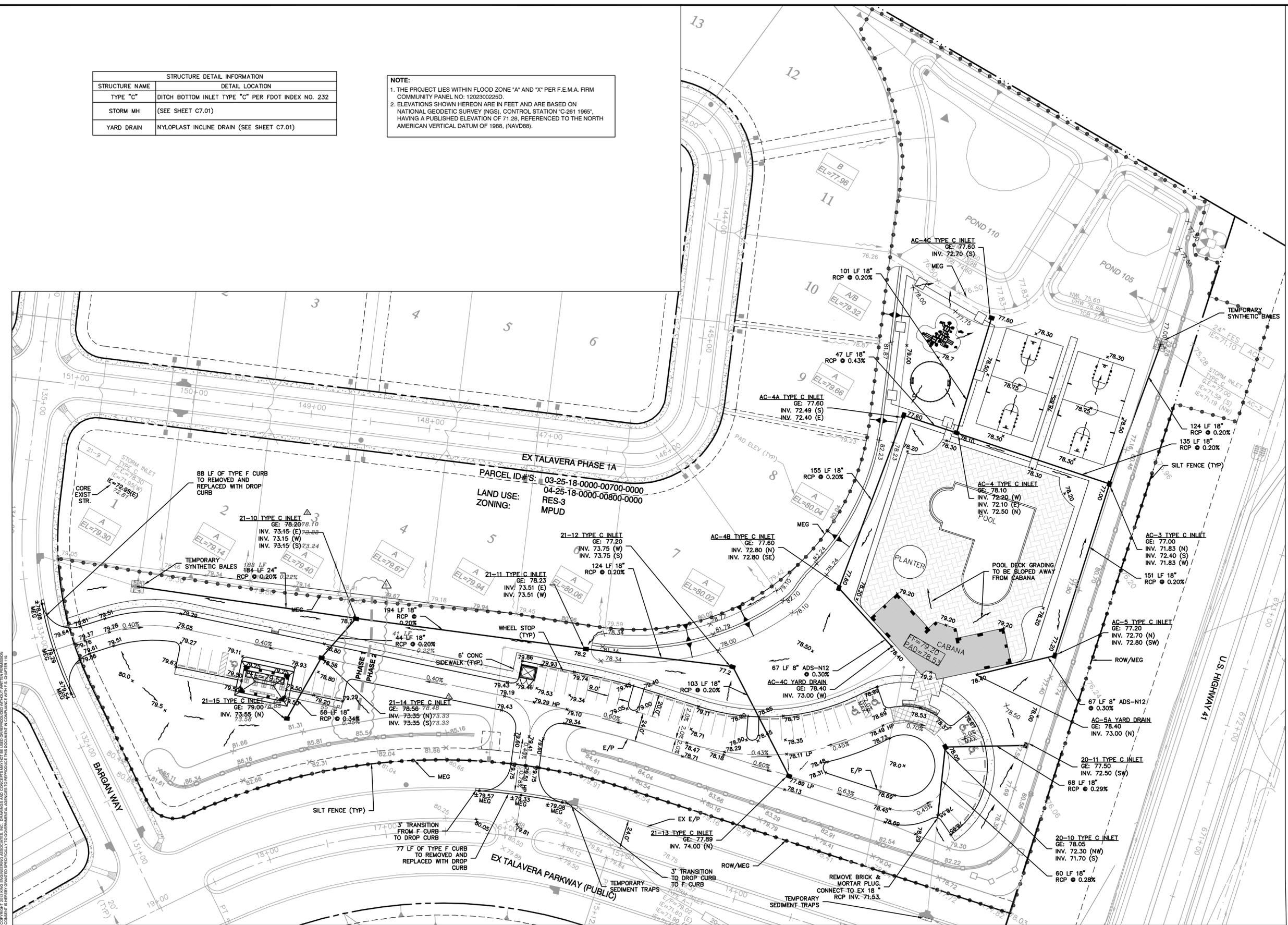
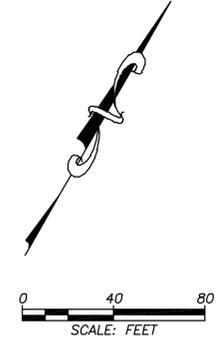
APP'D BY: TUYEN L. TRAN
 APR-02-2015
 FL P.E. NO. 54099

JOB NO.: 3855-006-000
 DATE: 01/17/2014
 SCALE: AS SHOWN

SHEET NO.: **C3.01**
 PASCO COUNTY SUBMITTAL
 APR-02-2015

STRUCTURE DETAIL INFORMATION	
STRUCTURE NAME	DETAIL LOCATION
TYPE "C"	DITCH BOTTOM INLET TYPE "C" PER FDOT INDEX NO. 232
STORM MH	(SEE SHEET C7.01)
YARD DRAIN	NYLOPLAST INCLINE DRAIN (SEE SHEET C7.01)

NOTE:
 1. THE PROJECT LIES WITHIN FLOOD ZONE "A" AND "X" PER F.E.M.A. FIRM COMMUNITY PANEL NO. 1202900225D.
 2. ELEVATIONS SHOWN HEREON ARE IN FEET AND ARE BASED ON NATIONAL GEODETIC SURVEY (NGS), CONTROL STATION "C-261 1965", HAVING A PUBLISHED ELEVATION OF 71.28, REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. (NAVD88).



NOTE:
 RECORD DRAWINGS SHOWING CHANGES MADE DURING THE CONSTRUCTION PROCESS AS BASED ON THE BEST AVAILABLE INFORMATION FURNISHED BY PROJECT SURVEYOR REGISTERED IN FLORIDA AS A PROFESSIONAL LAND SURVEYOR/MAPPER. RECORD INFORMATION IS SHOWN SLANTED.

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 CHECKED: LFK
 DATE: 01/17/2014

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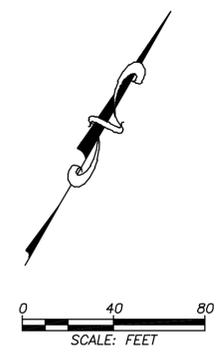
RECORD DRAWING
PAVING, GRADING, AND DRAINAGE PLAN

NO.	DATE	DESCRIPTION
1.	03/17/2015	PROJECT SUBPHASING
4.	01/20/15	ADDED RECORD DATA
3.	08/18/2014	REVISED STORM STRUCTURES
2.	07/15/2014	REVISED STORM STRUCTURE INVERTS
1.	04/25/2014	REVISED PER PASCO COUNTY COMMENTS

TUYEN L. TRAN
 APR-02-2015
 FL P.E. NO. 54099

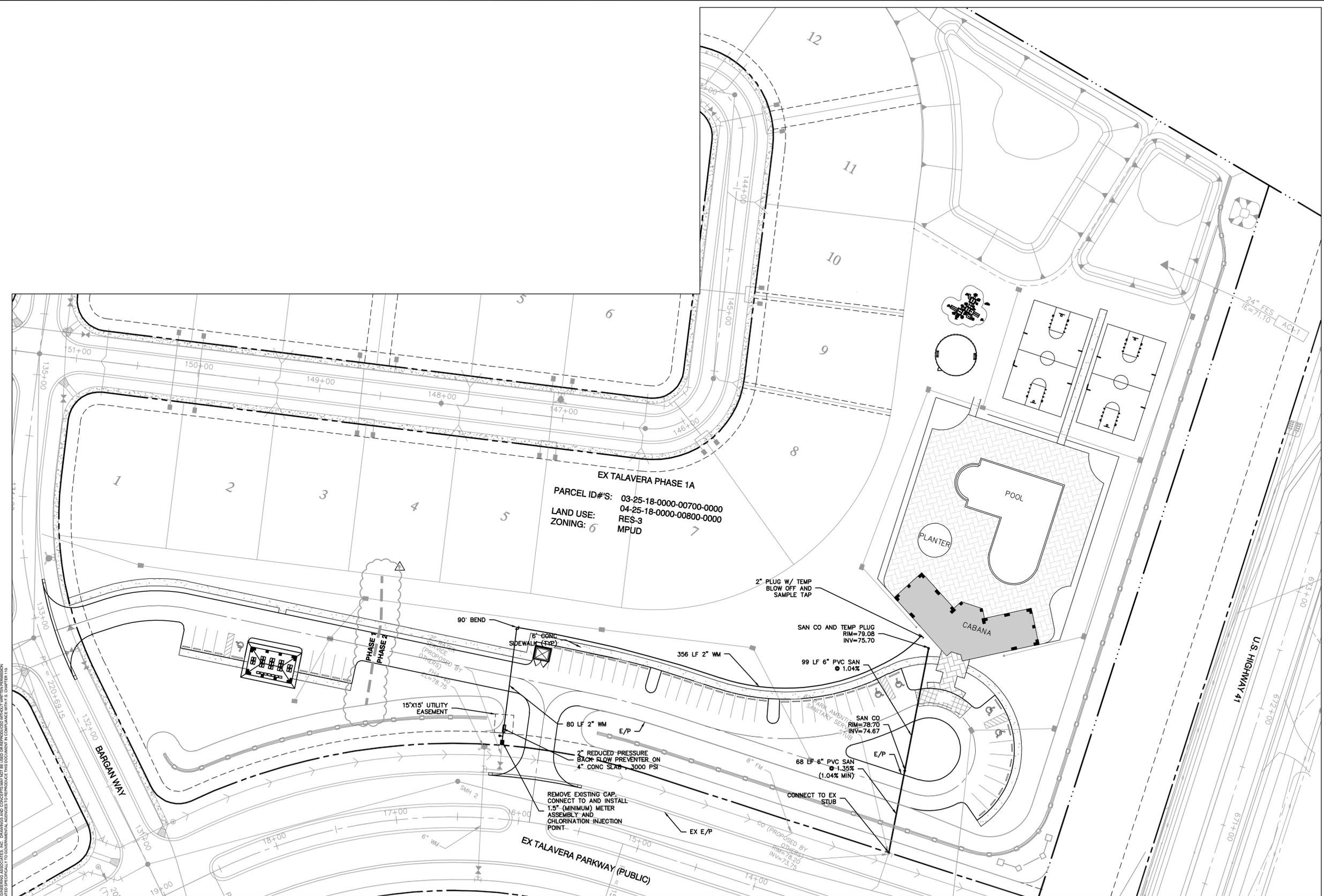
JOB NO. 3855-006-000
 DATE 01/17/2014
 SCALE AS SHOWN

SHEET NO. **C4.01**
 PASCO COUNTY SUBMITTAL
 APR-02-2015



- NOTES**
1. EXPOSE STUB AND CONFIRM ELEVATION, DIRECTION, AND DIAMETER PRIOR TO SANITARY SERVICE EXTENSION.
 2. EXISTING 2" WATER SERVICE AND EXISTING 6" SANITARY SERVICE WERE PERMITTED UNDER TALAVERA PHASE 1A PLANS. PREVIOUS FDEP WATER PERMIT #721-51CW03-245.02 PREVIOUS FDEP WASTE WATER PERMIT #799-51CS03-245.02
 3. VERIFY ELEVATION, DIRECTION, AND DIAMETER OF STORM SEWER PRIOR TO INSTALLATION OF WATER SERVICE AT CROSSINGS.
 4. ADJUST EXISTING HYDRANT AND VALVE BOX, AS REQUIRED, TO MATCH PROPOSED GRADING.
 5. FIRE HYDRANTS WILL REQUIRED FLOW TESTING AND COLOR CODING PER FLOW TEST RESULTS.
 6. CONNECTIONS INTO EXISTING COUNTY-OWNED SYSTEMS SHALL BE VIA WET TAP. WET TAPS SHALL BE PERFORMED BY THE PASCO COUNTY UTILITIES SERVICES BRANCH AT THE OWNER'S EXPENSE. MATERIAL FOR WET TAPS LARGER THAN 2" SHALL BE PROVIDED AND INSTALLED BY THE PROJECT CONTRACTOR.

- CONTRACTOR'S RESPONSIBILITIES**
- 2" ONLY - THIS EXCAVATED TRENCH MUST BE DRY OR THE TRENCH WILL REQUIRE ROCK AND A PUMP TO BE IN PLACE. THE MINIMUM DISTANCE FROM THE FACE OF THE VALVE TO THE WALL OF THE TRENCH IS TO BE SIX FEET.
 - 3" AND LARGER - THE CONTRACTOR WILL SUPPLY A TAPPING SADDLE BEING EPOXY COATED, A TAPPING VALVE WITH MECHANICAL JOINT AND THE EQUIPMENT TO PROVIDE, AND CONDUCT A PRESSURE TEST. COUNTY PERSONNEL WILL WITNESS THE PRESSURE TEST WHICH MUST BE AT 150 PSI FOR DURATION OF THIRTY MINUTES.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION BEFORE ANY COUNTY PERSONNEL WILL ENTER AN EXCAVATED AREA. IF THE TRENCH IS FOUR FEET IN DEPTH OR DEEPER, IT WILL REQUIRE A TRENCH BOX OR SLOPING, AND A LADDER ACCORDING TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
 - THE TAPPING VALVE WILL REQUIRE A BLOCKING DEVICE MADE OF SUITABLE MATERIAL OR DEVICE. THIS BLOCKING DEVICE OR MATERIAL WILL BE PLACED UNDER THE VALVE AND REMAIN IN PLACE UNTIL THE TAP MACHINE IS REMOVED AND THE TAP IS COMPLETED.
 - NOTE: IF THE CONTRACTOR HAS NOT FULFILLED HIS RESPONSIBILITIES, AS STATED ABOVE, PRIOR TO THE ARRIVAL OF PASCO COUNTY UTILITIES OPERATIONS AND MAINTENANCE TAPPING CREW, THERE WILL BE AN ADDITIONAL CHARGE OF \$95.00.
 - IF YOU HAVE ANY QUESTIONS REGARDING THIS INFORMATION, CONTACT NELSON D. HOLT, FIELD SUPERVISOR, UTILITIES SERVICES BRANCH, AT (727) 847-8145, OR E-MAIL NHOLT@PASCOCOUNTYFL.NET



EX TALAVERA PHASE 1A
 PARCEL ID#S: 03-25-18-0000-00700-0000
 04-25-18-0000-00800-0000
 LAND USE: RES-3
 ZONING: 6 MPUD

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 G.C. LFK

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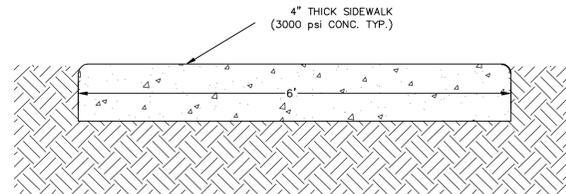
TALAVERA AMENITIES CENTER
 FOR:
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 4343 ANCHOR PLAZA PARKWAY, SUITE 200
 TAMPA, FL 33634

SANITARY SEWER AND WATER DISTRIBUTION PLAN

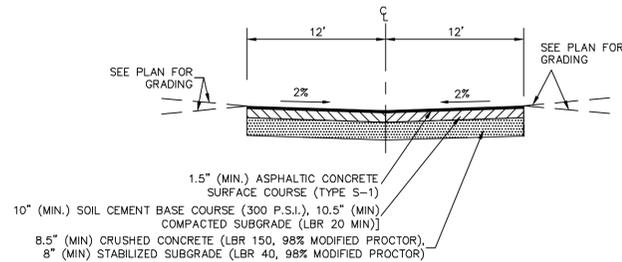
NO.	DATE	DESCRIPTION	APP'D BY
1.	03/17/2015	PROJECT SUBPHASING	
	04/25/2014	REVISED PER PASCO COUNTY COMMENTS	

TUYEN L. TRAN
 APR-02-2015
 FL P.E. NO. 54099

JOB NO. 3855-006-000
 DATE 01/17/2014
 SCALE AS SHOWN
 SHEET NO. C5.01
 PASCO COUNTY SUBMITTAL
 APR-02-2015

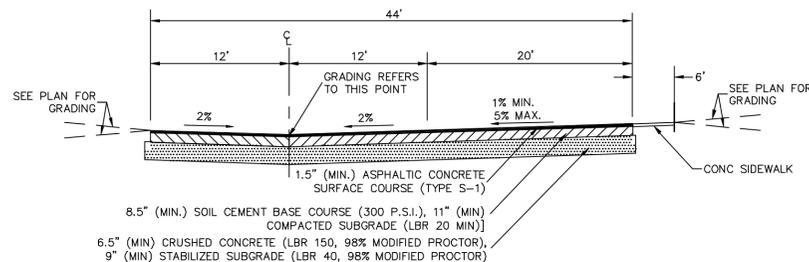


SIDEWALK DETAIL



TYPICAL DRIVEWAY DETAIL

N.T.S.

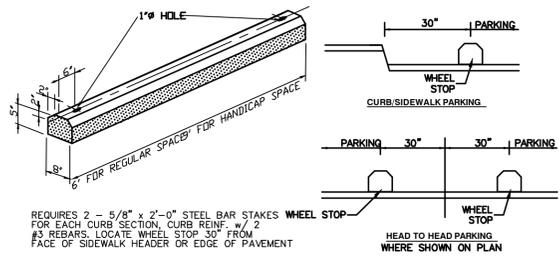


TYPICAL PARKING DETAIL

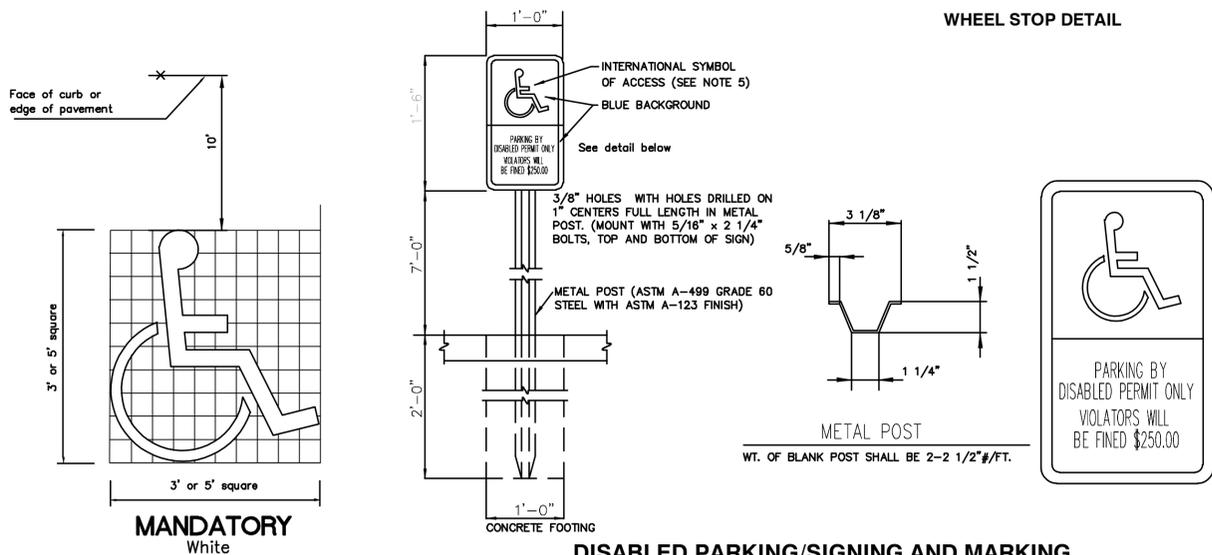
N.T.S.

DRIVEWAY STRUCTURAL NUMBERS
REQUIRED SN = 2.58
0.15 - SOIL CEMENT (300 PSI)***
0.44 - TYPE S-1 ASPHALT SURFACE
0.15 - CRUSHED CONCRETE (LBR 150, 98% OF MOD. PROCTOR)
0.08 - STABILIZED SUBGRADE (LBR 40 MIN., 98% OF MOD. PROCTOR)
0.04 - COMPACTED SUBGRADE (LBR 20 MIN.)
 $SN = (0.44)(1.5") + (0.15)(8.5") + (0.08)(8") = 2.58$
**ALT. $SN = (0.44)(1.5") + (0.15)(10") + (0.04)(10.5") = 2.58$
SN = 2.58 (REQUIRED)
**ALTERNATE SN MAY BE USED AT OWNER'S DISCRETION. MAY REQUIRE USE OF UNDERDRAIN AT GEOTECHNICAL ENGINEER DETERMINED LOCATIONS.
***SOIL CEMENT MAY BE USED AT THE OWNER'S DISCRETION

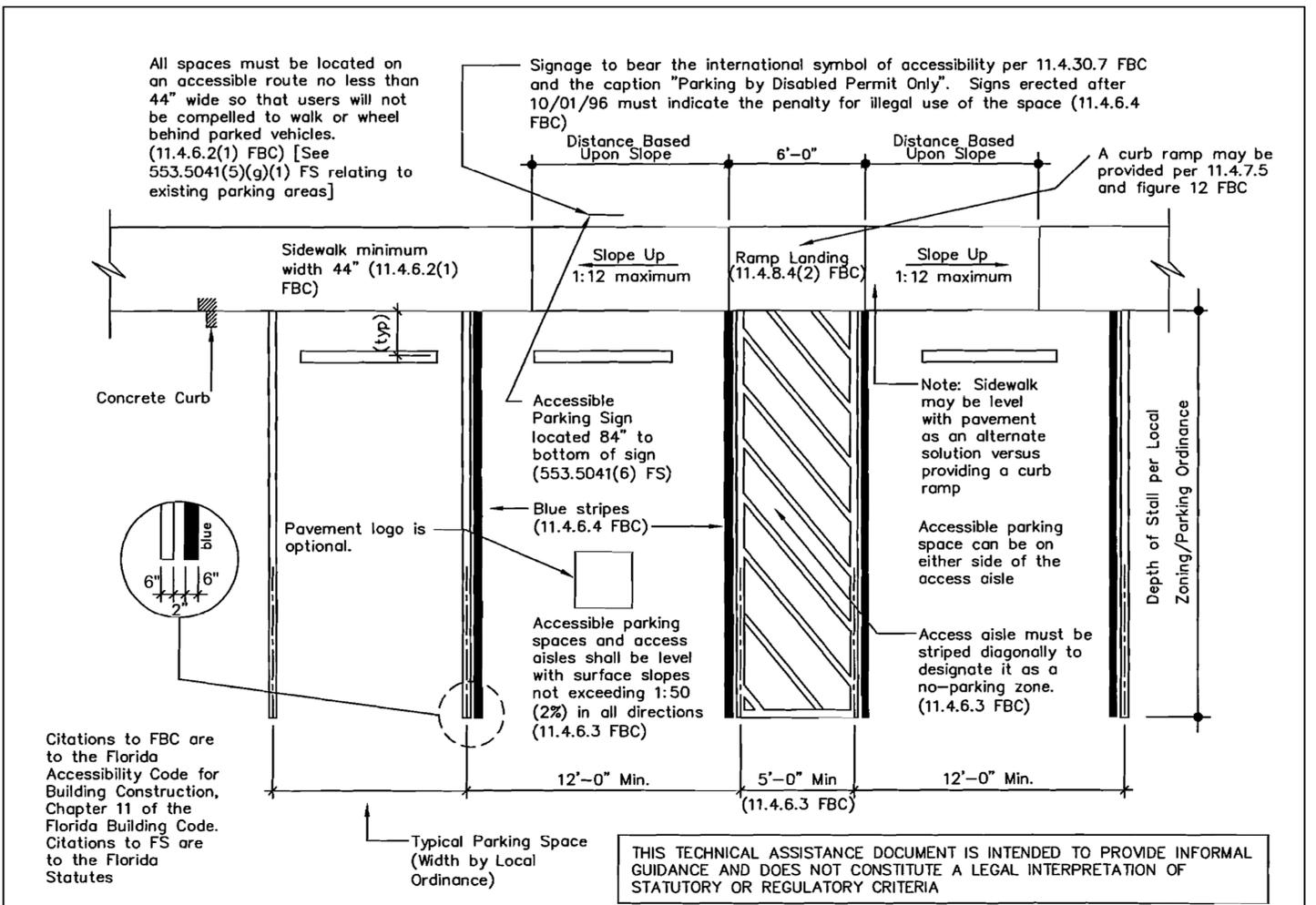
PARKING STRUCTURAL NUMBERS
REQUIRED SN = 2.36
0.15 - SOIL CEMENT (300 PSI)***
0.44 - TYPE S-1 ASPHALT SURFACE
0.15 - CRUSHED CONCRETE (LBR 150, 98% OF MOD. PROCTOR)
0.08 - STABILIZED SUBGRADE (LBR 40 MIN., 98% OF MOD. PROCTOR)
0.04 - COMPACTED SUBGRADE (LBR 20 MIN.)
 $SN = (0.44)(1.5") + (0.15)(6.5") + (0.08)(9") = 2.36$
**ALT. $SN = (0.44)(1.5") + (0.15)(8.5") + (0.04)(11") = 2.38$
SN = 2.36 (REQUIRED)
**ALTERNATE SN MAY BE USED AT OWNER'S DISCRETION. MAY REQUIRE USE OF UNDERDRAIN AT GEOTECHNICAL ENGINEER DETERMINED LOCATIONS.
***SOIL CEMENT MAY BE USED AT THE OWNER'S DISCRETION



WHEEL STOP DETAIL

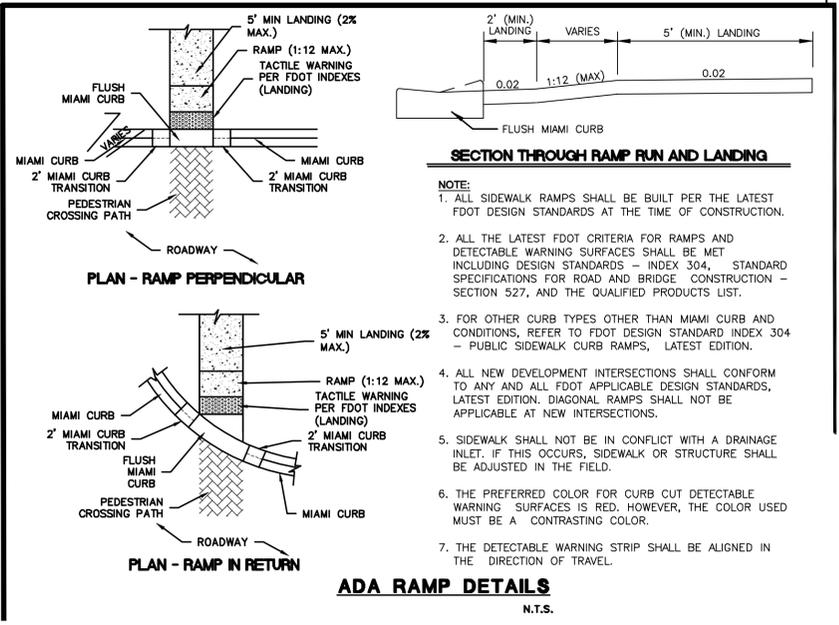


DISABLED PARKING/SIGNING AND MARKING



Recommended Accessible Parking Space(s) Design for Single Line Requirements

N.T.S.



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CHECKED
TTL/AGK
G.C.
LFK

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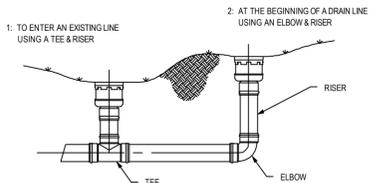
TYPICAL SECTION AND STORM SEWER DETAILS

NO.	DATE	REVISION	DESCRIPTION	APP'D BY
1.	04/25/2014	REVISED PER PASCO COUNTY COMMENTS		

JOB NO. 3855-006-000
DATE 01/17/2014
SCALE AS SHOWN
TUYEN L. TRAN
APR-02-2015
FL P.E. NO. 54099
PASCO COUNTY SUBMITTAL
APR-02-2015
SHEET NO. C7.01

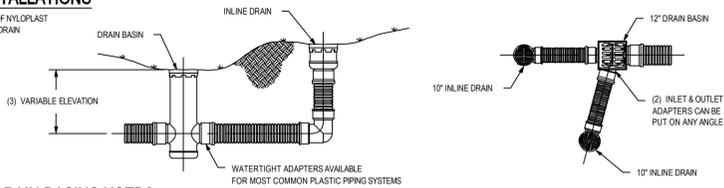
WHEN ARE INLINE DRAINS USED?

- 2708AG _X
- 2710AG _X
- 2712AG _X
- 2714AG _X
- 2716AG _X
- 2722AG _X
- 2730AG _X



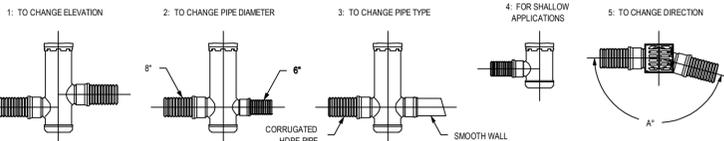
TYPICAL INSTALLATIONS

TYPICAL INSTALLATION OF NYLOPLAST DRAIN BASIN AND INLINE DRAIN



WHEN ARE DRAIN BASINS USED?

- 2808AG _X
- 2810AG _X
- 2812AG _X
- 2814AG _X
- 2816AG _X
- 2822AG _X
- 2830AG _X

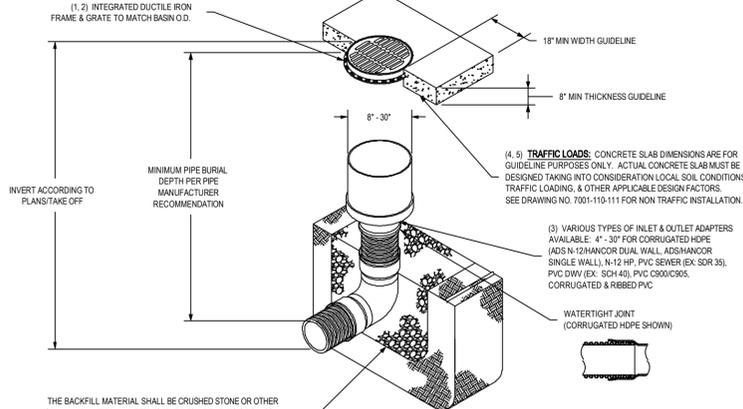


- 1 - STRUCTURES & ADAPTERS AVAILABLE IN SIZES 8" - 30"
- 2 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 90° TO 360° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-010
- 3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS SEE DRAWING NO. 7001-110-005

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DRAWN BY	AWA	MATERIAL	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2448 FAX (770) 932-2490 www.nyloplast.com
DATE	8-16-00	PROJECT NO./NAME	
REVISED BY	EBG	TITLE	8 IN - 30 IN TYPICAL INSTALLATION OPTIONS
DATE	1-6-10	DWG NO.	7001-110-042
DWG SIZE	A	SCALE	1:40 SHEET 1 OF 1
		REV	D

NYLOPLAST INLINE DRAIN WITH STANDARD GRATE



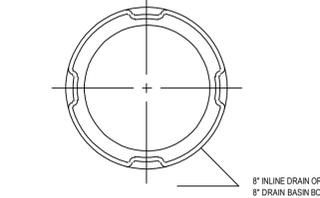
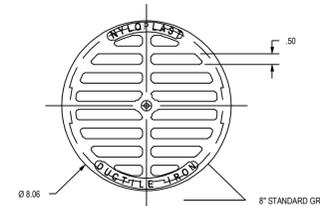
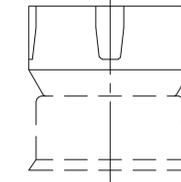
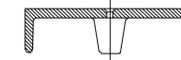
- 1 - 8" - 30" STANDARD GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- 2 - 12" - 30" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- 3 - 8" & 10" STANDARD GRATES FIT DIRECTLY ONTO INLINE DRAINS SEE DRAWING NO. 7003-110-004 & 7003-110-001
- 4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D2321 FOR CORRUGATED HDPE (ADS N-12 HANCOR DUAL WALL, N-12 HP & PVC SEWER EX. SDR 35)
- 5 - 8" & 10" STANDARD GRATES ARE RATED FOR LIGHT DUTY APPLICATIONS ONLY. NO CONCRETE COLLAR NEEDED FOR LIGHT DUTY RATING.

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DRAWN BY	EBG	MATERIAL	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2448 FAX (770) 932-2490 www.nyloplast.com
DATE	1-23-06	PROJECT NO./NAME	
REVISED BY	EBG	TITLE	INLINE DRAIN WITH STANDARD GRATE QUICK SPEC INSTALLATION DETAIL
DATE	3-13-10	DWG NO.	7003-110-022
DWG SIZE	A	SCALE	1:40 SHEET 1 OF 1
		REV	H

0899CGS

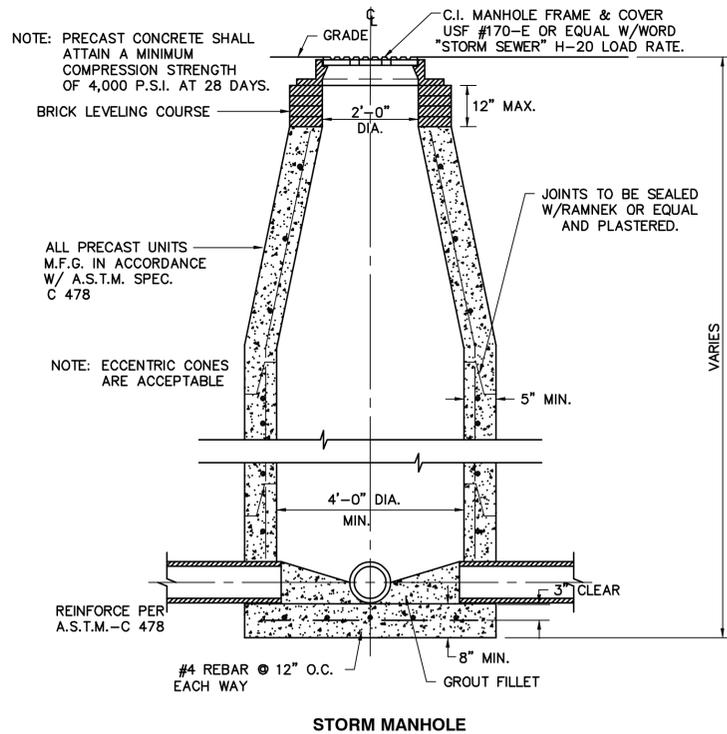
APPROX. DRAIN AREA = 18.77 SQ IN
APPROX. WEIGHT = 3.06 LBS



DIMENSIONS ARE FOR REFERENCE ONLY
ACTUAL DIMENSIONS MAY VARY
DIMENSIONS ARE IN INCHES
GRATE HAS LIGHT DUTY RATING
QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT
SIZE OF OPENING MEETS REQUIREMENTS OF AMERICAN DISABILITY ACT AS STATED IN FEDERAL REGISTER PART II, DEPARTMENT OF JUSTICE, 28 CFR PART 36
LOCKING DEVICE AVAILABLE UPON REQUEST SEE DRAWING NO. 7001-110-038

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DRAWN BY	EBG	MATERIAL	DUCTILE IRON	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2448 FAX (770) 932-2490 www.nyloplast.com
DATE	3-1-06	PROJECT NO./NAME		
REVISED BY	EBG	TITLE	8 IN STANDARD GRATE ASSEMBLY	
DATE	3-13-10	DWG NO.	7001-110-194	
DWG SIZE	A	SCALE	1:4	SHEET 1 OF 1
		REV	B	



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DESIGNED	
DRAWN	
CHECKED	TTL/AGK
D.C.	LFK

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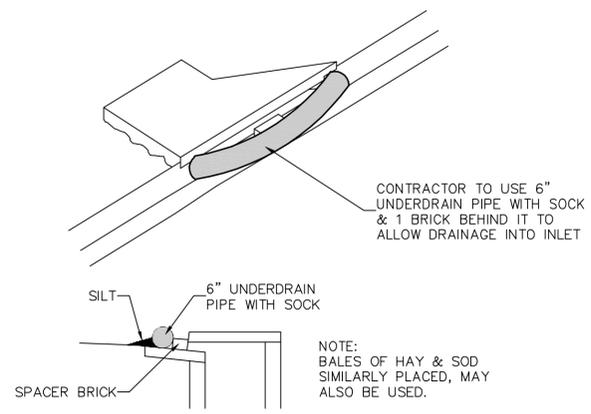
4921 Memorial Highway
One Memorial Center, Suite 300
Tampa, Florida 33634
Phone 813 880-8881
Fax 813 880-8882
www.kingengineering.com
Engineering License #2610

TALAVERA AMENITIES CENTER
FOR:
M/I HOMES OF TAMPA, LLC
4343 ANCHOR PLAZA PARKWAY, SUITE 200
TAMPA, FL 33634

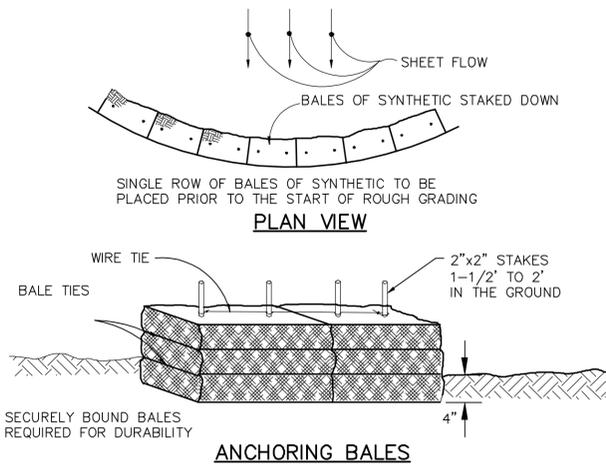
TYPICAL SECTION AND STORM SEWER DETAILS

NO.	DATE	DESCRIPTION	APP'D BY

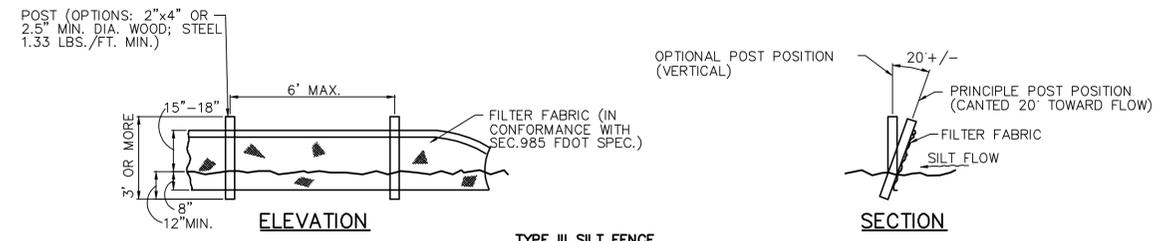
JOB NO.	3855-006-000	SHEET NO.	C7.02
DATE	01/17/2014		
SCALE	AS SHOWN		
DESIGNED BY	TUYEN L. TRAN		
DATE	APR-02-2015		
SCALE	FL P.E. NO. 54099		
PROJECT	PASCO COUNTY SUBMITTAL		
DATE	APR-02-2015		



TEMPORARY SEDIMENT TRAP AT CURB INLET
REV. SD1801 N.T.S.

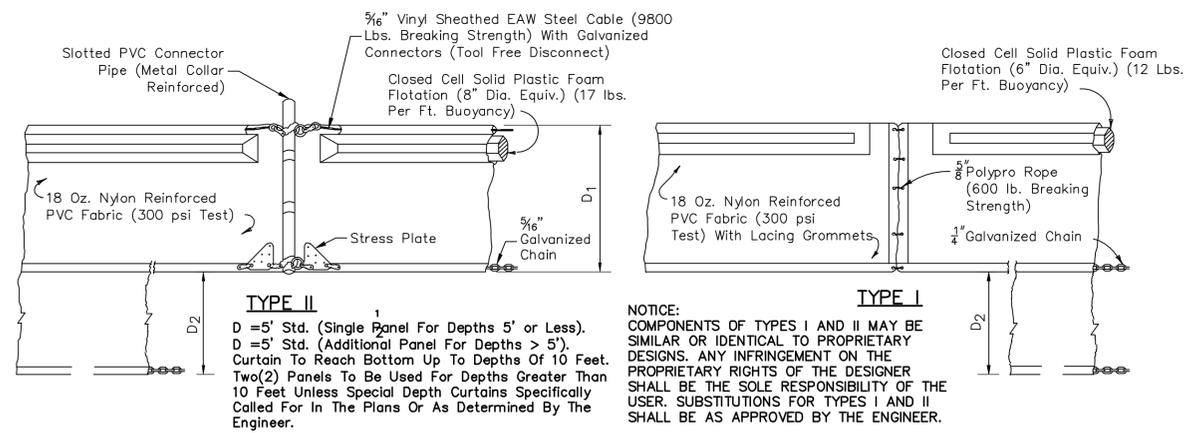


TEMPORARY SYNTHETIC BALE SEDIMENT BARRIER
N.T.S.



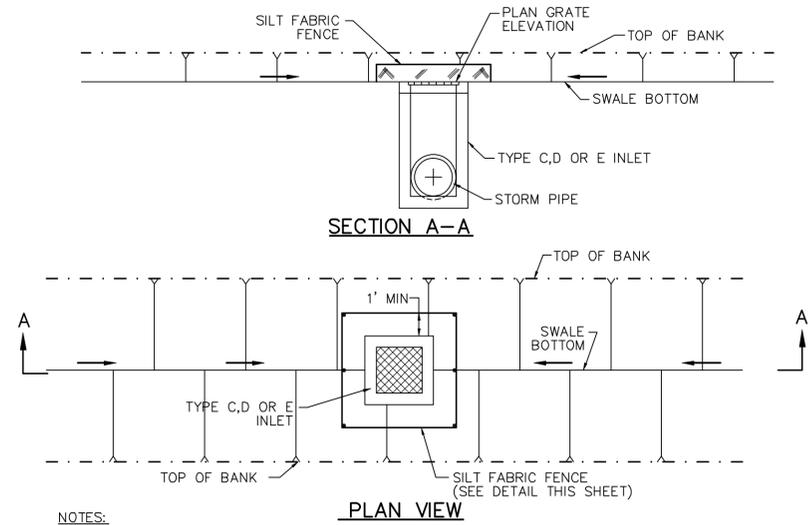
TYPE III SILT FENCE
SD1808 N.T.S.

NOTES:
1. FOR ADDITIONAL INFORMATION AND DETAILS, SEE F.D.O.T. INDEX No. 102
2. ADDITIONAL POSTS AND RAILS MAY BE NECESSARY TO SECURE AND SUPPORT BARRIERS.
3. ADDITIONAL FENCE LENGTHS MAY BE REQUIRED BY THE COUNTY ENGINEER OR BY REGULATORY AGENCIES.



FLOATING TURBIDITY BARRIERS
FLOAT-SB N.T.S.

NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.



SECTION A-A
PLAN VIEW

NOTES:
1. CONTRACTOR TO INSTALL TEMPORARY PLYWOOD OVER GRATE OF INLET DURING CONSTRUCTION UNTIL GRATE IS PUT IN PLACE.
2. MIRAFI FABRIC IS TO BE PLACED UNDER GRATE DURING CONSTRUCTION TO LIMIT SILTS FROM ENTERING THE STRUCTURE.
3. SILT FENCE TO BE MAINTAINED BY CONTRACTOR DURING CONSTRUCTION AND LEFT IN GOOD CONDITION AT COMPLETION OF SITE WORK.
4. BUILDING DIVISION SHALL BE RESPONSIBLE FOR MAINTENANCE OF SILT FENCES AND SEDIMENT IN PIPES AFTER ACCEPTANCE OF SITE WORK.

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DESIGNED	THE SIGNATURE OF THE QUALITY CONTROL OFFICER IN THIS SPACE INDICATES THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED AND THAT CONSTRUCTION IS AUTHORIZED TO COMMENCE.
DRAWN	
CHECKED	
TTL/AGK	
G.C.	
LFK	

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Tampa, Florida 33634
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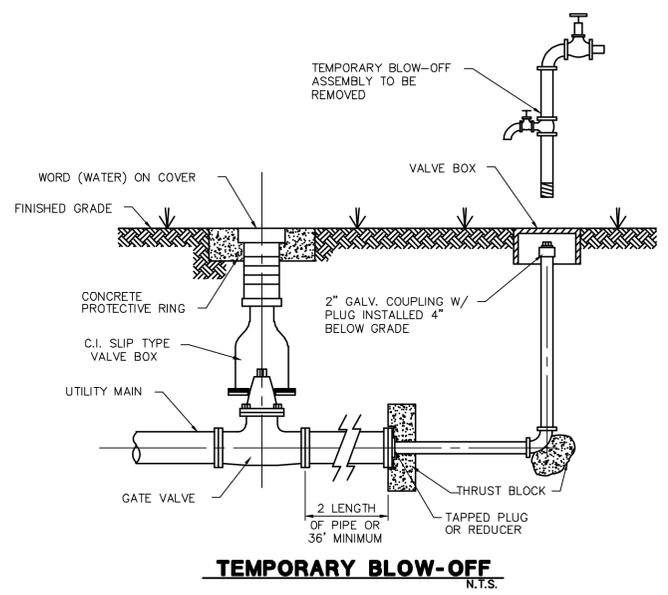
TALAVERA AMENITIES CENTER
FOR:
M/I HOMES OF TAMPA, LLC
4343 ANCHOR PLAZA PARKWAY, SUITE 200
TAMPA, FL 33634

EROSION CONTROL DETAILS

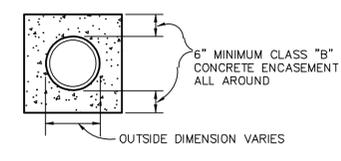
NO.	DATE	DESCRIPTION	APP'D BY

JOB NO. 3855-006-000	SHEET NO. C8.01
DATE 01/17/2014	SCALE AS SHOWN
TUYEN L. TRAN APR-02-2015 FL P.E. NO. 54099	
PASCO COUNTY SUBMITTAL APR-02-2015	

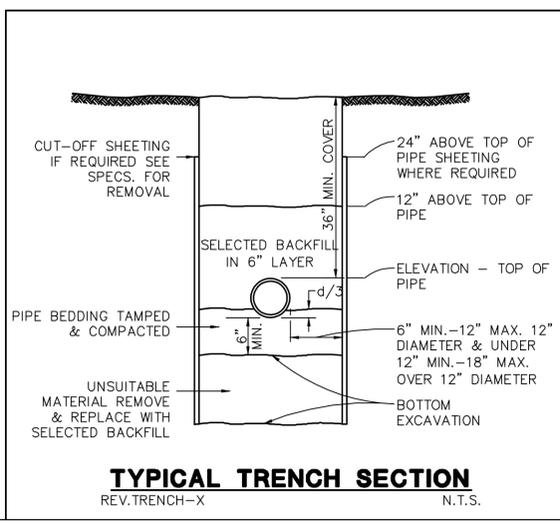
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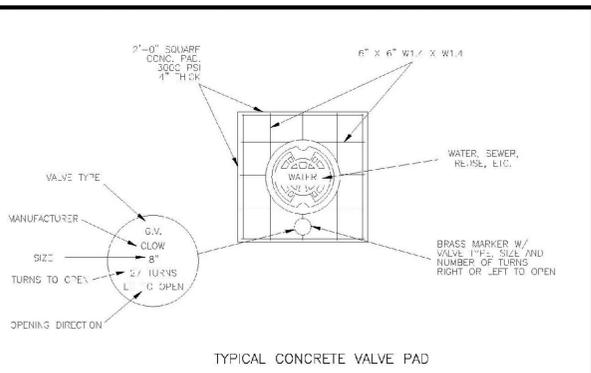
TEMPORARY BLOW-OFF
N.T.S.



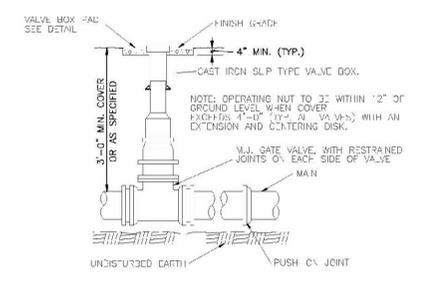
CONCRETE ENCASUREMENT
SS 5.00 N.T.S.



TYPICAL TRENCH SECTION
REV. TRENCH-X N.T.S.

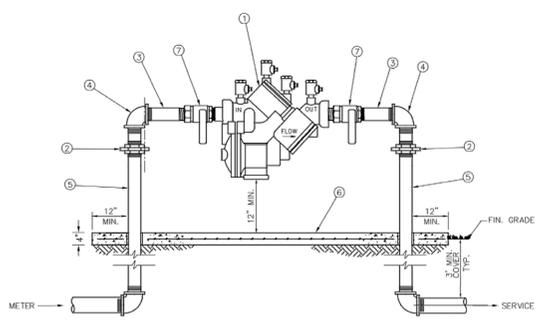


TYPICAL CONCRETE VALVE PAD



VALVE BOX DETAIL
SLIP TYPE
PASCO COUNTY UTILITIES

PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
DETAIL 30



ITEM	QUANT.	DESCRIPTION
1	1	BACKFLOW PREVENTER ASSEMBLY, REDUCED PRESSURE ZONE
2	2	UNIONS - GALV.
3	2	NIPPLES - BRASS
4	2	ELBOWS - GALV. 90°
5	2	RISER - GALV.
6	*	CONCRETE SLAB
7	2	BALL VALVES - BRASS OR S.S. (PROVIDED WITH BRP ASS'Y)

NOTE: - FIELD ADJUST AND CUT ITEM 5 TO THE PROPER LENGTH.
- MINIMUM CLEARANCE OF 24" TO BE MAINTAINED AROUND DEVICE FOR TESTING.
- ENTIRE ASSEMBLY TO BE PAINTED SAFETY BLUE.
- CONCRETE SLAB TO EXTEND 12" MIN. AROUND ENTIRE DEVICE.
- DEVICE MUST BE LISTED WITH THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH.

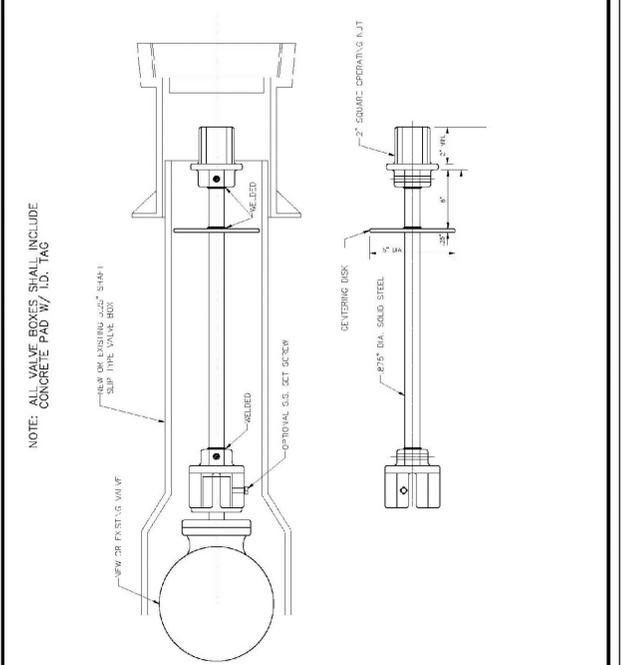
CREATED 02/24/03
REVISED _____
REDUCED PRESSURE BACKFLOW PREVENTER (SINGLE SERVICE: 3/4", 1", 1-1/2", 2")
PASCO COUNTY UTILITIES
PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
DETAIL 12

PIPE RESTRAINT LENGTHS IN FEET TEES (BRANCH SIDE)

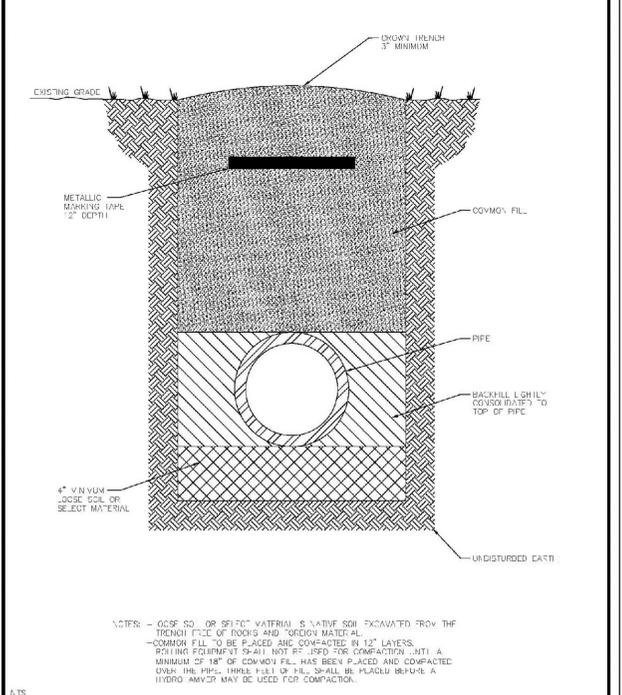
		WATER MAINS - TEST PRESSURE 150 PSI								
		BRANCH SIZE								
		3"	4"	6"	8"	10"	12"	16"	20"	24"
RUN SIZE	3"	6'	14'	30'	—	—	—	—	—	—
	4"	2'	11'	28'	44'	—	—	—	—	—
	6"	1'	2'	22'	40'	52'	—	—	—	—
	8"	1'	1'	16'	35'	48'	62'	—	—	—
	10"	1'	1'	10'	30'	44'	58'	83'	—	—
	12"	1'	1'	3'	25'	40'	55'	80'	103'	—
	16"	1'	1'	1'	14'	31'	48'	75'	98'	119'
	20"	1'	1'	1'	2'	22'	40'	69'	94'	116'
24"	1'	1'	1'	1'	11'	31'	63'	89'	111'	

RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE TEE ALONG THE BRANCH FOR THE DISTANCE INDICATED. A MINIMUM OF 5 FEET OF RESTRAINED PIPE MUST BE INSTALLED ON BOTH RUNS OF THE TEE. MEGALUG TYPE RESTRAINERS ARE REQUIRED ON ALL JOINTS.

CREATED 03/24/03
REVISED _____
RESTRAINED JOINT TABLE TEES (BRANCH SIDE)
PASCO COUNTY UTILITIES
PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
DETAIL 32



CREATED 02/24/03
REVISED _____
VALVE EXTENSION RODS
PASCO COUNTY UTILITIES
PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
DETAIL 29



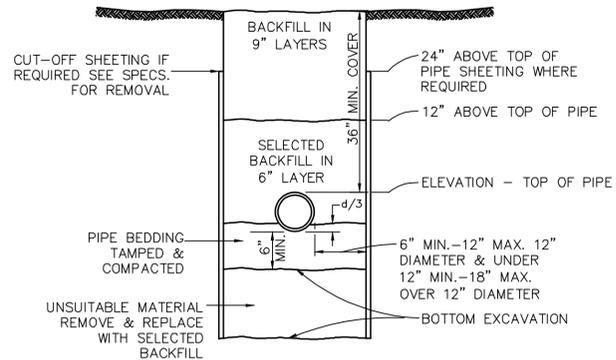
CREATED 02/24/03
REVISED _____
PIPE LAYING CONDITIONS STANDARD UNPAVED AREAS
PASCO COUNTY UTILITIES
PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
DETAIL 35

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TALAVERA AMENITIES CENTER
 FOR:
M/I HOMES OF TAMPA, LLC
 4343 ANCHOR PLAZA PARKWAY, SUITE 200
 TAMPA, FL 33634

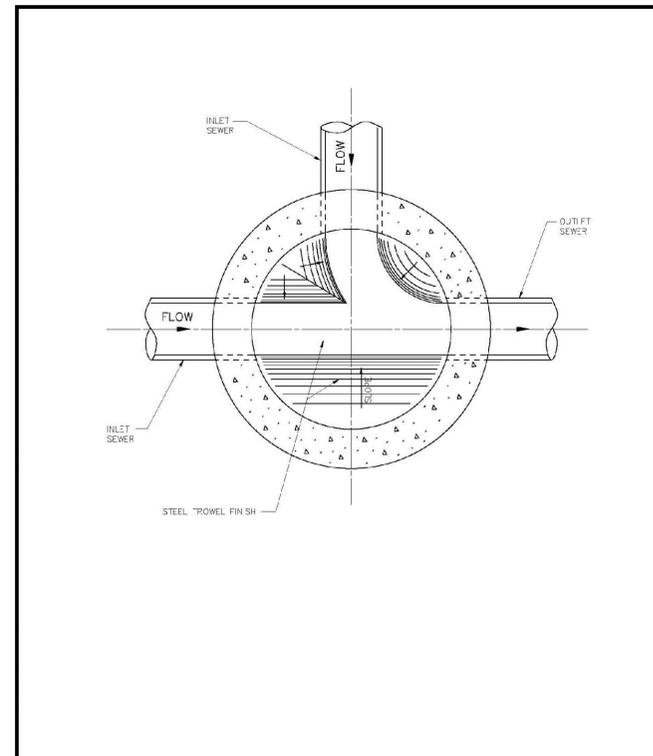
WATER DISTRIBUTION DETAILS

JOB NO. 3855-006-000
 DATE 01/17/2014
 SCALE AS SHOWN
 Tuyen L. Tran
 APR-02-2015
 FL P.E. NO. 54099
C11.01
 PASCO COUNTY SUBMITTAL
 APR-02-2015

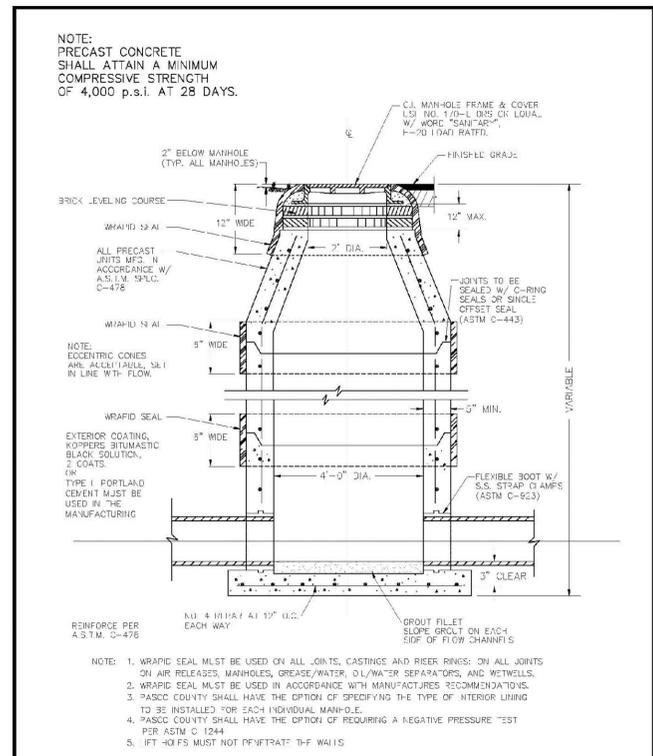


TYPICAL TRENCH SECTION

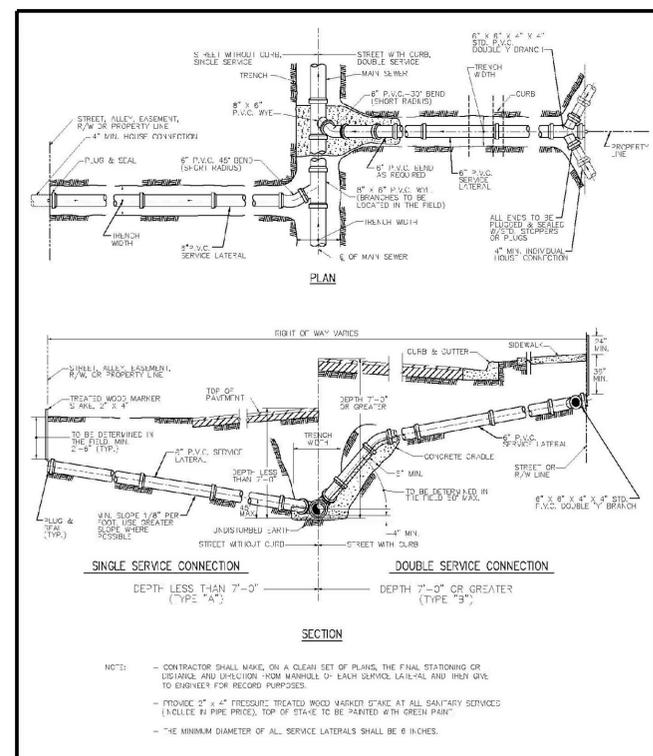
TRENCH-1 12/21/98 N.T.S.



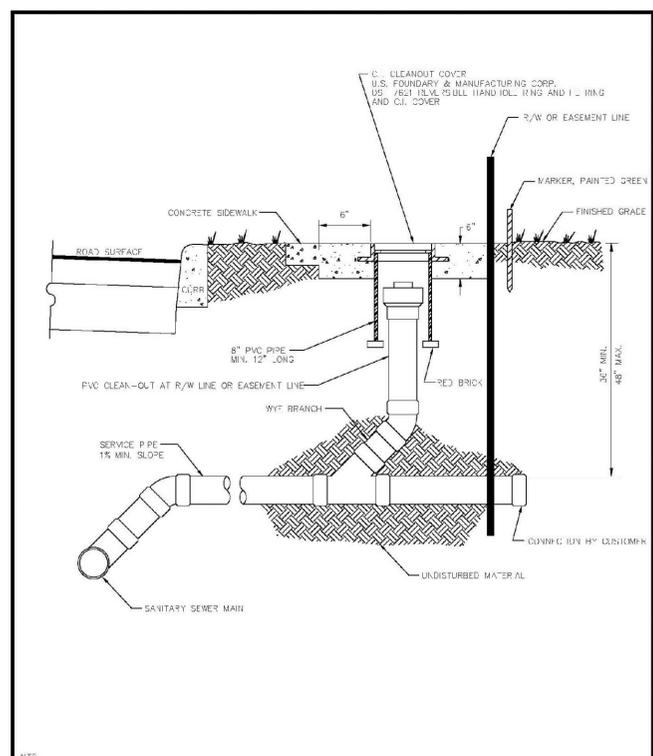
CREATED 02/21/03	STANDARD MANHOLE (BENCH AND INVERTS)	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED	PASCO COUNTY UTILITIES	DETAIL 39



CREATED 02/24/03	STANDARD MANHOLE	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED	PASCO COUNTY UTILITIES	DETAIL 41



CREATED 02/21/03	SEWER LATERAL CONNECTION	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED	PASCO COUNTY UTILITIES	DETAIL 44



CREATED 02/24/03	SANITARY SEWER - SINGLE WYE CONNECTION AND TYPICAL CLEAN-OUT	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVISED	PASCO COUNTY UTILITIES	DETAIL 45

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DESIGNED
 DRAWN
 CHECKED
 TTL/AGK
 I.C.
 LFK

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SANITARY SEWER DETAILS

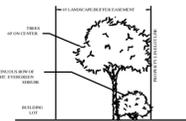
NO.	DATE	DESCRIPTION	APP'D BY

JOB NO. 3855-006-000
 DATE 01/17/2014
 SCALE AS SHOWN
 Tuyen L. Tran
 APR-02-2015
 FL P.E. NO. 54099
C12.01
 PASCO COUNTY SUBMITTAL
 APR-02-2015

PLANT_SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT TOLERANT
	AB	8	Acer barbatum 'Floridanum'	Florida Maple	45 gal	2" cal	8'-10" HT. x 3'-4" SPD.	X	X
	CC	9	Cercis canadensis	Eastern Redbud	45 gal	2" cal	6'-8" HT. x 4'-5" SPD.	X	
	OL	5	Quercus laurifolia	Laurel Oak	45 gal	2" cal	7'-8" HT. x 7'-8" SPD.		
	IC	3	Ilex cassine	Dahoon Holly	45 gal	2" cal	8'-10" HT. x 3'-4" SPD.	X	X
	IO	2	Ilex opaca 'Nellie R. Stevens'	Nellie Stevens Holly	45 gal	2" cal	8'-10" HT. x 3'-4" SPD.	X	X
	UA	3	Ulmus americana	American Elm	45 gal	2" cal	8'-10" HT. x 3'-4" SPD.	X	X
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE			
	IFL	53	Illicium floridanum	Florida Anise	3 gal, 4" OC	24" HT x 24" SPD		X	X
	PSP	50	Pennisetum setaceum	Purple Fountain Grass	3 gal, 3" OC	24" HT x 24" SPD		X	X
	PST	66	Pennisetum setaceum 'Atropurpurea'	Red Fountain Grass	3 gal, 3" OC	24" HT x 24" SPD		X	X
	TDA	78	Tripsacum dactyloides	Fakahatchee Grass	3 gal, 4" OC	24" HT x 24" SPD		X	X
GROUNDCOVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING			
	AAF	350	Agapanthus africanus	Lily of the Nile	1 gal	12" o.c.		X	
	ASL	199	Arachis glabrata	Perennial Peanut	1 gal	12" o.c.		X	

TREE LEGEND



TREE DATA

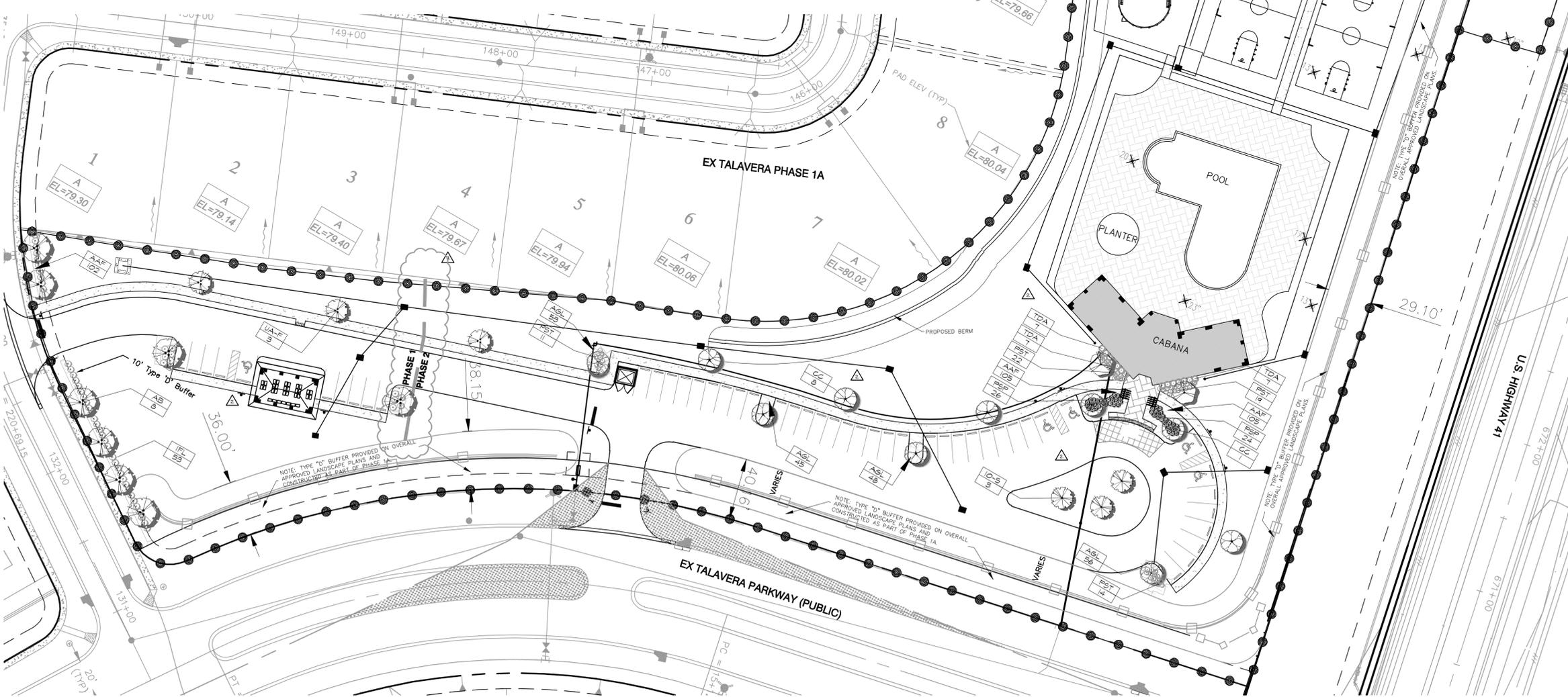
NOTE: ALL TREES SHOWN ARE PROPOSED FOR REMOVAL

TREE SPECIES	INCHES REMOVED	REPLACEMENT REQ.	INCHES REQUIRED
LIVE OAK	103"	1 : 1	103"
OTHER	103"	1/3 : 1	32"
TOTAL REPLACEMENT INCHES REQUIRED: 155"			
TOTAL REPLACEMENT PROVIDED IN AMENITY AREA: 48"			
ADDITIONAL REPLACEMENT PROVIDED IN PHASE 1A (PHASE 1A REQUIRED: 1,024", PROPOSED: 3,216" IN LOT PLANTINGS ONLY, APPROX. ADDITIONAL 494" PROPOSED FOR BUFFERS IN PHASE 1A)			

- NOTES:**
- VEHICULAR USE REQUIREMENTS: ± 34,423 S.F. VEHICULAR USE AREA
 - 10% LANDSCAPE AREA = 3,442 S.F. REQUIRED AREA
 - ± 11,346 S.F. INTERIOR LANDSCAPE AREA PROPOSED
 - 1 SHADE TREE PER 200 S.F. OF REQUIRED AREA
 - 3,442 / 200 = 17 SHADE TREES REQUIRED
 - 18 SHADE TREES PROPOSED
 - BUILDING PERIMETER REQUIREMENTS: ± 4,000 S.F. BUILDING AREA
 - 10% LANDSCAPE AREA = 400 S.F. REQUIRED AREA
 - ± 400 S.F. PERIMETER LANDSCAPE AREA PROPOSED
 - MISCELLANEOUS REQUIREMENTS: 1 TREE SPECIES PER 5 REQUIRED TREES UP TO 8 TREE SPECIES MINIMUM
 - 8 SPECIES PROPOSED
 - BUFFER REQUIREMENTS: NORTH: 10' TYPE 'A' PER APPROVED PHASE 1 LANDSCAPE PLANS
 - EAST: 20' TYPE 'D' NON-LOCAL ROADWAY BUFFER
 - SOUTH: 20' TYPE 'D' NON-LOCAL ROADWAY BUFFER
 - WEST: 10' TYPE 'D' NON-LOCAL ROADWAY BUFFER

NOTES:

- All trees shall be grade Florida No. 1 or better.
 - All single trunk replacement trees to be minimum of 2" caliper. All multiple trunk replacement trees to have a minimum of 3-1/2" caliper trunks.
 - All trees to be planted in accordance with the Florida Chapter, International Society of Arboriculture standards and also in accordance with standards and practices of Florida Nursery Growers and Landscape Association.
 - Developer shall replace any tree which dies within 1 year to County acceptance.
 - No trees shall be planted closer than 30 feet to a stop sign within the R.O.W.
 - All trees shall be planted a minimum of 6 feet off the back of curb.
 - Final onsite planting locations may vary from the plan in order to accommodate lot improvements and utilities (i.e. driveways, fire hydrants, transformers, etc.).
 - No trees shall be planted closer than 10 feet to any fire hydrant.
 - Landscape and irrigation shall be in conformance with the Land Development Code in effect at the time of preliminary plan site plan approval.
 - No more than 30% of landscape area may be grass; The balance must be shrubs or ground cover.
 - Erecting or growing any obstructions over three and one-half feet in height above the elevation of the lowest point on the crown of the adjacent roadway within the sight triangle shall be prohibited.
 - Landscape shall be planted in such a manner as not to impede the stormwater runoff flow to or in a ditch, swale, or pond.
 - All grasses shown are sodded all other disturbed areas are to be seeded.
 - All portions of lot upon which development has commenced, but not continued for a period of 30 days, shall be planted with a grass species or groundcover to prevent erosion and encourage soil stabilization. Adequate coverage, so as to suppress fugitive dust, shall be achieved within 45 days.
 - Certification: A registered landscape architect or other person as authorized by Chapter 481, Florida Statutes, as amended, or other type of professional as approved by the County Administrator or designee, shall conduct a final field inspection. A Certificate of Compliance with the requirements of this section shall be provided to the County and the property owner prior to obtaining a Certificate of Occupancy (CO). If the property owner installs the landscaping and irrigation, the owner shall act as the certifying agent.
 - Installation Prior to CO: Prior to the issuance of any CO, or where no CO is required, prior to final inspection or the use of the lot, all required landscaping shall be installed and in place as set out in the approved landscape plans. In cases where timely installation of landscaping is not practicable due to the season or shortage, as determined by the County Administrator or designee, a bond satisfactory to the Engineering Services Department shall be posted until the planting occurs.
 - A layer of mulch to a minimum depth of three (3) inches shall be specified on the site plan in plant beds and around individual trees in turf areas. Organic mulches are preferred. The mulch should not be placed directly against the plant stem or tree trunk. Mulch shall not be required to annual beds.
- ADDITIONAL NOTE:**
THIS CODE LANDSCAPE PLAN IS A SMALL PART OF AN OVERALL APPROVED CODE LANDSCAPE PLAN.
- THIS PLAN SHOWS THE MINIMUM REQUIRED BY CODE. DEVELOPER MAY INSTALL ADDITIONAL PLANTINGS AND SPECIES AT THEIR DISCRETION. ADDITIONAL SPECIES MAY CREDIT TOWARDS THE 25% MINIMUM SPECIES REQUIREMENTS.
- DEVELOPER IS USING LOW MAINTENANCE, DROUGHT TOLERANT GRASS SPECIES AS MUCH AS POSSIBLE TO MINIMIZE WATER-USE, PESTICIDES, AND MAINTENANCE THROUGHOUT THIS DEVELOPMENT, AS WELL AS TO PRESENT A CONSISTENT COMMUNITY THEME. GRASSES USED AS SHRUBS WILL BE A MINIMUM OF 2' HIGH AND SPACED 2' ON CENTER, AND ARE ALL SPECIES WHICH CONSISTENTLY MAINTAIN A 2'-4' HEIGHT AT MATURITY. ALONG THE ENTRY PARKWAY, ALTERNATE SHRUB SPECIES WILL BE PROVIDED AT ROAD INTERSECTIONS SO AS NOT TO IMPED SITE VISIBILITY TRIANGLES.



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DESIGNED	THE SIGNATURE OF THE QUALITY CONTROL OFFICER IN THIS SPACE INDICATES THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED AND THAT CONSTRUCTION IS AUTHORIZED TO COMMENCE.
DRAWN	
CHECKED	
IN CHARGE	

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TALAVERA AMENITIES CENTER

FOR:
M/I HOMES OF TAMPA, LLC
4343 ANCHOR PLAZA PARKWAY, SUITE 200
TAMPA, FL 33634

CODE LANDSCAPE PLAN

NO.	DATE	DESCRIPTION	APP'D BY
1	03/17/2015	PROJECT SUBPHASING	
2	08/18/2014	ADDITION OF MAIL KIOSK AND ACCESS DRIVE	EAL
3	04/29/2014	REVISED PER PASCO COUNTY COMMENTS	EAL

JOB NO: 3855-006-000
SHEET NO: L1.01

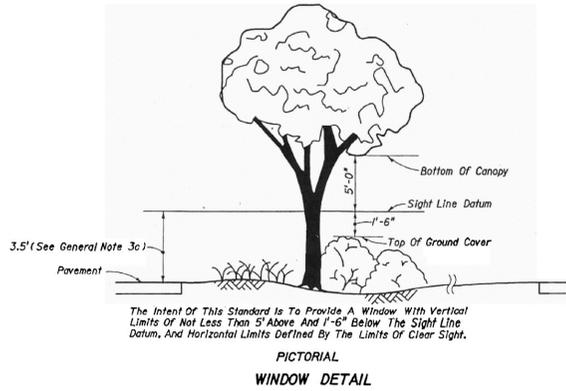
DATE: 01/17/2014
SCALE: AS SHOWN

Clark C Lohmiller
APR 02, 2015
L.A. 6667167

PASCO COUNTY SUBMITTAL
APR-02-2015

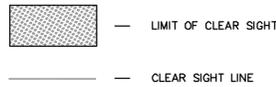
PASCO COUNTY LANDSCAPING STANDARD NOTES (PASCO LDC 905.2)

1. *Maintenance Responsibility.* The County is not responsible for maintenance of any landscaping unless approved through a County maintenance agreement. (LDC 905.2-C.1.a)
2. *Clear-Sight Triangle.* Where a driveway/accessway intersects a road right-of-way or where two (2) road rights-of-way intersect, vegetation, structures, and non-vegetative visual screens shall not be located so as to interfere with the clear-sight triangle as defined in this Code or the Florida Department of Transportation, Manual of Uniform Minimum Standards, most recent edition (Green Book), whichever is more restrictive. (LDC 905.2-C.1.b)
3. *Sustainable Practices.* Landscaping shall be installed so that landscaping materials meet the concept of right material/right place. Installed trees and plants shall be grouped into zones according to water, soil, climate, and light requirements. Plant groupings based on water requirements are drought tolerant, natural, and oasis. (LDC 905.2-C.1.c)
4. *Diversity.* A maximum of 50 percent of the plant materials used, other than trees, may be non-drought tolerant. A minimum of 30 percent of the plant materials, other than trees and turfgrass, used to fulfill the requirement of this subsection shall be native Floridian species, suitable for growth in the county. (LDC 905.2-C.1.d)
5. *Diversity.* No one plant species of shrubs or ground cover plants, excluding turfgrass, shall constitute more than 25 percent coverage of the overall landscape area. (LDC 905.2-C.1.d.5)
6. *Quality.* All plant materials shall be Florida No. 1 grade per "Grades and Standards for Nursery Plants," Florida Department of Agriculture and Consumer Services (FDACS), which is incorporated herein by reference. (LDC 905.2-C.2.a)
7. *Avoid Easements.* Trees shall not be planted within any easement so as to interfere with the use of that easement, nor under any present or planned overhead utility, nor in any rights-of-way without County approval through the associated review process. (LDC 905.2-C.3.e)
8. *Mulch* shall be used in conjunction with living plant materials so as to cover exposed soil. Mulch shall be installed to a minimum depth of three (3) inches. The mulch should not be placed directly against the plant stem or tree trunk. Mulch shall not be required for annual beds. Stone or gravel may be used to cover a maximum of 20 percent of the landscaped area. (LDC 905.2-C.3.d)
9. *Quality Practices.* All landscaping shall be installed in accordance with standards and practices of the Florida Nursery, Growers, and Landscape Association and the Florida Chapter of the International Society of Arboriculture. (LDC 905.2-C.3.e)
10. All portions of a lot upon which development has commenced, but not continued for a period of 30 days, shall be planted with a grass species or ground cover to prevent erosion and encourage soil stabilization. Adequate coverage, so as to suppress fugitive dust, shall be achieved within 45 days. (LDC 905.2-C.3.g)
11. All required landscaping shall be maintained in a healthy condition in perpetuity in accordance with this Code. (LDC 905.2-E.2)
12. Ongoing maintenance to prevent the establishment of prohibited exotic species is required. (LDC 905.2-E.4)
13. If during construction activities any evidence of the presence of State and Federally protected plant and/or animal species is discovered, work shall come to an immediate stop and Pasco County shall be notified within two working days of the plant and/or animal species found on the site. △



SIGHT DISTANCE NOTES

1. TALAVERA PARKWAY DESIGN SPEED = 30 MPH.
2. REFERENCE FDOT DESIGN STANDARD NO. 546. REQUIRED SIGHT DISTANCE FOR TWO LANE DIVIDED/MEDIAN SHOWN ON PLANS. SIGHT DISTANCE MEETS OR EXCEEDS REQUIREMENTS.



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DESIGNED	THE SIGNATURE OF THE QUALITY CONTROL OFFICER IN THIS SPACE INDICATES THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED AND THAT CONSTRUCTION IS AUTHORIZED TO COMMENCE.
DRAWN	
CHECKED	
TTL/AGK	
LFK	



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 Fax 813 880-8882
 www.kingengineering.com
 Engineering License #2610

TALAVERA AMENITIES CENTER
 FOR:
M/I HOMES OF TAMPA, LLC
4343 ANCHOR PLAZA PARKWAY, SUITE 200
TAMPA, FL 33634

CODE LANDSCAPE PLAN

NO.	DATE	DESCRIPTION	APP'D BY
△	08/18/2014	ADDITION OF MAIL KIOSK AND ACCESS DRIVE	EAL
△	04/25/2014	REVISED PER PASCO COUNTY COMMENTS	EAL

Clark C Lohmiller
APR 02, 2015
 L.A. 6667167

JOB NO. 3855-006-000	SHEET NO. L1.02
DATE 01/17/2014	SCALE AS SHOWN
PASCO COUNTY SUBMITTAL APR-02-2015	