

# PRELIMINARY SITE PLAN/CONSTRUCTION PLAN AND STORMWATER MANAGEMENT PLAN AND REPORT CULVERS RESTAURANT AT THE SHOPPES AT TRINITY LAKES



## PASCO COUNTY, FLORIDA SECTION 28, TOWNSHIP 26 SOUTH, RANGE 17 EAST

### LEGAL DESCRIPTION

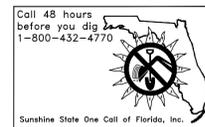
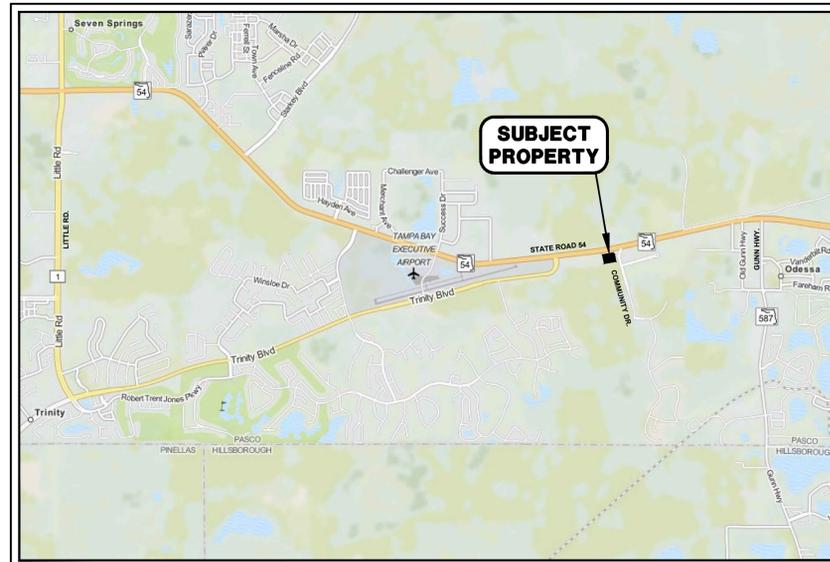
A PORTION OF SECTION 28, TOWNSHIP 26 SOUTH, RANGE 17 EAST, OF PASCO COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID SECTION 28, AND RUN ALONG THE SOUTH LINE OF SAID SECTION 28, NORTH 89°28'45" WEST, A DISTANCE OF 1973.42 FEET TO A POINT ON THE EASTERLY BOUNDARY LINE OF PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, AS RECORDED IN PLAT BOOK 68, PAGES 83 THROUGH 98 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; THENCE RUN ALONG THE EASTERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, NORTH 15°54'24" WEST, A DISTANCE OF 445.85 FEET TO THE NORTHEAST CORNER OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, ALSO BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF COMMUNITY DRIVE AS RECORDED IN OFFICIAL RECORD BOOK 5891, PAGE 975 AND OFFICIAL RECORD BOOK 4250, PAGE 973 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; THENCE RUN ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID COMMUNITY DRIVE, NORTH 15°54'24" WEST, A DISTANCE OF 640.46 FEET; THENCE LEAVING THE WESTERLY RIGHT-OF-WAY LINE OF SAID COMMUNITY DRIVE RUN SOUTH 79°17'50" WEST, A DISTANCE OF 36.43 FEET TO THE POINT OF BEGINNING; THENCE RUN SOUTH 79°17'50" WEST, A DISTANCE OF 226.79 FEET; THENCE RUN NORTH 10°42'10" WEST, A DISTANCE OF 238.04 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF NEW STATE ROAD 54 AS RECORDED IN OFFICIAL RECORD BOOK 5919, PAGE 1336 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, SAID POINT ALSO BEING A POINT OF CURVATURE OF A CURVE TO THE LEFT; THENCE RUN ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID NEW STATE ROAD 54, A DISTANCE OF 217.86 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT, BEING NON-TANGENT WITH THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 11583.83 FEET, A CENTRAL ANGLE OF 01°04'40", AND A CHORD OF 217.85 FEET WHICH BEARS NORTH 79°49'01" EAST; THENCE LEAVING THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID NEW STATE ROAD 54 RUN SOUTH 108°45'32" EAST, A DISTANCE OF 28.20 FEET; THENCE RUN NORTH 79°14'28" EAST, A DISTANCE OF 11.36 FEET; THENCE RUN SOUTH 158°54'24" EAST, A DISTANCE OF 203.97 FEET TO A POINT OF CURVATURE OF A CURVE TO THE RIGHT; THENCE RUN 21.65 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT, BEING NON-TANGENT WITH THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 48.50 FEET, A CENTRAL ANGLE OF 25°34'43", AND A CHORD OF 21.47 FEET WHICH BEARS SOUTH 66°30'29" WEST TO THE POINT OF BEGINNING.

Containing 1.28 acres, more or less.

Subject to any easements, rights-of-way, encumbrances, reservations, restrictions and other matters of title.

Bearings for the above description are based on an assumed of North 15° 54' 24" West for the west right-of-way line of Community Drive as recorded in Official Records Book 5891, Page 975 & Book 4250, Page 973.



THIS ENGINEER WILL BE CONSULTED FOR ANY INTERPRETATIONS OR REVISIONS DEEMED NECESSARY OR REQUIRED FOR WORK PERFORMED FROM THESE PLANS.

GOVERNING SPECIFICATIONS: STATE OF FLORIDA DEPT. OF TRANSPORTATION, STANDARD SPECIFICATIONS, LATEST EDITION

CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE PASCO COUNTY STANDARDS AND SPECIFICATIONS.

### UTILITY PROVIDERS:

#### WATER & SEWER

PASCO COUNTY UTILITIES  
PAUL HAMAR  
7530 LITTLE ROAD, SUITE 205  
NEW PORT RICHEY, FLORIDA 34654  
727-847-8145

#### GAS

CLEARWATER GAS SYSTEMS  
JORGE HERNANDEZ  
400 N. MYRTLE AVENUE  
CLEARWATER, FLORIDA 33755  
727-562-4900 EXT. 7423

#### CABLE/TELEPHONE

VERIZON FLORIDA, INC.  
DAVID WYNNS  
7701 E. TELECOM PARKWAY  
TEMPLE TERRACE, FLORIDA  
813-978-2164

#### CABLE/TELEPHONE

BRIGHT HOUSE NETWORKS-CITRUS  
MIKE RIKER  
30432 SR 54  
WESLEY CHAPEL, FL 33543  
813-862-0522 EXT. 84263

#### ELECTRIC

DUKE ENERGY COMPANY  
JOEL GOOD  
4121 ST. LAWRENCE DRIVE  
NEW PORT RICHEY, FLORIDA  
727-372-5176

#### TRANSPORTATION

PASCO COUNTY TRAFFIC OPERATIONS DIVISION  
DAVE SKRELUNAS  
7536 STATE STREET SUITE 124  
NEW PORT RICHEY, FL 34654  
727-847-8139

### INDEX OF DRAWINGS

SHEET NO.	TITLE
C-1	COVER SHEET
C-2	GENERAL NOTES
C-3	EXISTING CONDITIONS/DEMOLITION PLAN
C-4	HORIZONTAL CONTROL & STRIPING PLAN
C-5	PAVING, GRADING & DRAINAGE PLAN
C-6	UTILITY PLAN
C-7	CIVIL DETAILS
C-8	CIVIL DETAILS
C-9	CIVIL DETAILS
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS

### SITE AREA DATA

TOTAL SITE AREA:	1.28 ACRES
PARCEL I.D.:	28-26-17-0000-0030-0000 28-26-17-0000-0030-0060 28-26-17-0000-0030-0030
EX. LAND USE:	VACANT - COMMERCIAL
FUTURE LAND USE DESIGNATION:	ROR
EXISTING ZONING:	MPUD
NUMBER OF STORIES:	1-STORY
BUILDING HEIGHT:	TOP OF ROOF = 14'-3" TOP OF PARAPET = 22'-8"
FLOOD ZONE CLASSIFICATION:	FLOOD ZONE D/X PANEL NO. 1210C0380F, DATED OF 9-26-14.
ALLOWABLE FLOOR AREA RATIO:	0.60 (FAR)
PROP. FLOOR AREA RATIO (FAR):	0.08
PROPOSED IMPERVIOUS AREA:	39,302 SF or 70.3%

### SITE AREA DESCRIPTION

DESCRIPTION	SQUARE FEET	PERCENTAGE
SIDEWALK	2,537	4.5
BUILDING	4,348	7.8
OUTSIDE SEATING	987	1.8
PAVEMENT	31,430	56.2
OPEN SPACE	16,568	29.7
TOTAL	55,870	100.0

PARKING REQUIRED = 1 SPA. / 150 S.F. OF OUTDOOR SEATING (987 S.F.) = 7 SPACES  
PARKING REQUIRED = 1 SPA. / 150 S.F. OF BUILDING = 28 SPACES  
PARKING PROVIDED = 53 STANDARD INCLUDING 3 HANDICAP SPACES

V.U.A. GREEN SPACE REQUIRED = 3,143 S.F. OR 10%  
V.U.A. GREEN SPACE PROVIDED = 9,206 S.F. OR 29%

BUILDING PERIMETER LANDSCAPING REQUIRED = 291 LF / 2 X 5' = 728 S.F.

BUILDING PERIMETER LANDSCAPING PROVIDED = 776 S.F.

FIRE PROTECTION PROVIDED BY PASCO CO. VIA FIRE HYDRANTS.  
WATER & SEWER PROVIDED BY PASCO CO.

### SETBACKS

FRONT	25 FEET
SIDE	0 FEET
REAR	0 FEET (30 FEET RESIDENTIAL)

\*ALTERNATIVE DESIGN REQUEST FOR THE SOUTHERN LANDSCAPE BUFFER.

#### OWNER/DEVELOPER:

4200 LLC  
2551 N. WAHL AVENUE  
MILWAUKEE, WI. 53211

#### CIVIL ENGINEER/SURVEYOR:

EMK CONSULTANTS OF FLORIDA, INC.

7815 N. Dale Mabry Hwy.  
Tampa, Florida 33614  
Ph. (813) 931-8900  
E-Mail emk@emkfla.com

ENGINEERS • SURVEYORS • LAND PLANNERS

PROJECT NO. 31336.03  
DATE: 06.15.15  
REVISED:

**SITE DATA TABLE**

PROPERTY PIN:	28-26-17-0000-00300-0030, 28-26-17-0000-00300-0060, 28-26-17-0000-00300-0060 & 28-26-17-0000-00300-0100	REQUIRED SETBACKS: FRONT (NORTH): 25' SIDE (WEST) (INTERNAL): SIDE (EAST): 30' REAR (SOUTH): 30'	IMPERVIOUS AREA: PROPOSED TOTAL: SEE TABLE OVERALL PROJECT: 254,885 SF (88.11%) LOT 4: 254,885 SF (81.39%) PROPOSED PAVING/PARKING COVERAGE:
LOCATION:	SECTION 28, TOWNSHIP 26, RANGE 17	LANDSCAPE BUFFERS: FRONT (NORTH-TRINITY BLVD): TYPE 'D' 20' WIDE SIDE (WEST-INTERNAL): TYPE 'A' 10' WIDE SIDE (EAST-COMMUNITY DRIVE): TYPE 'D' 20' WIDE REAR (SOUTH-COOL SPRINGS): TYPE 'D' 20' WIDE	FLOOR AREA RATIO: SEE TABLE; FAR BASED ON A MAXIMUM ALLOWABLE OF 80,000 SF FLOOD ZONE: FLOOD ZONE 'X' AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PLANE NUMBER 12101020360F, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DATED SEPTEMBER 26, 2014.
JURISDICTION:	PASCO COUNTY, FLORIDA	REQUIRED PARKING: 1 SPACE PER 300 SF OF FLOOR AREA 61,831 SF FLOOR AREA / 300 = 206 SPACES	PROPOSED PAVING/PARKING COVERAGE:
ZONING:	MPUD (FOLLOWING C-2 STANDARDS) TRINITY COMMUNITIES SUBMAP NO. 157 RZ 3759 ORIGINAL APPROVAL 1/26/1988	ALTERNATE PARKING TABULATION (IF RESTAURANTS ARE TENANTS): 1 SPACE PER 100 SF OF FLOOR AREA 4,734 SF POSSIBLE RESTAURANT SPACE / 100 = 48 SPACES 97,007 SF REMAINING / 100 = 970 SPACES TOTAL REQUIRED = 239 SPACES	PROPOSED PAVING/PARKING COVERAGE:
ADDRESS:	NOT ASSIGNED	REQUIRED BICYCLE PARKING: 0.02 SPACE PER PARKING SPACE 0.02 x 388 SPACES = 8 SPACES	PROPOSED PAVING/PARKING COVERAGE:
EXISTING LANDUSE:	UNDEVELOPED	PROPOSED PARKING: 300 REGULAR SPACES 13 HANDICAPPED SPACES 388 TOTAL SPACES	PROPOSED PAVING/PARKING COVERAGE:
FUTURE LANDUSE:	ROR	10% REQUIRED TO BE PERVIOUS = 37 SPACES	PROPOSED PAVING/PARKING COVERAGE:
MAX. DENSITY:	80,000 SF MAX.	PROPOSED BICYCLE PARKING: 8 SPACES	PROPOSED PAVING/PARKING COVERAGE:
MAX. BUILDING HEIGHT:	30' MAX. SINGLE STORY	OVERALL PROJECT AREAS:	LOT 4 PROJECT AREAS:
PROPOSED BUILDING:	SEE TABLE	PROPOSED BUILDING: 61,831 S.F. - 9.24% - 1.42 AC.	PROPOSED BUILDING: 61,831 S.F. - 12.47% - 1.42 AC.
		PROPOSED VEHICLE USE: 254,885 S.F. - 38.11% - 5.85 AC.	PROPOSED VEHICLE USE: 254,885 S.F. - 51.39% - 5.85 AC.
		PROPOSED SW, CURB & DUMPSTER: 32,037 S.F. - 4.79% - 0.74 AC.	PROPOSED SW, CURB & DUMPSTER: 32,037 S.F. - 6.48% - 0.74 AC.
		PROPOSED OPEN SPACE: 320,147 S.F. - 47.86% - 7.35 AC.	PROPOSED OPEN SPACE: 190,942 S.F. - 30.21% - 3.47 AC.
		TOTAL PROPOSED SITE AREA: 668,900 S.F. - 100.00% - 15.38 AC.	TOTAL PROPOSED SITE AREA: 499,696 S.F. - 100.00% - 11.47 AC.

**GENERAL NOTES**

- TRINITY COMMUNITIES IS A MPUD AND ITS CONDITIONS WERE APPROVED BY THE BOARD OF COUNTY COMMISSIONERS JANUARY 26, 1988.
- THE LAND USE FOR TRINITY LAKES SHOWN ON THE PASCO COUNTY FUTURE LAND USE PLAN (2025) IS ROR. LAND IS CURRENTLY VACANT, THE MPUD PLAN MAP "1" DATED JUNE 23, 2009 SHOWS FLEX: COMMERCE PARK / COMMERCIAL, RESIDENTIAL, COMMERCIAL & OFFICE / COMMERCE PARK PARCELS.
- THERE ARE NO HISTORICAL RESOURCES LOCATED WITHIN THE PROJECT LIMITS.
- THERE ARE NO KNOWN WELHEAD PROTECTION AREAS (WPA) WITHIN 1,000 FEET OF THE PROJECT.
- THE PROPOSED ACTIVITIES SHALL COMPLY WITH PASCO COUNTY DEVELOPMENT REGULATIONS (LATEST EDITION) INCLUDING THE TREE AND LANDSCAPE CODE, STORM WATER MANAGEMENT REGULATIONS AND FIRE CODES AT THE TIME OF PERMITTING.
- SIDEWALKS TO BE PROVIDED AND BUILT IN ACCORDANCE WITH PASCO COUNTY LAND DEVELOPMENT REGULATIONS (LATEST EDITION). ALL PROPOSED SIDEWALKS SHALL MEET ADA REQUIREMENTS.
- BUFFERING AND SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH PASCO COUNTY LAND DEVELOPMENT CODE.
- MAXIMUM BUILDING HEIGHT SHALL BE AS SHOWN.
- SOLID WASTE COLLECTION SHALL BE BY DUMPSTER PICK-UP AS SHOWN.
- THERE ARE NO WETLANDS OR CONSERVATION AREAS WITHIN THE PROJECT BOUNDARIES.
- ALL BUILDING CONSTRUCTION SHALL CONFORM TO THE 2010 FLORIDA BUILDING CODE.
- ALL EASEMENTS SHALL BE DEDICATED TO THE APPROPRIATE ENTITY AND ALL ROADS SHALL BE PRIVATE.
- CONTRACTOR SHALL UTILIZE THE SERVICES OF A LICENSED FLORIDA SURVEYOR IN ORDER TO STAKE OUT LOCATION AND GRADE OF ALL SITE IMPROVEMENTS BASED ON THE DIGITAL AUTOCAD FILES FOR THIS PROJECT PROVIDED BY ENGINEER.

**PASCO COUNTY DEVELOPMENT REVIEW STANDARD SITE PLAN NOTES**

- ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE PASCO COUNTY STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES SPECIFICATIONS, LATEST EDITION.
- ALL ON-SITE WATER AND SEWER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER-DEVELOPER.
- ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED, AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY-APPROVED SITE PLAN. APPROVAL IF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE.
- HANDICAPPED PARKING SPACES WILL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, OR OTHER APPLICABLE STANDARDS.
- THE ARCHITECT/ENGINEER CERTIFIES THAT THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.
- ALL ON-SITE PARKING SPACES WILL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. PARKING SPACES, DIRECTIONAL ARROWS, AND STOP BARS SHALL BE STRIPED IN WHITE. IT SHALL BE THE OWNER/DEVELOPER'S RESPONSIBILITY TO REPAIR AND STRIPE THE SITE IN ACCORDANCE WITH APPLICABLE STANDARDS.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THIS APPROVAL DOES NOT INCLUDE ANY WORK IN COUNTY RIGHT-OF-WAY. ALL RIGHT OF WAY WORK SHALL BE A FUNCTION OF AN APPROVED PASCO COUNTY RIGHT-OF-WAY USE PERMIT.
- ALL CLEAR-SITE AREAS SHALL BE KEPT FREE OF ANY SIGNAGE PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND-A-HALF (3-1/2) FEET IN HEIGHT.
- NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY COUNTY OR STATE RIGHT-OF-WAY WITHOUT ISSUANCE OF APPROPRIATE RIGHT-OF-WAY USE PERMIT.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THE SITE AND ITS SUBSEQUENT BUILDING PERMITS SHALL COMPLY WITH ALL ZONING/MPUD/PUID CONDITIONS.
- ALL STRUCTURES, INCLUDING BUFFER WALLS, RETAINING WALLS, SIGNAGE, ETC. REQUIRE SEPARATE BUILDING PERMITS BY CONTRACTOR/OWNER.
- IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATIONS, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OR THE RESOURCES FOUND ON THE SITE.
- LIGHTING NOTE: THERE WILL BE NO LIGHT SPILLAGE OR GLARE BEYOND THE PROJECT SITE.
- BUILDING PERMIT NOTE: PRIOR TO CONSTRUCTION, A BUILDING PERMIT SHALL BE OBTAINED FOR ALL STRUCTURES THAT HAVE A FOOTER, REGARDLESS OF SIZE, THROUGH PASCO COUNTY CENTRAL PERMITTING. (E INCLUDING BUT NOT INCLUDING BUILDINGS, ACCESSORIES, AND RETAINING WALLS)

**SIGNING & MARKING NOTES:**

- FLORIDA STATE STATUTE 316.0745 REQUIRES THAT ALL TRAFFIC CONTROL SIGNING AND MARKINGS ON PRIVATE PROPERTY OPEN TO THE GENERAL PUBLIC BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL PARKING SPACES, PAVEMENT ARROWS & STOP BARS SHALL BE STRIPED IN WHITE PER THE MUTCD.
- ALL HANDICAPPED PARKING SPACES SHALL BE SIGNED AND MARKED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS INDEX.

**STORMWATER NOTES:**

- SYSTEM IS PART OF ERP #492364.168 AND ALLOWS FOR 85% IMPERVIOUS.
- CURVE NUMBER: ALLOWABLE POST DEVELOPMENT CN = 95.3

**PEITION NUMBERS & DATES**

- REZONING PETITION NO. 3759 (APPROVED JANUARY 26, 1988)
- REZONING PETITION NO. GM5-043 (APPROVED NOVEMBER 17, 1992)
- REZONING PETITION ZCC93-38 (APPROVED FEBRUARY 12, 1992)
- REZONING PETITION 93-22R (APPROVED NOVEMBER 17, 1992)
- REZONING AMENDMENT NO. ZCC 94-197 (APPROVED MAY 24, 1994)
- REZONING AMENDMENT NO. GM 95-371 (APPROVED MAY 25, 1995)
- REZONING AMENDMENT NO. GM95-575 (APPROVED AUGUST 22, 1995)
- REZONING AMENDMENT NO. GM 97-295 (APPROVED MAY 25, 1997)
- REZONING PETITION NO. 5241 (APPROVED APRIL 28, 1998)
- REZONING PETITION NO. GM06-07 (APPROVED OCTOBER 25, 2005)
- REZONING PETITION NO. ZN09-310 (NON-SUBSTANTIAL) (APPROVED JUNE 23, 2009)

**INDIVIDUAL LOT AREA BREAKDOWN CHART:**

LOT	1	2	3	4	Total
TOTAL ACREAGE	1.28	1.11	1.49	11.47	15.36
Sq. Ft.	55,869	48,500	64,836	499,895	668,900
Allowable F.A.R.	0.11	0.12	0.09	0.12	0.45
ISR (Impervious Surface Ratio) based on 85% Max.	47,488	41,225	55,111	424,741	568,565
Proposed Building Square Footage / *Allowable Square Footage	*6,056	*6,056	*6,056	61,831	80,000

TRINITY COMMUNITIES - MASTER DEVELOPMENT PLAN MAP # DATED 06/23/09

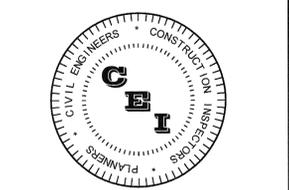
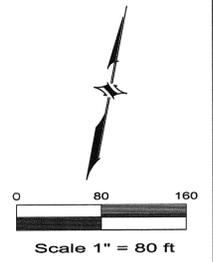
9 = COMMERCIAL  
12 = OFFICE / COMMERCE PARK  
13 = FLEX: COMMERCE PARK / COMMERCIAL / RESIDENTIAL

18 ft. - COMMERCIAL CONDITIONS, FROM RZ3759, APPROVED BY BOCC ON 02/26/97 SHALL APPLY.

NOTE: DOUBLE FRONTAGE LOTS SHALL BE APPROVED ONLY TO SEPARATE A DEVELOPMENT FROM ARTERIAL, COLLECTOR, AND/OR MAJOR LOCAL ROADS, OR TO OVERCOME DISADVANTAGES OF TOPOGRAPHY AND ORIENTATION. WHERE DOUBLE FRONTAGE LOTS ARE CREATED, THEY SHALL ALL FRONT AWAY FROM THE ARTERIAL, COLLECTOR, AND/OR MAJOR LOCAL ROADS. THE REAR OF THE LOTS SHALL BE BUFFERED FROM THE ABUTTING ROADWAY IN ACCORDANCE WITH THIS CODE. ACCESS RIGHTS SHALL BE DEDICATED TO THE COUNTY, AND A NON-INGRESS/EGRESS EASEMENT SHALL BE RECORDED ON THE PLAT. A NOTE STATING VEHICULAR ACCESS RIGHTS DEDICATED TO PASCO COUNTY SHALL BE LETTERED ALONG THE RIGHT-OF-WAY LINE OF THE PLAT ADJACENT TO THE LOTS AFFECTED. A NON-INGRESS/EGRESS EASEMENT SHALL BE RECORDED ON THE PLAT.

**LEGEND**

	PROPOSED BUILDING		PROPOSED OFF-SITE FOOT ASPHALT PAVEMENT
	PROPOSED 4" THK. CONCRETE		PROPOSED PERVIOUS CONCRETE PAVEMENT
	PROPOSED 6" THK. CONCRETE (MIN.)		EXISTING PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT		PROPERTY LINE
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT		BUILDING SETBACK
	PROPOSED OFF-SITE COUNTY ASPHALT PAVEMENT		LANDSCAPE BUFFER
	CROSS ACCESS & UTILITY EASEMENT PER REA		PARKING SPACE COUNT
	DRAINAGE EASEMENT PER REA		LAND USE PARCEL FROM MAP "1"
			FOOT ACCESS EASEMENT



**CAMPO ENGINEERING, INC.**

FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE  
TAMPA, FL 33605  
PHONE: (813) 215-7372  
FAX: (813) 902-8782

PROJECT TITLE  
**THE SHOPPES AT TRINITY LAKES**  
PASCO COUNTY, FLORIDA

CLIENT  
**50SEMBLER**  
YEARS Creating Retail Value.

THE SHOPPES AT TRINITY LAKES, LLC  
5858 CENTRAL AVENUE  
ST. PETERSBURG, FL  
(728) 384-6000

**REVISIONS**

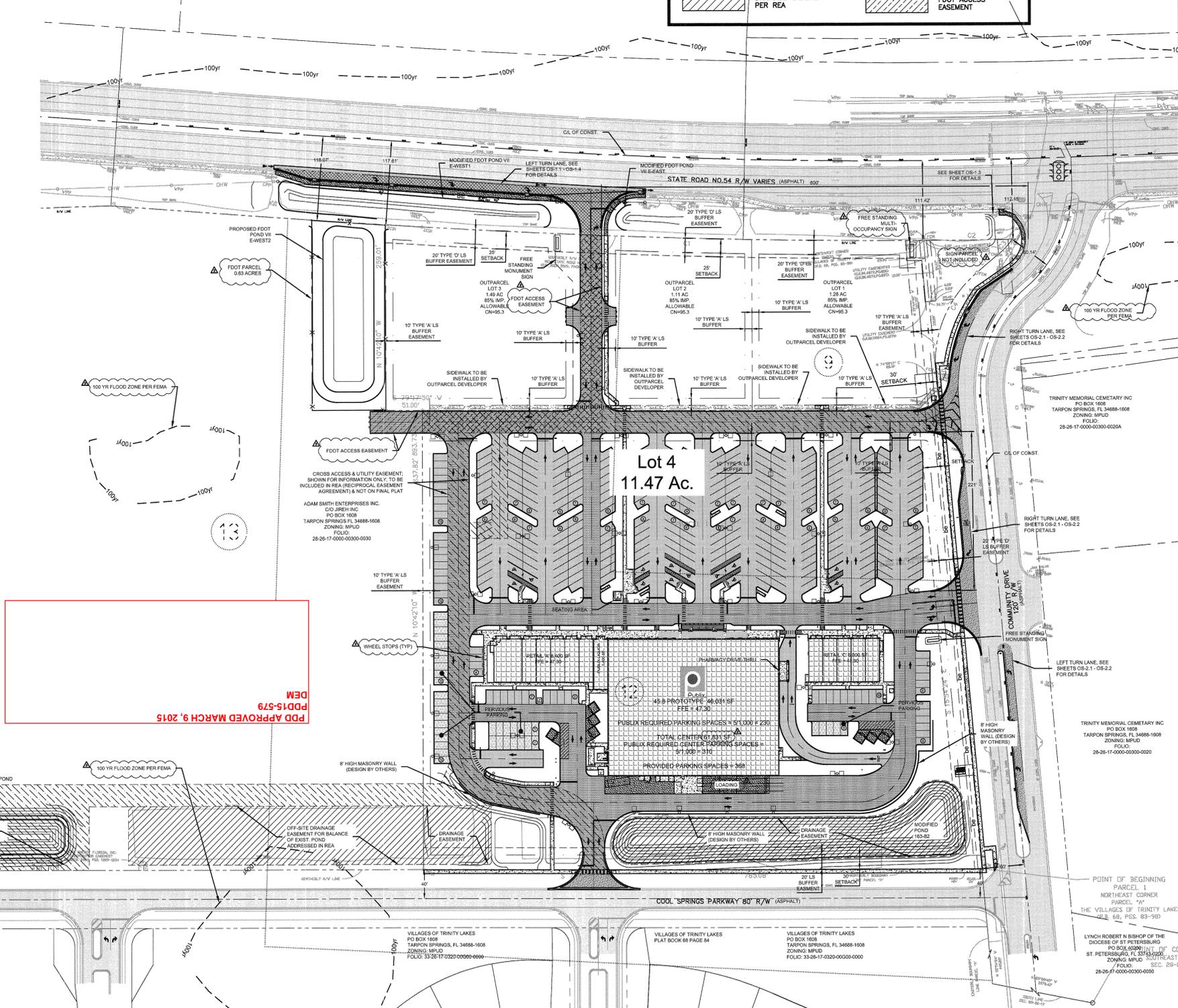
NO.	DESCRIPTION	DATE
1	PER COUNTY & CLIENT COMMENTS	12/15/14

ISSUE DATE: 6/2014  
REVIEWED BY: MDC  
DRAWN BY: BLM  
DESIGNED BY: BLM

PROJECT NUMBER  
14-026

Matthew D. Campo 33988  
NAME SEAL NO. DATE  
STATE OF FLORIDA

**PRELIMINARY SITE PLAN**  
SHEET NUMBER  
**C4.1**



PDD APPROVED MARCH 9, 2015  
PDD# 15-579  
DEM

CONSTRUCTION SURFACE WATER MANAGEMENT PLAN

The following notes have been developed by EMK Consultants of Florida, Inc. for the Contractor's use in generating a Stormwater Pollution Prevention Plan in accordance with the Florida Department of Environmental Protection's (FDEP) Generic Permit For Stormwater Discharge from large and small construction activities...

The following entities are identified as team members of SWPPP: EMK Consultants of Florida, Inc., the Developer as identified on the cover sheet of these plans, and the site contractor and his subcontractors. Each team member has specific responsibilities and obligations. In general, all team members, with regard to their involvement and responsibilities on the project, are to implement all necessary stormwater management controls to assure compliance with the COP, the Southwest Florida Water Management District Permit and the guidelines listed in the SWPPP.

EMK Consultants of Florida, Inc.

- A. Submit and obtain the necessary design-related stormwater permits from the Florida Department of Environmental Protection, the South West Florida Water Management District and other applicable governmental bodies.
B. Upon notification by the developer of his intent to commence construction, submit a Notice of Intent to the Department of Environmental Protection on behalf of the developer, along with the Certification of the Stormwater Pollution Prevention Plan.
C. Submit to SWFWMD and the operator of the municipal separate stormwater system, if applicable, a copy of the Notice of Intent.

Contractor

- A. Develop Stormwater Pollution Prevention Plan (SWPPP including, but not limited to, retention/detention ponds, control structures, erosion control methods and locations and stabilization criteria).
B. During construction, assure compliance with the designed Stormwater Pollution Prevention Plans prepared by EMK Consultants of Florida, Inc. and the FDEP Generic Permit For Stormwater Discharge From Construction Activities That Disturb Five or More Acres of Land.
C. Maintain a copy of the construction plans, which include the Stormwater Pollution Prevention Plan, the NOI and all inspection reports and certifications on site.
D. Undertake all reasonable Best Management Practices (BMPs) to assure that silted or otherwise polluted stormwater is not allowed to discharge from the site during all phases of construction.
E. Notify EMK Consultants of Florida, Inc. and the developer in writing of any non-storm water pollution sources which are being stored or otherwise used during the construction of the project, i.e., fertilizers, fuels, pesticides, oils, greases, chemicals.
F. Develop a maintenance and inspection plan which includes, but is not limited to the following:

- 1. The specific areas to be inspected and maintained that includes all the disturbed areas and material storage areas of the site.
2. The erosion and sediment controls identified in the SWPPP to be maintained and inspected and those additional controls which the contractor deems necessary.
3. Maintenance procedures.
4. The procedure to follow if additional work is required or whom to call.
5. Inspections and maintenance forms.
6. The personnel assigned to each task.
7. Complete and submit a Notice of Termination. The NOT shall be submitted no more than 14 days after completion of the project and final stabilization of the site.
8. Final stabilization as defined by FDEP is when all soil disturbing activities at the site have been completed and uniform (e.g. evenly distributed, without large bare areas) perennial vegetative cover with a density of 70 % of the native background vegetative cover for the area has been established on all unpaved areas and areas not covered by permanent structures.
9. As an alternative, equivalent permanent stabilization measures (such as rip rap, gabions, or geotextiles) may be employed.
10. The contractor shall notify EMK Consultants of Florida, Inc. when this criteria is met.

The following shall be inspected a minimum of once a week or within 24 hours after 0.25 inches of rainfall:

- 1. Stabilization measures (once a month if fully stabilized).
2. Structural controls.
3. Discharge points.
4. Construction entrances and exits.
5. Areas used for storage of exposed materials.
6. An inspection form shall be completed for each inspection. Any permit violations should be noted and corrective measures to be taken shall be noted.
7. A duly authorized representative of the principal executive official of the operator of the SWPPP.
8. Retain inspection reports and certifications for at least three years.
9. Initiate site stabilization measures no more than 14 days after construction activities have temporarily or permanently ceased on any major portion of the site except when construction will resume within 21 days.
10. Sign and submit to EMK Consultants of Florida, Inc. certification that construction and final stabilization as defined under Part E of the EMK Consultants of Florida, Inc. section of the SWPPP has been completed so that EMK may submit the NOT.
11. The contractor is responsible for implementation of each measure identified in the SWPPP and shall sign the following certification statement before conducting any professional service identified in the SWPPP: I certify under penalty of law that I understand the terms and conditions of the generic stormwater permit issued pursuant to Section 403.0885, F.S., that authorizes the stormwater discharges associated with industrial activity from the construction site identified as part of this certification.

REFERENCED SPECIFICATIONS (LATEST EDITIONS):

- 1. Florida Department of Transportation Standard Specification and Index.
2. Pasco County Subdivision regulations.
3. Pasco County L.D.C.
4. Pasco County Standards for Design & Construction of Water, Wastewater and Reclaimed Water Facilities.
5. Pasco County Transportation Technical Manual.

GENERAL UTILITY NOTES:

- 1. CONTRACTOR TO COORDINATE WITH PASCO CO. UTILITY DEPT. PRIOR TO THE SELECTION AND ORDERING OF THE WATER METER AND/OR BACKFLOW PREVENTION DEVICE ASSEMBLIES.
2. ALL NON-METALLIC PIPE WILL BE INSTALLED WITH 2 PAIR, 10 GAUGE, COPPER TRACER WIRE.
3. FIRE PROTECTION SHALL MEET THE REQUIREMENTS OF PASCO COUNTY 3. CODE OF ORDINANCES, CHAPTER 46, FIRE PREVENTION AND PROTECTION AND PLANS SHALL COMPLY WITH REFERENCED REQUIREMENTS.
4. ALL UTILITY MATERIAL AND WORKMANSHIP SHALL COMPLY WITH STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER AND RECLAIMED WATER FACILITIES SPECIFICATIONS, JUNE 1995 EDITION.

WATER & SEWER CROSSINGS & PARALLEL INSTALLATION NOTES

New or relocated, underground water mains shall be laid to provide a horizontal distance of at least six feet, and preferably ten feet, between the outside of the water main and the outside of any existing or proposed gravity- or pressure-type sanitary sewer, wastewater force main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

At the utility crossings described above, one full length of water main pipe shall be centered above or below the other pipeline so the water main joints will be as far as possible from the other pipeline. Alternatively, at such crossings, the pipes shall be arranged so that all water main joints are at least three feet from all joints in vacuum-type sanitary sewers, or pipelines conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C., and at least six feet from all joints in gravity- or pressure-type sanitary sewers, wastewater force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

Table with 4 columns: Other Pipe, Horizontal Separation, Crossings (1), and Joint Spacing @ Crossings (Full Joint Centered). Rows include Storm Sewer, Vacuum Sanitary Sewer, Gravity or Pressure, Sanitary Sewer Force Main, and On-Site Sewage Treatment & Disposal System.

- (1) Water main should cross above other pipe. When water main must be below other pipe, the minimum separation is 12 inches.
(2) Reclaimed water regulated under Part III of Chapter 62-610, F.A.C.
(3) 3 ft. for gravity sanitary sewer where the bottom of the water main is laid at least 6 inches above the top of the gravity sanitary sewer.
(4) Reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

FDOT NOTES:

ALL WORK PERFORMED IN THE DEPARTMENT'S RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT EDITIONS OF:
A) F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
B) F.D.O.T. DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM.
C) F.D.O.T. ROADWAY PLANS PREPARATION MANUAL VOLUME 1, CHAPTER 2 AND/OR 25.
D) F.D.O.T. FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT REHABILITATION.
1) ALL AREAS IN THE FDOT RIGHT OF WAY DISTURBED DURING CONSTRUCTION SHALL BE RESTORED, COMPACTED, SODDED AND WATERED IN CONFORMANCE WITH THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 575 AND 981 AND DESIGN STANDARDS INDEX 105.
2) DAYTIME WORK ONLY. THE F.D.O.T. ENGINEER MUST APPROVE NIGHT WORK AND LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE.
3) SIDEWALK SHALL BE CONSTRUCTED PER FDOT INDEX 304 AND 310.
4) MAINTENANCE OF TRAFFIC PLAN MUST INCLUDE FDOT DESIGN STANDARDS INDEX 660 PEDESTRIAN CONTROL FOR CLOSURE OF SIDEWALKS.
5) THE FDOT REQUIRES DOCUMENTATION FOR SUCCESSFUL COMPLETION OF A WORK ZONE TRAFFIC CONTROL (MOT) TRAINING COURSE FOR ALL DEPARTMENT EMPLOYEES, CONTRACTORS, CONSULTANTS, SURVEYORS, UTILITY COMPANY PERSONNEL, LOCAL MAINTAINING AGENCY, OR ANY OTHER APPROPRIATE PERSON RESPONSIBLE FOR WORK ZONE TRAFFIC CONTROL PLANNING, DESIGN, IMPLEMENTATION, INSPECTION, AND/OR SUPERVISING THE SELECTION, PLACEMENT, OR MAINTENANCE OF TRAFFIC CONTROL SCHEMES AND DEVICES IN WORK ZONES ON THE STATE HIGHWAY SYSTEM RIGHT-OF-WAY. ALL LANE CLOSURES AND WORK HOURS MUST BE APPROVED BY THE FDOT.

PASCO COUNTY DEVELOPMENT REVIEW - STANDARD SITE PLAN NOTES:

- 1. All utility construction shall comply with the Pasco County Standards for Design and Construction of Water and Wastewater Facilities Specifications, latest edition.
2. All on-site water and sewer facilities shall be owned and maintained by the owner-developer.
3. Installation of fuel storage tanks requires review and approval by the Fire Marshal and the issuance of a separate building permit.
4. All proposed signs must be applied for, approved, and permitted on an individual basis apart from any ultimately approved site plan.
5. Handicap parking spaces will be properly signed and striped in accordance with Florida Statute 316, the Manual on Uniform Traffic Control Devices, or other applicable standards.
6. The architect/engineer certifies that the site has been designed in accordance with the Americans with Disabilities Act.
7. All on-site parking spaces will be striped and signed in accordance with the Manual on Uniform Traffic Control Devices, latest edition.
8. The owner/developer acknowledges that this approval does not include any work in the County right-of-way.
9. All clear-site areas shall be kept free of any signage, plantings, trees, etc. in excess of three-and-a-half (3-1/2) feet in height.
10. No irrigation system or landscaping shall be installed in any County or State right-of-way without issuance of appropriate Right-of-Way Use Permit.
11. The owner/developer acknowledges that the site and its subsequent building permits shall comply with all rezoning/MPUD/PUID conditions.
12. All structures, including buffer walls, retaining walls, signage, etc. require building permits.
13. The contractor shall be responsible for coordinating a pre-construction meeting with PC Stormwater Management @ 727-834-3611 for soil erosion and sediment control prior to the start of any clearing and grubbing, or any soil disturbance.
14. All construction (site, building or other), shall be in full compliance with LDC.
15. The site is outside of all designated Pasco County Evacuation Zones.
16. All work within the R.O.W. will require a R.O.W. use permit from Pasco County.
17. In consideration of Pasco County's agreement to provide potable water and/or reclaimed water to the subject property, Developer/Owner, and its successors and assigns, agree to the following:
(a) In the event of Production Failure or Shortfall by Tampa Bay Water, as set forth in section 3.19 of the Interlocal Agreement creating Tampa Bay Water, Developer/Owner shall transfer to Pasco County any and all water use permits or water use rights the Developer/Owner may have to use or consume surface or ground water within Pasco County.
(b) Prior to Developer/Owner selling water or water use permits or water use rights, developer/owner shall notify Pasco County, and Pasco County shall have a right of first refusal to purchase such water or water use permits or water use rights.

18. No on-site burning is permitted, unless approved by the Pasco County Fire Marshal.

PASCO COUNTY CONSTRUCTION NOTES:

- 1. ALL PROPOSED WORK MUST COMPLY WITH THE FDOT "ROADWAY PLANS PREPARATION MANUAL".
2. ALL RIGHT-OF-WAY INSTALLATIONS WILL BE IN ACCORDANCE WITH PRACTICES REFERENCED IN THE STATE OF FLORIDA UTILITIES ACCOMMODATIONS MANUAL.
3. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN PASCO COUNTY LAND DEVELOPMENT, ZONING AND/OR RELATED ORDINANCES, AND MINIMUM TESTING FREQUENCY REQUIREMENTS.
4. SIGN AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" AND THE FLORIDA DEPARTMENT OF TRANSPORTATION'S ROADWAY AND TRAFFIC DESIGN STANDARDS" INDEXES 600 THROUGH 665 (LATEST EDITIONS).
5. SAFE PEDESTRIAN TRAFFIC IS TO BE MAINTAINED AT ALL TIMES.
6. COMPACTION FOR PIPE BACKFILL SHALL COMPLY WITH AASHTO T-99 (100%).
7. DISTURBED AREA WITHIN THE RIGHT-OF-WAY WILL BE COMPACTED TO 100% OF MAXIMUM DENSITY AND SODDED.
8. PROVIDE A MINIMUM OF 3' COVER OVER UTILITIES AT ALL DITCH CROSSINGS.
9. NO STOCKPILING OF MATERIAL IN ROADWAY OR ON SIDEWALK.
10. ROADS AND SIDEWALK TO BE SWEEP DAILY AS PART OF DAILY CLEAN-UP.
11. AT LEAST ONE LANE OF TRAFFIC WILL BE OPEN AT ALL TIMES. WHENEVER TRAFFIC IS REDUCED TO ONE LANE, "FLAGMEN" AND "FLAMEN AHEAD" SIGNS WILL BE UTILIZED, APPROPRIATE BARRICADES AND "CONSTRUCTION AHEAD" SIGNS SHALL BE UTILIZED PER FDOT MANUAL TRAFFIC CONTROL THROUGH WORK ZONE. ANY PORTION OF THE ROADWAY THAT SUSTAINS EXCESSIVE CONSTRUCTION RELATED DAMAGE, IN THE OPINION OF PASCO COUNTY HIGHWAY DEPARTMENT, SHALL BE REPAIRED AT CONTRACTOR EXPENSE IN A MANNER SPECIFIED BY PASCO COUNTY HIGHWAY DEPARTMENT.
12. SHOULD ANY NOTICEABLE SOIL SLUMPING OR SINKHOLE FORMATION BECOME EVIDENT, THE APPLICANT/DEVELOPER SHALL IMMEDIATELY NOTIFY THE COUNTY, TAMPA BAY WATER (TBW), AND SWFWMD, AND ADOPT ONE OR MORE OF THE FOLLOWING PROCEDURES AS DETERMINED TO BE APPROPRIATE BY THE COUNTY AND SWFWMD:

- 1. If the slumping or sinkhole formation becomes evident before or during construction activities, stop all work (except for mitigation activities) in the affected area and remain stopped until the County and SWFWMD approve resuming construction activities.
2. Take immediate measures to ensure no surface water drains into the affected areas.
3. Visually inspect the affected area.
4. Excavate and backfill or grout as required to fill the affected area and prevent further subsidence.
5. Use soil reinforcement materials in the backfilling operation, when appropriate.
6. If the affected area is in the vicinity of a water-retention area, maintain a minimum distance of two feet from the bottom of the retention pond to the surface of the lime-rock or karst connection.
7. If the affected area is in the vicinity of a water-retention area and the above methods do not stabilize the collapse, relocate the retention area.
8. Discharge of storm-water into depressions with direct or demonstrated hydrologic connection to the Floridian Aquifer shall be prohibited.

GENERAL NOTES:

- 1. The source of benchmark for this survey was the National Geodetic Survey P.D. D-8240 which is a bronze disk stamped "V-668" set in top of a 12" diameter round concrete monument that is flush with the top of the ground. Benchmark is located 141.3' south of the approximate centerline of State Road 54 eastbound lanes, 70.1 feet southwest of polework number 6487354, 54.5' south of the approximate center of a concrete drain box, 3.6' west of a coranite witness post and 1.7' north of a chain link fence. Elevation = 54.56 feet, (NAVD88) North American Vertical Datum of 1988 and using a datum shift of 0.84 feet the resulting Elevation = 55.40 feet, (NGVD29) National Geodetic Vertical Datum of 1929.
2. Bearings are based on an assumed of North 15' 54' 24" West for the west right-of-way line of Community Drive as recorder in Official Records Book 5891, Page 975 & Book 4250, Page 973.
3. The location of existing utilities are approximate as shown and it is the contractor's responsibility to determine the exact location of the utilities prior to construction in their vicinity. The contractor shall notify all concerned public agencies and utility companies in the area before beginning construction, including "Sunshine" at 1-800-432-4770.
4. Prior to beginning work, the contractor shall expose all existing utilities to be extended or crossed and contact the engineer at (813) 931-8900 for verification of their location and elevation. Any conflicts shall be brought to the engineer's attention for resolution.
5. The contractor is to exercise extreme caution in the vicinity of trees to remain and is responsible for any damage resulting from his work.
6. All roadway spot elevations refer to pavement or edge of pavement elevations, unless otherwise shown.
7. The contractor shall submit five (5) sets of shop drawings to the engineer for review. Shop drawings shall include all utility system components, as well as data on paving.
8. All design and construction must conform to the minimum standards set forth in Pasco County Land Development, Zoning and/or related ordinances.
9. The contractor shall keep record drawings of the work and shall submit one certified copy, prepared by a registered land surveyor to the engineer prior to final payment.
10. Construction material testing will be provided by the owner. Any and all retests will be paid for by the contractor on a monthly basis.
11. According to the National Flood Insurance Program (NFIP), Flood Insurance Rate Map (FIRM) for Community Pasco County Community Number: 120230-0200, 0360F - Map Number 121000360F, having an effective date of September 26, 2014. The subject property appears to be located within Zone D/X. Zone D is defined as "Areas in which flood hazards are undetermined, but possible". Zone X is defined as "Areas to be outside the .02% annual chance floodplain".
12. Contractor to notify Pasco County at least 48 hours in advance of utility/driveway installation.
13. Parking spaces shall be delineated with 6-inch white stripes. Handicap spaces per details, stop bars (24" wide). All pavement markings shall be in accordance with MUTCD standards.
14. All right-of-way installations will be in accordance with practices referenced in the State of Florida Utilities Accommodations Manual. Utility installations involving concrete and asphalt driveway, in good condition must be accomplished by jack and bore or pushing. No jetting will be allowed.
15. All existing traffic signs shall be maintained throughout construction.
16. Material quality and workmanship shall be in accordance with current FDOT Standard Specification For Road and Bridge Construction, Indices and Pasco County Land Development Code.
17. Trees 4" and greater, at breast high measure, were located and identified by common name. The location of each tree was determined at the point where the tree trunk meets natural ground. No determination of the leaning of the tree, or other unusual formation of the tree, was made as a part of the survey. No determination of tree canopy, or drip line, was made as a part of the survey. Clumps of trees, grouped together in such a way as to make individual location impractical, were located as a group and identified as such.
18. Traffic Control of Roadways shall conform to FDOT Index #s 613, 616 and 660. All traffic control measures shall remain in place throughout the duration of construction. Contractor shall submit a Traffic Control Plan and Devics Submittal Form to the Pasco County Traffic Operations Dept. prior to installation of any traffic control devices in the County Right-of-Way.

SIGNING AND STRIPING NOTES:

- 1. Signing and striping notes refer to the latest version of the county standard specifications and shall comply with these standards.
2. The developer or contractor shall be responsible for additional signing and striping, as determined by the Pasco County.
3. All existing signing that conflicts with proposed signing shall be removed.
4. All signs shall be standard size unless otherwise noted.
5. All parking restriction signs shall have engineering grade reflective sheeting, all other signs shall have diamond grade reflective sheeting.
6. New signs shall be installed on street light poles or 2" diameter tubular galvanized steel posts with vandal-resistant hardware. The posts shall be set in concrete. One or more sign panels mounted on a single sign post or street light pole shall be counted as one roadside sign installation unless otherwise noted.
7. Signs shall be mounted so that the bottom of the sign is at least seven feet from the finished grade in areas where pedestrians may be present, even if there is no sidewalk. To satisfy this requirement, existing post may have to be replaced if additional signs are added.
8. Where possible, at least two feet of clearance should be provided from curb face to edge of sign.
9. All permanent striping and pavement markings shall be lead-free non-organic material, unless noted otherwise.

SANITARY SEWER NOTES:

- 1. All sewer pipe material and installations are to be in accordance with Pasco County Standards for Design and Construction of Water, Wastewater and Reclaimed Water Facilities, latest Edition. Gravity sewer pipe is to be PVC SDR-26, ASTM D-3034 and ASTM D-312.
2. Contractor shall perform an exfiltration/infiltration test on all gravity sewer pipes. The test shall be performed in accordance with Pasco County Specifications.

WATER NOTES:

- 1. Conflicts between water, sanitary, storm sewer, and underdrain systems to be resolved by adjusting water lines as necessary.
2. Watermains to have a minimum of 36-inches of cover below proposed grade.
3. The contractor shall provide all fittings required for a complete water system in accordance with good construction practice. All joints shall be restrained.
4. PVC water service mains to structures shall be 200 P.S.I. SDR-21 (Sch. 40) as approved by AWWA.
5. Domestic water lines shall be tested in accordance with Pasco County Water and Wastewater Technical Manual, latest edition.
6. All water system, material, and installation shall be in accordance with Pasco County Specifications.

STORM SEWER NOTES:

- 1. Pipe measurements are to center of structure.
2. Pipe material shall be RCP per the latest FDOT Specifications and Standard Indices.
3. Structures shall conform to the latest FDOT Specifications and Standard Indices.

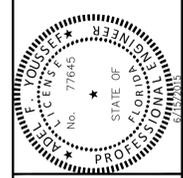
STORMWATER OPERATIONS AND MAINTENANCE INSTRUCTIONS:

OPERATION & MAINTENANCE ENTITY: CULVERS RESTAURANT

MAINTENANCE:

Maintenance of the system shall consist of the following:
1) PIPE AND INLET MAINTENANCE

1) PIPE AND INLET MAINTENANCE: The structures of the system consist of inlets with grated covers and an interconnected storm drain piping system. Periodic inspection of these items shall consist of removing the grated covers and checking and removing for trash or debris that may have accumulated inside the structure restricting the flow necessary to the function of the system.



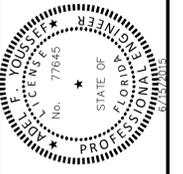
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Professional Engineer Seal
7815 North Dale Mabry Highway, Suite 200 • Tampa, FL 33614 • 813-931-8900
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Table with columns: No., DATE, BY, DESCRIPTION, REVISIONS

GENERAL NOTES
CULVERS RESTAURANT
THE SHOPPER AT TRINITY LAKES
PASCO COUNTY, FLORIDA

Table with columns: DESIGNED BY, DRAWN BY, CHECKED BY, SCALE, DATE, CAD FILE, JOB NUMBER, SHEET



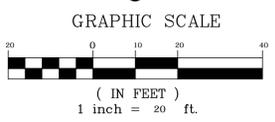
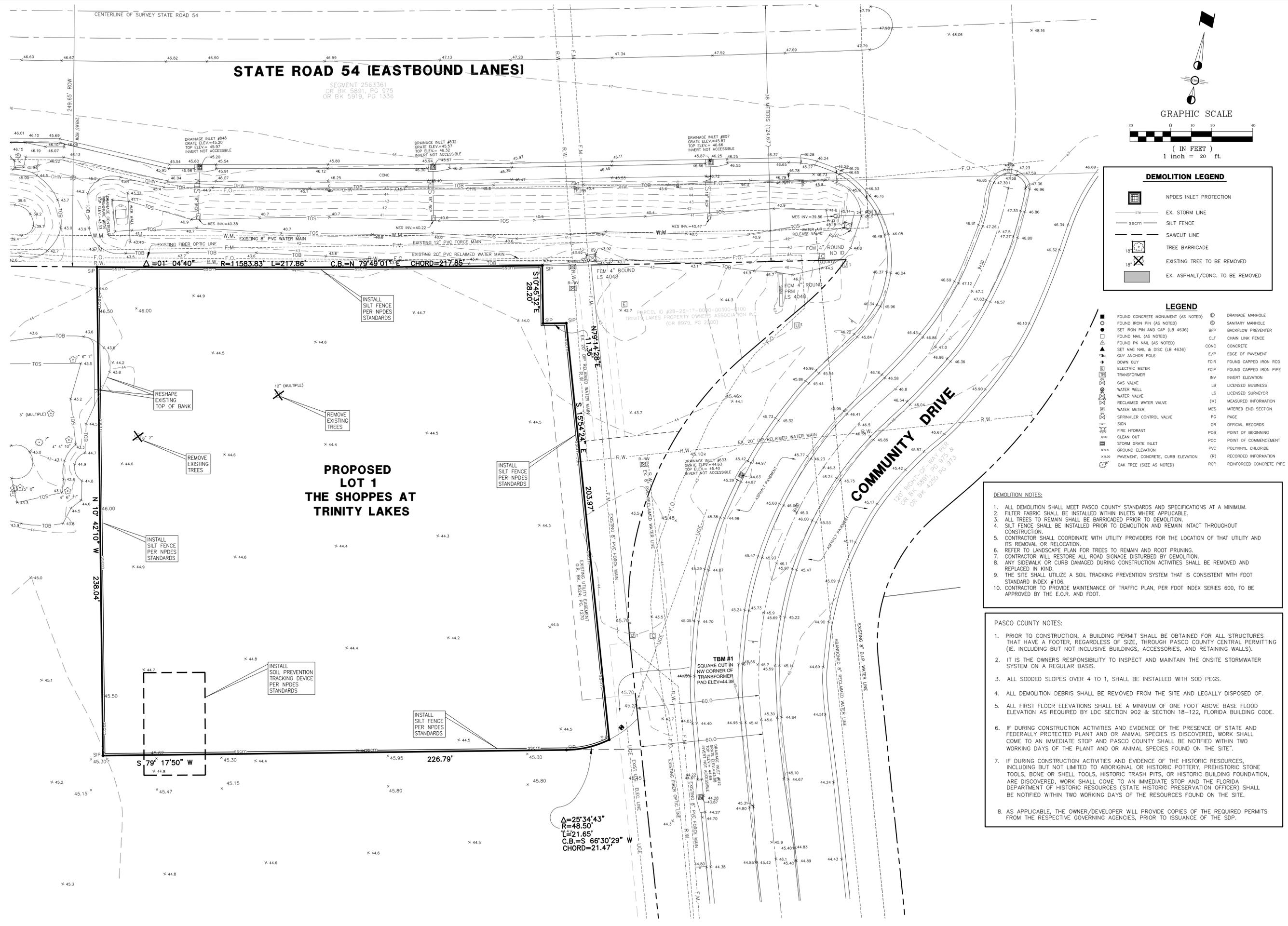
**EMK** consultants of Florida, Inc.  
 engineers, surveyors, and planners  
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NO.	DESCRIPTION	DATE	BY
1			

**EXISTING CONDITIONS & DEMOLITION PLAN**  
**CULVERS RESTAURANT**  
**THE SHoppes AT TRINITY LAKES**  
**PASCO COUNTY, FLORIDA**

DESIGNED BY: EMK  
 DRAWN BY: EMK  
 CHECKED BY: EMK  
 SCALE: 1"=20'  
 DATE: 6.15.15  
 CAD FILE: 3133603-03-EC  
 JOB NUMBER: 31336.03  
 SHEET: C-3



**DEMOLITION LEGEND**

	NPDES INLET PROTECTION
	EX. STORM LINE
	SILT FENCE
	SAWCUT LINE
	TREE BARRICADE
	EXISTING TREE TO BE REMOVED
	EX. ASPHALT/CONC. TO BE REMOVED

**LEGEND**

	FOUND CONCRETE MONUMENT (AS NOTED)		DRAINAGE MANHOLE
	FOUND IRON PIN (AS NOTED)		SANITARY MANHOLE
	FOUND IRON PIN AND CAP (LB 4636)		BACKFLOW PREVENTER
	FOUND NAIL (AS NOTED)		CHAIN LINK FENCE
	FOUND PK NAIL (AS NOTED)		CONCRETE
	SET MAG NAIL & DISC (LB 4636)		E/P
	GUY ANCHOR POLE		FCIR
	DOWN GUY		FCIP
	ELECTRIC METER		INV
	TRANSFORMER		LB
	GAS VALVE		LS
	WATER WELL		(M)
	WATER VALVE		MES
	RECLAIMED WATER VALVE		PG
	WATER METER		OR
	SPRINKLER CONTROL VALVE		POB
	SIGN		POC
	FIRE HYDRANT		PVC
	CLEAN OUT		(R)
	STORM GRATE INLET		RCP
	GROUND ELEVATION		
	PAVEMENT, CONCRETE, CURB ELEVATION		
	OAK TREE (SIZE AS NOTED)		

**DEMOLITION NOTES:**

- ALL DEMOLITION SHALL MEET PASCO COUNTY STANDARDS AND SPECIFICATIONS AT A MINIMUM.
- FILTER FABRIC SHALL BE INSTALLED WITHIN INLETS WHERE APPLICABLE.
- ALL TREES TO REMAIN SHALL BE BARRICADED PRIOR TO DEMOLITION.
- SILT FENCE SHALL BE INSTALLED PRIOR TO DEMOLITION AND REMAIN INTACT THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR THE LOCATION OF THAT UTILITY AND ITS REMOVAL OR RELOCATION.
- REFER TO LANDSCAPE PLAN FOR TREES TO REMAIN AND ROOT PRUNING.
- CONTRACTOR WILL RESTORE ALL ROAD SIGNAGE DISTURBED BY DEMOLITION.
- ANY SIDEWALK OR CURB DAMAGED DURING CONSTRUCTION ACTIVITIES SHALL BE REMOVED AND REPLACED IN KIND.
- THE SITE SHALL UTILIZE A SOIL TRACKING PREVENTION SYSTEM THAT IS CONSISTENT WITH FDOT STANDARD INDEX #106.
- CONTRACTOR TO PROVIDE MAINTENANCE OF TRAFFIC PLAN, PER FDOT INDEX SERIES 600, TO BE APPROVED BY THE E.O.R. AND FDOT.

**PASCO COUNTY NOTES:**

- PRIOR TO CONSTRUCTION, A BUILDING PERMIT SHALL BE OBTAINED FOR ALL STRUCTURES THAT HAVE A FOOTER, REGARDLESS OF SIZE, THROUGH PASCO COUNTY CENTRAL PERMITTING (IE. INCLUDING BUT NOT INCLUSIVE BUILDINGS, ACCESSORIES, AND RETAINING WALLS).
- IT IS THE OWNERS RESPONSIBILITY TO INSPECT AND MAINTAIN THE ONSITE STORMWATER SYSTEM ON A REGULAR BASIS.
- ALL SODDED SLOPES OVER 4 TO 1, SHALL BE INSTALLED WITH SOD PEGS.
- ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF.
- ALL FIRST FLOOR ELEVATIONS SHALL BE A MINIMUM OF ONE FOOT ABOVE BASE FLOOD ELEVATION AS REQUIRED BY LDC SECTION 902 & SECTION 18-122, FLORIDA BUILDING CODE.
- IF DURING CONSTRUCTION ACTIVITIES AND EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND OR ANIMAL SPECIES FOUND ON THE SITE.
- IF DURING CONSTRUCTION ACTIVITIES AND EVIDENCE OF THE HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATION, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE RESOURCES FOUND ON THE SITE.
- AS APPLICABLE, THE OWNER/DEVELOPER WILL PROVIDE COPIES OF THE REQUIRED PERMITS FROM THE RESPECTIVE GOVERNING AGENCIES, PRIOR TO ISSUANCE OF THE SDP.

**STATE ROAD 54 (EASTBOUND LANES)**

SEGMENT 2563361  
 OR BK 5891, PG 975  
 OR BK 5919, PG 1336

**PROPOSED LOT 1  
 THE SHoppes AT TRINITY LAKES**

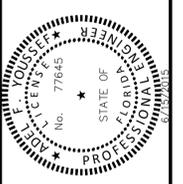
**COMMUNITY DRIVE**

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 $R=11583.83'$   
 $L=217.86'$   
 $C.B.=N 79^{\circ}49'01'' E$   
 $CHORD=217.85'$

$\Delta=25^{\circ}34'43''$   
 $R=48.50'$   
 $L=21.65'$   
 $C.B.=S 66^{\circ}30'29'' W$   
 $CHORD=21.47'$

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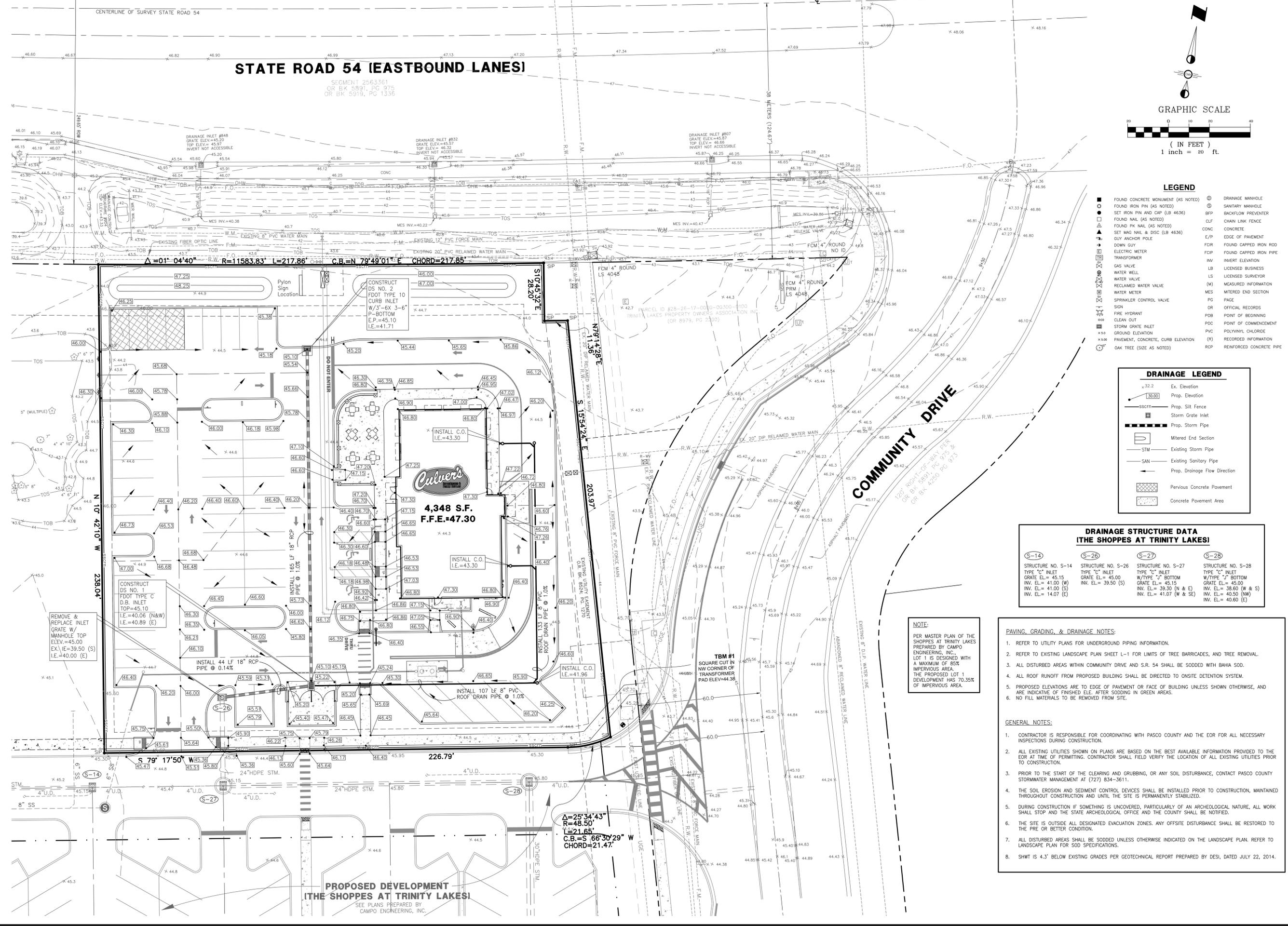
**E.M.K. Consultants of Florida, Inc.**  
 ENGINEERS SURVEYORS AND PLANNERS  
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NO.	DESCRIPTION	DATE	BY

**PAVING, GRADING & DRAINAGE PLAN**  
**CULVERS RESTAURANT**  
**THE SHOPPES AT TRINITY LAKES**  
**PASCO COUNTY, FLORIDA**

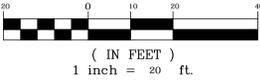
DESIGNED BY: **EMK**  
 DRAWN BY: **EMK**  
 CHECKED BY: **EMK**  
 SCALE: **1"=20'** DATE: **6.15.15**  
 CAD FILE: **3133603-C05-PGD**  
 JOB NUMBER: **31336.03**  
 SHEET **C-5**



**STATE ROAD 54 (EASTBOUND LANES)**

SEGMENT 2563361  
 OR BK 5891, PG 975  
 OR BK 5919, PG 1336

GRAPHIC SCALE



**LEGEND**

- FOUND CONCRETE MONUMENT (AS NOTED)
- FOUND IRON PIN (AS NOTED)
- FOUND NAIL (AS NOTED)
- FOUND PK NAIL (AS NOTED)
- ▲ SET MAG NAIL & DISC (LB 4636)
- ⊙ GUY ANCHOR POLE
- ⊖ DOWN GUY
- ⊕ ELECTRIC METER
- ⊗ TRANSFORMER
- ⊘ GAS VALVE
- ⊙ WATER WELL
- ⊕ WATER VALVE
- ⊖ RECLAIMED WATER VALVE
- ⊗ WATER METER
- ⊘ SPRINKLER CONTROL VALVE
- ⊙ SIGN
- ⊕ FIRE HYDRANT
- ⊖ CLEAN OUT
- ⊗ STORM GRATE INLET
- ⊘ GROUND ELEVATION
- ⊙ PAVEMENT, CONCRETE, CURB ELEVATION
- ⊖ OAK TREE (SIZE AS NOTED)
- ⊙ DRAINAGE MANHOLE
- ⊕ SANITARY MANHOLE
- ⊖ BACKFLOW PREVENTER
- ⊗ CHAIN LINK FENCE
- ⊘ CONC
- ⊙ E/P
- ⊕ FCR
- ⊖ FOUND CAPPED IRON ROD
- ⊗ FOUND CAPPED IRON PIPE
- ⊘ INVERT ELEVATION
- ⊙ LICENSED BUSINESS
- ⊕ LICENSED SURVEYOR
- ⊖ MEASURED INFORMATION
- ⊗ MITERED END SECTION
- ⊘ PG
- ⊙ OR
- ⊕ OFFICIAL RECORDS
- ⊖ PDB
- ⊗ POINT OF BEGINNING
- ⊘ PDC
- ⊙ POINT OF COMMENCEMENT
- ⊕ POLYVINYL CHLORIDE
- ⊖ (R)
- ⊗ RECORDED INFORMATION
- ⊘ RCP
- ⊙ REINFORCED CONCRETE PIPE

**DRAINAGE LEGEND**

- ⊙ 32.2 Ex. Elevation
- ⊖ 30.00 Prop. Elevation
- ⊗ Prop. Silt Fence
- ⊘ Storm Grate Inlet
- ⊙ Prop. Storm Pipe
- ⊕ Mitred End Section
- ⊖ STM
- ⊗ Existing Storm Pipe
- ⊘ SAN
- ⊙ Existing Sanitary Flow
- ⊖ Prop. Drainage Flow Direction
- ⊗ Pervious Concrete Pavement
- ⊘ Concrete Pavement Area

**DRAINAGE STRUCTURE DATA (THE SHOPPES AT TRINITY LAKES)**

STRUCTURE NO.	STRUCTURE NO.	STRUCTURE NO.	STRUCTURE NO.
S-14	S-26	S-27	S-28
STRUCTURE NO. S-14	STRUCTURE NO. S-26	STRUCTURE NO. S-27	STRUCTURE NO. S-28
TYPE "C" INLET	TYPE "C" INLET	TYPE "C" INLET	TYPE "C" INLET
GRATE EL.= 45.15	GRATE EL.= 45.00	GRATE EL.= 45.15	GRATE EL.= 45.00
INV. EL.= 41.00 (W)	INV. EL.= 39.50 (S)	INV. EL.= 39.30 (W & E)	INV. EL.= 38.60 (W & S)
INV. EL.= 41.00 (S)	INV. EL.= 41.07 (W & E)	INV. EL.= 40.50 (NW)	INV. EL.= 40.60 (E)
INV. EL.= 14.07 (E)			

**NOTE:**  
 PER MASTER PLAN OF THE SHOPPES AT TRINITY LAKES PREPARED BY CAMPO ENGINEERING, INC. LOT 1 IS DESIGNED WITH A MAXIMUM OF 85% IMPERVIOUS AREA. THE PROPOSED LOT 1 DEVELOPMENT HAS 70.35% OF IMPERVIOUS AREA.

**PAVING, GRADING, & DRAINAGE NOTES:**

- REFER TO UTILITY PLANS FOR UNDERGROUND PIPING INFORMATION.
- REFER TO EXISTING LANDSCAPE PLAN SHEET L-1 FOR LIMITS OF TREE BARRICADES, AND TREE REMOVAL.
- ALL DISTURBED AREAS WITHIN COMMUNITY DRIVE AND S.R. 54 SHALL BE SODDED WITH BAHIA SOD.
- ALL ROOF RUNOFF FROM PROPOSED BUILDING SHALL BE DIRECTED TO ONSITE DETENTION SYSTEM.
- PROPOSED ELEVATIONS ARE TO EDGE OF PAVEMENT OR FACE OF BUILDING UNLESS SHOWN OTHERWISE, AND ARE INDICATIVE OF FINISHED ELE. AFTER SODDING IN GREEN AREAS.
- NO FILL MATERIALS TO BE REMOVED FROM SITE.

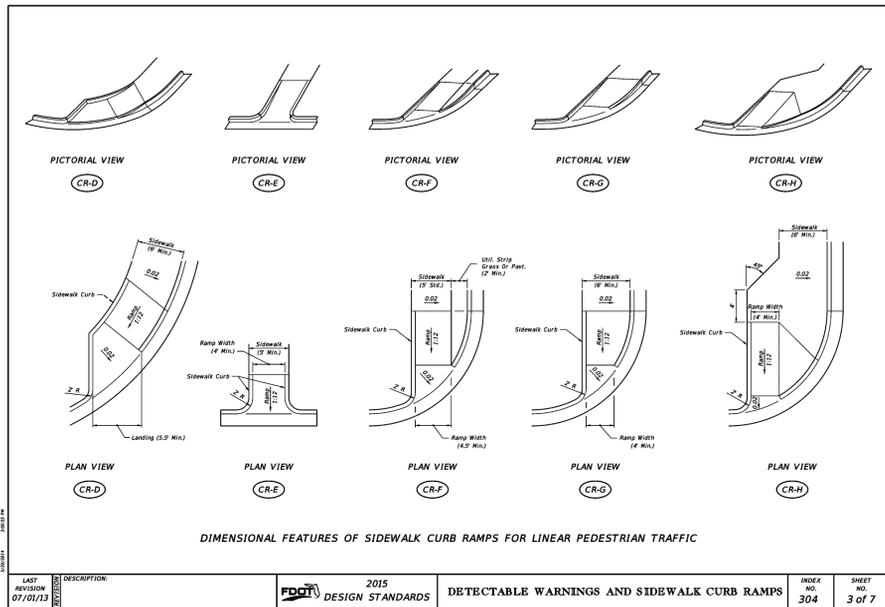
**GENERAL NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH PASCO COUNTY AND THE EOR FOR ALL NECESSARY INSPECTIONS DURING CONSTRUCTION.
- ALL EXISTING UTILITIES SHOWN ON PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION PROVIDED TO THE EOR AT TIME OF PERMITTING. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- PRIOR TO THE START OF THE CLEARING AND GRUBBING, OR ANY SOIL DISTURBANCE, CONTACT PASCO COUNTY STORMWATER MANAGEMENT AT (727) 834-3611.
- THE SOIL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL THE SITE IS PERMANENTLY STABILIZED.
- DURING CONSTRUCTION IF SOMETHING IS UNCOVERED, PARTICULARLY OF AN ARCHEOLOGICAL NATURE, ALL WORK SHALL STOP AND THE STATE ARCHEOLOGICAL OFFICE AND THE COUNTY SHALL BE NOTIFIED.
- THE SITE IS OUTSIDE ALL DESIGNATED EVACUATION ZONES. ANY OFFSITE DISTURBANCE SHALL BE RESTORED TO THE PRE OR BETTER CONDITION.
- ALL DISTURBED AREAS SHALL BE SODDED UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLAN. REFER TO LANDSCAPE PLAN FOR SOD SPECIFICATIONS.
- SHWT IS 4.3' BELOW EXISTING GRADES PER GEOTECHNICAL REPORT PREPARED BY DESI, DATED JULY 22, 2014.

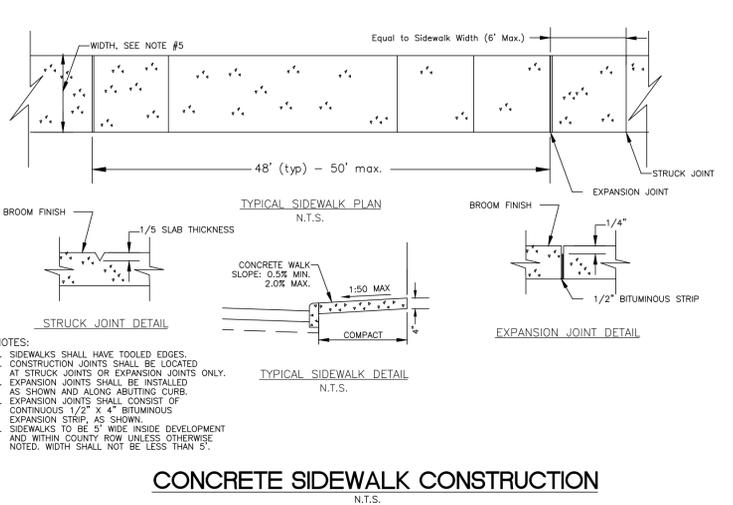
**PROPOSED DEVELOPMENT (THE SHOPPES AT TRINITY LAKES)**  
 SEE PLANS PREPARED BY CAMPO ENGINEERING, INC.

HA Engineering, Design, 31336.03, C-5, PLANS, 3133603-C05-PGD.dwg - Jun 15, 2015 @ 11:22am

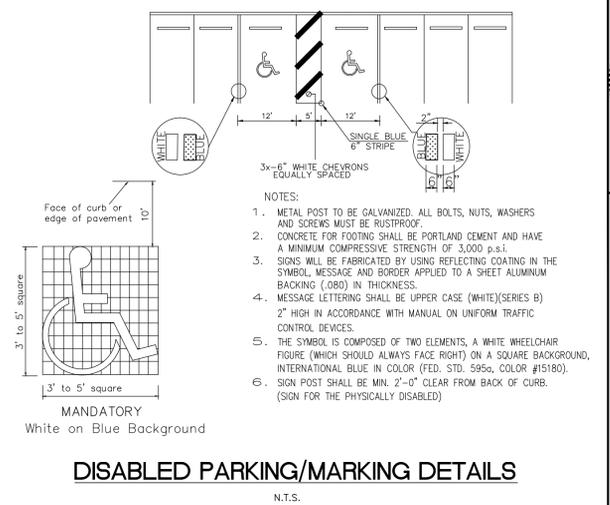




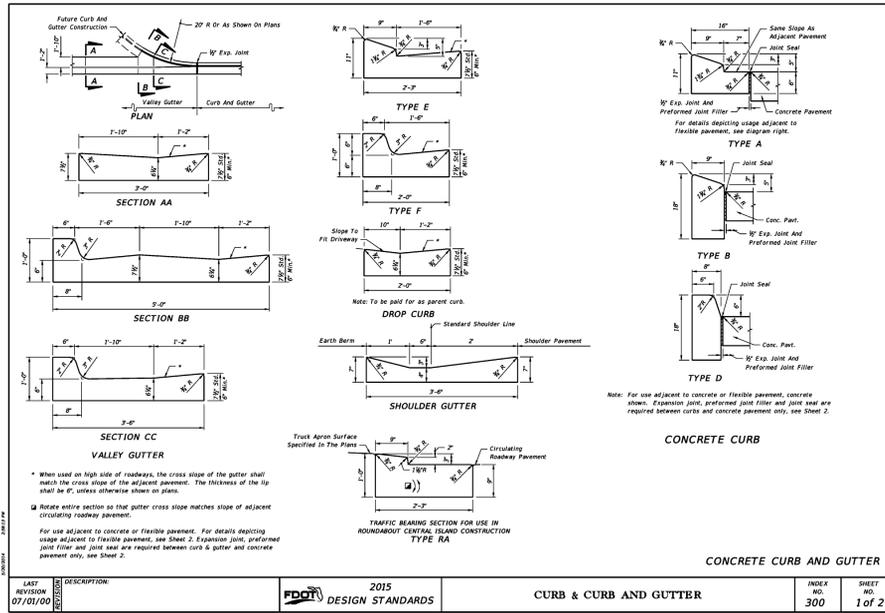
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07/01/15	DESIGN STANDARDS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMP	304	3 of 7



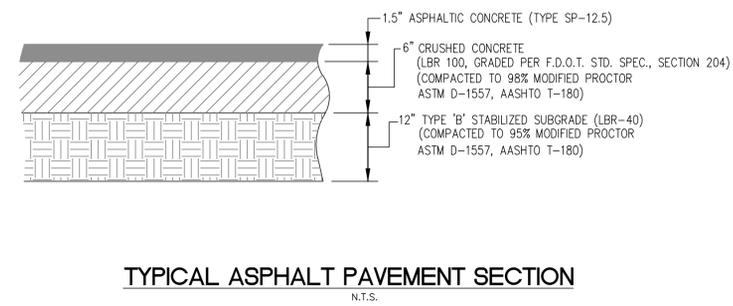
**CONCRETE SIDEWALK CONSTRUCTION**  
N.T.S.



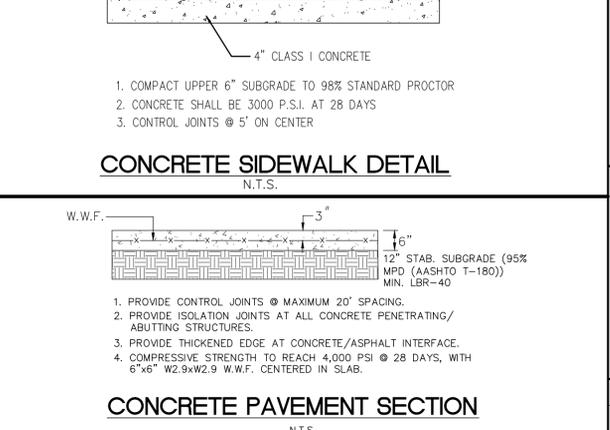
**DISABLED PARKING/MARKING DETAILS**  
N.T.S.



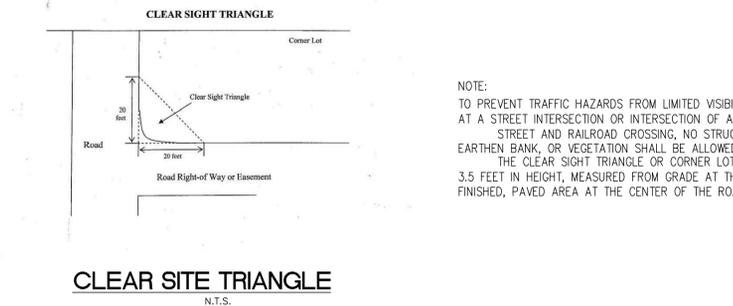
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07/01/15	DESIGN STANDARDS	CURB & GUTTER	300	1 of 2



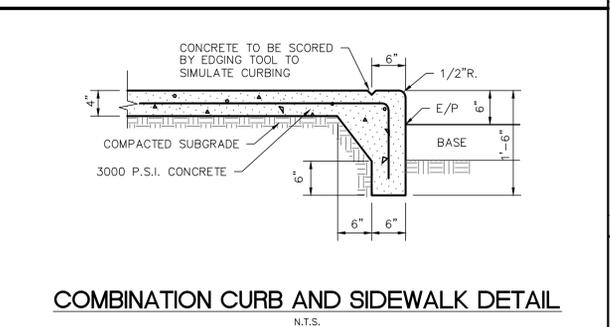
**TYPICAL ASPHALT PAVEMENT SECTION**  
N.T.S.



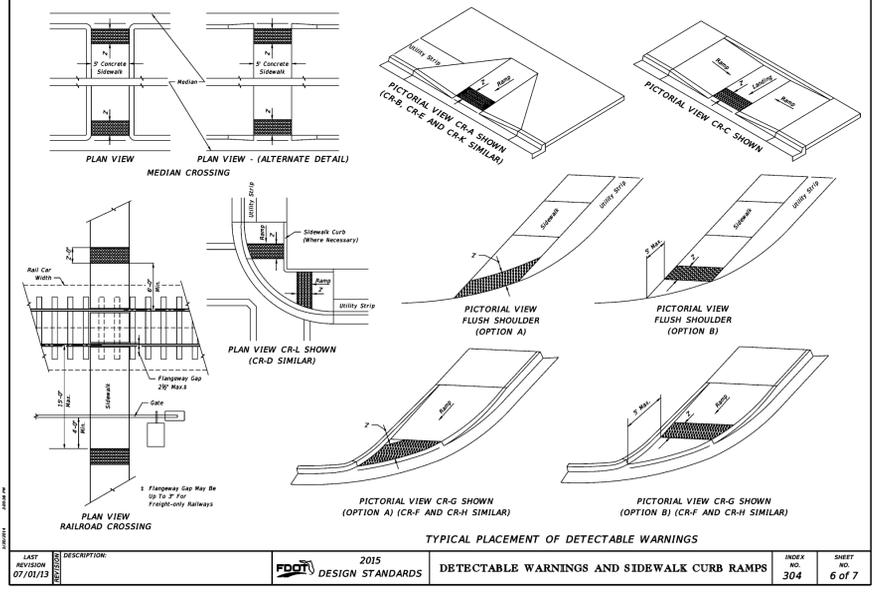
**CONCRETE SIDEWALK DETAIL**  
N.T.S.



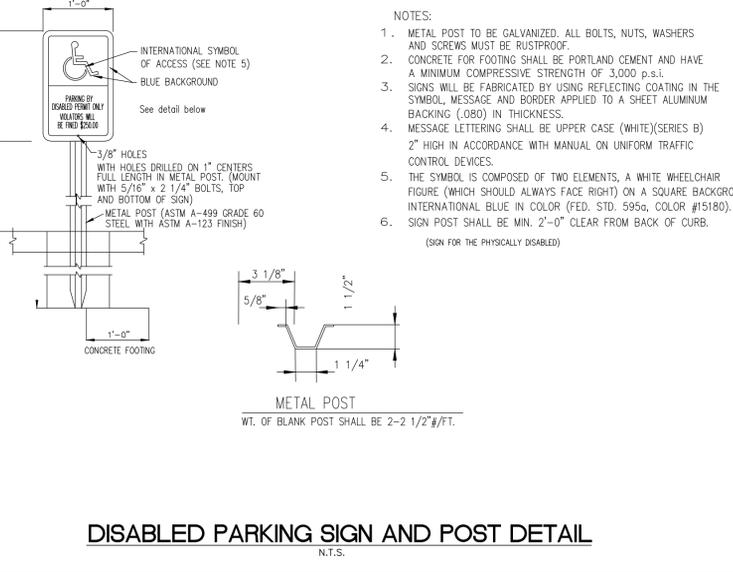
**CLEAR SITE TRIANGLE**  
N.T.S.



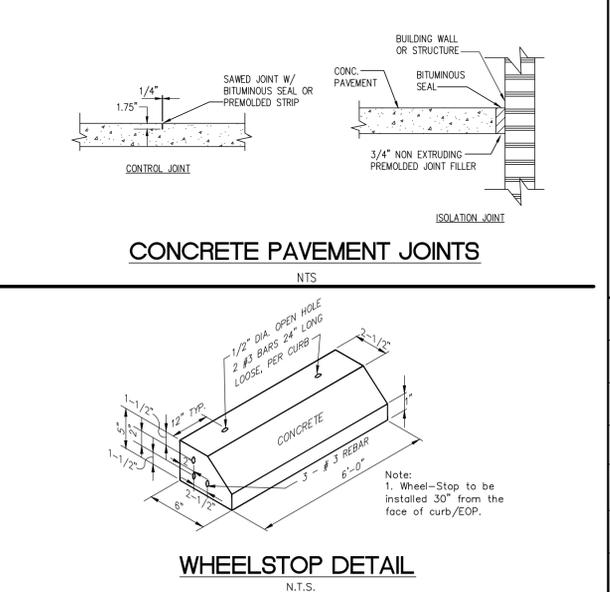
**COMBINATION CURB AND SIDEWALK DETAIL**  
N.T.S.



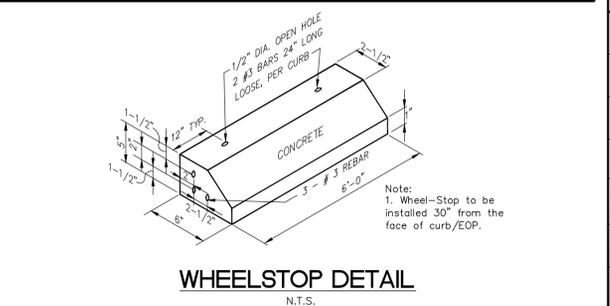
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07/01/15	DESIGN STANDARDS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMP	304	6 of 7



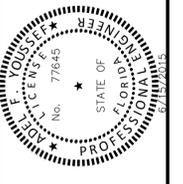
**DISABLED PARKING SIGN AND POST DETAIL**  
N.T.S.



**CONCRETE PAVEMENT JOINTS**  
N.T.S.



**WHEELSTOP DETAIL**  
N.T.S.



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engineers, surveyors and planners  
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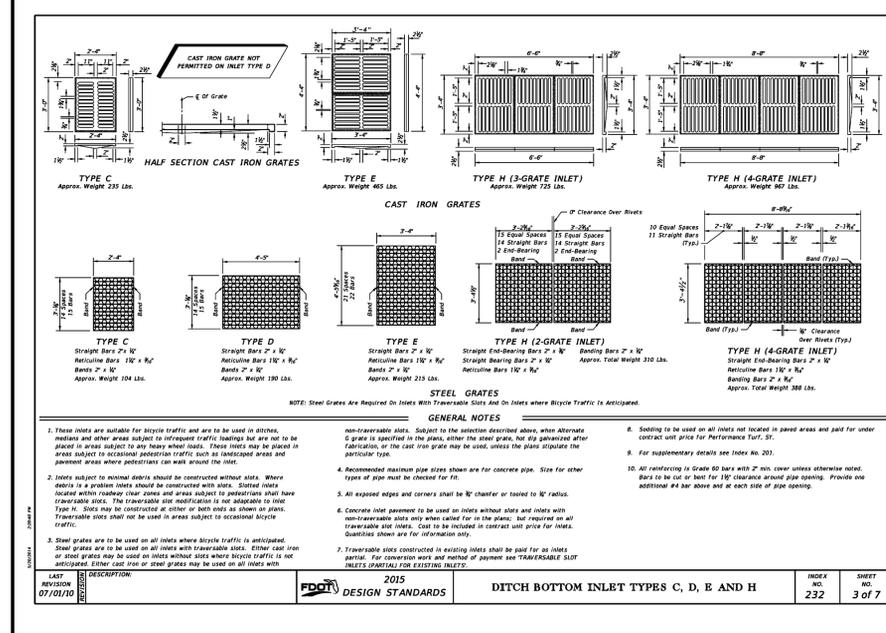
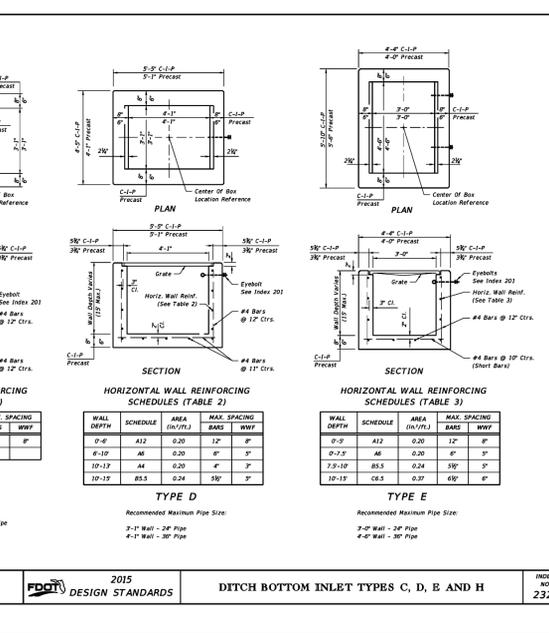
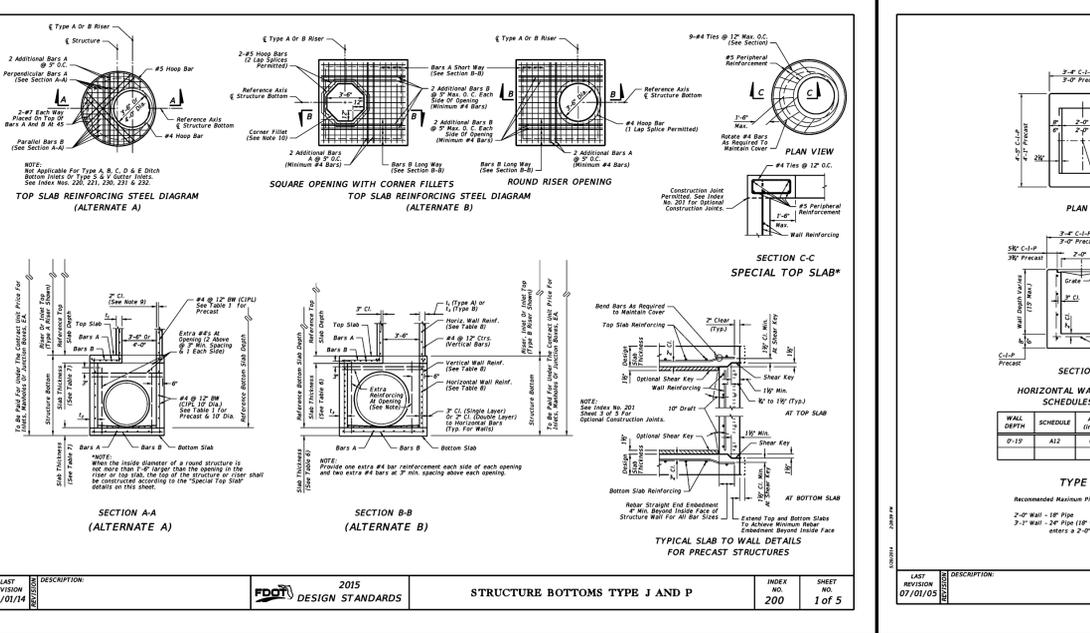
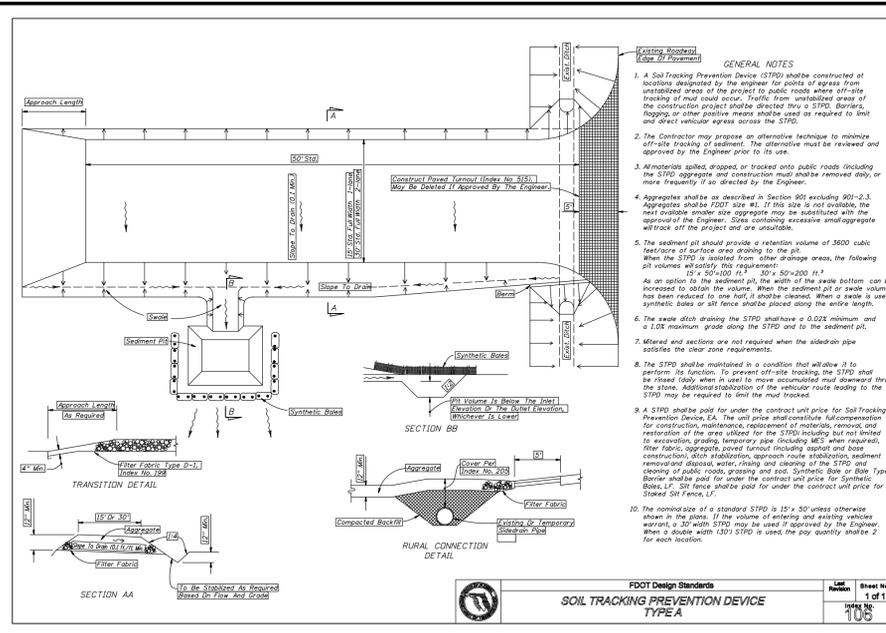
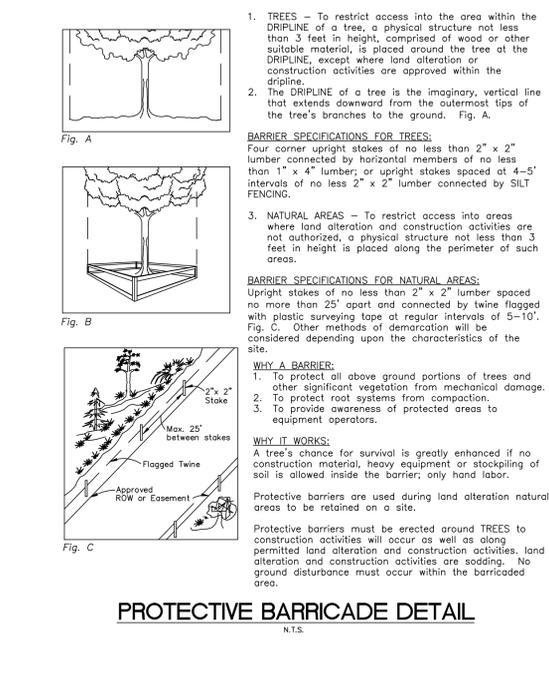
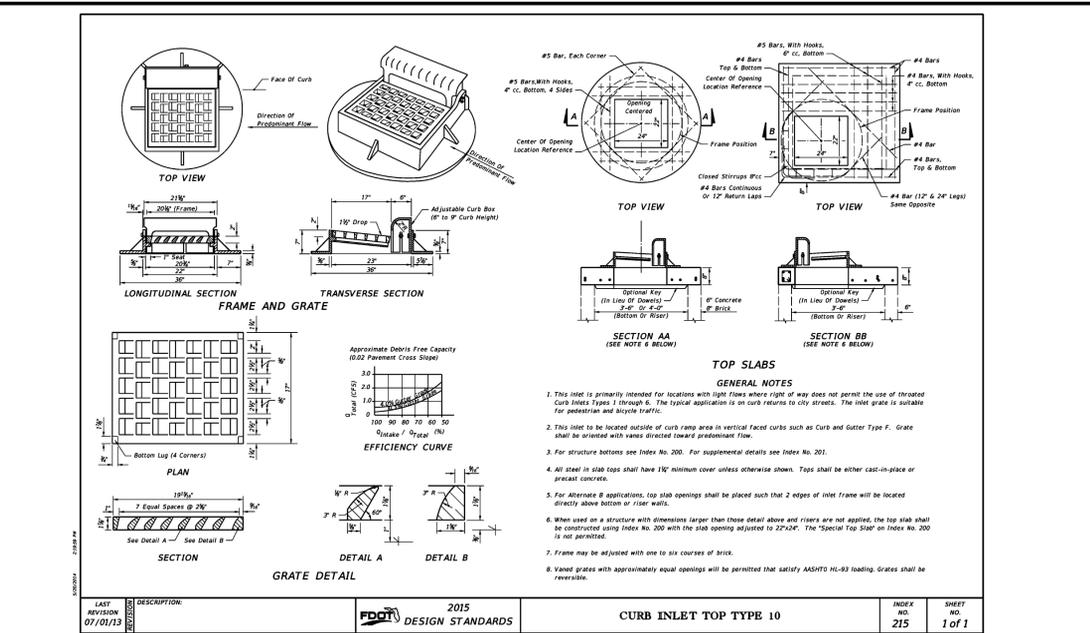
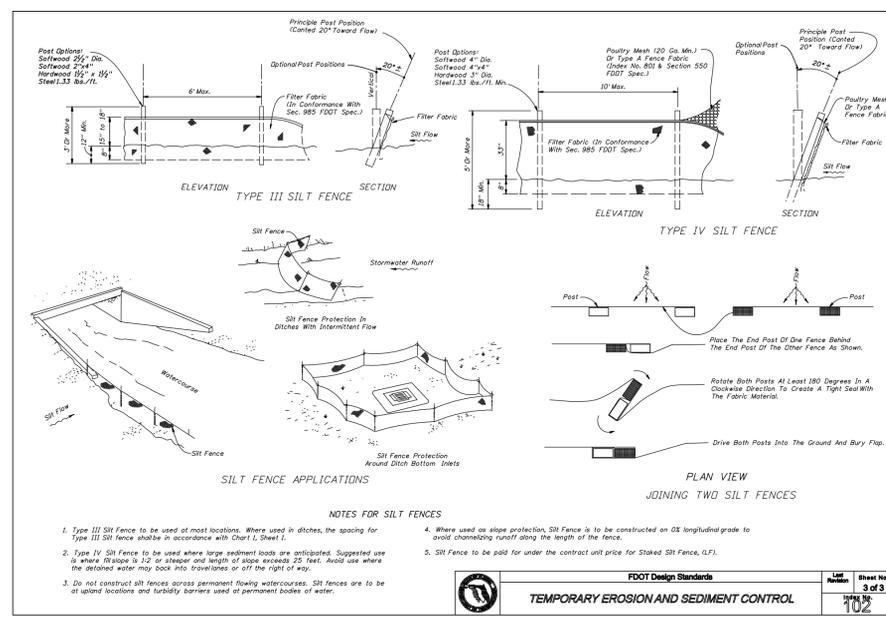
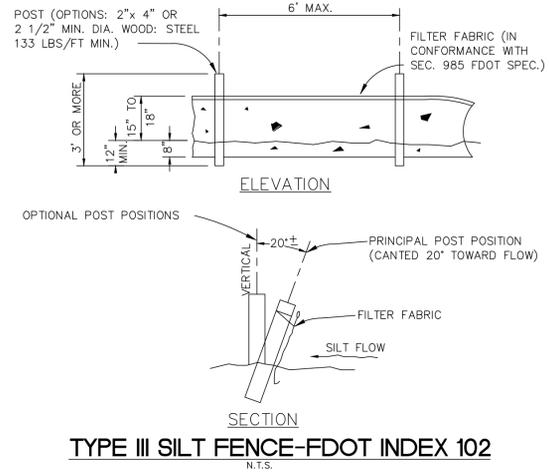
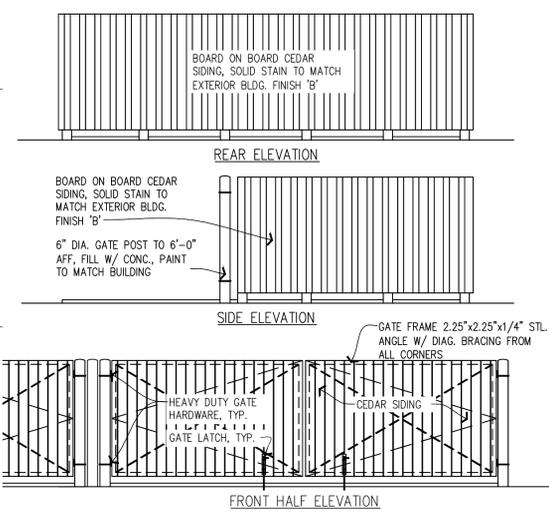
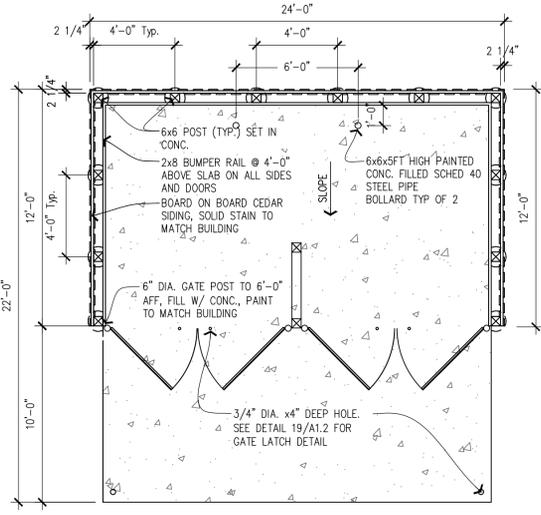
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NO.	DESCRIPTION	DATE	BY

**CIVIL DETAILS**  
**CULVERS RESTAURANT**  
**THE SHOPPER AT TRINITY LAKES**  
**PASCO COUNTY, FLORIDA**

DESIGNED BY:	EMK
DRAWN BY:	EMK
CHECKED BY:	EMK
SCALE:	DATE: 6.15.15
AS SHOWN	
CAD FILE:	3133603-DTL
JOB NUMBER:	31336.03
SHEET	<b>C-7</b>

I:\Engineering\Design\31336\_03\_Civil\ANSI\3133603-DTL.dwg - Jun 15, 2015 @ 11:23am



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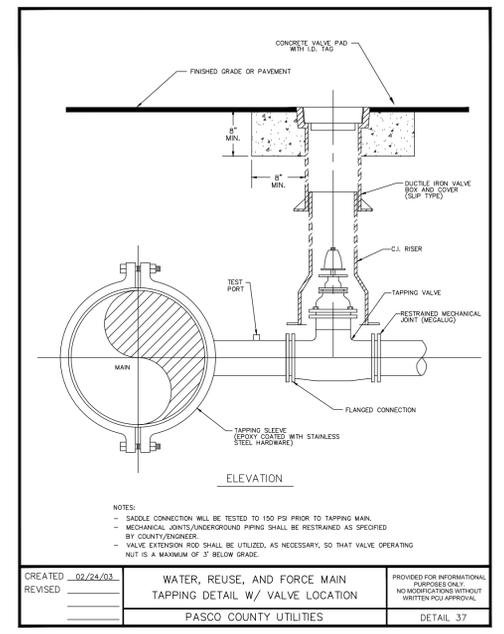
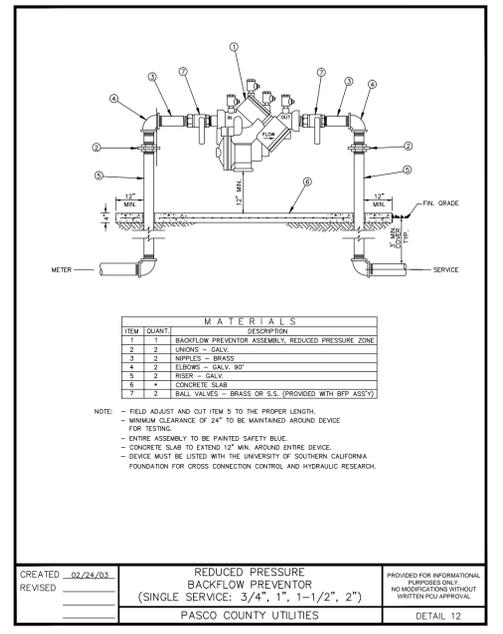
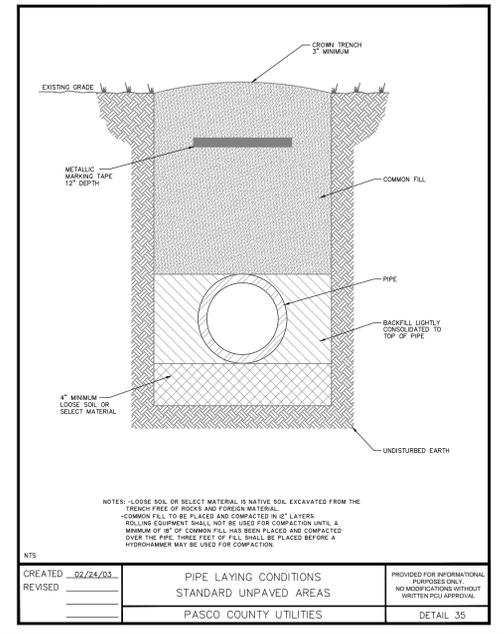
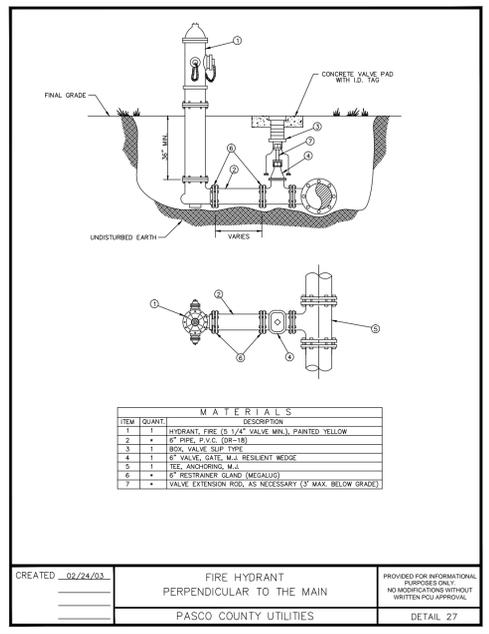
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**REVISIONS**

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 SCALE: AS SHOWN  
 DATE: 6.15.15  
 CAD FILE: 3133603-DTL  
 JOB NUMBER: 31336.03  
 SHEET: C-8



**PIPE RESTRAINT LENGTHS IN FEET COMMON FITTINGS**

**WATER MAINS - TEST PRESSURE 150 PSI**

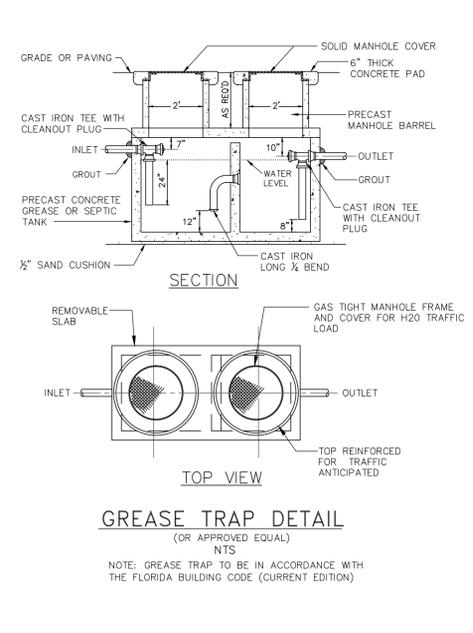
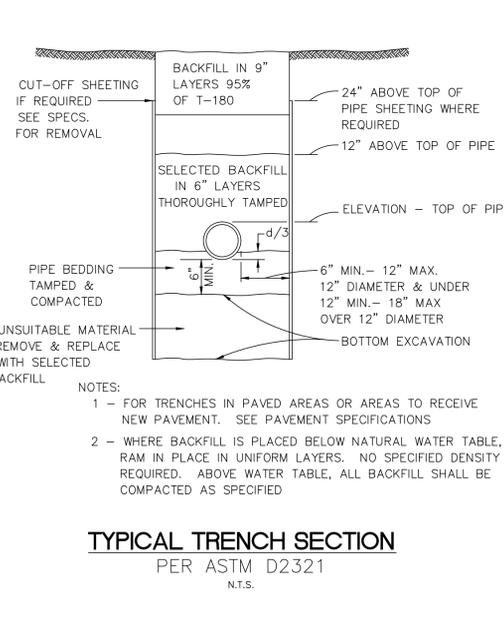
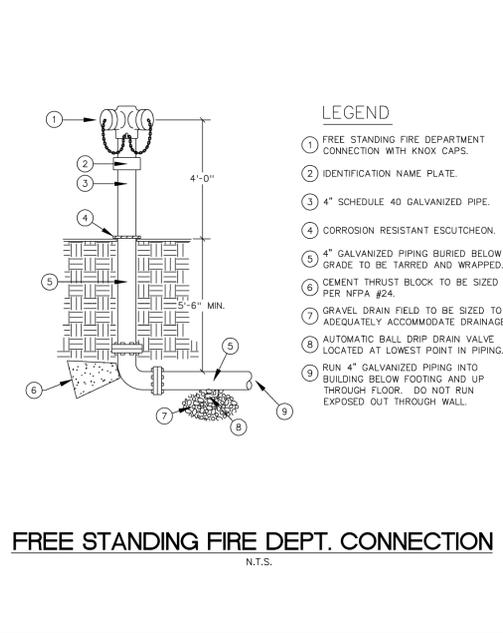
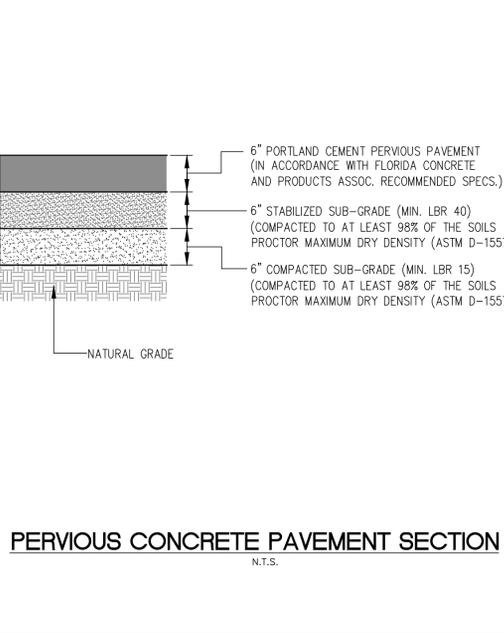
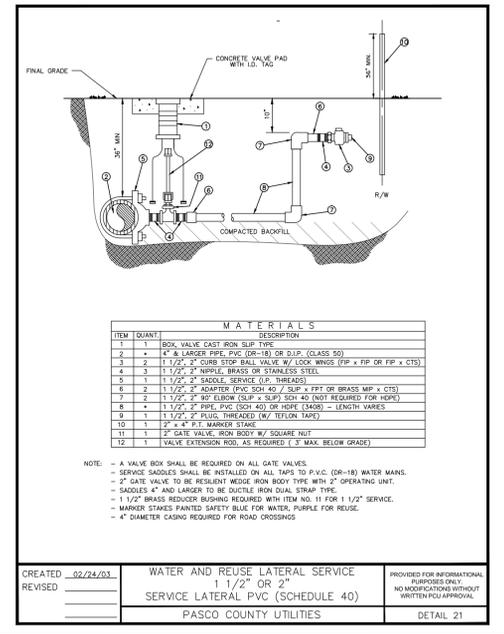
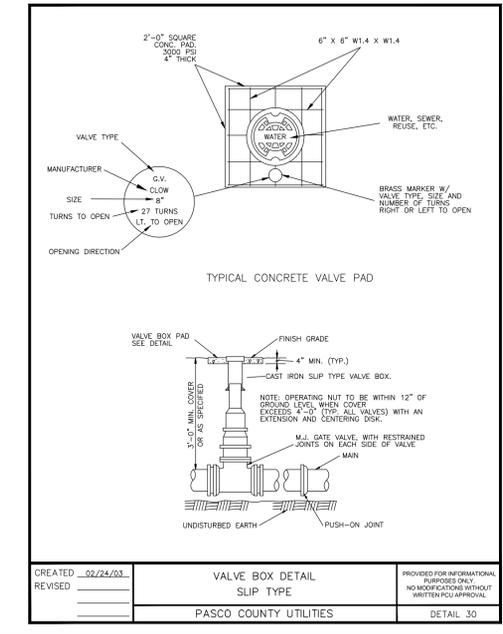
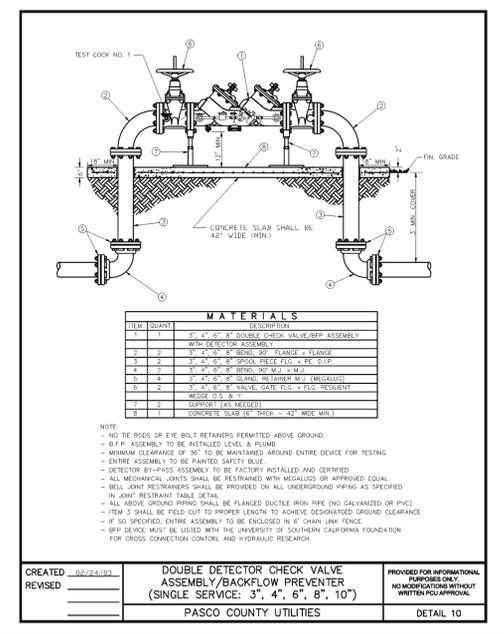
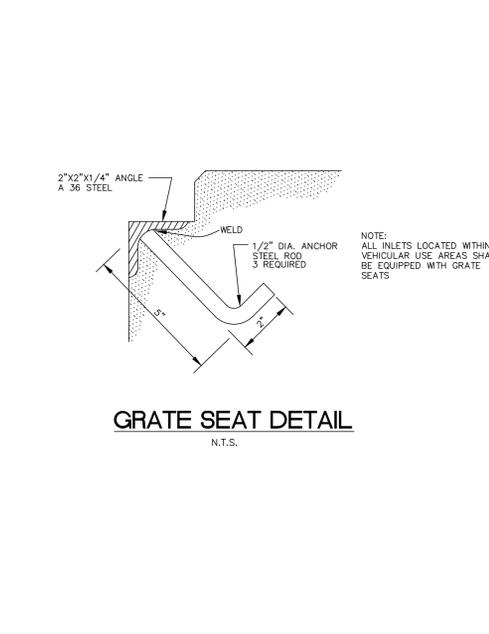
PIPE SIZE	FITTING TYPE				
	11-1/4"	22-1/2"	45"	90"	DEAD END
4"	2'	4'	8'	20'	45'
6"	3'	6'	12'	28'	63'
8"	4'	7'	15'	36'	82'
10"	4'	9'	18'	43'	98'
12"	5'	10'	21'	50'	116'
16"	6'	13'	26'	63'	148'
20"	7'	15'	31'	76'	179'
24"	9'	17'	36'	87'	208'

**FORCE MAINS - TEST PRESSURE 100 PSI**

PIPE SIZE	FITTING TYPE				
	11-1/4"	22-1/2"	45"	90"	DEAD END
4"	1'	3'	6'	13'	30'
6"	2'	4'	8'	19'	42'
8"	2'	5'	10'	24'	55'
10"	3'	6'	12'	29'	66'
12"	3'	7'	14'	34'	77'
16"	4'	8'	18'	42'	99'
20"	5'	10'	21'	50'	119'
24"	6'	11'	24'	58'	139'

RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE FITTING ALONG THE PIPE IN BOTH DIRECTIONS (EXCEPT DEAD ENDS).

CREATED: 02/24/03  
 REVISIONS: \_\_\_\_\_  
 TITLE: RESTRAINER JOINT TABLE COMMON FITTINGS  
 PROVIDER: PASCO COUNTY UTILITIES  
 PURPOSE: FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN P&U APPROVAL.  
 DETAIL: 31



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