

PASCO COUNTY, FLORIDA
INTEROFFICE MEMORANDUM

TO: Joaquin Servia
Development Review Manager

DATE: 8/20/15 FILE: PDD15-1600

SUBJECT: Small Commercial
Development Review –
Culver's, Preliminary Site
Plan/Construction Plan and
Stormwater Management Plan
and Report and Alternative
Standard (Project No. SML15-
026)
Recommendation: Approval
with Conditions (Attachment
No. 1)

FROM: Kathie Senior *(KS)*
Senior Development Review
Technician

REFERENCES: Land Development Code,
Sections 300, Procedures;
403, Site Development;
and 900, Development
Standards; Comm. Dist. 3

PROJECT DESCRIPTION:

Commission District:	The Honorable Kathryn Starkey
Project Name:	Culver's
Developer's Name:	CWC Restaurants, LLC
Location:	South Central Pasco County, on the southeast corner of S.R. 56 and Wesley Chapel Boulevard, Section 27, Township 26 South, Range 19 East (Attachment No. 2)
Parcel ID Nos.:	27-26-19-0040-00000-0050
Land Use Classification:	ROR (Retail/Office/Residential)
Zoning District:	MPUD Master Planned Unit Development
Acreage:	1.40 Acres, m.o.l.
Use/Square Feet:	Restaurant with outdoor seating and drive thru/4,527 Square Feet Restaurant and 350 Square Feet of Outdoor Seating
Flood Zone:	"X"
Water/Sewage:	Pasco County
Transportation Analysis Zone:	286
Mobility Fee Assessment District:	A
Mobility Fee Collection/Benefit District:	3
Roads:	Private
Certificate of Capacity:	Initial

DEVELOPER'S REQUEST:

The applicant/developer of Culver's is requesting a preliminary site plan (PSP)/construction plan and stormwater management plan and report and alternative standard for approval of a 4,527 square foot restaurant and 350 square feet of outdoor seating with drive thru on 1.4 acres (Attachment No. 3)

BACKGROUND AND FINDINGS OF FACT:

See Attachment No. 4.

ALTERNATIVE STANDARDS REQUEST :

The applicant/developer has requested a specific alternative standard from the LDC, Section 907, On-site parking, loading, stacking and lighting standards, requirements.

Subsection 907.1.D.2, General Standards, Stall Length, which if approved, would relieve the applicant/developer of providing the required length of parking spaces.

Relief is being sought pursuant to the LDC, Section 407.5.B, as the purpose for the alternative standards which reads as follows: "The alternative standard meets or exceeds the intent and purpose of the Code requirement at issue."

The applicant/developer states:

"The parking spaces will have an effective length of 20 feet for standard spaces (18' x 2' overhang) and 18 feet (16' + 2' overhang) for compact spaces; which meet the LDC requirement.

Relief is being sought pursuant to the LDC, Section 407.5.B, as the purpose for the alternative standards which reads as follows: "No feasible engineering or construction solutions can be applied to satisfy the regulation."

The applicant/developer states:

"Requested to eliminate individual concrete wheel stops that have become a law suit liability on commercial development projects throughout the State of Florida."

STAFF ANALYSIS:

Staff has reviewed the applicant's request and recommends approval of the paved area of the parking spaces of 18' with a 2' grass overhang for standard parking stalls and a paved area of the parking space of 16' with a 2' grass overhang for compact parking stalls. The 2' grass overhang would protect the landscaping from the parked vehicles and would meet the intent of the LDC.

CONCURRENCY ANALYSIS:

An Initial Certificate of Capacity is being issued for 4,527 square feet restaurant and 350 square feet of outdoor seating. Any conditions required pursuant to the issuance of the certificate are attached to the Initial Certificate of Capacity (Attachment No. 5).

RECOMMENDATION:

The Planning and Development Department recommends approval of the PSP/construction plan and stormwater management plan and report and alternative standard request with the attached conditions.

JS/DS/KS/culvers_pspcpmpr_pdd15-1600

ATTACHMENTS:

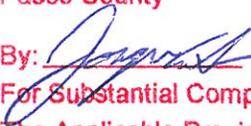
1. Conditions of Approval
2. Location Map
3. Site Plan
4. Background and Findings of Fact
5. Initial Certificate of Capacity

PLANNING AND DEVELOPMENT DEPARTMENT ACTION:

APPROVED

B.C.C.
 D.R.C.
 PDD

Pasco County

By:  Date 8-20-15

For Substantial Compliance With
The Applicable Provisions of Pasco County
Land Development Regulations
And Their Intent

**ATTACHMENT NO. 1 – CONDITIONS OF APPROVAL
CULVER’S**

Hard-Copy Site Development Permit

1. Before commencing approved construction activities, the applicant/ developer or project contractor shall obtain from the Planning and Development Department an authorization to commence approved construction, a.k.a. "a hard copy Site Development Permit." To obtain said authorization, the following, as applicable, must be submitted to the Planning and Development Department:
 - a. The completed notarized acknowledgment portion of the attached agenda memorandum. The owner are hereby notified that the effective date of this development approval shall be the date of the final County action; however, no activity shall commence on site until such time as the acknowledgment portion of this document is completed (including notarization) and received by the Planning and Development Department.
 - b. A copy of the Southwest Florida Water Management District (SWFWMD) Permit and Plan. In the event the SWFWMD Permit and Plan require any changes to the County-approved plan, an amendment to the County-approved plan shall be submitted for review and approval prior to the issuance of the Site Development Permit.
 - c. A copy of all required State and Federal permits from the appropriate agencies, including drawings, plans, etc.
 - d. National Pollutant Discharge Elimination System Permit/permit application.

No construction shall commence until the permit has been properly posted on the site.

General Conditions

2. The developer acknowledges that they must comply with all conditions of previously approved Development Order, Developer Agreement, MPUD, Preliminary Site Plan/Construction Plan and Stormwater Management Plan and Reports unless specifically waived..
3. The developer acknowledges that any provisions of Pasco County ordinances not specifically waived shall be in full force and effect, including all impact fee ordinances.

4. The developer acknowledges that approval of this Preliminary Site Plan (PSP) does not establish vested rights with respect to construction of the project. Further, the developer acknowledges that no permit shall be issued or plat approved without the issuance of a Final Certificate of Capacity.
5. The applicant/developer acknowledges that approval of the alternative standards request, as stated, is based upon representation as set forth in the Preliminary Site Plan (PSP) submittal dated 7/17/15, and received by the County on 7/20/15. In the event that the Preliminary Site Plan (PSP) is deemed void and/or approval is withdrawn, then the alternative standards request shall be considered void and all future development shall thereafter comply with all regulations currently in effect and shall be reviewed and approved as provided therein. Preliminary Site Plan (PSP) approval is contingent upon approval of alternative standard.
6. All construction work, including roads, drainage, and utilities, shall be constructed in accordance with County design standards and tested in compliance with the Engineering Services Department's *Testing Specifications for Construction of Roads, Storm Drainage, and Utilities*.
7. The applicant/developer shall acknowledge that should the County collect funds under a guarantee document, the developer shall authorize the County or its designee access to the property in question to complete the required work.
8. The applicant/developer shall acknowledge that should the County be required to institute legal proceedings in order to collect any funds under a guarantee document, the developer shall be responsible for attorney's fees and court costs incurred by the County in such action.
9. The developer acknowledges that an appeal may be filed against the decision of the Planning & Development Department within 30 days of the date of this approval. Any development that takes place within the 30-day-appeal deadline shall not establish vested rights with respect to construction of the project.
10. Site plans approved by the Planning and Development Department are the final approved documents. Changes/additions/deletions to approved site plans; i.e., building size, location, loading zones, etc., require revised site plan submittal, review fee, and approval in accordance with the Land Development Code (LDC), Sections 300, 403, and 900.
11. The applicant/developer or project contractor shall notify the Project Management Division at least five working days prior to commencing any activity on the site.
12. In accordance with the LDC regarding Access Management Regulations, where a required/approved cross-access/frontage/reverse-frontage road is provided and shown on the approved plans, the applicant/developer acknowledges and agrees that this access shall be free and clear of any buildings, parking spaces (except as otherwise approved), landscaping, retention ponds, or any other obstruction (such as gates) that would prevent the free flow of traffic between the project and the neighboring properties, projects, or roadways. The applicant/developer acknowledges that this cross-

access/frontage/reverse-frontage road is to remain open to the public, but maintained privately.

13. Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to combustibles being brought on site (National Fire Protection Association, NFPA-1, 16.4.3.1.3).
14. The applicant/developer acknowledges that the Preliminary Site Plan (PSP) shall expire within six years of the original approval date of the PSP if Building Permits for the entire development have not been issued. In the event that the applicant/developer does not comply with this provision, all plans related to the uncompleted portion of the PSP approval shall be deemed void, and approval shall be deemed withdrawn, unless an extension has been obtained from the County Administrator or designee prior to expiration of any of the time limits provided above. Any extension shall be applied for at least 60 days prior to expiration of any of the above time limits.

In the event the PSP is voided, all subsequent submittals shall comply with regulations in effect at the time of the said resubmittals.

Construction Plan

15. Pasco County Utilities Service Connection Application approval required prior to the start of any activities to construct water, wastewater, or reclaimed as applicable.
16. Section 316.0745, Florida Statutes, requires that all traffic-control signing and markings on private property opened to the general public be in conformance with the Florida Department of Transportation's (FDOT) *Manual on Uniform Traffic Control Devices* and FDOT standards.
17. All handicapped parking spaces shall be signed and marked in accordance with the Florida Department of Transportation (FDOT standards index. All regular/standard parking spaces shall be striped in white.
18. All construction within non-County-maintained right-of-way will require a Driveway Connection Permit. The applicant/developer shall obtain a Driveway Connection Permit from the County.
19. In consideration of the County's agreement to provide potable water and/or reclaimed water to the subject property, the applicant/developer and their successors and assigns agree to the following:
 - a. In the event of production failure or shortfall by Tampa Bay Water (TBW), as set forth in Section 3.19 of the Interposal Agreement creating TBW, the applicant/developer shall temporarily transfer to the County any and all water-use permits or water-use rights the applicant/developer may have to use or consume surface water or groundwater within the County for the duration of the production failure or shortfall.

- b. Prior to the applicant/developer selling water, water-use permits, or water-use rights, the applicant/developer shall notify the County, and the County shall have a right of first refusal to purchase such water or water-use permits or water-use rights.
- 20. The developer shall provide fire protection in compliance with the Pasco County Code of Ordinances, Chapter 46, Article III, and any subsequent amendments.
- 21. The Timing and Phasing Application submitted by the applicant assumed the following land use:
 - 4,527 square foot, restaurant with 350 square feet of outdoor seating and drive thru.

Any development of land use that generates greater traffic impacts than those assumed shall require an updated Timing and Phasing Application utilizing a methodology approved by the County. The DRC, BCC, or County Administrator or designee may impose additional conditions on the applicant or developer based on the updated County-approved traffic study.

- 22. Prior to any construction activity, the developer shall ensure that proper erosion and sediment control measures are in place. The applicant/developer or project contractor shall notify the Stormwater Management Division at least two working days prior to commencing any site preparation, including clearing and grubbing work, for a preinspection of the sediment and erosion-control devices. The developer shall control all fugitive dust originating from the project site and shall indicate on the construction drawings the manner in which fugitive dust is to be controlled. Further, all retention pond side slopes and associated swales shall be sodded to prevent soil erosion.
- 23. The applicant/developer acknowledges in accordance with the LDC, Section 905.2, Landscaping and Buffering, wooden fences are not allowed as a visual screen in any of the buffer areas. If the applicant/developer proposes the use of a fence for a visual screen within any buffer area, vinyl fencing or chain-link fencing with black-out fabric or slats shall be used.
- 24. The applicant/developer acknowledges, in accordance with the LDC, Section 905.2, Landscaping and Buffering, any plant materials of whatsoever type and kind required by the Landscape and Buffering regulations and this approval, shall be replaced within thirty days of their demise and/or removal.
- 25. If, during construction activities, any evidence of historic resources including, but not limited to, aboriginal or historic pottery, prehistoric stone tools, bone or shell tools, historic trash pits, or historic building foundation, are discovered, work shall come to an immediate stop, and the Florida Department of Historic Resources (State Historic Preservation Officer) and the County shall be notified within two working days of the resources found on the site.

26. If, during construction activities, any evidence of the presence of State and Federally protected plant and/or animal species is discovered, work shall come to an immediate stop, and the County shall be notified within two working days of the plant and/or animal species found on the site.

Development Standards

27. The commercial dimensional standards shall be in accordance with the C-2 zoning district regulations and uses contained within the LDC.

Record Plat/Building Permit/Certificate of Occupancy

28. Site plans submitted with Building Permit applications are invalid as to final site approval unless stamped approved by the Planning and Development Department. These plans are submitted to show building location in regard to property line, other buildings, etc., only. The site must conform to those plans submitted and/or approved by the Planning and Development Department in accordance with the Land Development Code, Sections 300 and 403.
29. The applicant/developer acknowledges that a Building Permit shall be obtained for all structures that have a footer, regardless of size, through the Central Permitting Division; i.e., including, but not inclusive of, buildings, accessories, dumpster walls, and retaining walls.
30. The applicant/developer acknowledges that the standard parking stall sizes are to be constructed at 18' of paved area with a 2' grass overhang and the compact parking stall sizes are to be constructed at 16' of paved area with a 2' grass overhang as detail is shown on plans. The 2' grass overhang will not be part of the landscape buffer.
31. A Registered Landscape Architect or other person as authorized by Chapter 481, Florida Statutes, as amended or other type of professional as approved by the County Administrator or designee shall conduct a final field inspection. A Certificate of Compliance shall be provided to the County prior to platting, or where platting is not required, prior to issuance of the Certificate of Occupancy (CO).
32. The owner/developer shall arrange for a final site inspection approval by the Engineering Services Department prior to the issuance of the Certificate of Occupancy.

(Corporate)

Date

Signature

Print Name

Title

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____
(date), by _____ (name
of corporation acknowledging) a _____
(State or place of incorporation) corporation, on behalf of the corporation. He/she is personally
known to me or who has produced _____ (type of
identification) as identification.

Seal:

NOTARY

SML15-026
Culver's at Cypress Creek
Town Center

27 26 19 0040 00000 0050

PHYSICAL ADDRESS:
2303 SUN VISTA DR

TAZ - 286
COMMISSION DISTRICT: 3

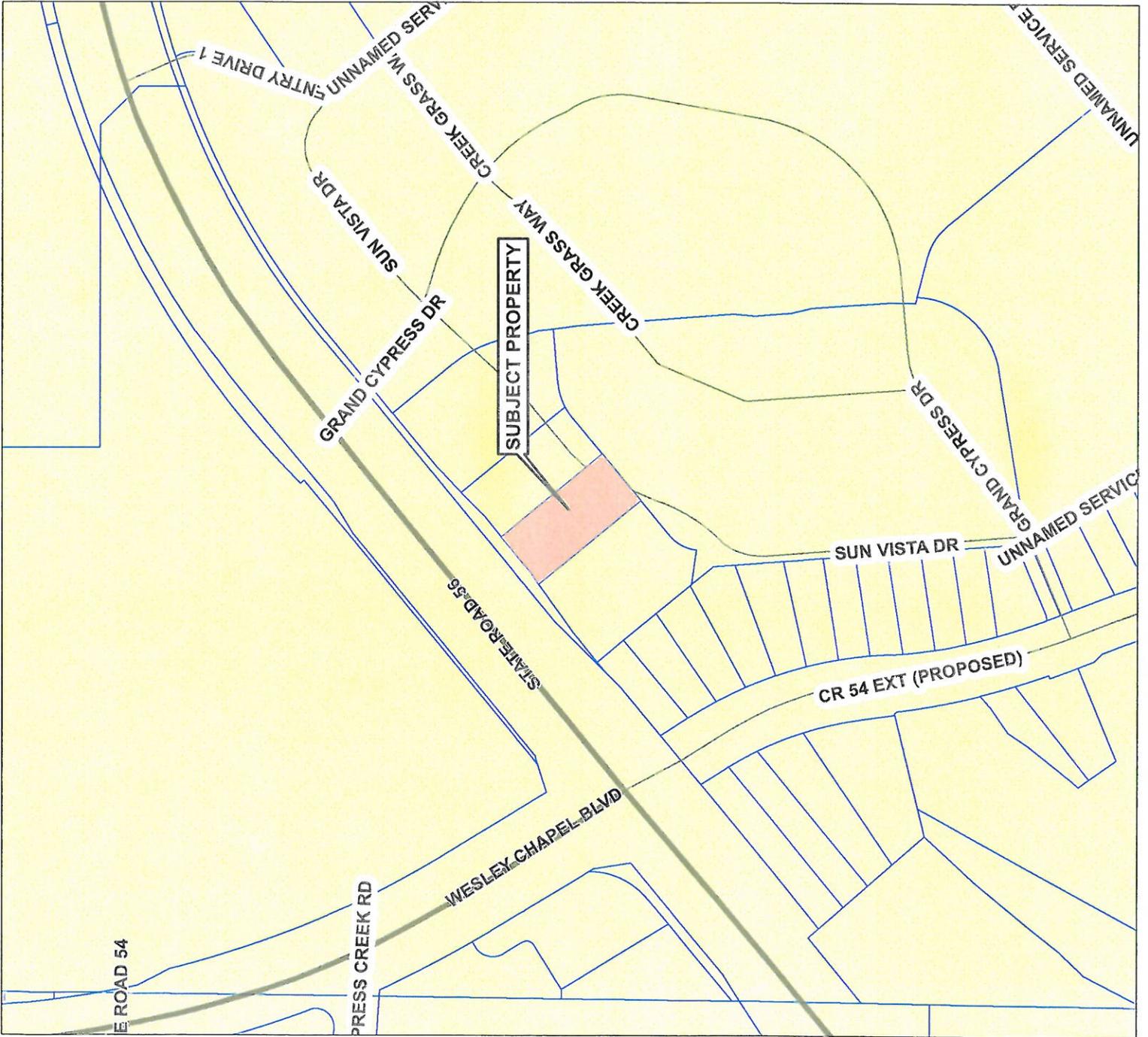
SUBJECT PROPERTY



Pasco County GIS | 8/7/2015 | aikhuoria



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ATTACHMENT NO. 4 - BACKGROUND AND FINDINGS OF FACT CULVER'S

BACKGROUND:

1. On November 23, 2004, the Board of County Commissioners (BCC) approved the Cypress Creek Town Center Development of Regional Impact (DRI) No. 252/ Development Order (DO) (Resolution No. 05-40).
2. On November 23, 2004, the BCC approved Rezoning Petition No. 6288, changing the zoning from an A-C Agricultural District to an MPUD Master Planned Unit Development District for Cypress Creek Town Center.
3. On April 26, 2005, the BCC approved a settlement agreement and an amended DO including the settlement agreement (Resolution No. 05-188).
4. On March 15, 2007, the Development Review Committee approved the Preliminary Plan and Variance Request for Cypress Creek Town Center (SDU06-125) for 39 lots on 293 acres (Memorandum DR07-1092).
5. On March 15, 2007, the DRC approved a preliminary site plan for Cypress Creek Town Center Mall District for 812,697 square feet of retail, 50,921 square feet of restaurants and a 2,556 seat cinema (Memorandum No. DR07-1099).
6. On October 25, 2007, the DRC approved a preliminary site plan amendment for Cypress Creek Town Center Mall District to decrease the retail to 846,544 square feet, increase the restaurant area to 91,403 with 17,100 square feet of outdoor patio seating and increase the cinema to 2,582 seats (Memorandum No. DR08-045).
7. On March 25, 2008, the BCC approved the recording of Cypress Creek Town Center for 273.515 acres into 32 commercial lots.
8. On July 22, 2014, the Zoning Administrator approved a Cypress Creek Town Center Bike and Pedestrian Master Plan, non-substantial modification (Memorandum No. PDD14-1050).
9. On October 3, 2014, the Planning and Development Department approved the preliminary site plan/construction plan Substantial Modification for 490,940 square feet of retail.
10. On November 4, 2014, the BCC approved the recording of Cypress Creek Town Center Replat lots 1, 2, 3 and 4, Block 5 for commercial lots
11. On January 13, 2015, the Planning & Development Department approved a Cypress Creek Town Center – South Ring Road non-substantial modification, for infrastructure only.

FINDINGS OF FACT:

1. Presently, the subject site is vacant.
2. Culvers is being developed on Lot 5 of the Cypress Creek Town Center Lots 1, 2, 3 and 4 Block 5 subdivision as recorded in Plat Book 70 Page 41.
3. The Cypress Creek Town Center Subdivision, preliminary site plan/construction plan and stormwater management plan and report substantial modification has been reviewed by the Planning and Development Department, and it has been determined that the proposed use is consistent with the above-referenced zoning district's permitted uses.
4. The preliminary site plan/construction plan and stormwater management plan and report substantial modification for the above-subject project was prepared for JC Cypress Creek, LLC and CWC Restaurants, LLC , by Newkirk Engineering and consists of 18 sheets dated March 2015; the sheets were last revised on July 24, 2015. The plans were originally received by the Planning and Development Department on March 26, 2015 and final revisions were received on August 19, 2015.
5. Access to the property is from an internal drive connecting to S. R. 56, a Florida Department of Transportation-maintained road, which has 290 feet of right-of-way with approximately 150 feet of pavement.
6. A Timing and Phasing Application was submitted and found to be exempt from the requirement to provide a Timing and Phasing Analysis and a Substandard Roadway Analysis.
7. The proposed request is consistent with the Pasco County applicable provisions of the Comprehensive Plan as submitted.
8. On June 4, 2015 WREC issued a service availability letter for the project.

The Planning and Development Department's approval of this preliminary site plan/construction plan and stormwater management plan and report constitutes a finding by the Planning and Development Department that the preliminary site plan/construction plan and stormwater management plan and report, as conditioned, is consistent with those Goals, Objectives, and Policies of the Comprehensive Plan and those provisions of the LDC that are applicable to preliminary site plan/construction plan and stormwater management plan and report approvals. This action is based on the office review of the plans, supporting documentation, and certifications of the Engineer of Record.

INITIAL CERTIFICATE OF CAPACITY

REQUIRED FOR PRELIMINARY SITE PLANS, PRELIMINARY DEVELOPMENT PLANS,
NONRESIDENTIAL SUBDIVISION, RESIDENTIAL SUBDIVISION INTO MORE THAN ONE DWELLING UNIT
PER LOT, AND PUBLIC SCHOOL COMPREHENSIVE PLAN CONSISTENCY REVIEW

To Be Completed By Department Responsible for Approval Sought;
Completed Certificate Must Be Attached to the Agenda Item and Approval Document

Complete Application (Date):	4/1/15 - Revised 4/29/15, 6/23/15 & 7/30/15	Certificate Completed by:	PJB
Parcel ID No(s):	27-26-19-0040-00000-0050		(attach survey if project includes portion of parcel)
Project Name:	Culver's - Cypress Creek Town Center	No:	SML15-026
Applicant Name, Address, and Telephone Number:	JG Cypress Creek, LLC, c/o Harry Newkirk, P.E., Newkirk Engineering, Inc., 1370 N. US Hwy. 1, Suite 204, Ormond Beach, FL 32174 (262) 796-3450		
Job Site Address:	Sun Vista Drive - N side; Grand Cypress Drive - West; SR 56 - S side		
Does the applicant want to opt out of the mobility fee system pursuant to LDC 1302? <input type="checkbox"/> Yes <input type="checkbox"/> No (If Yes, then transportation concurrency will apply and TIS application is required.)			
Project subject to Development of Regional Impact (DRI) Development Order or to a Development Agreement? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Approval Sought (Check All that apply):			
<input type="checkbox"/>	Preliminary Development Plan	<input type="checkbox"/>	Nonresidential Subdivision
<input checked="" type="checkbox"/>	Preliminary Site Plan	<input type="checkbox"/>	Residential Subdivision into more than one dwelling unit
<input type="checkbox"/>		<input type="checkbox"/>	Public School (Comprehensive Plan Consistency Review)

TYPE OF DEVELOPMENT

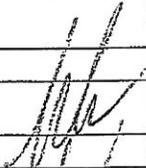
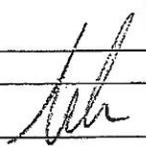
Number of Units	Unit Measure	Description
4,527	sq. ft.	Restaurant - Fast Food w/Drive-thru
350	sq. ft.	Outdoor Seating

Expiration (1300 LDC)		
All facilities (other than roads and schools) expire on:	8-20-21	(6 yrs from issuance)
Roads(Only applies if project subject to transportation concurrency) Certificate of Capacity expires or is subject to additional review on: (click N/A if transportation concurrency does not apply)		or N/A <input checked="" type="checkbox"/>
Schools: Certificate of Capacity expires or is subject to additional review on:		or N/A <input checked="" type="checkbox"/>
Issuance Date:	8-20-15	<i>Harry Newkirk</i>

Completed Certificate of Capacity which has been issued to be distributed as follows:

- 1) Applicant 2) Shared Directory: 1-LOS, and 3) Project File.

INITIAL CERTIFICATE OF CAPACITY

	Yes	No	Conditional Approval	Review Standards	Reviewed By & Authorized Signature/Date
Roads <input checked="" type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.D and Chapter 7 Transportation Analysis	
Water/Water Supply (Utilities) or <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	LDC 1301.6.A and Chapter 10 Public Facilities Element	Mike Kirkpatrick 7/31/15 
Sewer (Utilities) or <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	LDC 1301.6.A and Chapter 10 Public Facilities Element	Mike Kirkpatrick 7/31/15 
Parks/Recreation(Parks) <input type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.B and Chapter 5 Recreation and Open Space Element	
Solid Waste (Utilities) Or <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.A and Chapter 10 Public Facilities Element	Mike Kirkpatrick 7/31/15 
School or <input checked="" type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	LDC 1301.6.C & Chapter 8 Public School Facilities Element and School District Concurrency Implementation Procedures Manual	

[Type or Copy and Paste Below]

Culver's - Cypress Creek Town Center Parcel #27-26-19-0040-00000-0050 PCU#02-127.15

Conditions of Approval for Water:

Pasco County Utilities has reviewed the referenced parcel and has determined that this parcel is within the existing area where water services are provided by Pasco County Utilities. A Service Connection Application, per County codes and ordinances, for water service to this property must be submitted and will be subject to the following conditions:

The provision water service is contingent upon the County obtaining adequate water supply from Tampa Bay Water; receiving all the necessary permits and approvals to implement and construct the County's planned system improvements and facility expansions needed to serve the development; and the Developer's, and its successors or assigns, compliance with the conditions of Pasco County Code Chapters 46 and 110, (including but not limited to the obligation to execute and implement, as applicable, a Utilities Service Agreement and a Utilities Service Plan, both acceptable to the County, and the payment of water impact fees).

Conditions of Approval for Wastewater:

Pasco County Utilities has reviewed the referenced parcel and has determined that this parcel is within the existing area where wastewater services are provided by Pasco County Utilities. A Service Connection Application, per County codes and ordinances, for wastewater service to this

Completed Certificate of Capacity which has been issued to be distributed as follows:

- 1) Applicant 2) Shared Directory: 1-LOS, and 3) Project File.

property must be submitted and will be subject to the following conditions:

The provision wastewater service is contingent upon the County receiving all the necessary permits and approvals to implement and construct the County's planned system improvements and facility expansions needed to serve the development; and the Developer's, and its successors or assigns, compliance with the conditions of Pasco County Code Chapter 110, (including but not limited to the obligation to execute and implement, as applicable, a Utilities Service Agreement and a Utilities Service Plan, both acceptable to the County, and the payment of wastewater impact fees).

Conditions of Approval for Solid Waste:

Pasco County Utilities has reviewed the referenced parcel and has determined that this parcel is within the existing area where solid waste services are provided by Pasco County Utilities.

The provision of solid waste service is contingent upon the County receiving all the necessary permits and approvals to implement and construct the County's planned disposal system improvements and facility expansions needed to serve the development; and the Developer's, and its successors or assigns, compliance with the conditions of Pasco County Code Chapter 90 and other applicable regulatory requirements.

Completed Certificate of Capacity which has been issued to be distributed as follows:

- 1) Applicant
- 2) Shared Directory: 1-LOS, and
- 3) Project File.

Revised 9-20-13

INDEX OF SHEETS	
DWG.NO.	DESCRIPTION
1	COVER
2	BOUNDARY AND TOPOGRAPHIC SURVEY
3A	DEVELOPMENT PLAN
3B	DEVELOPMENT INFORMATION
4	DEMOLITION AND SWPPP PLAN
5	SWPPP DETAILS AND NOTES
6	SITE LAYOUT PLAN
7	DRAINAGE PLAN
8	GRADING PLAN
9	CROSS SECTIONS
10	UTILITY PLAN
11	UTILITY DETAILS AND NOTES
12	MISCELLANEOUS DETAILS AND NOTES
13	MISCELLANEOUS DETAILS AND NOTES
14	PASCO COUNTY STANDARD DETAILS
15	MAINTENANCE OF TRAFFIC DETAILS
16	LANDSCAPE PLAN
17	IRRIGATION PLAN
18	LANDSCAPE AND IRRIGATION DETAILS

PRELIMINARY SITE PLAN / CONSTRUCTION PLAN / STORMWATER MANAGEMENT PLAN



SECTION 27, TOWNSHIP 26 S, RANGE 19 E
27-26-19-0040-00000-0050
2303 SUN VISTA DRIVE
LUTZ, FL 33559

MARCH 2015
REVISED AUGUST 18, 2015

PROJECT TEAM

PROPERTY OWNER: JG CYPRESS CREEK, LLC
 25425 CENTER RIDGE ROAD
 WESTLAKE, OH 44145-4122
 PHONE: (440) 808-7615
 EMAIL: SFATZINGER@REJACOBSGROUP.COM

APPLICANT: CWC REAL PROPERTIES, LLC
 5335 FOX GLEN COURT
 NEW BERLIN, WI 53146
 PHONE: (262) 796-3450
 EMAIL: MARK.FRANZEN@MILLIMAN.COM

GENERAL CONTRACTOR: CAMPBELL CONSTRUCTION JD, INC.
 810 SWAN DR., SUITE A
 MUKWONAGO, WI 53149
 PHONE: (262) 436-4760
 FAX: (262) 436-4761
 EMAIL: JAY@CAMPBELLCONSTRUCTIONBBG.COM

CIVIL ENGINEER/PROJECT MANAGER: NEWKIRK ENGINEERING, INC.
 1370 NORTH US HIGHWAY 1, SUITE 204
 ORMOND BEACH, FL 32174
 PHONE: (386) 290-7599
 EMAIL: HARRY@NEWKIRK-ENGINEERING.COM

ARCHITECT: OLIVERI ARCHITECTS
 32707 US HIGHWAY 19
 PALM HARBOR, FL 34684
 PHONE: (727) 781-7525
 FAX: (727) 781-6623
 EMAIL: NELSON@OLIVERIARCHITECTS.COM

SURVEYOR: A1A GEO, INC.
 1370 NORTH US HIGHWAY 1, SUITE 204
 ORMOND BEACH, FL 32174
 PHONE: (386) 405-6797
 EMAIL: A1AGEOINC@GMAIL.COM

LANDSCAPE ARCHITECT: RICHARD L. POORE, LA
 300 GATEWOOD COURT
 ORMOND BEACH, FL 32174
 PHONE: (386) 212-8491
 EMAIL: THEPOORES@BELLSOUTH.NET

GEOTECHNICAL: UNIVERSAL ENGINEERING SCIENCES
 9802 PALM RIVER ROAD
 TAMPA, FLORIDA 33619
 PHONE: (813) 740-8506
 FAX: (813) 740-8706

LEGAL DESCRIPTION

PARCEL 5, CYPRESS CREEK TOWN CENTER - LOTS 1, 2, 3 AND 4, BLOCK 5 REPLAT, AS RECORDED IN PLAT BOOK 70, PAGES 41 THROUGH 52, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA

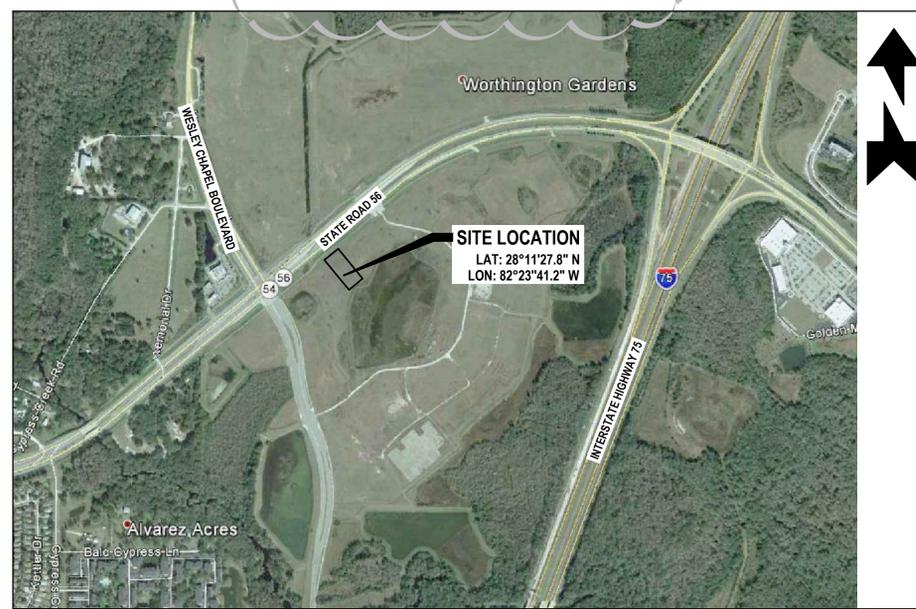
THE ABOVE DESCRIBED PARCEL CONTAINS 1.395 ACRES MORE OR LESS.

PROJECT STATEMENT

PROPOSE A CULVER'S RESTAURANT CONSISTING OF 4,527 SQUARE FEET A/C, 1-STORY, 110 INSIDE SEATS, 350 SF COVERED OUTDOOR SEATING PATIO WITH 24 SEATS AND DRIVE-THRU WINDOW. THE SITE WILL HAVE 60 PARKING SPACES, 2 BICYCLE SPACES AND 4 DRIVE-THRU ORDER WAITING SPACES. THE PROPOSED SITE IS 1.395 ACRES WITH 0.968 ACRES IMPERVIOUS SURFACE. SITE WORK WILL CONSIST OF PAVING, GRADING, DRAINAGE, UTILITY AND LANDSCAPE IMPROVEMENTS.

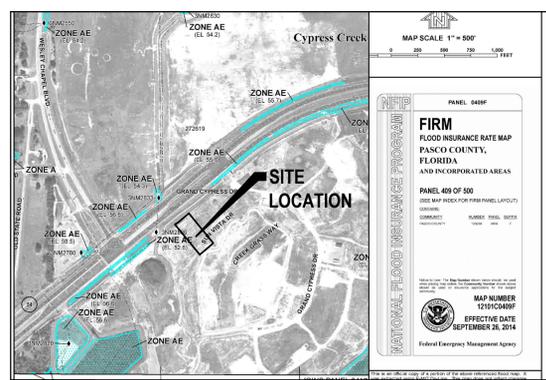
JURISDICTIONAL AGENCY PERMIT No.

PASCO COUNTY (DEVELOPMENT ORDER)	SML 15-026
SWFWM (STORMWATER)	43026931.022
FDEP NPDES (NOTICE OF INTENT "NOI")	FLR20AB56



LOCATION MAP

SCALE: 1" = 800'



FLOOD ZONE MAP

SCALE: 1" = 800'

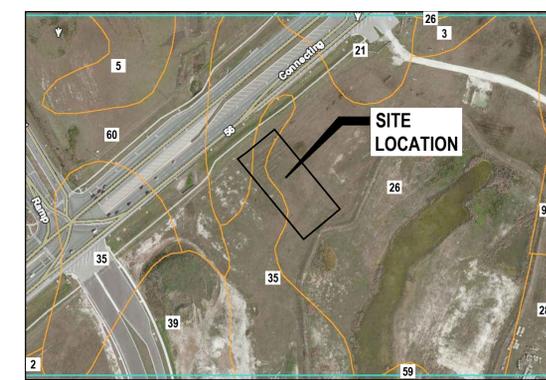
FLOOD ZONE "X"



ZONING MAP

SCALE: 1" = 200'

PROJECT ZONING DISTRICT:
MPUD - MASTER PLANNED UNIT DEVELOPMENT



SOILS MAP

SCALE: 1" = 300'

SOIL TYPES:
(26) NARCOOSSEE FINE SAND
(35) EAUGALLIE FINE SAND

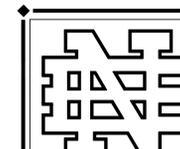
CONTACT NUMBERS

ZONING AND INTAKE - COUNTY OF PASCO (727) 847-8142
 WATER - PASCO COUNTY UTILITIES (727) 847-8131
 WASTEWATER - PASCO COUNTY UTILITIES (727) 847-8131
 GAS - TECO PARTNERS (813) 299-7342
 ELECTRIC - WITHLACOCOCHEE RIVER ELECTRIC COOPERATIVE (WERC) (352) 588-5115
 TELEPHONE/CABLE - VERIZON (813) 997-1688



THE GENERAL CONTRACTOR SHALL ENSURE THAT ANY SUBCONTRACTOR HAS A COMPLETE SET OF CONSTRUCTION DRAWINGS FOR ITS RESPECTIVE WORK. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR SUBCONTRACTORS ONLY UTILIZING INDIVIDUAL DRAWINGS FOR ITS WORK WHERE ADDITIONAL INFORMATION MAY BE CONTAINED ON OTHER DRAWINGS WITHIN THE SET.

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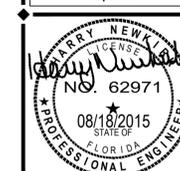


NEWKIRK ENGINEERING

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 Ormond Beach, Florida 32174
 Phone (386) 290-7599
 Harry@Newkirk-Engineering.com

Certificate of Authorization
 No. 30209
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Civil Engineering
 Land Development
 Construction Engineering &
 Inspection



NOT VALID UNLESS SIGNED AND SEALED

DRAWING NUMBER

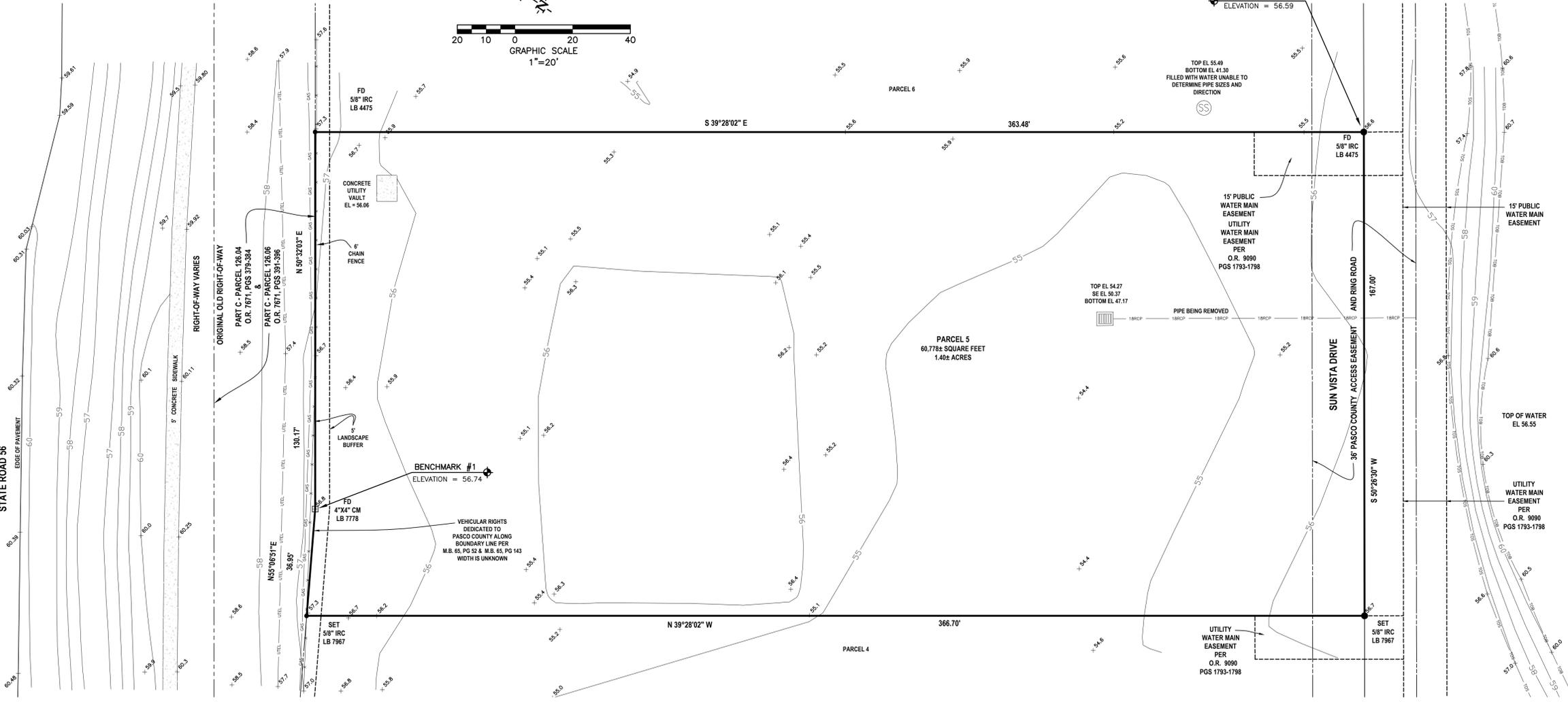
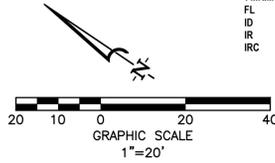
1

LEGAL DESCRIPTION: PER TITLE COMMITMENT

LOT 1 OF CYPRESS CREEK TOWN CENTER - LOTS 1, 2, 3, AND 4, BLOCK 5, REPLAT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 70, PAGE 41 THROUGH 52, INCLUSIVE, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.
 PARCEL 2:
 TOGETHER WITH EASEMENT(S) SET FORTH IN DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS OF CYPRESS CREEK TOWN CENTER RECORDED IN OFFICIAL RECORDS BOOK 7551, PAGE 1176; AS MODIFIED BY FIRST AMENDMENT THERETO RECORDED IN OFFICIAL RECORDS BOOK 7612, PAGE 487 AND AS AFFECTED BY QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 7664, PAGE 39; AND BY SUBORDINATION AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 7664, PAGE 82; AND BY QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 7671, PAGE 337; AND BY QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 7671, PAGE 379; AND AS FURTHER MODIFIED BY SECOND AMENDMENT THERETO RECORDED IN OFFICIAL RECORDS BOOK 7672, PAGE 1170; AND BY THIRD AMENDMENT THERETO RECORDED IN OFFICIAL RECORDS BOOK 7906, PAGE 1171 AND AS AMENDED AND RESTATED BY AMENDED AND RESTATED DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS OF CYPRESS CREEK TOWN CENTER RECORDED IN OFFICIAL RECORDS BOOK 9095, PAGE 1009, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

ABBREVIATIONS / LEGEND:

A/C	AIR CONDITIONER	INV	INVERT	PGS.	PAGES	⊕	BENCHMARK	— 100 —	TOP OF BANK
BTM	BOTTOM	LB	LICENSED BUSINESS	(P)	PLAT	⊞	STORM INLET / CATCH BASIN	— 18RCP —	18" RCP PIPE
(C)	CALCULATED	LC	LICENSED CORPORATION	P.R.	PROFESSIONAL ASSOCIATION	⊟	STORM MANHOLE	— UTEL —	UNDERGROUND TELEPHONE / FIBER OPTIC
C/O	CARE OF	LLC	LIMITED LIABILITY COMPANY	P.O.	POST OFFICE	⊠	SEWER MANHOLE	— GAS —	UNDERGROUND GAS MAIN
(D)	DESCRIPTION OR DEED	LS	LICENSED SURVEYOR	PRM	PERMANENT REFERENCE MONUMENT	⊡	EXISTING GROUND ELEVATION	— 6" —	6" CHAIN FENCE
DWG	DRAWING	(M)	MEASURED	(R)	RECORD	⊢	EXISTING HARD ELEVATION	⊞	CONCRETE HATCH
EP	EDGE OF PAVEMENT	N/A	NOT APPLICABLE AND/OR NOT AVAILABLE	R/W	RIGHT-OF-WAY	⊣			
EL	ELEVATION	NAV D	NORTH AMERICAN VERTICAL DATUM	WO#	WORK ORDER NUMBER				
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	NGVD	NATIONAL GEODETIC VERTICAL DATUM	RCP	REINFORCED CONCRETE PIPE				
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY	No.	NUMBER	○	IRON PIPE & CAP (AS NOTED)				
F.I.R.M	FLORIDA INSURANCE RATE MAP	N/D	NAIL & DISK (AS NOTED)	●	IRON ROD & CAP (AS NOTED)				
FL	FLORIDA	NIP	NOT POSTED ON PANEL	□	CONCRETE MONUMENT (AS NOTED)				
ID	IDENTIFICATION	M.B.	MAP BOOK	○	DISK (AS NOTED)				
IR	IRON ROD (AS NOTED)	O.R.	OFFICIAL RECORD BOOK						
IRC	IRON ROD & CAP (AS NOTED)	PG.	PAGE						



GENERAL NOTES AND SURVEY REPORT:

- BEARING STRUCTURE (N 50°32'03" E) ALONG THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD 56 (A RIGHT OF WAY THAT VARIES), A CYPRESS CREEK TOWN CENTER - LOTS 1, 2, 3 AND 4, BLOCK 5 REPLAT, AS RECORDED IN PLAT BOOK 70, PAGES 41 THROUGH 52, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA. FOR ANGLE MEASUREMENT ONLY.
- LEGAL DESCRIPTION PER TITLE COMMITMENT.
- RECORD DIMENSIONS ARE SHOWN IN PARENTHESIS (), WHEN DIFFERS FROM MEASURED. DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- FLOOD PLAIN CERTIFICATION ACCORDING TO THE FEMA (FEDERAL EMERGENCY MANAGEMENT AGENCY) F.I.R.M (FEDERAL INSURANCE RATE MAP), COMMUNITY OF PASCO COUNTY, FLORIDA NUMBER 120230, PANEL NUMBER 1210102409 F. DATED: SEPTEMBER 26, 2014. THE PROPERTY IS IN FLOOD ZONE "X". THE BASE 100 YEAR FLOOD ELEVATION IS NONE.
- ACCURACY STATEMENT: THE ACCURACY OF THE BOUNDARY CONTROL OF THE SUBJECT PROPERTY IS: Commercial / High Risk: Linear: 1 foot in 10,000 feet
- DATA SOURCES: VERTICAL DATA ELEVATIONS REFER TO (NGVD 29) FEET AND DECIMAL PART THEREOF NATIONAL GEODETIC VERTICAL DATUM 1929. BENCHMARK REFERENCE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGNATION ID BM 98-A, CONCRETE MONUMENT, ELEVATION = 57.908 FEET (29 DATUM).
 A) BENCHMARK #1 TOP OF CONCRETE MONUMENT LB 778 ELEVATION = 56.74
 B) BENCHMARK #2 TOP OF IRON ROD & CAP LB 4475 ELEVATION = 56.59
 TO CONVERT FROM NGVD 29 DATUM TO NAVD 88 DATUM, SUBTRACT 0.817 FEET
- MEASUREMENT METHODS: HORIZONTAL AND VERTICAL MEASURES MADE BY ONE OR MORE OF THE FOLLOWING INSTRUMENTS: TOPCON INSTRUMENTS TOPCON ES-105, TOPCON HIPER SR GPS INSTRUMENTS, PAL-2 LUFKIN STEEL TAPE, CST STEEL TAPE, STEEL HIGHWAY CHAIN, CST & LUFKIN FIBERGLASS TAPE FOR DIMENSIONS FOR BUILDINGS.
- CORNERS FOUND AND NOT FOUND AS SHOWN ON THIS SURVEY ARE REFERENCED TO THE FOLLOWING HELPER SURVEYS AND ORIGINAL PLAT / PLATS.
 A) CYPRESS CREEK TOWN CENTER - LOTS 1, 2, 3 AND 4, BLOCK 5 REPLAT, AS RECORDED IN PLAT BOOK 70, PAGES 41 THROUGH 52, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.
- NO UNDERGROUND UTILITIES LOCATED EXCEPT AS SHOWN.

- TITLE INFORMATION PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE COMMITMENT No.: 5011612-NCS-71774-MKE, FILE No.: NCS-71774-MKE, DATED MARCH 11, 2015 @ 8:00 a.m.
 SCHEDULE B, SECTION 2: ITEMS:
 1-8) Are not matters of survey.
 9) Plat of Cypress Creek Town Center, recorded in Plat Book 65, Page 52 through 66, inclusive, as affected by Indemnification and Hold Harmless Agreement recorded in Official Records Book 7797, Page 1122, of the Public Records of Pasco County, Florida. **Basements shown on survey**
 10) Plat of Cypress Creek Town Center "D" Replat, recorded in Plat Book 65, Page 143, 144 and 145, as affected by Indemnification and Hold Harmless Agreement recorded in Official Records Book 7797, Page 1122, of the Public Records of Pasco County, Florida. (As to assessment parcel only) **Just a replat of Tract D, Does not plot on subject parcel.**
 11) Perpetual Easements for ingress and egress in favor of the State of Florida, Department of Transportation, as contained in Stipulated Orders of Taking and Orders of Taking recorded in:
 (a) Official Records Book 3928, Page 584. **Does not plot on subject parcel.**
 (b) Official Records Book 3928, Page 582. **Does not plot on subject parcel.**
 (c) Official Records Book 3928, Page 597. **Does not plot on subject parcel.**
 (d) Official Records Book 7664, Page 51. **Does not plot on subject parcel.**
 (e) Official Records Book 3928, Page 600. **Does not plot on subject parcel.**
 (f) Official Records Book 3928, Page 605. **Does not plot on subject parcel.**
 (g) Official Records Book 7882, Page 62. **Does not plot on subject parcel.**
 12) Resolution Adopting a Development Order Approving, with Conditions, the Cypress Creek Town Center Development of Regional Impact (DIR No. 223) recorded in Official Records Book 6142, Page 884. **No easement descriptions to plot.**
 (a) Official Records Book 6351, Page 1131. **No easement descriptions to plot.**
 (b) Official Records Book 6358, Page 1878. **No easement descriptions to plot.**
 13) Perpetual Deed of Conservation Easement in favor of Pasco County, a political subdivision of the State of Florida, recorded in Official Records Book 7509, Page 649, as ratified and confirmed in:
 (a) Official Records Book 7704, Page 1903. **Does not plot on subject parcel.**
 (b) Official Records Book 8059, Page 988. **No easement descriptions to plot.**
 14) Declaration of Covenants, Conditions, Restrictions and Easements, which contains provisions for a private charge or assessments, and provides for a right of first refusal or the prior approval of a future purchaser or occupant, recorded in Official Records Book 7551, 1176. **No easement descriptions to plot.**
 (a) as amended by Certificate of First Amendment recorded in Official Records Book 7612, Page 487. **No easement descriptions to plot.**
 (b) Quit Claim Deed recorded in Official Records Book 7664, Page 59. **No easement descriptions to plot.**
 (c) Subordination Agreement recorded in Official Records Book 7664, Page 82. **No easement descriptions to plot.**
 (d) Quit Claim Deed recorded in Official Records Book 7671, Page 379. **Part C plotted on survey as shown.**
 (e) Second Amendment recorded in Official Records Book 7672, Page 1170. **No easement descriptions to plot.**
 (f) Third Amendment recorded in Official Records Book 7906, Page 1171. **No easement descriptions to plot.**
 (g) Amended and Restated Declaration of Easements, Covenants and Restrictions of Cypress Creek Town Center recorded in Official Records Book 9095, Page 1009. **Basements shown in exhibits don't plot on subject parcel.**
- Site Development Agreement dated October 18, 2006 of which a Memorandum was recorded in Official Records Book 7551, Page 1348. **No easement descriptions to plot.**
 (a) Official Records Book 7664, Page 69. **No easement descriptions to plot.**
 (b) Official Records Book 7664, Page 52. **Parcel 811.04 plots over subject parcel, no easement descriptions to plot.**
 (c) Quit Claim Deed recorded in Official Records Book 7671, Page 369. **No easement descriptions to plot.**
 (d) Quit Claim Deed recorded in Official Records Book 7671, Page 391. **Part C, Parcel 128.06 shown on survey. No easement descriptions to plot.**
 (e) Official Records Book 7696, Page 1556. **No easement descriptions to plot.**
- All right, title, and interest of the State of Florida Department of Transportation, a body corporate under the laws of the State of Florida, in the deeds recorded in recorded in Official Records Book 7664, Page 51. **No easement descriptions to plot.**
 (a) Official Records Book 7882, Page 62. **No easement descriptions to plot.**
- Perpetual Easement granted to the State of Florida Department of Transportation recorded in Official Records Book 7664, Page 74. **Appears to be a blanket easement over subject parcel.**
- Right of ingress, egress, light, air and view contained in that certain Warranty Deed from Pasco Ranch, Inc., a Florida Corporation, successor by merger to the interest of Pasco Properties of Tampa Bay, Inc., to the State of Florida Department of Transportation recorded in Official Records Book 7671, Page 353. **No easement descriptions to plot.**
- Declaration of Restrictions by Pasco Properties of Tampa Bay, Inc., a Florida corporation, Pasco Ranch, Inc., a Florida corporation, and Pasco 54, Ltd., a Florida limited liability company, recorded in Official Records Book 7696, Page 1575. **No easement descriptions to plot. Exhibits shown do not plot over subject parcel.**
 (a) Official Records Book 8187, Page 736. **No easement descriptions to plot.**
- Perpetual Conservation Easement in favor of Wildlands Conservation, Inc., recorded in Official Records Book 8031, Page 1575. **Does not plot on subject property.**
- Utility Easement granted to Pasco County, Florida recorded in Official Records Book 9090, Page 1793. **Plotted on survey as shown.**
- Temporary Construction, Operation, and Easement Agreement by and among Pasco Ranch, Inc., a Florida corporation, Pasco 54, Ltd., a Florida limited liability company, JG Cypress Creek LLC, an Ohio limited liability company, and Tampa Premium Outlets LLC, a Delaware limited liability company, recorded in Official Records Book 9095, Page 1124. **Appears to be a blanket easement.**
- Plat of Cypress Creek Town Center - Lots 1, 2, 3 and 4, Block 5 Replat, recorded in Plat Book 70, Page 41 of the Public Records of Pasco County, Florida. **Basements shown on survey.**

- CONTOURS ARE ON ONE FOOT INTERVALS, INTERPOLATED BETWEEN 100 FOOT GRIDS, VISIBLE GRADE BREAKS, ALONG WITH RANDOM GROUND ELEVATIONS.
- OFFSITE TOPOGRAPHIC INFORMATION SHOWN IS BASED ON THE REQUEST BY THE CLIENT AND/OR THE CLIENTS AGENT, BEING AN ARCHITECT OR ENGINEER.

A1A GEO
 LAND SURVEYING CONSTRUCTION LAYOUT
 1370 N. US HWY 1, STE 204, Ormond Beach, Florida 32174
 Voice: 386.405.6797 atageoinc@gmail.com
 LB # 7967 LS # 6309

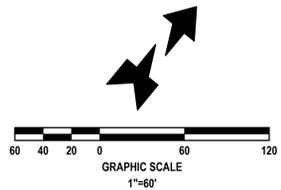
THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE AS 1"=30' OR SMALLER. ANY USE OF THIS FILE AT A SCALE LARGER THAN STATED SHALL BE AT THE USER'S OWN RISK.
 THE FOREGOING IS CERTIFIED TO MEET THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF SURVEYING AND MAPPING, AS PURSUANT TO SECTION 473.027, FLORIDA STATUTES.
 03/03/2015
 ANTHONY SANZONE
 NOT VALID WITHOUT THE SIGNATURE AND/OR THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

PREPARED FOR THE EXCLUSIVE USE OF:
 CVC REAL PROPERTIES, LLC
 FIRST AMERICAN TITLE INSURANCE COMPANY

TYPE OF SURVEY: BOUNDARY & TOPOGRAPHIC
 MAP SUBJECT: PARCEL 5 CYPRESS CREEK TOWN CENTER
 ADDRESS: 2303 SUN VISTA DRIVE LUTZ, FLORIDA

REVISIONS:
 1: ADDED TITLE COMMITMENT... 05/29/15

PROJECT No: 2015-21
 FIELD WORK BY: AM
 DATE: 02/12/15
 OFFICE WORK BY: AM
 DATE: 02/26/15
 FIELD BOOK - PAGE: 4-47
 SCALE: 1" = 30'
 FILE: 2015-21
 SHEET: SU-1 OF 1



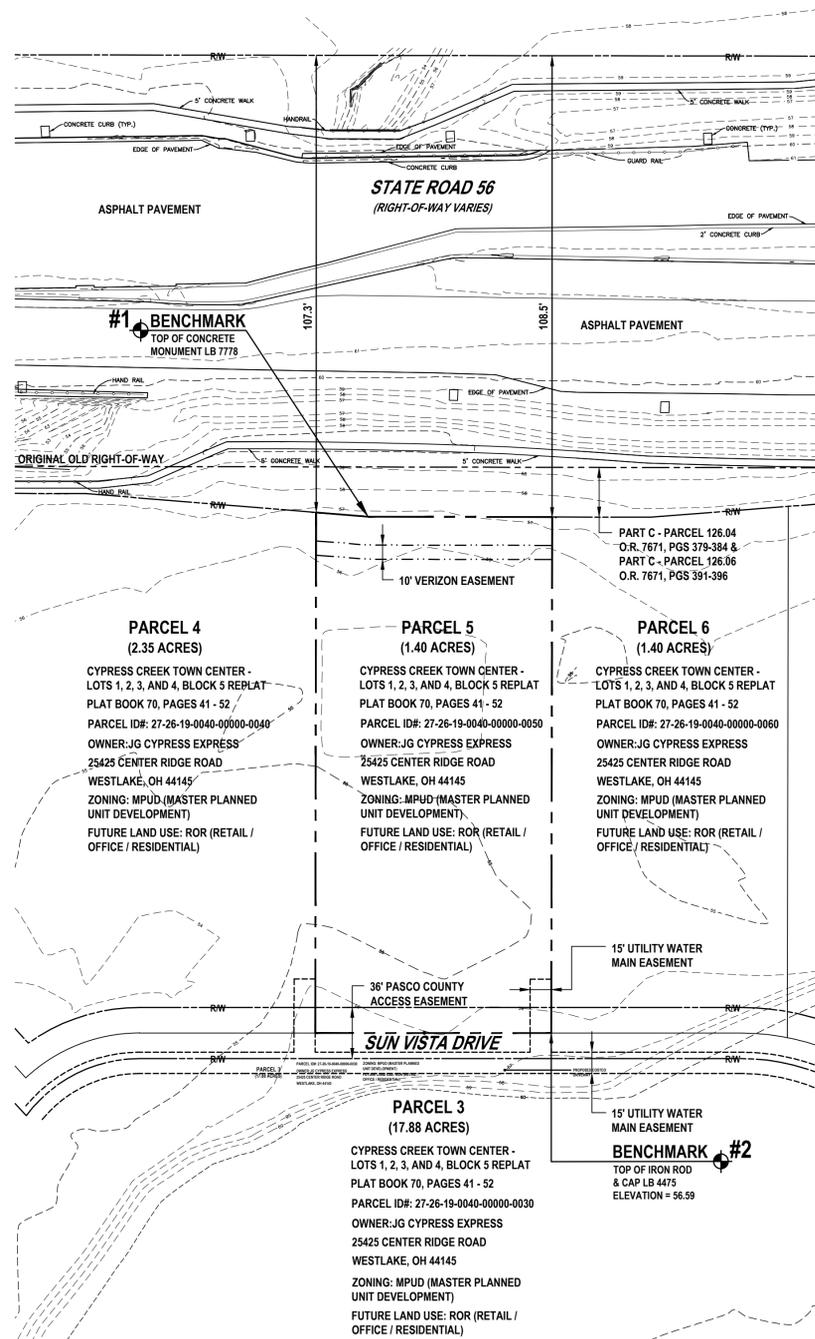
BENCHMARK INFORMATION:

- #1 TOP OF CONCRETE MONUMENT LB 7778
ELEVATION = 56.74
- #2 TOP OF IRON ROD & CAP LB 4475
ELEVATION = 56.59

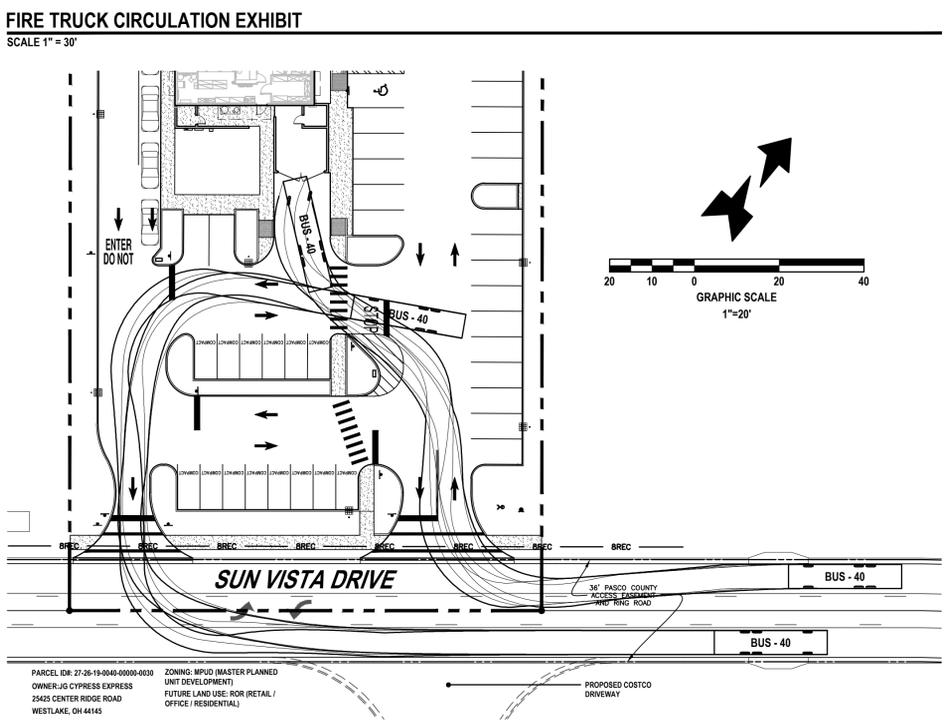
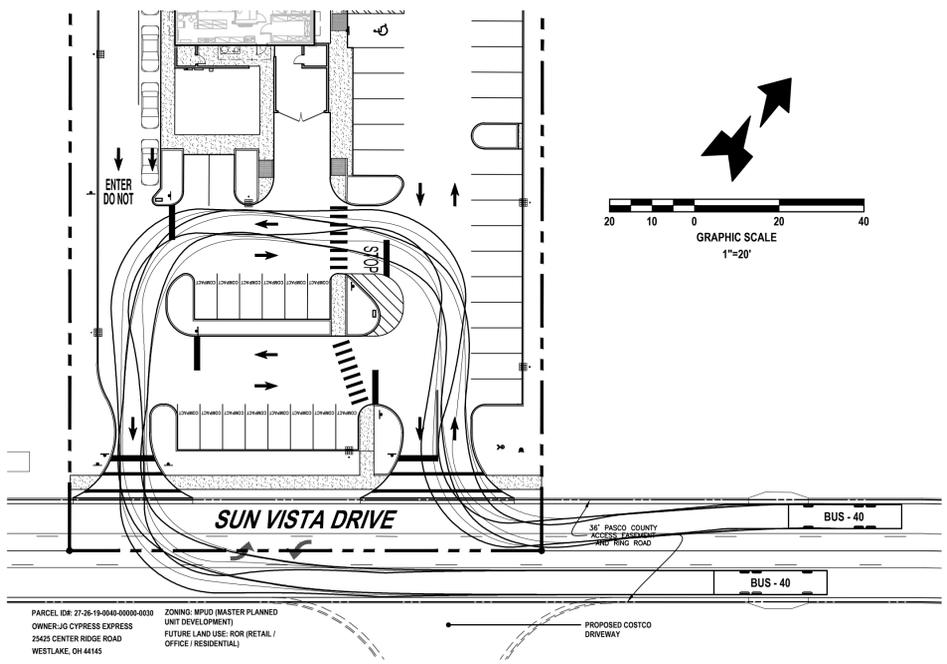
VERTICAL DATA
ELEVATIONS REFER TO (NGVD 29) FEET AND DECIMAL PART THEREOF NATIONAL GEODETIC VERTICAL DATUM 1929. BENCHMARK REFERENCE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGNATION ID BM 98-A, CONCRETE MONUMENT, ELEVATION = 57.908 FEET (29 DATUM).

TO CONVERT FROM NGVD 29 DATUM TO NAVD 88 DATUM, SUBTRACT 0.817 FEET

UNPLATTED (99.82 ACRES)
PARCEL ID#: 27-26-19-0010-00000-0010
OWNER: PASCO RANCH, INC.
509 GUISSANDO DE AVILA, SUITE 200
TAMPA, FL 33613-5235
ZONING: MPUD (MASTER PLANNED UNIT DEVELOPMENT)
FUTURE LAND USE: ROR (RETAIL / OFFICE / RESIDENTIAL)

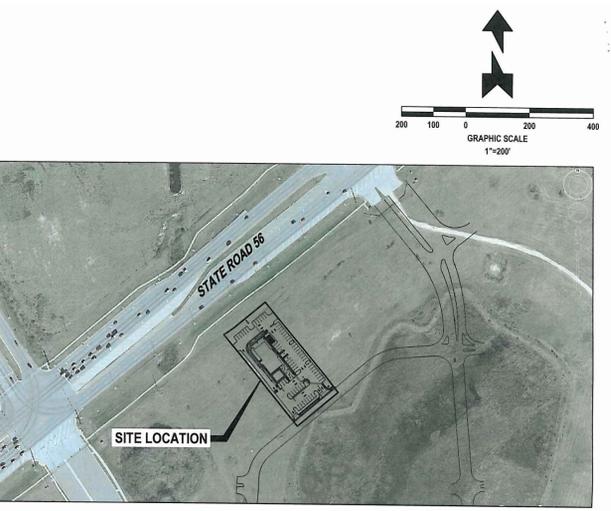


IMPROVEMENTS WITHIN 200' OF PROPOSED PROJECT
SCALE 1" = 60'



NUMBER	STREET NAME	CITY	ZIP	VPARCEL
2257	SUN VISTA DRIVE	LUTZ	33559	27 26 19 0040 00000 0040
2303	SUN VISTA DRIVE	LUTZ	33559	27 26 19 0040 00000 0050
2349	SUN VISTA DRIVE	LUTZ	33559	27 26 19 0040 00000 0060
2391	SUN VISTA DRIVE	LUTZ	33559	27 26 19 0040 00000 0070

Pasco County, Florida
Geographic Information Systems (GIS)
8791 Citrus Drive, Suite 318
New Port Richey, FL 34654
CYPRESS CREEK TOWN CENTER
Author: P.Welton
Date: 2/10/2015
Time: 4:05:08 PM

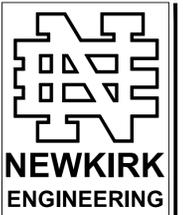


SITE DATA

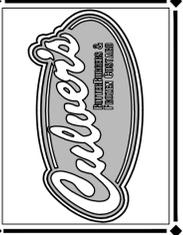
PARCEL I.D. NUMBER	27-26-19-0040-00000-0050
FUTURE LAND USE DESIGNATION	ROR
NONRESIDENTIAL DENSITY	0.60
TRAFFIC ANALYSIS ZONE	286
MOBILITY FEE ASSESSMENT DISTRICT	A
MOBILITY FEE COLLECTION / BENEFIT DISTRICT	3
ZONING DISTRICT	MPUD
PETITION NUMBER	RZ6288
CORRIDOR PRESERVATION	SR 56 AND WESLEY CHAPEL BLVD.
DRI / MPUD PARCEL No.	DRI #252
PROPOSED DEVELOPMENT TYPE	RESTAURANT
UNITS / S.F. AND ACREAGE	4,527 SQ. FT. / 1.4 ACRES
FLOOR AREA RATIO (FAR)	0.074

REVISIONS

DATE	DESCRIPTION
6/12/15	COUNTY COMMENTS
7/24/15	COUNTY COMMENTS



NEWKIRK ENGINEERING
1370 North US1, Suite 204
Ormond Beach, Florida 32174
Phone (386) 290-7599
Harry@Newkirk-Engineering.com
Certificate of Authorization
No. 30209
© 2013
Civil Engineering
Land Development
Construction Engineering & Inspection



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DEVELOPMENT PLAN
CULVER'S
2303 SUN VISTA DRIVE
LUTZ, FLORIDA 33559



PROJECT No: 2015-08
DATE: MARCH 2015
DESIGN BY: HHN
DRAWN BY: DAB
CHECKED BY: HHN
SCALE:
DRAWING NUMBER

3A

GENERAL CONSTRUCTION NOTES

- GOVERNING SPECIFICATIONS: PASCO COUNTY LAND DEVELOPMENT CODE, PASCO COUNTY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS, LATEST EDITION.
- ALL CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARD INDEXES, THE FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION AND THE FDOT UTILITY ACCOMMODATIONS MANUAL.
- ALL UTILITY MATERIAL, CONSTRUCTION AND TESTING COVERED BY THESE DRAWINGS SHALL COMPLY WITH THE PASCO COUNTY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS, LATEST EDITION. ALL UTILITY WORK AND CONNECTIONS SHALL BE COORDINATED WITH THE PASCO COUNTY INSPECTOR.
- THE CONTRACTOR SHALL PAY FOR AND OBTAIN A BUILDING PERMIT. THE ENGINEER WILL SCHEDULE THE PRECONSTRUCTION CONFERENCE BEFORE THE CONTRACTOR'S START OF WORK. THE CONTRACTOR SHALL CONTACT THE BUILDING DEPARTMENT AT (727) 847-8126 FOR INFORMATION ON ISSUANCE OF COUNTY PERMITS AND / OR OTHER REQUIREMENTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER OF ANY DEFICIENCIES OR DISCREPANCIES AMONG THE DIVISIONS OF THE DRAWING AND SPECIFICATIONS PRIOR TO THE BID DATE. NEITHER THE OWNER OR ENGINEER WILL BE RESPONSIBLE FOR ANY DEFICIENCIES OR DISCREPANCIES RAISED AFTER THE BID OPENING. ACCORDINGLY, IN LIGHT OF THESE OBLIGATIONS, THE ENGINEER IS OBLIGATED TO INTERPRET THE DRAWINGS AND SPECIFICATIONS IN A MANNER THAT WILL PROVIDE THE OWNER WITH A COMPLETE, FUNCTIONING FACILITY FOR THE BID PRICE.
- THESE DRAWINGS AND THE PROJECT MANUAL ARE COMPLEMENTARY, AND ANY REQUIREMENT OF ONE SHALL BE A REQUIREMENT OF THE OTHER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CAREFULLY EXAMINE THE DRAWINGS AND SPECIFICATIONS AND TO COMPARE THE REQUIREMENTS OF EACH DIVISION AND ENSURE THAT EACH TRADE OR SUBCONTRACTOR IS MAKING THE ALLOWANCES NECESSARY TO PROVIDE THE OWNER A COMPLETE FACILITY, OPERATIONAL IN ALL RESPECTS, UNLESS OTHERWISE SPECIFICALLY STATED IN THE DRAWINGS.
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR INSTRUCTING THE CONTRACTOR IN THE METHODS OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE METHOD TO CONSTRUCT THE IMPROVEMENTS AS SHOWN ON THE PLANS.
- LITTER CONTROL MEASURES TO PREVENT WIND-DRIVEN DEBRIS SHALL BE IMPLEMENTED THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEBRIS SHALL BE REMOVED AND THE PROJECT SITE CLEANED WITHIN 30 DAYS OF COMPLETION OF CONSTRUCTION.
- AT NO TIME SHALL EXCAVATIONS BE LEFT UNCOVERED AFTER WORKING HOURS. CONTRACTOR SHALL SECURE THE WORK AREA AT THE END OF EACH DAY'S WORK.
- AT ALL TIMES, THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT UNDERGROUND UTILITIES, STRUCTURES AND OTHER ASSOCIATED FACILITIES FROM DAMAGE DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE MEASURES OF PROTECTION. ANY DAMAGED FACILITIES SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE COUNTY OR ENGINEER AT THE CONTRACTOR'S EXPENSE.
- THERE SHALL BE NO DEVIATIONS FROM THESE PLANS UNLESS APPROVED IN WRITING BY THE ENGINEER AND THE OWNER.
- THE CONTRACTOR SHALL CONTACT ALL CONCERNED UTILITIES AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COST.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF THE RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENGINEER. TEST RESULTS MUST INCLUDE, BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE AND BASE DENSITIES AT UTILITY CROSSINGS, MANHOLES, INLETS, STRUCTURES. TEST SHALL INCLUDE ASPHALT GRADATION REPORTS, CONCRETE CYLINDERS, ETC.
- WHERE NEW ASPHALT MEETS EXISTING ASPHALT, THE EXISTING ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE.
- PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL BE SAW CUT TO PROVIDE A STRAIGHT EVEN LINE.
- ALL PROPOSED ELEVATIONS REFER TO FINISHED GRADES.
- CONCRETE WALKS SHALL BE 4 INCHES THICK HAVING A 3,000 PSI STRENGTH @ 28 DAYS, CLASS I, POURED OVER PROPERLY PREPARED SUBGRADE. ALL CONCRETE SIDEWALKS SHALL BE 8 INCHES THICK ACROSS DRIVEWAYS. 1/2 INCH EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 50'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTERS.
- CORE TESTS SHALL BE TAKEN TO VERIFY THICKNESS AND SUBSURFACE COMPACTION. PROVIDE FOR THREE SAMPLES, RANDOMLY LOCATED. TEST FOR EXTRACTION, GRADATION, LABORATORY DENSITY, AND MARSHALL'S STABILITY. PROVIDE A CERTIFICATE FROM THE TESTING AGENCY THAT MATERIALS AND INSTALLATION COMPLY WITH SPECIFICATIONS, SIGNED BY THE ASPHALTIC CONCRETE PRODUCER AND CONTRACTOR. ALL COSTS OF TESTS SHALL BE PAID BY THE CONTRACTOR. IF TESTS SHOW THE INSTALLATION DOES NOT MEET SPECIFICATIONS, THE PAVING SHALL BE REMOVED, REPLACED, AND RETESTED.
- IF ANY MUCK-LIKE MATERIAL IS DISCOVERED, IT WILL BE REQUIRED TO BE REMOVED, BACKFILLED WITH APPROPRIATE FILL, COMPACTED, AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
- FILL MATERIAL IS TO BE PLACED IN ONE FOOT LIFTS AND COMPACTED TO THE APPROPRIATE DENSITY (98% FOR PAVED AREAS AND 95% FOR BUILDING PADS AND ALL OTHER AREAS AS PER AASHTO T-180).
- NO BURYING OF ANY ORGANIC MATERIALS ALLOWED.
- THERE WILL BE NO PROPOSED OVERHEAD UTILITY AND SERVICE LINES ASSOCIATED WITH THIS PROJECT. ALL UTILITY LINES AND SERVICES WILL BE INSTALLED UNDERGROUND AT THE OWNER'S, DEVELOPER'S OR BUILDER'S EXPENSE.

SITE PREPARATION

- IF REQUIRED, PERFORM REMEDIAL DEWATERING PRIOR TO ANY EARTHWORK OPERATIONS. RECOMMEND TEMPORARY DEWATERING TO REDUCE THE LIKELIHOOD OF PUMPING OF THE SHALLOW SUBGRADE SOILS DURING NORMAL CONSTRUCTION OPERATIONS. MAINTAIN GROUNDWATER LEVELS AT LEAST 24 INCHES BELOW THE LOWEST ANTICIPATED CUT AND/OR COMPACTION SURFACES.
- STRIP THE PROPOSED CONSTRUCTION LIMITS OF ALL GRASS, ROOTS, TOPSOIL AND OTHER DELETERIOUS MATERIALS WITHIN AND 5 FEET BEYOND THE PROPOSED CONSTRUCTION LIMITS. EXPECT INITIAL CLEARING AND GRUBBING TO DEPTHS OF APPROXIMATELY 6 TO 12-INCHES.
- PROOF-COMPACT THE EXPOSED SURFACE WITH LIGHT TO MEDIUM ROLLER UNTIL YOU MAINTAIN DENSITY OF AT LEAST 98 PERCENT SHOULD BE OBTAINED IN THE UPPER 12 INCHES BELOW BASE COURSE. THE COMPACTED SOILS SHALL EXHIBIT MOISTURE CONTENT WITHIN 2 PERCENT OF THE SOILS OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557). VIBRATORY EQUIPMENT SHOULD BE OPERATED IN STATIC MODE WITHIN 75 FEET OF ADJACENT STRUCTURES.
- SHOULD THE SOILS EXPERIENCE PUMPING AND SOIL STRENGTH LOSS DURING THE COMPACTION OPERATIONS, COMPACTION WORK SHOULD BE IMMEDIATELY TERMINATED AND (1) THE DISTURBED SOILS REMOVED AND BACKFILLED WITH DRY STRUCTURAL FILL SOILS WHICH ARE THEN COMPACTED, OR (2) THE EXCESS MOISTURE CONTENT WITHIN THE DISTURBED SOILS IS ALLOWED TO DISSIPATE BEFORE RECOMPACTING.
- TEST THE SUBGRADE FOR COMPACTION AT A FREQUENCY OF NOT LESS THAN ONE TEST PER 2,500 SQUARE FEET PER FOOT OF DEPTH IMPROVEMENT IN THE BUILDING AREAS. IN PAVED AREAS, PERFORM COMPLIANCE AT A MINIMUM OF ONE (1) LOCATION PER 10,000 SQUARE FEET WITHIN THE PAVEMENT AREA (MINIMUM 3 LOCATIONS).
- PLACE THE COMPACT BACKFILL MATERIAL AS REQUIRED. THE FILL SHALL CONSIST OF "CLEAN" FINE SAND WITH LESS THAN 5 PERCENT SOIL FINES. PLACE FILL IN UNIFORM 10 TO 12-INCH LOOSE LIFTS AND COMPACT EACH LIFT TO A MINIMUM DENSITY OF 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DENSITY WITH THE EXCEPTION THAT DENSITIES OF AT LEAST 98 PERCENT SHALL BE OBTAINED WITHIN THE UPPER ONE FOOT BELOW BASE COURSE. COMPACTED SOILS SHALL EXHIBIT MOISTURE CONTENT WITHIN 2 PERCENT OF THE SOILS OPTIMUM MOISTURE CONTENT AS DETERMINED BY THE MODIFIED PROCTOR TEST (ASTM D-1557). IF LIGHT EQUIPMENT IS USED, THEN THE LIFT THICKNESS SHALL BE REDUCED TO 8-INCH THICK LIFTS.
- PERFORM COMPLIANCE TESTS WITHIN EACH LIFT OR FILL AT A FREQUENCY OF NOT LESS THAN ONE TEST PER 10,000 SQUARE FEET OF PAVEMENT AREA (MINIMUM 3 LOCATIONS).

LEGEND NOTE: NOT ALL SYMBOLS SHOWN HERE MAY BE APPLICABLE TO THESE DRAWINGS, ALSO THERE MAY BE ADDITIONAL SYMBOLS WITHIN PLANS NOT SHOWN HERE, SEE INDIVIDUAL DRAWING LEGEND WHERE APPLICABLE.

#3	BENCHMARK ID	◆◆	FOUND 1/2" CAPPED IRON ROD L.B. #3724 (WITNESS MONUMENT)
B24	BORING ID	■	FOUND 4" BY 4" CONCRETE MONUMENT L.B. #3724
□	EXISTING CABLE TV PEDESTAL	—	EXISTING EASEMENT
□	EXISTING CAP OR PLUG	— FOC	EXISTING UNDERGROUND FIBER OPTIC CABLE
⊙	EXISTING CLEAN OUT	— #FM	EXISTING FORCE MAIN (# INDICATES SIZE)
⊗	EXISTING CONDUIT RISER/ MARKER	— GAS	EXISTING GAS MAIN
□	EXISTING ELECTRIC METER	— OHE	EXISTING OVERHEAD ELECTRIC CABLES
□	EXISTING ELEVATION (SOFT)	— OHT	EXISTING OVERHEAD TRAFFIC SIGNAL CABLE
5.0±	PROPOSED ELEVATION (SOFT)	— #RAW	EXISTING RAW WATER MAIN (# INDICATES SIZE)
5.00	EXISTING ELEVATION (HARD)	— #REC	EXISTING RECLAIM WATER MAIN (# INDICATES SIZE)
5.00	PROPOSED ELEVATION (HARD)	— #SAN	PROPOSED SANITARY SEWER (# INDICATES SIZE)
☼	EXISTING FIRE HYDRANT	— #WM	PROPOSED WATER MAIN (# INDICATES SIZE)
☼	PROPOSED FIRE HYDRANT	12	EXISTING CONTOUR
~	EXISTING FLOW DIRECTION	10	PROPOSED CONTOUR (SOFT)
~	PROPOSED FLOW DIRECTION	10	PROPOSED CONTOUR (HARD)
⊗	EXISTING GAS METER	— UTEL	EXISTING UNDERGROUND TELEPHONE CABLE
⊗	EXISTING GAS VALVE	— UTV	EXISTING UNDERGROUND TELEVISION CABLE
—	EXISTING GUY WIRE & ANCHOR PIN	— UGE	EXISTING UNDERGROUND ELECTRICAL POWER CABLE
⊞	EXISTING MAIL BOX	—	JURISDICTIONAL WETLAND LINE
○	EXISTING MANHOLE (UNKNOWN)	— #SAN	EXISTING SANITARY SEWER (# INDICATES SIZE)
⊙	PROPOSED MANHOLE	— #WM	EXISTING WATER MAIN (# INDICATES SIZE)
⊙	EXISTING SANITARY SEWER CLEANOUT	—	EXISTING PIPE OR CONDUIT (TYPE SPECIFIED)
⊙	EXISTING SANITARY SEWER MANHOLE	—	EXISTING SWALE OR CENTER OF DITCH
—	EXISTING ROAD SIGNS AND POSTS	—	PROPOSED SWALE OR CENTER OF DITCH
—	PROPOSED SIGN AND POST	—	EXISTING TOP OF DITCH BANK
—	EXISTING TEE	—	EXISTING BOTTOM OF DITCH BANK
—	EXISTING UTILITY POLE	—	EXISTING WOOD FENCE
⊗	EXISTING VALVE IRRIGATION	—	EXISTING WIRE OR CHAIN LINK FENCE
⊗	EXISTING VALVE WATER	—	PROPOSED WIRE OR CHAIN LINK FENCE
⊗	PROPOSED WATER VALVE	—	PROPOSED SILT/SEDIMENT FENCE
⊗	EXISTING WATER METER	—	PROPOSED COIR ROLL OR WATTLE
—	EXISTING STORM SEWER WITH INLET	—	PROPOSED FLOATING TURBIDITY BARRIER
—	PROPOSED STORM SEWER WITH INLET	—	PROPOSED TREE PROTECTION
●	FOUND 1/2" CAPPED IRON ROD L.B. #3724		
⊗	FOUND 1/2" IRON ROD (NO I.D.)		

SITE DEVELOPMENT USAGE

1. SETBACK:	BUILDING	LANDSCAPE	
FRONT (STATE ROAD 56)	25 FEET	20 FEET	
REAR (SUN VISTA DRIVE)	0 FEET	10 FEET	
WEST SIDE	0 FEET	10 FEET	
EAST SIDE	0 FEET	10 FEET	
2. EXISTING SITE COVERAGE:	SQ. FT	ACRE	%
CONCRETE	63	0.001	0.1
OPEN SPACE	60,715	1.394	99.9
TOTAL SITE	60,778	1.395	100.00
TOTAL IMPERVIOUS	63	0.001	0.1
3. PROPOSED SITE COVERAGE:	SQ. FT	ACRE	%
BUILDING	4,527	0.104	7.4
COVERED PATIO	350	0.008	0.6
STORAGE SHED, SCREEN & DUMPSTER	511	0.012	0.8
PAVEMENT	33,150	0.761	54.6
CONCRETE SIDEWALKS / PATIOS	3,615	0.083	5.9
FOUNDATION LANDSCAPE	2,124	0.049	3.5
INTERIOR LANDSCAPE	3,684	0.084	6.1
EXTERIOR LANDSCAPE	12,817	0.294	21.1
TOTAL SITE	60,778	1.395	100.00
TOTAL IMPERVIOUS	42,153	0.968	69.3 (70% MAX)
TOTAL OPEN SPACE	18,625	0.427	30.7
4. FLOOR AREA RATIO:	4,527 SF / 43,560 SF / 1.395 AC = 0.074		
5. PARKING REQUIREMENTS	1 SPACE PER 150 SF x (4,527 SF BLDG. + 350 SF OUTDOOR PATIO) = 33 SPACES		
TOTAL PARKING REQUIRED	33		
6. PARKING PROVIDED		%	
HANDICAP	3	5.0	
STANDARD	43	71.7	
COMPACT	14	23.3	
TOTAL PARKING PROVIDED	60	100.0	
7. BICYCLE PARKING REQUIRED	21 - 40 AUTOMOBILE SPACES = 2		
8. BICYCLE PARKING PROVIDED	2		

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS - 2015 AND QUALIFIED PRODUCTS LIST

INDEX NO.	DESCRIPTION	INDEX NO.	DESCRIPTION
102	TEMPORARY EROSION AND SEDIMENT CONTROL	600	GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES
200	STRUCTURE BOTTOMS - TYPES J AND P	602	TWO-LANE, TWO-WAY, WORK ON SHOULDER
205	PIPE BACKFILL	603	TWO-LANE, TWO-WAY, WORK WITHIN THE TRAVEL WAY
214	CURB INLET TOP TYPE 9	660	PEDESTRIAN CONTROL FOR CLOSURE OF SIDEWALKS
232	DITCH BOTTOM INLETS - TYPES C, D, E AND H	860	ALUMINUM PEDESTRIAN / BICYCLE PICKET RAILING
300	CURB & CURB AND GUTTER	17302	TYPICAL SECTIONS FOR PLACEMENT OF SINGLE & MULTIPLE-COLUMN SIGNS
304	PUBLIC SIDEWALK CURB RAMPS	17346	SPECIAL MARKING AREAS
305	CONCRETE PAVEMENT JOINTS		
310	CONCRETE SIDEWALK		
514	OPTIONAL BASE GROUP AND STRUCTURAL NUMBERS		

ABBREVIATIONS

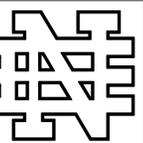
AWWA WORKS	AMERICAN WATER ASSOCIATION	H/C	HANDICAP	SAN	SANITARY
CMP	CORRUGATED METAL PIPE	HDPE	HIGH DENSITY POLYETHYLENE	SH	SEASONAL HIGH WATER MANAGEMENT DISTRICT
CPP	CORRUGATED PLASTIC PIPE	INV	INVERT	SS	SANITARY SEWER
CTV	CABLE TELEVISION	K _v	HORIZONTAL PERMEABILITY	SSWPPP	SANITARY MANHOLE PREVENTION PLAN
DIP	DUCTILE IRON PIPE	KO	KNOCK OUT	TSB	TEMPORARY SEDIMENT BASIN
ESMT	EASEMENT	LF	LINEAL FEET	TYP	TYPICAL
EXIST	EXISTING	MB	MAP BOOK	UGE	UNDERGROUND ELECTRIC
FAC	FLORIDA ADMINISTRATIVE CODE	MES	MITERED END SECTION	UGT	UNDERGROUND TELEPHONE
FACBC	FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION	MJ	MECHANICAL JOINT	USACOE	UNITED STATES ARMY CORP OF ENGINEERS
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	N/A	NOT APPLICABLE	W	WATER (POTABLE)
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	NGV	NATIONAL GEODETIC VERTICAL DATUM		
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY	OHE	OVERHEAD ELECTRIC		
FH	FIRE HYDRANT	OR	OFFICIAL RECORD		
FOC	FIBER OPTIC CABLE	PG	PAGE		
FF EL	FINISH FLOOR ELEVATION	PSI	POUNDS PER SQUARE INCH		
FM	FORCE MAIN	PVC	POLYVINYL CHLORIDE		
FPD	FEET PER DAY	PVMT	PAVEMENT		
G	GAS	R	RADIUS		
GW	GROUND WATER	RCP	REINFORCED CONCRETE PIPE		
		RPM	REFLECTIVE PAVEMENT MARKER		
		R/W	RIGHT-OF-WAY		

SITE AND GENERAL INFORMATION

- PROPOSE A CULVER'S RESTAURANT CONSISTING OF 4,527 SQUARE FEET A/C, 1-STORY, 110 INSIDE SEATS, 350 SF COVERED PATIO WITH 24 SEATS AND DRIVE-THRU WINDOW. THE SITE WILL HAVE 60 PARKING SPACES, 2 BICYCLE SPACES AND 4 DRIVE-THRU ORDER WAITING SPACES. THE PROPOSED SITE IS 1.395 ACRES WITH 0.968 ACRES IMPERVIOUS SURFACE. SITE WORK WILL CONSIST OF PAVING, GRADING, DRAINAGE, UTILITY AND LANDSCAPE IMPROVEMENTS.
- THE PROPERTY AREA BOUNDARY CONSISTS OF 60,778 SF OR 1.395 ACRES. FOR BOUNDARY AND TOPOGRAPHIC SURVEY REFER TO THE SURVEY PERFORMED BY A1A GEO, INC., PROJECT No. 2015-21, FILE No. 2015-21 (SEE SHEET No. SU-1 OF THESE PLANS).
- THE EXISTING AND PROPOSED ZONING IS MPUD (MASTER PLANNED UNIT DEVELOPMENT).
- THE FUTURE LAND USE (FLU) IS ROR.
- THE PROJECT WAS REZONED TO MPUD ON 11/2004; R26288.
- THE PROPOSED BUILDING HEIGHT IS 22' - 8".
- THE TAX PARCEL NUMBER IS 27-26-19-0040-00000-0050.
- THE SITE IS CURRENTLY AN UNOCCUPIED LOT, FULLY CLEARED WITH PRELIMINARY GRADING PERFORMED. THERE ARE NO HISTORIC OR LARGE TREES. THE FLUCFCS LAND USE IS (190) OPEN LAND.
- THE SITE IS NOT IN A HISTORIC PRESERVATION DISTRICT.
- THE SITE AND BUILDING ARE DESIGNED TO MEET THE REQUIREMENTS OF HANDICAP ACCESSIBILITY. 3 HANDICAP PARKING SPACES ARE PROVIDED WITH A SIDEWALK CONNECTION TO STATE ROAD 56 AND SUN VISTA DRIVE RIGHT-OF-WAY.
- PER THE USDA NATURAL RESOURCES CONSERVATION SERVICE FOR PASCO COUNTY, THE SCS SOILS MAP INDICATES THE SITE CONSISTS OF (26) NARCOOSSEE FINE SAND (TYPE C SOILS) AND (35) EAUGALLIE FINE SAND (TYPE B/D SOILS).
- THE SITE IS LOCATED WITHIN ZONE "X" PER FEMA MAP PANEL No. 12101C0409 F, DATED SEPTEMBER 26, 2014.
- ELECTRICAL UTILITY SERVICE WILL BE PROVIDED BY WITHLACOOCHIE RIVER ELECTRIC COOPERATIVE. NATURAL GAS WILL BE PROVIDED BY CLEARWATER GAS. TELEPHONE, CABLE AND INTERNET SERVICE WILL BE PROVIDED BY AT&T. CABLE TV AND INTERNET CAN ALSO BE PROVIDED BY BRIGHTHOUSE NETWORKS.
- SOLID WASTE WILL BE COLLECTED AND DISPOSED OF BY WASTE MANAGEMENT, INC.
- THE SITE IS NOT LOCATED WITHIN THE LIMITS OF A WELLHEAD PROTECTION ZONE AND THERE IS NO ORDINARY HIGH WATER (OHW) LINE WITHIN THE SITE.
- STORMWATER WILL BE PROVIDED BY MASTER WET DETENTION POND SYSTEM.
- POTABLE WATER SERVICE WILL BE PROVIDED BY 8" WATER MAIN STUBOUT AND SUPPLIED BY PASCO COUNTY UTILITIES.
- SANITARY SERVICE WILL BE PROVIDED BY 8" GRAVITY MAIN AND SUPPLIED BY PASCO COUNTY UTILITIES..
- IRRIGATION WILL BE PROVIDED BY PRIVATE WELL.
- ALL ON-SITE WATER AND SEWER FACILITIES ARE OWNED AND MAINTAINED BY THE PROPERTY OWNER.

REVISIONS

DATE	DESCRIPTION
6/12/15	COUNTY COMMENTS
7/24/15	COUNTY COMMENTS



NEWKIRK ENGINEERING

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Certificate of Authorization
No. 30209
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Civil Engineering
Land Development
Construction Engineering & Inspection



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DEVELOPMENT INFORMATION
CULVER'S
2303 SUN VISTA DRIVE
LUTZ, FLORIDA 33559

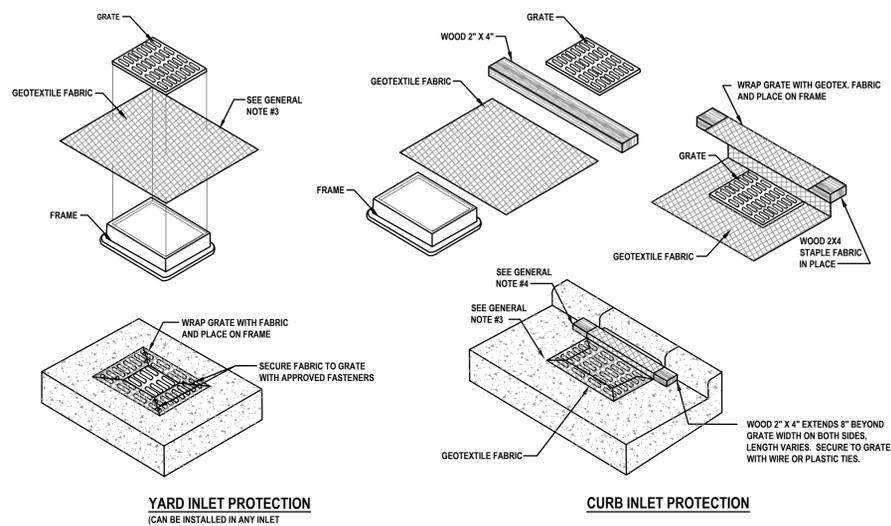


NOT VALID UNLESS SIGNED AND SEALED

PROJECT No:	2015-08
DATE:	MARCH 2015
DESIGN BY:	HHN
DRAWN BY:	DAB
CHECKED BY:	HHN

SCALE:
DRAWING NUMBER

3B



YARD INLET PROTECTION
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

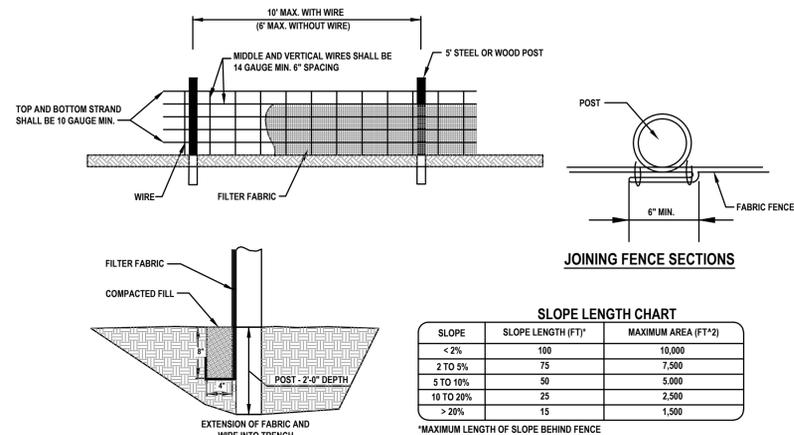
CURB INLET PROTECTION

GENERAL NOTES:

1. GEOTEXTILE TO BE MIRAFI FILTERWEAVE 402 OR GEOTEX 111F. ALTERNATIVES INCLUDE APPROVED EQUAL ASTM D4491 OR 100 TO 150 GALLON PER MINUTE PER SQUARE FOOT.
2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
3. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
4. FOR CURB INLET PROTECTION AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
5. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
6. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS, OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

GEOTEXTILE FABRIC INLET PROTECTION

(NOT TO SCALE)

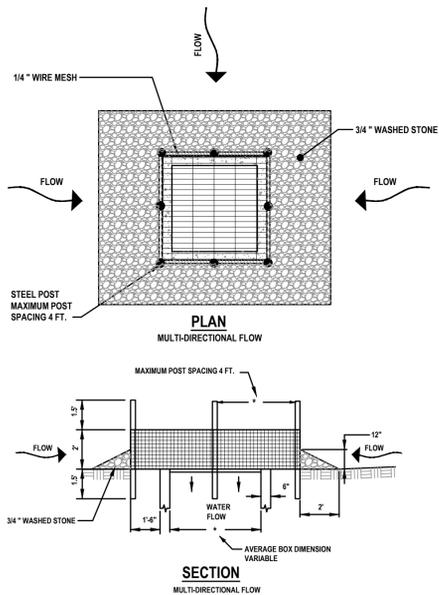


NOTES:

1. WWM MINIMUM 32" WIDTH WITH A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
2. FILTER FABRIC SHALL BE 36" WIDE AND SHALL BE FASTENED ADEQUATELY TO THE WIRE.
3. STEEL POST SHALL BE 5'-0" IN LENGTH AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
4. WOOD POST SHALL BE 5'-0" IN LENGTH AND 2" IN DIAMETER.
5. SUPPORT POSTS SHALL BE INSTALLED ON THE DOWNHILL SIDE OF THE SEDIMENT FENCE (DOWNSTREAM FROM EXPECTED FLOWS)
6. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN 25% THE HEIGHT OF FENCE.
7. MAXIMUM DRAINAGE AREA 10,000 SF PER 100' OF FENCE.
8. MAXIMUM LENGTH UPSLOPE FROM FENCE PER CHART.

SEDIMENT FENCE DETAIL

(NOT TO SCALE)

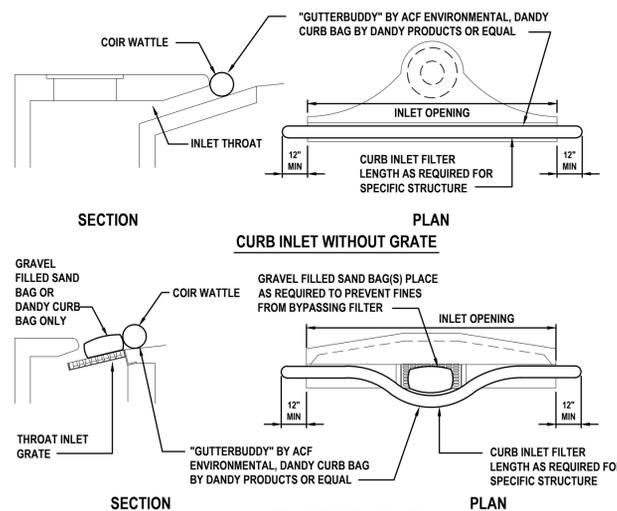


NOTE:

1. SEDIMENT CONTROL STONE SHALL BE 3/4" WASHED STONE.
2. WIRE MESH SHALL BE HARDWARE CLOTH 23 GAUGE MIN. AND SHALL HAVE 1/4" INCH MESH
3. TOP OF WIRE MESH SHALL BE A MINIMUM OF ONE FOOT BELOW THE SHOULDER OR ANY DIVERSION POINT.
4. STEEL POST SHALL BE 5 FT. IN LENGTH, BE INSTALLED 1.5 FT. DEEP MINIMUM, AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
5. WOOD POST SHALL BE 5 FT. IN HEIGHT, BE INSTALLED TO 1.5 FT. DEEP MINIMUM, AND BE 3 INCHES IN DIAMETER.
6. POST SPACING SHALL BE A MAXIMUM OF 4 FT.

HARDWARE CLOTH INLET PROTECTION

(NOT TO SCALE)



NOTES:

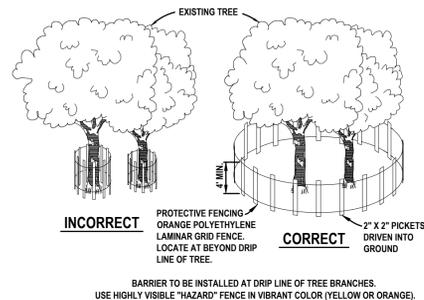
1. INSTALL FILTER PRIOR TO BEGINNING CONSTRUCTION.
2. INSPECT ONCE EACH WEEK AND AFTER ANY RAIN EVENT. REMOVE ANY FINES AND DEBRIS THAT MAY HAVE ACCUMULATED AND DISPOSE OF PROPERLY.

CURB INLET SEDIMENT PREVENTION DETAIL

NOT TO SCALE

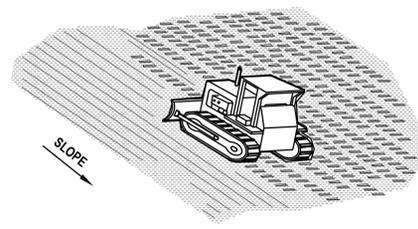
NOTES:

1. TREE PROTECTION BARRIERS MUST BE PLACED AROUND TREES TO BE RETAINED WITHIN AN AREA WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR. TREES TO REMAIN SHALL BE INDICATED ON THE PLANS.
2. TREE PROTECTION BARRIER MUST REMAIN IN PLACE UNTIL GRADING AND CONSTRUCTION ACTIVITY IS COMPLETE OR UNTIL COMMENCEMENT OF FINISH GRADING AND SODDING.
3. BARRIERS SHALL BE PLACED AROUND TREES AT THE DRIPLINE EXCEPT WHERE LAND ALTERATION OR CONSTRUCTION ACTIVITIES ARE APPROVED WITHIN THE DRIPLINE.
4. THE DRIPLINE OF A TREE IS THE IMAGINARY VERTICAL LINE THAT EXTENDS DOWNWARD FROM THE OUTERMOST TIPS OF THE TREE'S BRANCHES TO THE GROUND.
5. AREAS SURROUNDED BY THE TREE PROTECTION BARRIERS SHALL BE PROTECTED FROM VEGETATION REMOVAL, PLACEMENT OF SOIL, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND.
6. ALL TREE ROOTS WITHIN AREA TO BE GRADED AND ORIGINATING FROM A PROTECTED TREE SHALL BE SEVERED CLEANLY AT THE LIMITS OF THE PROTECTED AREA.
7. ALL TREE PRUNING AND TRIMMING ON ANY TREE TO BE RETAINED SHALL BE PERFORMED BY AN ARBORIST CERTIFIED BY THE AMERICAN SOCIETY OF ARBORICULTURE (ASA).
8. 2'x2' TREE PROTECTION SIGNS SPACED A MINIMUM OF ON SIGN EVERY 300' SHALL CONTAIN THE WORDING "TREE PROTECTION ZONE - KEEP OUT".



TREE PROTECTION BARRIER

(NOT TO SCALE)



NOTE:

USE DOZER TRACKS TO CREATE GROOVES PERPENDICULAR TO THE SLOPE. GROOVES WILL CATCH SEED, FERTILIZER, MULCH, RAINFALL AND DECREASE SEDIMENT IN RUNOFF.

TRACKING DETAIL

NOT TO SCALE

TEMPORARY SEEDING SPECIFICATION:

GENERAL

SEEDING CAN BE USED FOR TEMPORARY STABILIZATION. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY SEEDED AND WATERED. AREAS WHERE FINAL GRADING HAS BEEN COMPLETED FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY SEEDED. TEMPORARY SEED MIXTURE IS SPECIFIED BELOW.

SEEDING MIXTURES

SEED MIXTURE SHALL BE BERMUDA COMMON 90 LB PURE LIVE SEED PER ACRE, FIBER 2000 LB PER ACRE, STABILIZER 120 LB PER ACRE AND FERTILIZER 300 LB PER ACRE.

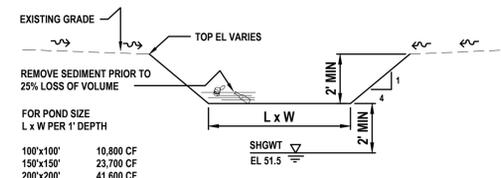
ALL SLOPES AND FLAT GRADE

APPLY 6:20:20 COMMERCIAL ORGANIC FERTILIZER AT A RATE OF 300 LB PER ACRE AND SEED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

TEMPORARY SEEDING PLANTING DATES	SEED VARIETY	APPLICATION RATE
MARCH 15 - OCTOBER 15	PENSACOLA BAHIA (SCARIFIED) BERMUDA COMMON (50% HULLED)	90 25
OCTOBER 16 - MARCH 14	PENSACOLA BAHIA (SCARIFIED) BERMUDA COMMON (50% HULLED) ANNUAL RYE GRASS RYE GRASS	100 35 10 30

MULCH SEEDED AREA WITH 2 TONS PER ACRE CLEAN GRAIN STRAW. ANCHOR STRAW WITH HYDRAULIC WOOD FIBER MULCH AT THE RATE OF 1000 LB PER ACRE, OR 150-200 POUNDS OF ORGANIC MULCH TACKIFIER PER ACRE, OR USE NETTING.

HYDRO FIBER MULCH MIXTURE SHALL BE PERFORMED IN A TANK WITH A CONTINUOUS AGITATION AND RECIRCULATION SYSTEM WITH SUFFICIENT OPERATING CAPACITY TO PRODUCE A HOMOGENOUS SLURRY AND DISCHARGE SYSTEM WHICH WILL APPLY THE SLURRY AT A CONTINUOUS AND UNIFORM RATE. MIXTURE SHALL CONTAIN A GREEN FLUORESCENT DYE AS AN APPLICATION INDICATOR.

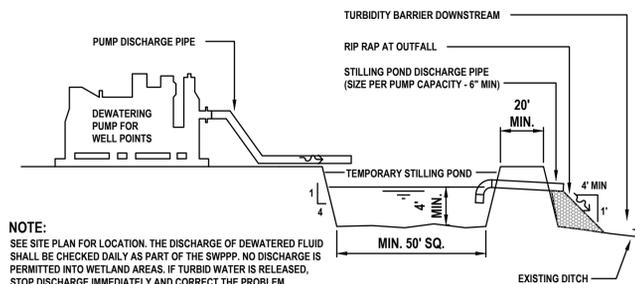


NOTE:

SIZED AT A MINIMUM OF 3,600 CF PER ACRE OF DISTURBED AREA.

TEMPORARY SEDIMENT POND DETAIL

NOT TO SCALE

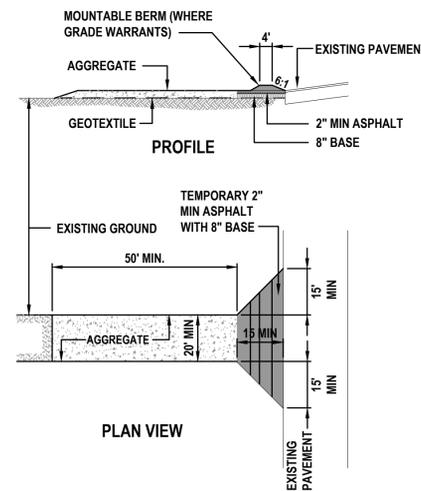


NOTE:

SEE SITE PLAN FOR LOCATION. THE DISCHARGE OF DEWATERED FLUID SHALL BE CHECKED DAILY AS PART OF THE SWPPP. NO DISCHARGE IS PERMITTED INTO WETLAND AREAS. IF TURBID WATER IS RELEASED, STOP DISCHARGE IMMEDIATELY AND CORRECT THE PROBLEM.

TYPICAL DEWATERING DISCHARGE DETAIL

NOT TO SCALE



NOTES:

1. STONE SIZE - #2 COARSE AGGREGATE, OR RECLAIMED/RECYCLED CONCRETE.
2. LENGTH - AS EFFECTIVE BUT NOT LESS THAN 50'
3. DEPTH - 8" MINIMUM (COMPACTED)
4. WIDTH - 20' MINIMUM
5. GEOTEXTILE - 100% POLYPROPYLENE, 4 OZ/SY OVER THE ENTIRE AREA PRIOR TO PLACEMENT OF AGGREGATE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 6:1 SLOPES IS ACCEPTABLE.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. MAINTAIN PERIODIC TOP DRESSING OF ADDITIONAL AGGREGATE AS CONDITIONS REQUIRE AND REPAIR AND/OR CLEANOUT ANY AREAS USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, WASHING SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT POND OR SWALE.
9. INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN OR WEEKLY AT A MINIMUM.

CONSTRUCTION ENTRANCE DETAIL

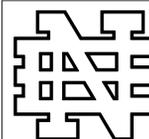
NOT TO SCALE

SWFWMD EROSION CONTROL NOTIFICATION:
THE OWNER / AGENT IS AWARE OF AND MUST ASSURE MAINTENANCE OF THE EROSION PROTECTION DEVICES AND MEASURES ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION.

08/18/2015
AGENT: HARRY NEWKIRK, P.E. No. 62971

REVISIONS

DATE	DESCRIPTION
6/12/15	COUNTY COMMENTS



NEWKIRK ENGINEERING

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Certificate of Authorization
No. 30209
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SWPPP DETAILS AND NOTES

CULVER'S
2303 SUN VISTA DRIVE
LUTZ, FLORIDA 33559



PROJECT No: 2015-08

DATE: MARCH 2015

DESIGN BY: HHN

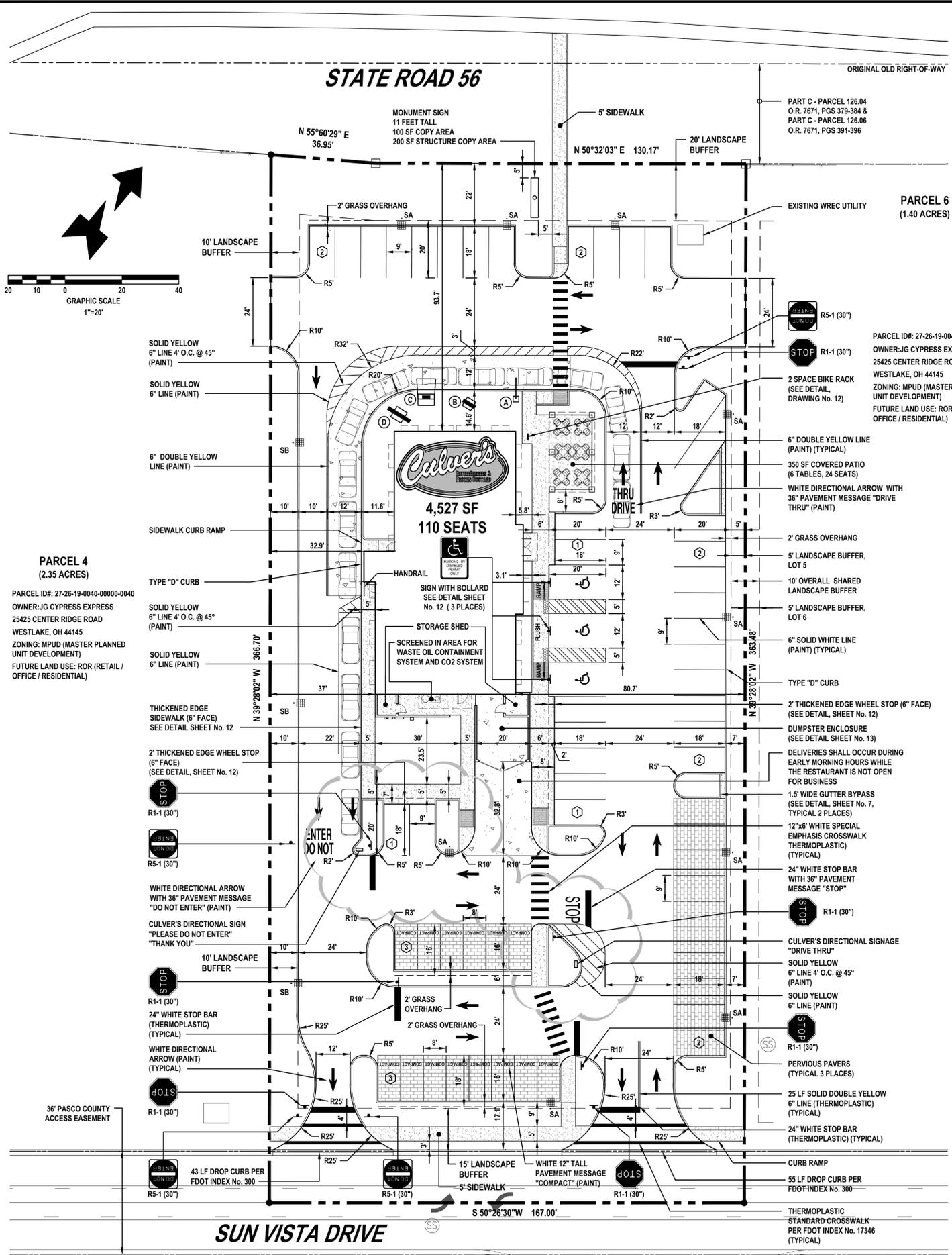
DRAWN BY: DAB

CHECKED BY: HHN

SCALE:

DRAWING NUMBER

5



PAVING LEGEND

- ASPHALT PAVEMENT: 2" SP-9.5 WITH TACK COAT PER FDOT SPECIFICATIONS (2 LIFTS)
6" CRUSHED CONCRETE (LBR=130) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (4" MAX. LIFTS)
12" STABILIZED SUBBASE (BR 40) MIN OF 98% MODIFIED PROCTOR MAX DENSITY PER AASHTO T-180 (TYPE B STABILIZATION)
- CONCRETE PAVEMENT: 6" CONCRETE (4,000 P.S.I. @ 28 DAYS), CLASS I
12" STABILIZED SUBGRADE (LBR 40) MIN OF 98% MODIFIED PROCTOR MAX DRY DENSITY PER ASTM D1557, AASHTO T-180 (6" LIFTS)
SEE DETAIL, SHEET No.12
- PERVIOUS PAVERS: 3-1/8" SF-RIMA PERMEABLE PAVERS
COLOR: SIERRA
SEE DETAIL, SHEET No. 7
- CONCRETE SIDEWALK: 4" THICK CONCRETE (3,000 P.S.I. @ 28 DAYS), CLASS I
SEE DETAIL, SHEET No.12

LEGEND

- TYPE 'F' CURB
- TYPE 'D' CATCH CURB
- 24" DETECTABLE WARNING MAT
- SITE LIGHTING: CREE #OSQ-A-NW-3ME-S-40K-UH-SV (SINGLE FIXTURE)
- SITE LIGHTING: CREE #OSQ-A-NW-2ME-S-40K-UH-SV (SINGLE FIXTURE)

DRIVE THRU KEY:

- (A) VEHICLE HEIGHT DETECTOR (9'-6" CLEARANCE)
- (B) PRE-SELL MENU BOARD
- (C) DRIVE THRU CANOPY AND SPEAKER
- (D) DRIVE THRU ORDER MENU BOARD

GENERAL NOTES:

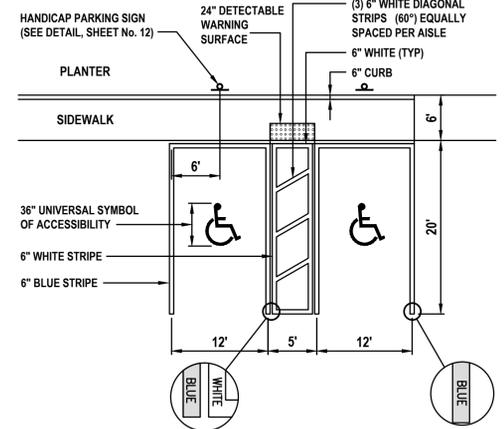
- PASCO COUNTY BUILDING PERMITS ARE REQUIRED FOR BUILDING, CANOPIES, DUMPSTER ENCLOSURE, LIGHT POLES, FENCE AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING APPROPRIATE INFORMATION (ENGINEERING, SPECIFICATIONS, ETC.) FOR LIGHT POLES AND FIXTURES AT TIME OF PERMIT.
- ALL DIMENSIONS AND TIES ARE TO THE EDGE OF PAVEMENT AND OUTSIDE FACE OF BUILDING.
- ALL IMPROVEMENTS SHALL BE STAKED FOR CONSTRUCTION BY MEANS OF DIGITAL COORDINATES BY SURVEYOR UTILIZING GEODETIC TOTAL STATION OR GPS SCALING OF DRAWINGS FOR PURPOSES OF STAKING ARE AT THE SURVEYOR'S RISK.
- THE CONTRACTOR SHALL COORDINATE WITH THE EXISTING ADJACENT BUSINESSES TO ENSURE THERE IS NO DISRUPTION TO THEIR RESPECTIVE OPERATIONS.
- THE CONTRACTOR AT ITS OWN DISCRETION SHALL MAINTAIN THE CONSTRUCTION SITE SECURE FROM TRESPASS.
- SOD ALL DISTURBED AREAS IN RIGHT-OF-WAY WITH BAHIA SOD.
- ALL CURB RAMPS SHALL COMPLY WITH SECTION 406 OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION (FACBC).
- ALL PAVEMENT EDGE SHALL HAVE TYPE "D" CURBING UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL WALL-MOUNTED EQUIPMENT SUCH AS ELECTRICAL METERS, IRRIGATION METERS, PHONE/CABLE BOXES, EXTERIOR VENTS AND LOWERS, ETC., SHALL BE PAINTED TO MATCH THE WALL ON WHICH IT IS MOUNTED OR OTHERWISE CONSISTENT WITH THE COLOR(S) OF THE BUILDING.

PAVEMENT MARKING NOTES:

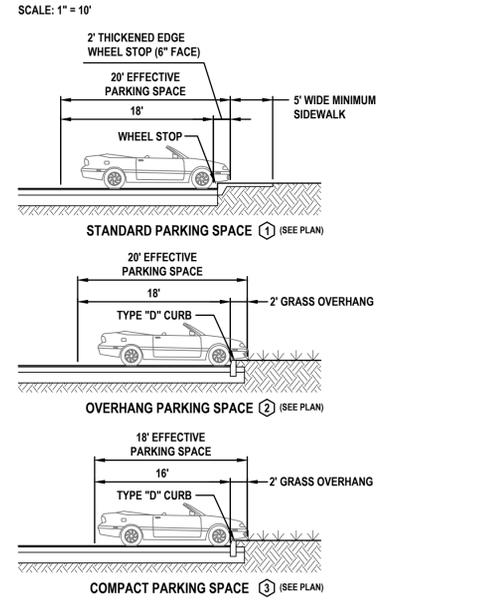
- ALL TRAFFIC CONTROL SIGNING AND MARKINGS SHALL BE PLACED IN ACCORDANCE WITH UNIFORM TRAFFIC CONTROL DEVICES AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL PARKING SPACES, PAVEMENT ARROWS, STOP BARS AND SIGNS SHALL BE INSTALLED PER THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- ALL HANDICAP PARKING SPACES SHALL BE SIGNED AND MARKED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD INDEX NO. 17346.
- PAINTED PAVEMENT MARKINGS SHALL BE APPLIED AFTER PAVEMENT SURFACE HAS CURED. SURFACE SHALL BE FREE OF FINE SAND AND DEBRIS PRIOR TO APPLICATIONS.
- APPLY PAINTED PAVEMENT MARKINGS AT LAST STAGE OF CONSTRUCTION AFTER LANDSCAPE PLANTINGS ARE INSTALLED.
- PAINTE SHALL BE SHERWIN WILLIAMS LOW-VOC ACRYLIC PRO PARK PAINT, APPLY PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DRAWINGS FOR LOCATIONS OF SPECIFIC COLORS.
- ALL STOP BARS SHALL BE THERMOPLASTIC.
- ALL REFLECTIVE PAVEMENT MARKERS ARE TO BE PLACED IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 17352.
- LOCATION OF SIGNS IS APPROXIMATE ONLY AND IS SUBJECT TO CHANGE AS DIRECTED BY THE ENGINEER.
- FOR ADDITIONAL DETAILS SEE INDEX NO. 11860, 11863, 17302, 17344 AND 17346.
- ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED USING 3M BRAND "SCOTCHLITE" SHEETING (ENGINEER GRADE) ON MINIMUM 1/8" GA ALUMINUM BLANKS. ALL 36"x48" SIGNS SHALL BE 100 GA MINIMUM AND SHALL BE INSTALLED USING 3"x12" ROUND ALUMINUM POST. ALL STOP SIGNS SHALL BE 36" OCTAGON INSTALLED ON 12.3 LB/FT "U" CHANNEL POST RAIL STEEL ONLY OR 3"x12" ROUND ALUMINUM POSTS. "U" CHANNEL POSTS MAY BE USED FOR SIGNS SMALLER THAN 36"x36". ALL SPEED LIMIT SIGNS SHALL BE 24"x30".

PASCO COUNTY STANDARD SITE PLAN NOTES:

- ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE PASCO COUNTY STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES SPECIFICATIONS, LATEST EDITION.
- ALL ON-SITE WATER AND SEWER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER - DEVELOPER.
- INSTALLATION OF FUEL STORAGE TANKS REQUIRES REVIEW AND APPROVAL BY THE FIRE MARSHAL AND THE ISSUANCE OF A SEPARATE BUILDING PERMIT. APPROVAL OF THE SITE PLAN DOES NOT CONSTITUTE APPROVAL OF THE LOCATION OF THE FUEL TANKS.
- ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY APPROVED SITE PLAN. APPROVAL OF THE SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE.
- HANDICAP PARKING SPACES WILL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, OR OTHER APPLICABLE STANDARDS.
- THE ARCHITECT / ENGINEER CERTIFIES THAT THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.
- ALL ON-SITE PARKING SPACES WILL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. PARKING SPACES, DIRECTIONAL ARROWS, AND STOP BARS SHALL BE STRIPED IN WHITE. IT SHALL BE THE OWNER / DEVELOPER'S RESPONSIBILITY TO PROPERLY SIGN AND STRIPE IN ACCORDANCE WITH APPLICABLE STANDARDS.
- THE OWNER / DEVELOPER ACKNOWLEDGES THAT THIS APPROVAL DOES NOT INCLUDE ANY WORK IN THE COUNTY RIGHT-OF-WAY. ALL RIGHT-OF-WAY WORK SHALL BE A FUNCTION OF AN APPROVED PASCO COUNTY USE PERMIT.
- ALL CLEAR-SITE AREAS SHALL BE KEPT FREE OF ANY SIGNAGE, PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND-A-HALF (3-1/2) FEET IN HEIGHT.
- NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY COUNTY OR STATE RIGHT-OF-WAY WITHOUT ISSUANCE OF APPROPRIATE RIGHT-OF-WAY USE PERMIT.
- THE OWNER / DEVELOPER ACKNOWLEDGES THAT THE SITE AND ITS SUBSEQUENT BUILDING PERMITS SHALL COMPLY WITH ALL REZONING / MPUD / PUD CONDITIONS.
- ALL STRUCTURES, INCLUDING BUFFER WALLS, RETAINING WALLS, SIGNAGE, ETC. REQUIRE BUILDING PERMITS.
- IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND / OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND / OR ANIMAL SPECIES FOUND ON THE SITE.
- IN CONSIDERATION OF PASCO COUNTY'S AGREEMENT TO PROVIDE POTABLE WATER AND / OR RECLAIMED WATER TO THE SUBJECT PROPERTY, DEVELOPER / OWNER, AND ITS SUCCESSORS AND ASSIGNS, AGREE TO THE FOLLOWING:
 - a). IN THE EVENT OF PRODUCTION FAILURE OR SHORTFALL BY TAMPA BAY WATER, AS SET FORTH IN SECTION 3.19 OF THE INTERLOCAL AGREEMENT CREATING TAMPA BAY WATER, DEVELOPER / OWNER SHALL TRANSFER TO PASCO COUNTY ANY AND ALL WATER USE PERMITS OR WATER USE RIGHTS THE DEVELOPER / OWNER MAY HAVE TO USE OR CONSUME SURFACE OR GROUND WATER WITHIN PASCO COUNTY.
 - b). PRIOR TO DEVELOPER / OWNER SELLING WATER OR WATER USE PERMITS OR WATER USE RIGHTS, DEVELOPER / OWNER SHALL NOTIFY PASCO COUNTY, AND PASCO COUNTY SHALL HAVE A RIGHT OF FIRST REFUSAL TO PURCHASE SUCH WATER OR WATER USE PERMITS OR WATER USE RIGHTS.
- IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATION, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE PRESERVATION OFFICER) AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE RESOURCES FOUND ON THE SITE.



HANDICAP PARKING STRIPING (UNIVERSAL SPACES PER FLORIDA ADA)

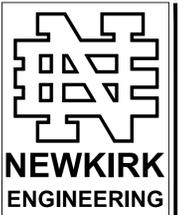


PARKING SPACE OVERHANG DETAIL

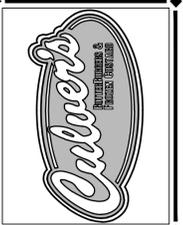
SCALE: 1" = 10'

REVISIONS

DATE	DESCRIPTION
6/12/15	COUNTY COMMENTS
7/24/15	COUNTY COMMENTS
8/18/15	COUNTY COMMENTS



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SITE LAYOUT PLAN
 CULVER'S
 2303 SUN VISTA DRIVE
 LUTZ, FLORIDA 33559



NOT VALID UNLESS SIGNED AND SEALED

PROJECT No:	2015-08
DATE:	MARCH 2015
DESIGN BY:	HHN
DRAWN BY:	DAB
CHECKED BY:	HHN
SCALE:	
DRAWING NUMBER	

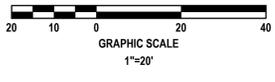
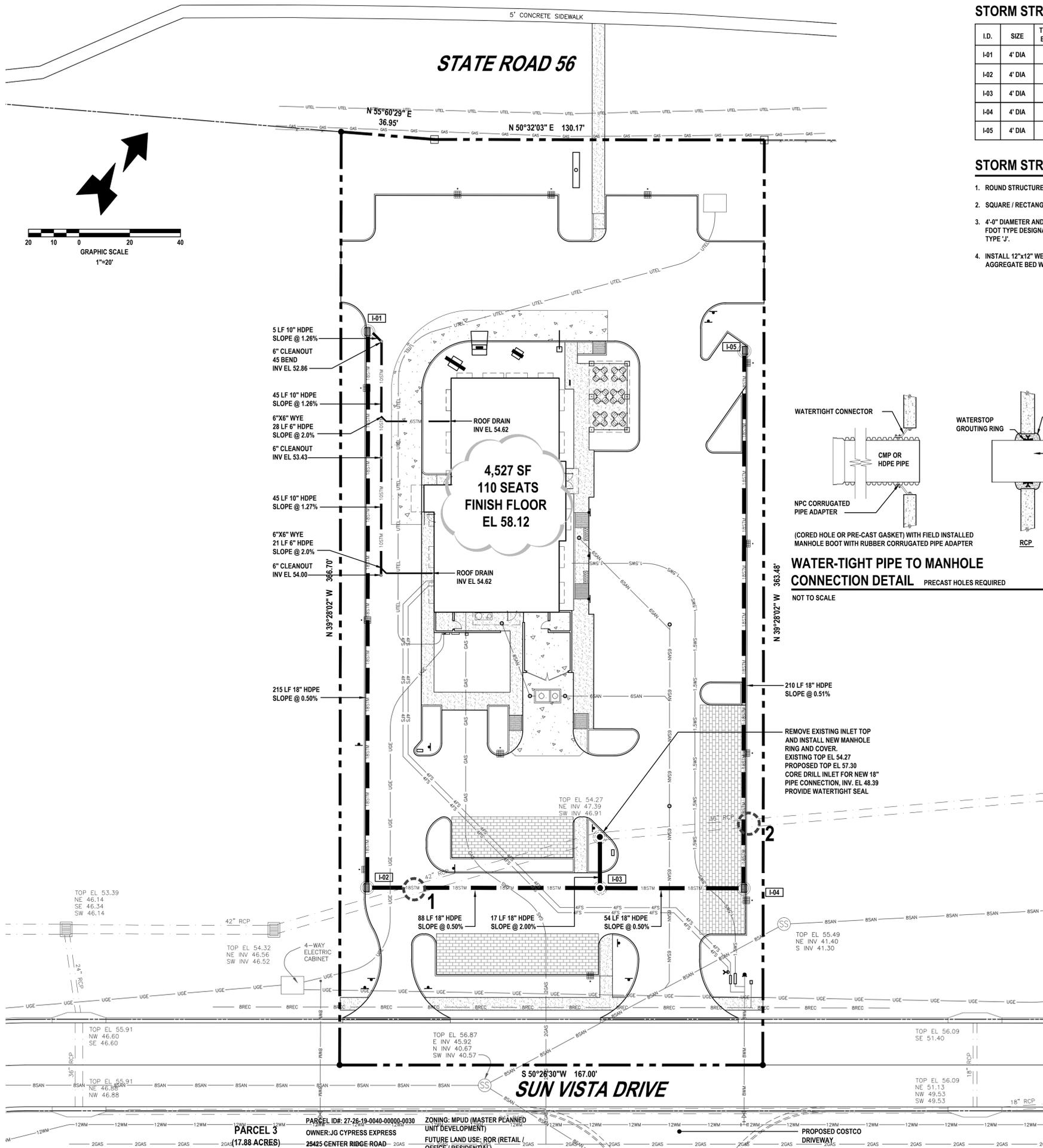
6

PARCEL 4 (2.35 ACRES)
 PARCEL ID#: 27-26-19-0040-00000-0040
 OWNER: JG CYPRESS EXPRESS
 25425 CENTER RIDGE ROAD
 WESTLAKE, OH 44145
 ZONING: MPUD (MASTER PLANNED UNIT DEVELOPMENT)
 FUTURE LAND USE: ROR (RETAIL / OFFICE / RESIDENTIAL)

PARCEL 6 (1.40 ACRES)
 PARCEL ID#: 27-26-19-0040-00000-0060
 OWNER: JG CYPRESS EXPRESS
 25425 CENTER RIDGE ROAD
 WESTLAKE, OH 44145
 ZONING: MPUD (MASTER PLANNED UNIT DEVELOPMENT)
 FUTURE LAND USE: ROR (RETAIL / OFFICE / RESIDENTIAL)

PARCEL 3 (17.88 ACRES)
 PARCEL ID#: 27-26-19-0040-00000-0030
 OWNER: JG CYPRESS EXPRESS
 25425 CENTER RIDGE ROAD
 WESTLAKE, OH 44145
 ZONING: MPUD (MASTER PLANNED UNIT DEVELOPMENT)
 FUTURE LAND USE: ROR (RETAIL / OFFICE / RESIDENTIAL)

PROPOSED COSTCO DRIVEWAY



STORM STRUCTURE SCHEDULE

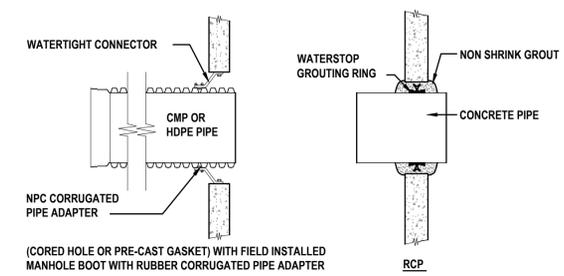
I.D.	SIZE	TYPE	TOP	TOP	BOT	N INV	S INV	E INV	W INV
			TOP	ELEV	ELEV				
I-01	4' DIA	P	9	56.30	51.80	---	52.80	52.80	---
I-02	4' DIA	P	9	56.07	50.72	51.72	---	51.72	---
I-03	4' DIA	P	M.H.	56.74	47.73	48.73	---	48.73	51.28
I-04	4' DIA	P	9	56.07	48.00	51.72	---	---	49.00
I-05	4' DIA	P	9	56.30	51.80	---	52.80	---	---

STORM STRUCTURE NOTES:

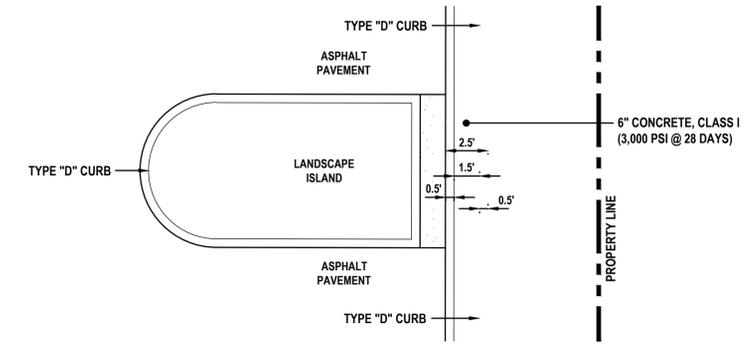
- ROUND STRUCTURE BOTTOMS ARE FDOT ALTERNATE 'A'.
- SQUARE / RECTANGULAR STRUCTURE BOTTOMS ARE FDOT ALTERNATE 'B'.
- 4'-0" DIAMETER AND SMALLER AND 3'-6" SQUARE STANDARD STRUCTURE BOTTOMS ARE FDOT TYPE DESIGNATED 'P' LARGER STANDARD STRUCTURE BOTTOMS ARE DESIGNATED TYPE 'J'.
- INSTALL 12"x12" WEEP HOLE AT BOTTOM OF STRUCTURE WITH 24"x24"x12" THICK AGGREGATE BED WRAPPED WITH FILTER FABRIC.

GENERAL DRAINAGE NOTES:

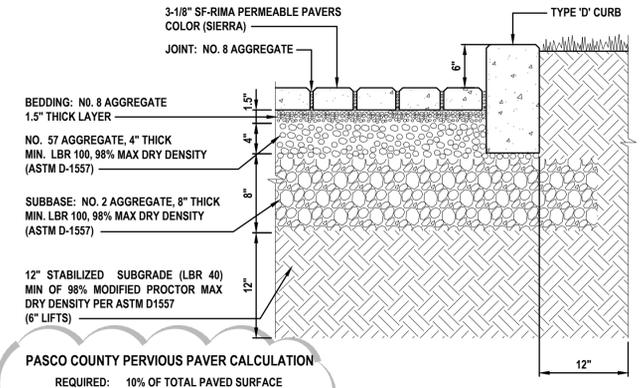
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO DRAINAGE SYSTEM AND SHALL RESTORE ANY DAMAGED STRUCTURES.
- ALL PIPE FROM THE BUILDING DRAINS SHALL BE SMOOTH INTERIOR CORRUGATED EXTERIOR (SICE) HDPE OR PVC SCH 40.
- ALL STORM PIPE SHALL BE CONSTRUCTED OF REINFORCED CONCRETE CLASS III WITH BUTYL MASTIC SEALANT WITH CERTIFIED WATERTIGHT JOINTS BY THE MANUFACTURER OR HDPE PIPE WITH CERTIFIED WATERTIGHT JOINTS BY THE MANUFACTURER. RCP JOINTS SHALL BE WRAPPED WHERE APPLICABLE PER FDOT SPECIFICATIONS. ACCEPTABLE HDPE PIPE SHALL BE HANCOX SUR-LOK WT, ADS SERIES 35, ADS N-12 WITH WT JOINT OR EQUAL.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL MATERIAL AND STRUCTURES TO THE ENGINEER (NEWKIRK ENGINEERING, INC.) FOR APPROVAL PRIOR TO THE PRECONSTRUCTION MEETING.
- CONTRACTOR TO PLACE FILTER FABRIC BETWEEN DRAINAGE STRUCTURES AND TOPS TO PREVENT SOIL INTRUSION. THE FABRIC SHALL BE PERIODICALLY CLEANED OF SAND A DEBRIS FABRIC SHALL REMAIN IN PLACE UNTIL PAVING IS COMPLETE.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN. FENCING TREES, & ETC., WITHIN THE CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFFSITE.
- ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST PER FDOT SPECIFICATIONS.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY PER FDOT STANDARD SPECIFICATIONS AND MANUFACTURES SPECIFICATIONS RESPECTIVELY.
- ALL DRAINAGE STRUCTURES AND PIPES SHALL BE CLEANED OF SAND AT THE LAST STAGE OF CONSTRUCTION PRIOR TO THE FINAL INSPECTION.
- ALL STORM INLET GRATES SHALL BE STEEL (TRAFFIC RATED).



WATER-TIGHT PIPE TO MANHOLE CONNECTION DETAIL
PRECAST HOLES REQUIRED
NOT TO SCALE

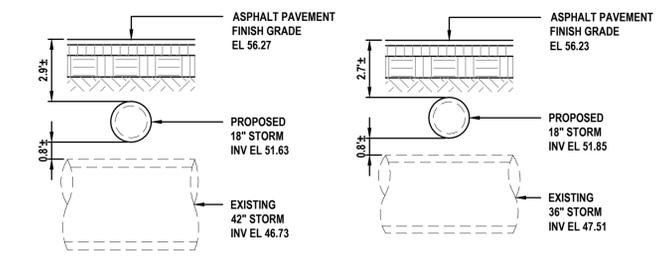


18" WIDE GUTTER BYPASS @ LANDSCAPE ISLAND DETAIL
NOT TO SCALE



PASCO COUNTY PERVIOUS PAVER CALCULATION
REQUIRED: 10% OF TOTAL PAVED SURFACE
33,150 SF x .10 = 3,315 SF
PROVIDED: 3,416 SF

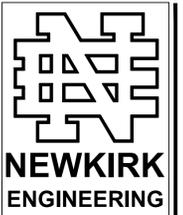
PERMEABLE PAVER DETAIL
NOT TO SCALE



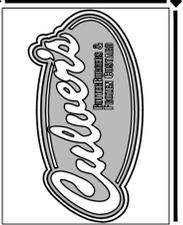
STORM PIPE CONFLICT DETAILS
NOT TO SCALE

REVISIONS

DATE	DESCRIPTION
6/12/15	COUNTY COMMENTS
7/24/15	COUNTY COMMENTS
8/18/15	COUNTY COMMENTS



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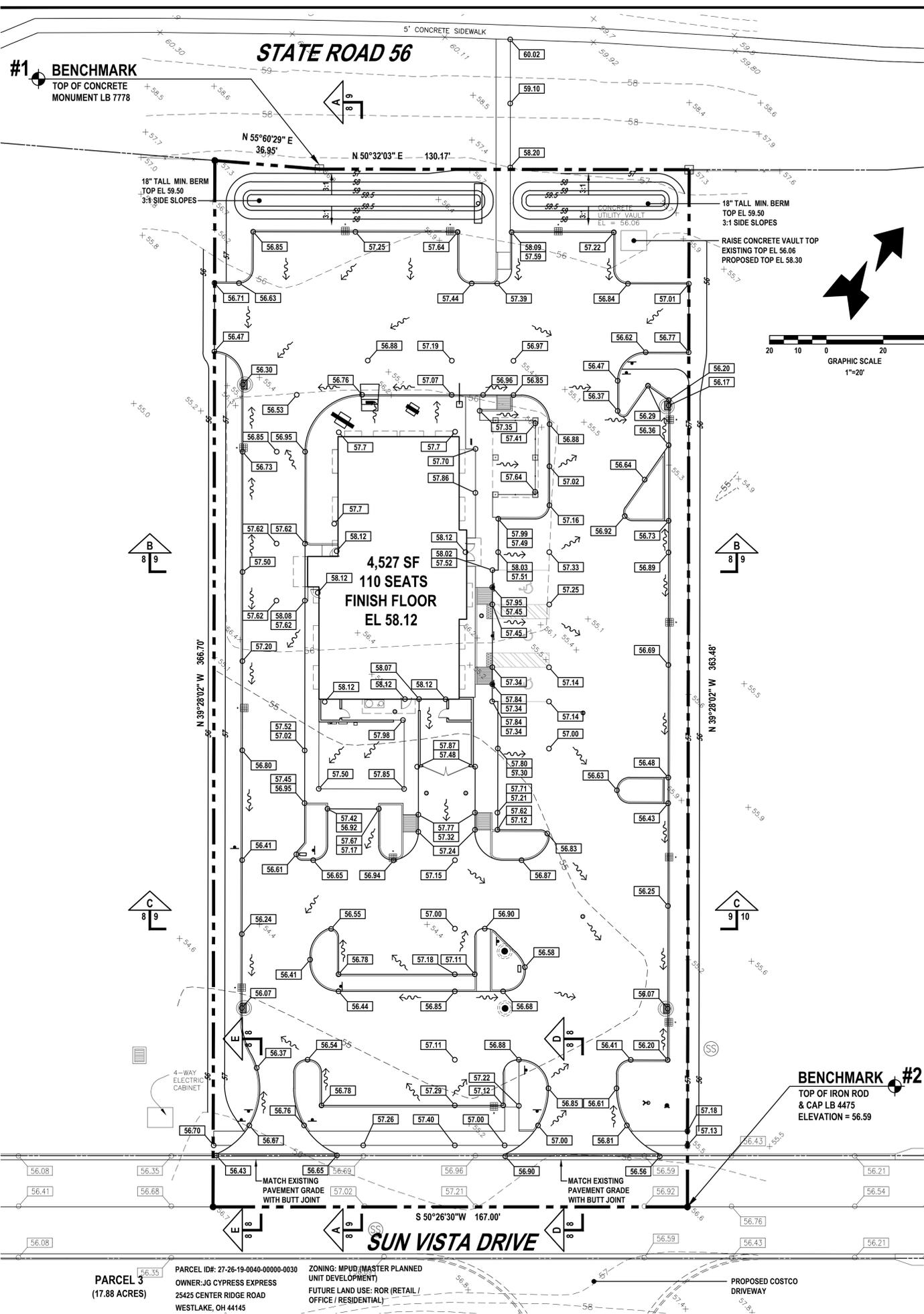
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DRAINAGE PLAN
CULVER'S
2303 SUN VISTA DRIVE
LUTZ, FLORIDA 33559



PROJECT No: 2015-08
DATE: MARCH 2015
DESIGN BY: HHN
DRAWN BY: DAB
CHECKED BY: HHN
SCALE:
DRAWING NUMBER

7



BENCHMARK INFORMATION:

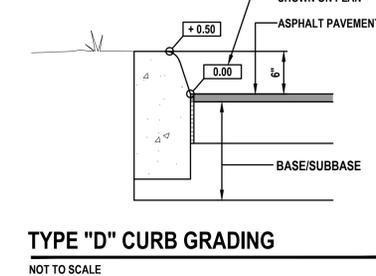
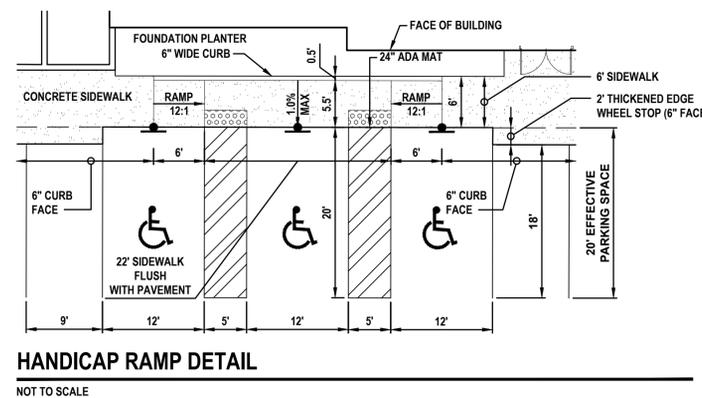
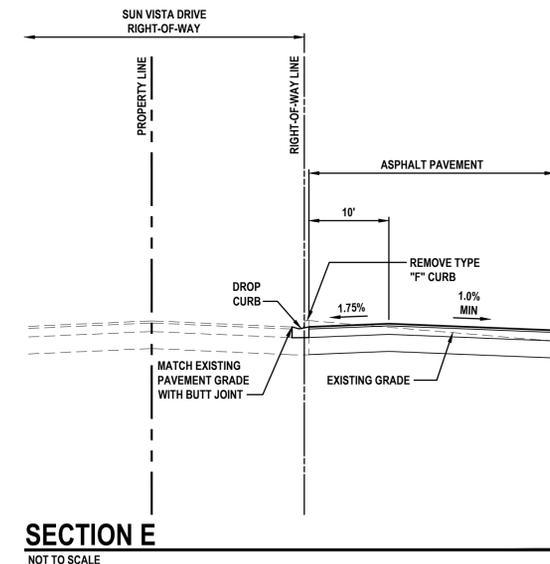
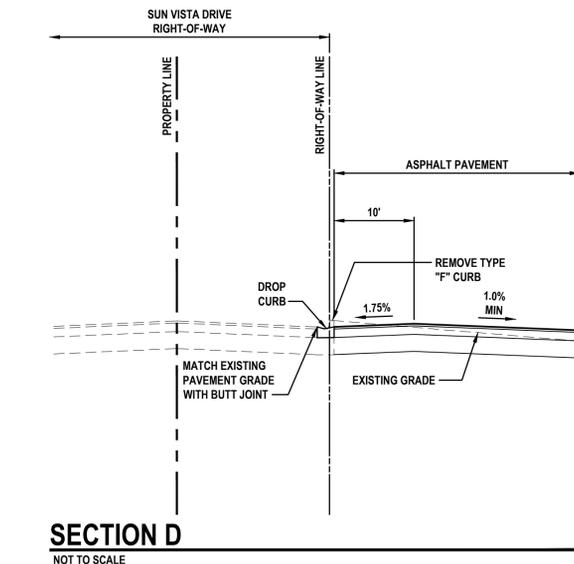
- #1 TOP OF CONCRETE MONUMENT LB 7778 ELEVATION = 56.74
- #2 TOP OF IRON ROD & CAP LB 4475 ELEVATION = 56.59

VERTICAL DATA ELEVATIONS REFER TO (NGVD 29) FEET AND DECIMAL PART THEREOF NATIONAL GEODETIC VERTICAL DATUM 1929. BENCHMARK REFERENCE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGNATION ID BM 98-A. CONCRETE MONUMENT, ELEVATION = 57.908 FEET (29 DATUM).

TO CONVERT FROM NGVD 29 DATUM TO NAVD 88 DATUM, SUBTRACT 0.817 FEET

GRADING LEGEND:

- - - - - EXISTING CONTOUR
- — — — — PROPOSED CONTOUR
- → → → → DRAINAGE FLOW ARROW
- 56.23 PROPOSED SPOT ELEVATION
- 57.02 PROPOSED SUN VISTA DRIVE SPOT ELEVATION (CURRENTLY UNDER CONSTRUCTION)
- 55.9 EXISTING SPOT ELEVATION



GENERAL EARTHWORK NOTES:

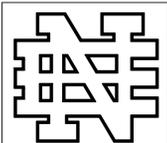
1. IF ANY MUCK OR MUCK-LIKE MATERIAL IS DISCOVERED, IT WILL BE REQUIRED TO BE REMOVED, BACKFILLED WITH APPROPRIATE FILL, COMPACTED, AND TESTED USING AASHTO T-180 MODIFIED PROCTOR METHOD.
2. ALL FILLING IS TO BE PERFORMED IN ONE-FOOT LIFTS. THE COMPACTION REQUIREMENT IS 98% FOR PAVED AREAS AND 95% FOR UNPAVED AREAS PER AASHTO T-180 MODIFIED PROCTOR TEST.
3. TEMPORARY FILL STOCKPILING IS NOT PERMITTED IN LIFTS GREATER THAN SIX FEET.
4. SOILS ARE TO BE STABILIZED BY WATER OR OTHER MEANS DURING CONSTRUCTION. THIS IS INTENDED TO REDUCE SOIL EROSION AND THE IMPACT TO NEIGHBORING COMMUNITIES.
5. ONCE AN AREA IS SEEDED OR SODDED, IT MUST BE MAINTAINED TO ALLOW THE GRASS TO GROW.
6. ALL NON-PAVED AREAS MUST BE PLANTED, GRASSED, OR MULCHED.

GENERAL GRADING NOTES:

1. CROSS SLOPES OF ACCESSIBLE PARKING SPACES AND ACCESS AISLE SHALL NOT EXCEED 1:48 IN ACCORDANCE WITH SECTION 502.4 OF FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION (FACBC).
2. THE MAXIMUM ELEVATION CHANGE AT THE ENTRANCE DOOR MAY NOT EXCEED 1/2 INCH.
3. ALL SIDEWALK LANDINGS SHALL HAVE SLOPES NO GREATER THAN 1/4 INCH / 1 FOOT IN MANEUVERING SPACES AT ALL DOORWAYS.
4. ALL SIDEWALKS SHALL HAVE A 1.0% CROSS SLOPE (2.0% MAXIMUM).
5. ALL CURB RAMPS SHALL COMPLY WITH SECTION 406 OF FACBC.
6. ALL IMPROVEMENTS SHALL BE STAKED FOR CONSTRUCTION BY MEANS OF DIGITAL COORDINATES BY SURVEY OR UTILIZING GEODETIC TOTAL STATION. SCALING OF DRAWINGS FOR PURPOSES OF STAKING ARE AT THE SURVEYOR.

REVISIONS

DATE	DESCRIPTION
6/12/15	COUNTY COMMENTS
7/24/15	COUNTY COMMENTS



NEWKIRK ENGINEERING

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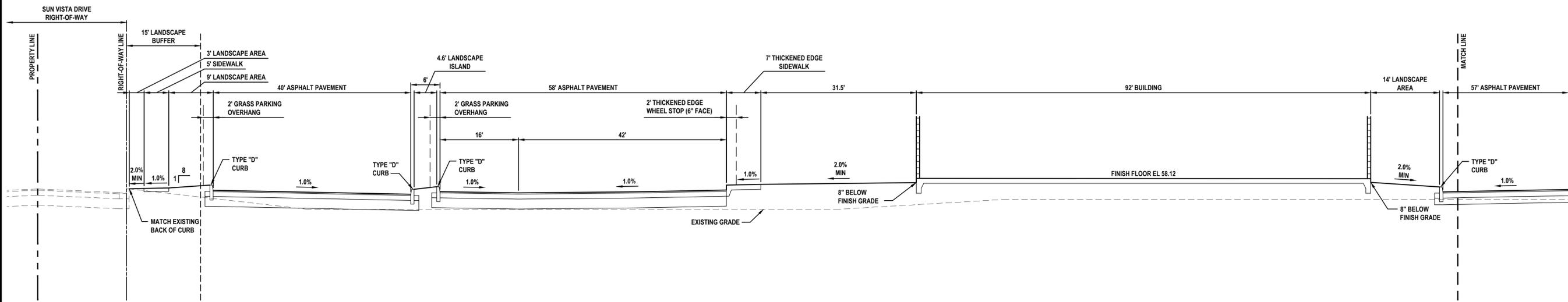
GRADING PLAN
CULVER'S
 2303 SUN VISTA DRIVE
 LUTZ, FLORIDA 33559



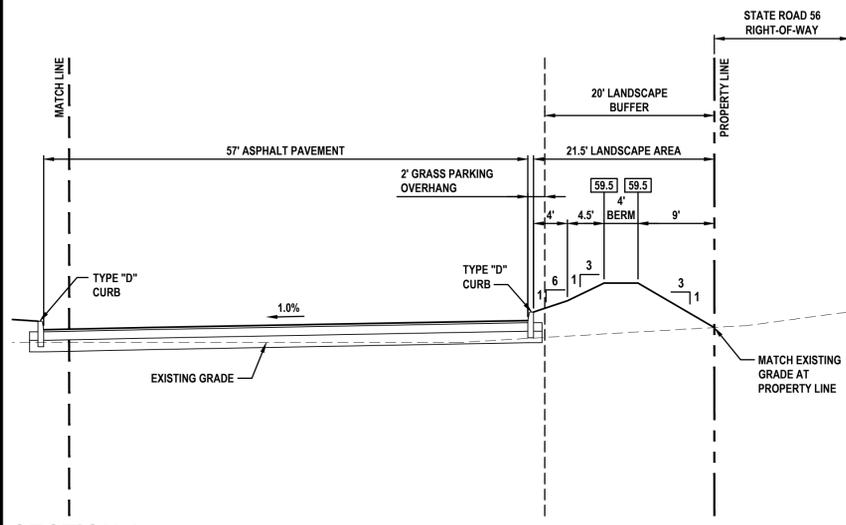
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PROJECT No:	2015-08
DATE:	MARCH 2015
DESIGN BY:	HHN
DRAWN BY:	DAB
CHECKED BY:	HHN
SCALE:	
DRAWING NUMBER	

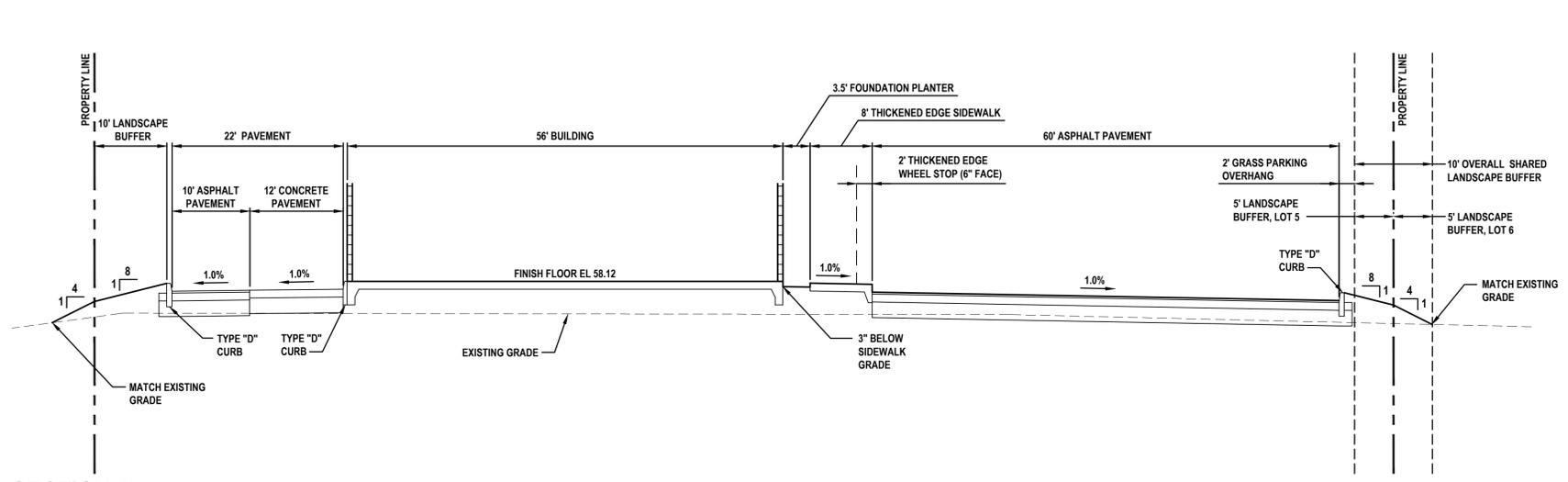
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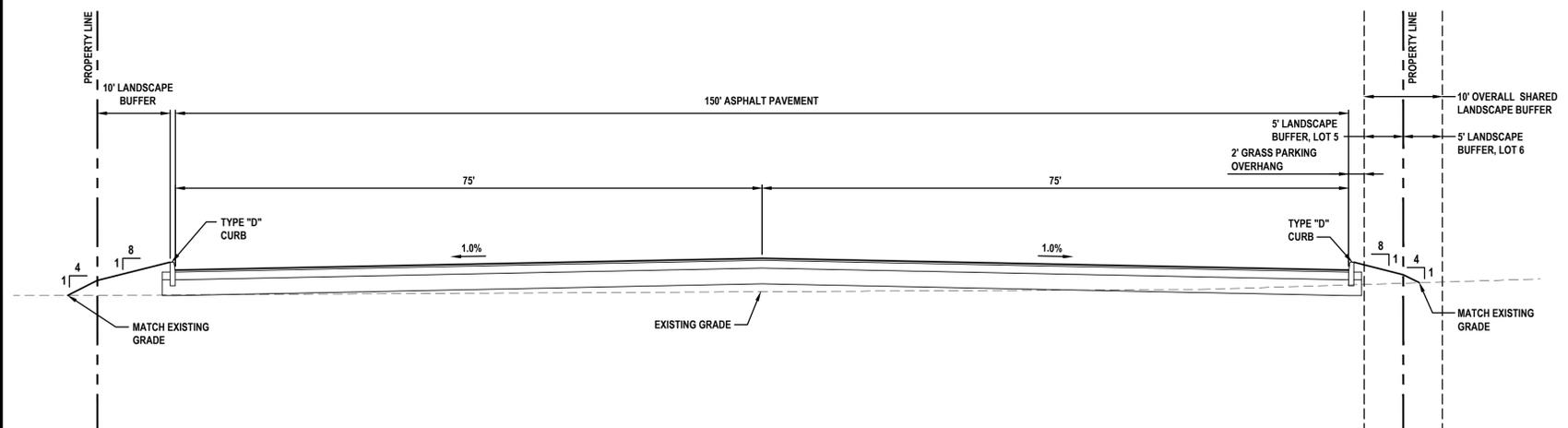
SECTION A
NOT TO SCALE



SECTION A
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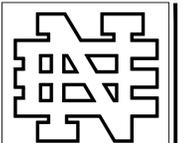
SECTION B
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SECTION C
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REVISIONS

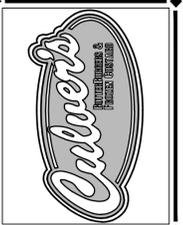
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CROSS SECTIONS
CULVER'S
2303 SUN VISTA DRIVE
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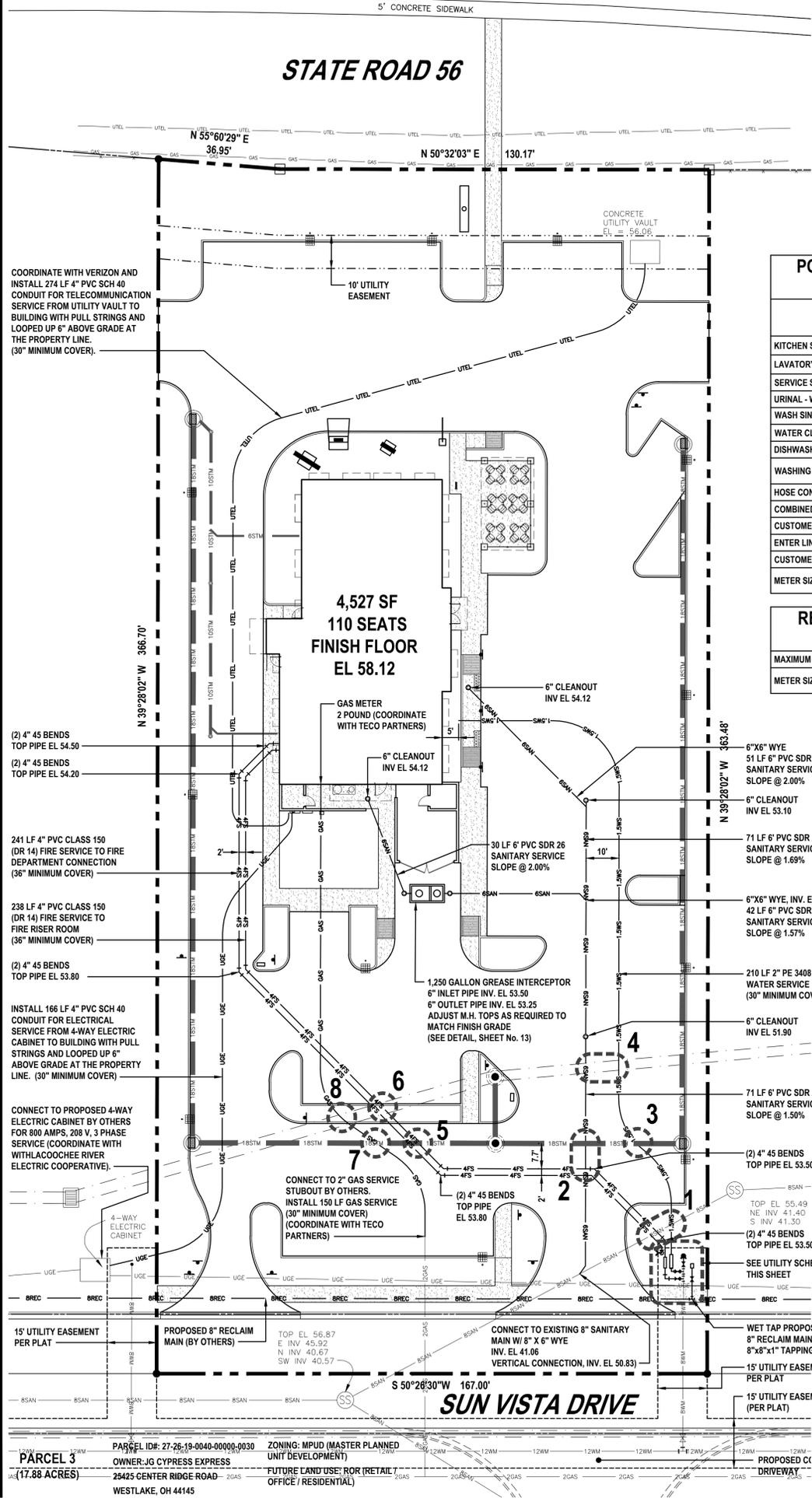


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9



PROPOSED UTILITY LEGEND

- FORCE MAIN (# INDICATES SIZE)
- SANITARY SEWER (# INDICATES SIZE)
- POLYETHYLENE WATER SERVICE (# INDICATES SIZE)
- WATER MAIN (# INDICATES SIZE)
- RECLAIM SERVICE (# INDICATES SIZE)
- GAS SERVICE (# INDICATES SIZE)
- UNDERGROUND ELECTRICAL CONDUIT (4")
- UNDERGROUND TELEPHONE CONDUIT (4")

UTILITY CONFLICT (SEE DETAILS THIS SHEET)

POTABLE WATER METER SIZING CHART

FIXTURE	FIXTURE VALUE AT 35 PSI	No. OF FIXTURES	FIXTURE VALUE
KITCHEN SINK - 1/2" CONNECTION	3 X	2 =	6
LAVATORY - 3/8" CONNECTION	2 X	5 =	10
SERVICE SINK - 1/2" CONNECTION	3 X	1 =	3
URINAL - WALL FLUSH VALVE	10 X	2 =	20
WASH SINK (EACH SET OF FAUCETS)	4 X	6 =	24
WATER CLOSET - FLUSH VALVE	10 X	4 =	40
DISHWASHER - 3/4" CONNECTION	10 X	1 =	10
WASHING MACHINE - 1/2" CONNECTION	5 X	1 =	5
HOSE CONNECTION - 3/4"	10 X	2 =	20
COMBINED FIXTURE VALUE TOTAL			138
CUSTOMER PEAK DEMAND FROM CURVES			54 GPM
ENTER LINE PRESSURE AND PRESSURE FACTOR		50	
CUSTOMER PEAK DEMAND X PRESSURE FACTOR			54 GPM
METER SIZING	1.5" METER		80 GPM

RECLAIMED IRRIGATION METER SIZING CHART

MAXIMUM RECLAIMED IRRIGATION FLOW		35 GPM
METER SIZING	1.0" METER	40 GPM

REQUIRED FIRE FLOW:

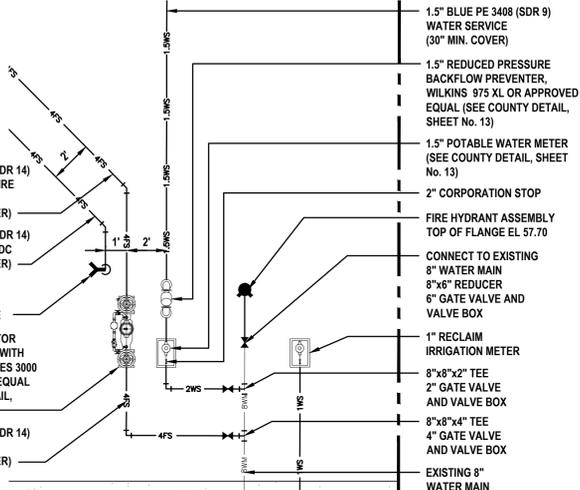
FLORIDA BUILDING CODE
CONSTRUCTION TYPE: SB, SPRINKLERED
FIRE AREA: 4,527 SF
REQUIRED FIRE FLOW: 1,500 GPM @ 2 HOURS
FIRE FLOW MEETS REQUIREMENTS OF NEW FLORIDA FIRE PREVENTION ODE AND NFPA EFFECTIVE JANUARY 1, 2015

PASCO COUNTY UTILITY NOTES:

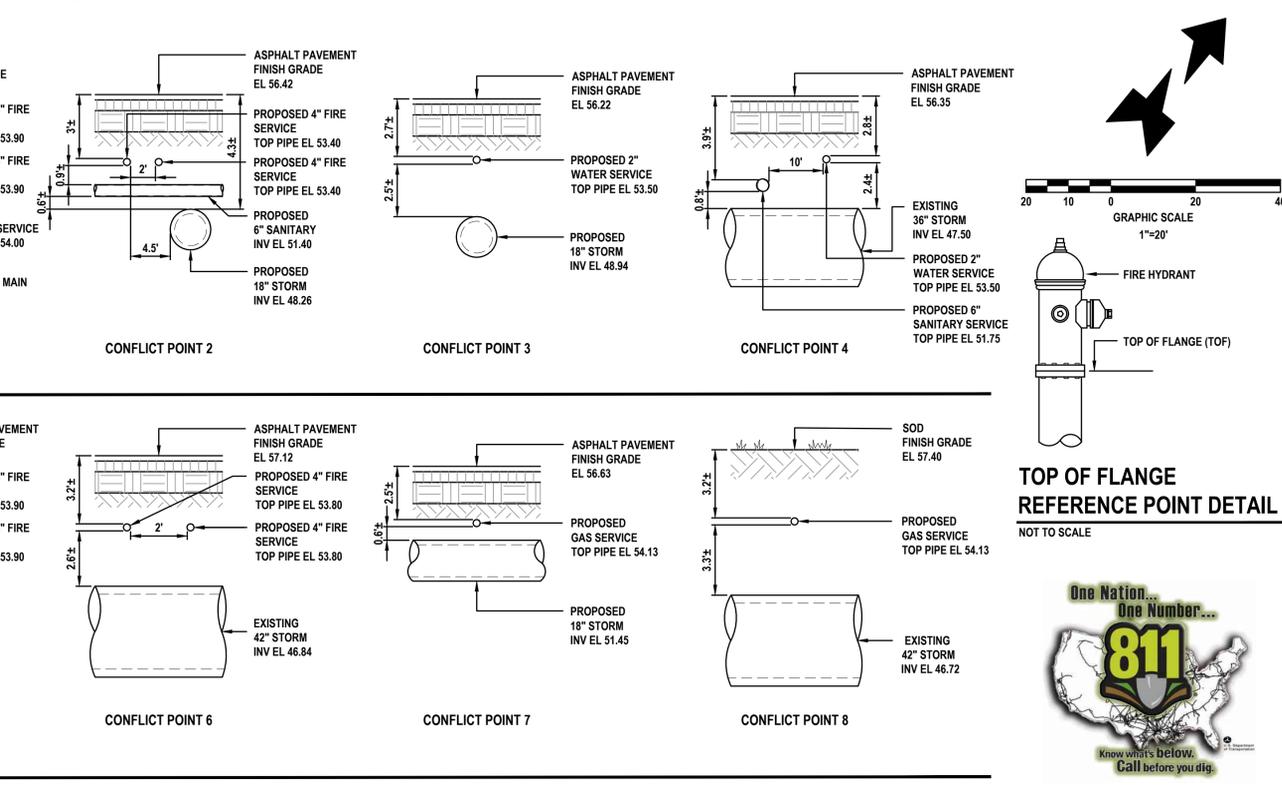
- ALL UTILITY SYSTEM-DESIGN MATERIALS AND WORKMANSHIP SHALL COMPLY WITH STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER AND RECLAIMED WATER FACILITIES SPECIFICATIONS, LATEST EDITION.
- A SEPARATE PLAN AND PERMIT, ISSUED TO A CONTRACTOR LICENSED BY THE FLORIDA STATE FIRE MARSHAL'S OFFICE, IS REQUIRED FOR THE INSTALLATION OF UNDERGROUND FIRE LINES.
- CONNECTIONS INTO AN EXISTING COUNTY-OWNED SYSTEM SHALL BE VIA WET TAP. WET TAPS SHALL BE PERFORMED EXCLUSIVELY BY THE UTILITIES SERVICES BRANCH AT THE DEVELOPER'S EXPENSE. EXCAVATION, BACKFILL, AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MATERIAL FOR WET TAPS LARGER THAN TWO INCHES SHALL BE PROVIDED AND INSTALLED BY THE PROJECT CONTRACTOR.
- THE UTILITIES SERVICES BRANCH SHALL NOT OWN OR MAINTAIN ON-SITE WATERLINES, SEWER LINES OR FACILITIES, UNLESS OTHERWISE APPROVED BY THE UTILITIES SERVICES BRANCH.
- ALL FIRE HYDRANTS SHALL BE FLOW-TESTED AND COLOR-CODED BASED ON FLOW RESULTS.
- THE CULVER'S PROJECT CANNOT CONNECT UNTIL UTILITIES INFRASTRUCTURE IS CONSTRUCTED, CLEARED AND PLACED INTO SERVICE.

CONTRACTOR'S RESPONSIBILITIES:

- 2" ONLY - THIS EXCAVATED TRENCH MUST BE DRY OR THE TRENCH WILL REQUIRE ROCK AND A PUMP TO BE IN PLACE. THE MINIMUM DISTANCE FOR THE FACE OF THE VALVE TO THE WALL OF THE TRENCH IS TO BE SIX FEET. THE COUNTY WILL PROVIDE THE TAPPING SADDLE, CORPORATION STOP, STAINLESS STEEL NIPPLE AND IRON BODY VALVE.
- 3" AND LARGER - THE CONTRACTOR WILL SUPPLY A TAPPING SADDLE BEING EPOXY COATED, A TAPPING VALVE WITH MECHANICAL JOINT AND THE EQUIPMENT TO PROVIDE AND CONDUCT A PRESSURE TEST. COUNTY PERSONNEL WILL WITNESS THE PRESSURE TEST WHICH MUST BE AT 150 PSI FOR A DURATION OF THIRTY MINUTES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION BEFORE ANY COUNTY PERSONNEL WILL ENTER AN EXCAVATED AREA. IF THE TRENCH IS FOUR FEET IN DEPTH OR DEEPER, IT WILL REQUIRE A TRENCH BOX OR SLOPING AND A LADDER ACCORDING TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
- THE TAPPING VALVE WILL REQUIRE A BLOCKING DEVICE MADE OF SUITABLE MATERIAL OR DEVICE. THIS BLOCKING DEVICE OR MATERIAL WILL BE PLACED UNDER THE VALVE AND REMAIN IN PLACE UNTIL THE TAP MACHINE IS REMOVED AND THE TAP IS COMPLETED.
- NOTE: IF THE CONTRACTOR HAS NOT FULFILLED HIS RESPONSIBILITIES, AS STATED ABOVE, PRIOR TO THE ARRIVAL OF PASCO COUNTY UTILITIES OPERATIONS AND MAINTENANCE TAPPING CREW, THERE WILL BE AN ADDITIONAL CHARGE OF \$96.00.



UTILITY CONFLICT DETAILS



UTILITY NOTES:

- CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO AVOID CONTACT WITH BURIED GAS MAINS, OVERHEAD POWER LINES AND UNDERGROUND UTILITIES.
- 4" FIRE PROTECTION SERVICE SHALL BE CONSTRUCTED BY CONTRACTOR WITH CLASS 5 LICENSE. THE FIRE DEPARTMENT MUST WITNESS ALL TESTS SUCH AS UNDERGROUND PIPE HYDROSTATIC TESTS AND FLUSHING AND INTERIOR PIPE PRESSURE HYDROSTATIC TEST. THE FIRE DEPARTMENT WILL NEED TO WITNESS DRY PIPE VALVE TRIP TESTS, COMPLETE (100%) FIRE ALARM TEST, ETC. IN ACCORDANCE WITH APPLICABLE NFPA STANDARDS.

GENERAL WATER NOTES:

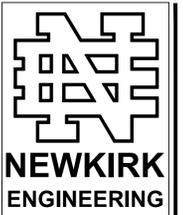
- THE PASCO COUNTY WATER UTILITY DEPARTMENT SHALL BE NOTIFIED PRIOR TO BEGINNING ANY WATER SYSTEM CONSTRUCTION.
- ALL WATER DISTRIBUTION CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDEP REGULATIONS AND THE PASCO COUNTY UTILITY DETAILS AND SPECIFICATIONS (LATEST EDITION).
- CONTRACTOR IS TO VERIFY THE LOCATION (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES (UNDERGROUND AND OVERHEAD) PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ANY EXISTING PAVEMENT, SIDEWALK, CURBING, UTILITIES AND DRAINAGE SYSTEMS DAMAGED DURING CONSTRUCTION. ALL DAMAGED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER.
- LOCATION OF TELEPHONE, T.V. CABLE AND ELECTRICAL SERVICE CONNECTIONS TO BE DETERMINED BY APPROPRIATE UTILITIES PERSONNEL IN COOPERATION WITH CONTRACTOR.
- ALL WATER MAINS SHALL BE LAID ON A FIRM FOUNDATION WITH ALL UNSUITABLE MATERIAL (MUCK, ROCK, COQUINA, ETC) REMOVED AND REPLACED WITH CLEAN GRANULAR MATERIAL.
- TRENCHES SHALL BE BACKFILLED WITH MATERIAL ACCEPTABLE TO THE COUNTY WITH A MINIMUM COMPACTION OF 95 PERCENT (AASHTO-T180).
- WATER SERVICES FROM 3/4" TO 2" POLYETHYLENE (ENDOT ENDOPURE) WITH 36" MINIMUM COVER.
- WATER MAIN FROM 4" TO 12" SHALL BE PVC CLASS 150 (DR 18) WITH 36" MINIMUM COVER.
- ALL WATER AND FIRE SERVICES ARE REQUIRED TO HAVE A HARD BODY GATE VALVE OFF THE MAIN LINE.
- ALL VALVES SHALL BE BOLTED TO TEES.
- ALL POTABLE WATER PIPE SHALL HAVE "NSF POTABLE WATER" IMPRINTED ON THE PIPE.
- A TAPPING CONTRACTOR ACCEPTABLE TO THE PASCO COUNTY WILL BE REQUIRED FOR TAPS.
- THE CONTRACTOR SHALL MAKE ALL ATTEMPTS TO LOCATE BURIED UTILITIES AND NOTIFY THE UTILITY COMPANIES 48 HR. PRIOR TO CONSTRUCTION.
- UTILITY TRENCH CONSTRUCTION SHALL CONFORM TO PASCO COUNTY AND OSHA REQUIREMENTS.
- IN THE CASE WHERE SOLVENT CONTAMINATION IS FOUND IN THE TRENCH, WORK WILL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED. WITH THE APPROVAL OF THE PASCO COUNTY UTILITY DEPARTMENT, DUCTILE IRON PIPE, FITTINGS AND APPROVED SOLVENT RESISTANT GASKET MATERIAL SHALL BE USED IN THE CONTAMINATED AREA. THE DUCTILE IRON PIPE WILL EXTEND AT LEAST 100 FEET BEYOND ANY DISCOVERED SOLVENT.

GENERAL SEWER NOTES:

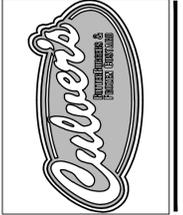
- PASCO COUNTY SHALL BE NOTIFIED PRIOR TO ANY SEWER CONSTRUCTION.
- ALL SEWER CONSTRUCTION MUST COMPLY WITH FDEP REGULATIONS AND THE PASCO COUNTY UTILITY DETAILS AND SPECIFICATIONS (LATEST EDITION).
- ALL SANITARY SEWER LINES SHALL BE PVC SDR 26 DUE TO THE MINIMUM AMOUNT OF COVER. WATER LINES, RECLAIMED LINES AND STORM DRAINAGE CROSSINGS SHALL FOLLOW THE C-900 OR CONCRETE ENCASEMENT REQUIREMENT PER THESE STANDARDS AND AS FDEP REQUIREMENTS. STANDARDS AND AS PER FDEP REQUIREMENTS.
- SEWER LINE CONSTRUCTION SHALL BE ACCOMPLISHED BY THE USE OF A LASER INSTRUMENT UNLESS ANOTHER METHOD IS PREVIOUSLY APPROVED BY COUNTY.
- THE CONTRACTOR SHALL AT ALL TIMES, DURING PIPE LAYING, DEWATER THE GROUND SUFFICIENTLY TO KEEP THE GROUNDWATER ELEVATION A MINIMUM OF 6" BELOW THE PIPE BEING LAID WITHIN THE AREA OF THE TRENCH.
- ALL PIPES SHALL BE LAID ON A FIRM FOUNDATION. SOFT OR SPONGY BEDDING FOR PIPES WILL NOT BE ACCEPTED. ANY UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH A DRY, COMPACTED, GRANULAR MATERIAL SATISFACTORY TO THE COUNTY.
- SANITARY SEWER PIPE SHALL BE PVC SDR 26.
- EXCAVATION AND BACKFILL: THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING AND BRACING OF EXCAVATION WORK IN ORDER TO PROVIDE FOR THE SAFETY OF WORKMEN, AS WELL AS REPRESENTATIVES OF THE PASCO COUNTY, THE DESIGN ENGINEER, AND THE DEVELOPER.
- TRENCHES SHALL BE BACKFILLED WITH ACCEPTABLE MATERIAL AND COMPACTED TO MINIMUM COMPACTION OF (95) PERCENT OF THE OPTIMUM DENSITY OF THAT MATERIAL BASED ON THE AASHTO T-180 MODIFIED PROCTOR TEST.
- ALL TESTING REQUIRED BY THE COUNTY SHALL BE PAID FOR BY THE CONTRACTOR.
- GRAVITY MAINS MUST HAVE A TELEVIEWED INSPECTION. A VIDEO INSPECTION FORM MUST BE FAXED TO THE PASCO COUNTY WASTEWATER COLLECTION DEPARTMENT 48 HOURS PRIOR TO VIDEO INSPECTION. A COUNTY INSPECTOR MUST BE PRESENT.
- SEWER CLEANOUT LOCATED ON PAVEMENT AND SIDEWALK AREA SHALL BE TRAFFIC BEARING FLAT TOP BRASS CAP.
- ALL GREASE TRAPS SHALL HAVE A MINIMUM CAPACITY OF 750 GALLONS AND MAXIMUM CAPACITY OF 1,250 GALLONS. SEE PLAN FOR PROPOSED CAPACITY.

REVISIONS

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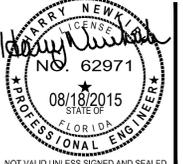


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UTILITY PLAN
CULVER'S
2303 SUN VISTA DRIVE
LUTZ, FLORIDA 33559



PROJECT No: 2015-08
DATE: MARCH 2015
DESIGN BY: HHN
DRAWN BY: DAB
CHECKED BY: HHN
SCALE:
DRAWING NUMBER

10

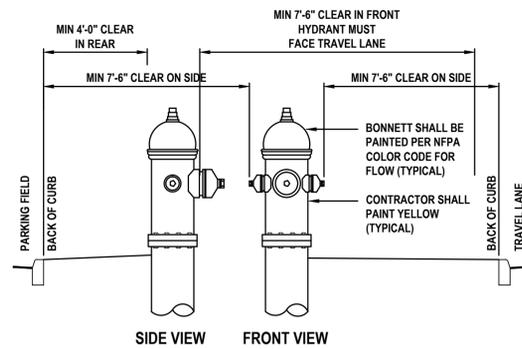
FDEP WATER NOTES

- ALL PIPE, PIPE FITTINGS, PIPE JOINT PACKING AND JOINTING MATERIALS, VALVES, FIRE HYDRANTS, AND METERS INSTALLED UNDER THIS PROJECT WILL CONFORM TO APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS.
- ALL PUBLIC WATER SYSTEM COMPONENTS, EXCLUDING FIRE HYDRANTS, THAT WILL BE INSTALLED UNDER THIS PROJECT AND THAT WILL COME INTO CONTACT WITH DRINKING WATER WILL CONFORM TO NSF INTERNATIONAL STANDARD 61.
- ALL PROPOSED WATER MAINS SHALL BE FLUSHED, DISINFECTED AND BACTERIOLOGICALLY CLEARED FOR SERVICE IN ACCORDANCE WITH AWWA SPECIFICATIONS C-651 AND THE FDEP PROTECTION REQUIREMENTS.
- POTABLE WATER PIPES SHALL BE HYDROSTATICALLY TESTED FOR PRESSURE AND LEAKAGE IN ACCORDANCE WITH AWWA STANDARD C600 FOR DUCTILE IRON PIPES AND C605 FOR PVC PIPES, RESPECTIVELY.
- ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT WILL CONTAIN NO MORE THAN 8.0% LEAD, AND ANY SOLDER OR FLUX USED IN THIS PROJECT WILL CONTAIN NO MORE THAN 0.2% LEAD.
- ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT WILL BE COLOR CODED OR MARKED IN ACCORDANCE WITH SUBPARAGRAPH 62-555.320(21)(b)3, F.A.C., USING BLUE AS A PREDOMINANT COLOR. UNDERGROUND PLASTIC PIPE WILL BE SOLID-WALL BLUE PIPE, WILL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN OR WILL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL; AND UNDERGROUND METAL OR CONCRETE PIPE WILL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE WILL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT WILL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE; FOR PIPE WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE WILL BE PAINTED BLUE OR WILL BE COLOR CODED OR MARKED LIKE UNDERGROUND PIPE.)
- POTABLE WATER PIPES MUST BE MANUFACTURED IN ACCORDANCE WITH THE FOLLOWING AWWA SPECIFICATIONS:
 - DUCTILE IRON PIPE (3 INCHES TO 54 INCHES) - AWWA C150 AND AWWA C151;
 - PVC PIPE
 - AWWA C900/ASTM 1784 (1 INCH TO 12 INCHES) WITH CL200 MINIMUM;
 - AWWA C905 (14 INCHES TO 48 INCHES);

- ALL FIRE HYDRANTS THAT WILL BE INSTALLED UNDER THIS PROJECT AND THAT WILL HAVE UNPLUGGED, UNDERGROUND DRAINS WILL BE LOCATED AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, PIPELINE CONVEYING RECLAIMED WATER OR VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-10, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM."
- NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT WILL BE INSTALLED IN ACCORDANCE WITH APPLICABLE AWWA STANDARDS OR IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED PROCEDURES.
- A CONTINUOUS AND UNIFORM BEDDING WILL BE PROVIDED IN TRENCHES FOR UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT; BACKFILL MATERIAL WILL BE TAMPED IN LAYERS AROUND UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT AND TO A SUFFICIENT HEIGHT ABOVE THE PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE; AND UNSUITABLE SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA STANDARDS OR MANUFACTURERS' RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES WILL BE REMOVED FOR A DEPTH OF AT LEAST SIX INCHES BELOW THE BOTTOM OF UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT.
- ALL WATER MAIN TEES, BENDS, PLUGS, AND HYDRANTS INSTALLED UNDER THIS PROJECT WILL BE PROVIDED WITH THRUST BLOCKS OR RESTRAINED JOINTS TO PREVENT MOVEMENT.
- NEW OR ALTERED WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL BE CONSTRUCTED OF ASBESTOS-CEMENT OR POLYVINYL CHLORIDE PIPE WILL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C603 OR C605, RESPECTIVELY, AND ALL OTHER NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT WILL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C600.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT WILL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER (OR A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER IF THE BOTTOM OF THE WATER MAIN WILL BE LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER);

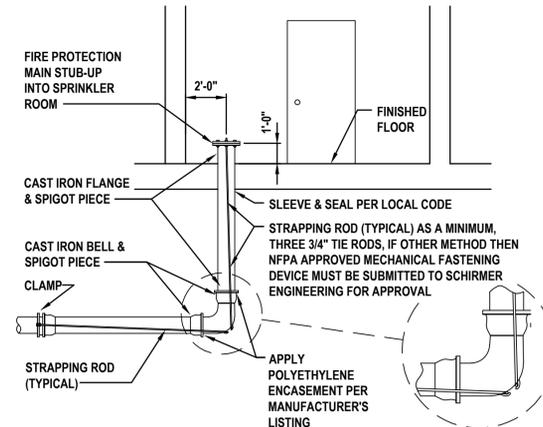
A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM."

- NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE; AND NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE.
- AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE WILL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE OR THE PIPES WILL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- IF CONNECTION OF THE PROPOSED ACTIVITY TO THE WATER MAIN WILL RESULT IN A DEPRESSURIZATION OF THE EXISTING SYSTEM BELOW 20 POUNDS PER SQUARE INCH, ONE OF THE FOLLOWING MUST OCCUR:
 - PRECAUTIONARY BOIL WATER NOTICES MUST BE ISSUED IN CASES OF PLANNED DISTRIBUTION INTERRUPTIONS, WHICH ARE DEEMED AN IMMINENT PUBLIC HEALTH THREAT BY THE DEP CENTRAL DISTRICT OR WILL AFFECT THE BACTERIOLOGICAL QUALITY OF THE DRINKING WATER UNLESS THE PUBLIC WATER SYSTEM CAN DEMONSTRATE, BY SOUND ENGINEERING JUDGMENT, THAT THE INTEGRITY OF THE WATER SYSTEM HAS BEEN MAINTAINED; OR
 - IN CASE OF BRIEF INTERRUPTION IN SERVICE, ADVISORIES (NOT BOIL WATER NOTICES) SHOULD BE ISSUED IF TEMPORARY CHANGES IN WATER QUALITY ARE EXPECTED TO OCCUR AND NOT DEEMED AN IMMINENT PUBLIC HEALTH RISK.



TYPICAL FIRE HYDRANT CLEARANCE REQUIREMENT

NOT TO SCALE



UNDERGROUND RESTRAINT DETAIL

NOT TO SCALE

FDEP WASTEWATER NOTES

- APPROPRIATE DEFLECTION TEST ARE SPECIFIED FOR ALL FLEXIBLE PIPE. TESTING IS REQUIRED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS TO PERMIT STABILIZATION OF THE SOIL-PIPE SYSTEM. TESTING REQUIREMENTS SPECIFY: 1) NO PIPE SHALL EXCEED A DEFLECTION OF 5%; 2) USING RIGID BALL OR MANDREL FOR THE DEFLECTION TEST WITH A DIAMETER NOT LESS THAN 95% OF THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE, DEPENDING ON WHICH IS SPECIFIED IN THE ASTM SPECIFICATIONS, INCLUDING THE APPENDIX, TO WHICH THE PIPE IS MANUFACTURE; AND 3) PERFORMING THE TEST WITHOUT MECHANICAL PULLING DEVICES.
- LEAKAGE TEST ARE SPECIFIED REQUIRING THAT: 1) THE LEAKAGE EXFILTRATION OR INFILTRATION DOES NOT EXCEED 200 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE SYSTEM; 2) EXFILTRATION OR INFILTRATION TEST BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET; AND 3) AIR TEST, AS A MINIMUM, CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM C-828 FOR CLAY PIPE, ASTM C 924 FOR CONCRETE PIPE, ASTM F-1417 FOR PLASTIC PIPE, AND OTHER MATERIAL APPROPRIATE TEST PROCEDURES.
- MANHOLE INSPECTION AND TESTING FOR WATERTIGHTNESS OR DAMAGE PRIOR TO PLACING INTO SERVICE ARE REQUIRED. AIR TESTING SPECIFIED FOR CONCRETE SEWER MANHOLES, SHALL CONFORM TO THE TEST PROCEDURES DESCRIBED IN ASTM C-1244.
- SUITABLE COUPLINGS COMPLYING WITH ASTM SPECIFICATIONS ARE REQUIRED FOR JOINING DISSIMILAR MATERIALS.
- CONCRETE MANHOLES SHALL HAVE THE FOLLOWING: 1) MANHOLE LIFT HOLES AND GRADE ADJUSTMENT RINGS SEALED WITH NON-SHRINK MORTAR OR OTHER APPROPRIATE MATERIAL; 2) INLET AND OUTLET PIPES BE JOINED TO THE MANHOLE WITH A GASKETED FLEXIBLE WATERTIGHT CONNECTION OR ANOTHER WATERTIGHT CONNECTION ARRANGEMENT THAT ALLOWS DIFFERENTIAL SETTLEMENT OF THE PIPE AND MANHOLE WALL; 3) WATERTIGHT MANHOLE COVERS BE USED WHEREVER THE TOPS MAY BE FLOODED BY STREET RUNOFF OR HIGH WATER.

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING AT CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORMWATER FORCE MAIN, RECLAIMED WATER (2)			
VACUUM SANITARY SEWER			
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN, RECLAIMED WATER (4)			
ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM	10 FT MINIMUM (3)		

- WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
- RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- 3 FT FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
- RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

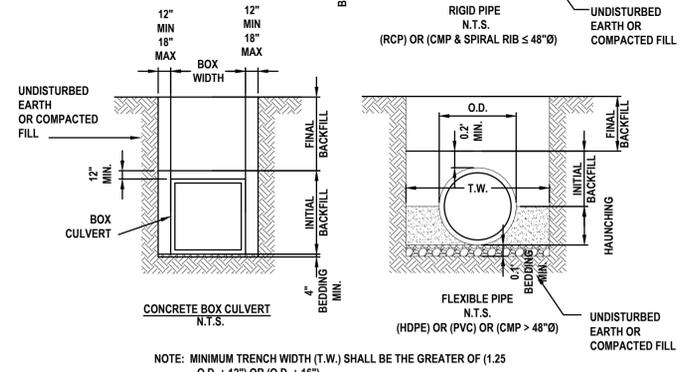
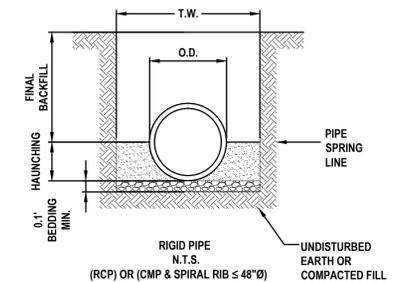
TABLE 1: CLASSES OF EMBEDMENT AND BACKFILL MATERIALS

ASTM D 2321 MATERIAL CLASS	ASTM D 2487 USCS SOIL GROUP	MATERIAL TYPE	% PASSING			ATTERBERG LIMITS	
			1 1/2 IN.	NO. 4	NO. 200	LL	PI
IA	NONE	MANUFACTURED OPEN GRADED AGGREGATES	100%	≤10%	<5%	NON PLASTIC	
IB	NONE	MANUFACTURED DENSE GRADED AGGREGATES	100%	≤50%	<5%	NON PLASTIC	
II	GW	COARSE-GRAINED SOILS, CLEAN	100%	<50% OF "COARSE FRACTION"	<5%	NON PLASTIC	
	GP						
	SP						
III	GM	COARSE-GRAINED SOILS W/ FINES	100%	<50% OF "COARSE FRACTION"	12% TO 50%	<4 OR <"A" LINE	
	GC					<7 OR >"A" LINE	
	SM					>4 OR <"A" LINE	
	SC					>7 OR >"A" LINE	
IV-A	ML	FINE-GRAINED SOILS	100%	100%	>50%	<4 OR <"A" LINE	
	CL					>7 OR >"A" LINE	

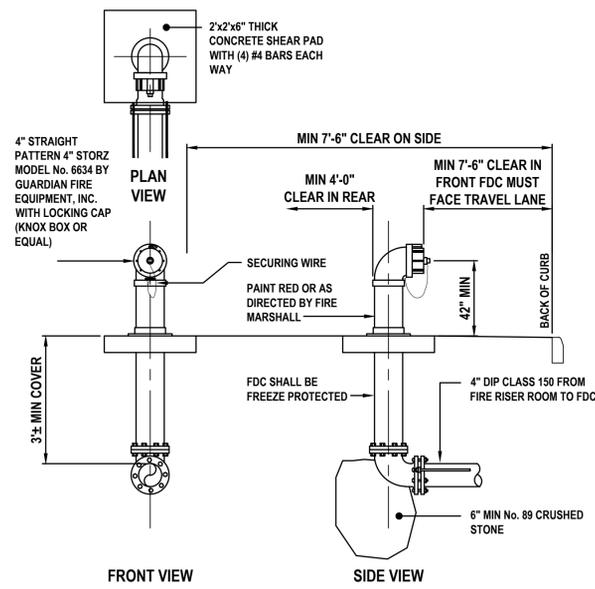
TRENCH AND BEDDING DETAILS

GENERAL NOTES

- BEDDING SHALL BE DUMPED CLASS I-A WORKED BY HAND, OR CLASS I-B COMPACTED TO 85% STANDARD PROCTOR, LOCAL CODE PERMITTING WITH GEOTECHNICAL ENGINEER AND OWNER APPROVAL. NATIVE SOIL MAY BE USED FOR BEDDING PROVIDED IT MEETS THE EMBEDMENT AND BACKFILL MATERIALS IN TABLE 1 EXCLUDING CLASS IV-A.
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A, OR CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR. PEA GRAVEL SHALL NOT BE USED AS A HAUNCHING MATERIAL. CLASS III MATERIAL SHALL BE ALLOWED FOR RIGID PIPE COMPACTED AT 95% STANDARD PROCTOR.
- INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 90% STANDARD PROCTOR, OR CLASS III COMPACTED 95% STANDARD PROCTOR. CLASS I & II MATERIAL SHALL BE USED FOR FLEXIBLE PIPE WHEN FILL HEIGHTS EXCEED 8'.
- FINAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 90% STANDARD PROCTOR, OR CLASS III COMPACTED TO 95% STANDARD PROCTOR.
- FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
- ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321. (SEE TABLE 1)
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES.
- DESIGN ENGINEER SHALL DESIGNATE ON THE PLANS WHERE WATERTIGHT JOINTS ARE TO BE REQUIRED.
- REPLACE WET OR UNSUITABLE SOIL AS NECESSARY TO PROVIDE A SUITABLE BASE, AS DIRECTED BY GEOTECHNICAL ENGINEER OR OWNER.
- WHERE GROUND WATER IS PRESENT CLASS I-A MATERIAL SHALL BE WRAPPED WITH A NON-WOVEN GEO-TEXTILE, EXCLUDING BEDDING MATERIAL BETWEEN 4" & 6" THICK.
- CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT FOR SOIL TYPE AND CLASSIFICATIONS FOR THIS PROJECT.
- CONTRACTOR SHALL REFER TO THE LATEST VERSION OF ASTM STANDARDS PRIOR TO CONSTRUCTION.



NOTE: MINIMUM TRENCH WIDTH (T.W.) SHALL BE THE GREATER OF (1.25 O.D. + 12") OR (O.D. + 16")

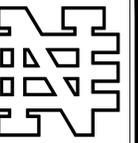


FDC (FREE STANDING) DETAIL

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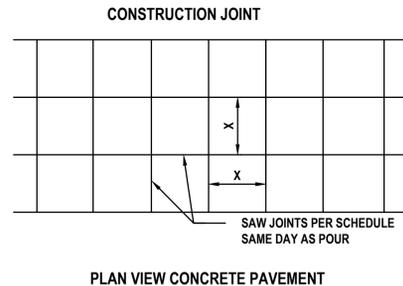
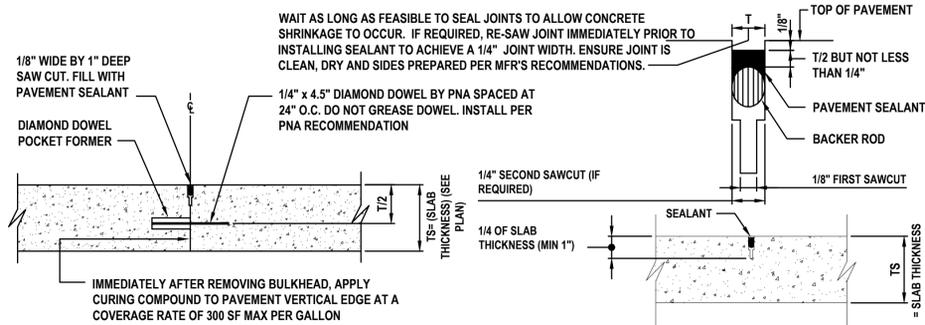
UTILITY DETAILS AND NOTES

CULVER'S
2303 SUN VISTA DRIVE
LUTZ, FLORIDA 33559

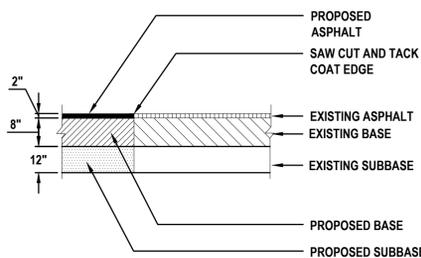


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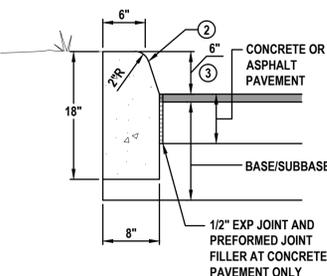
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CONCRETE PAVEMENT JOINT DETAILS
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PAVEMENT BUTT JOINT DETAIL
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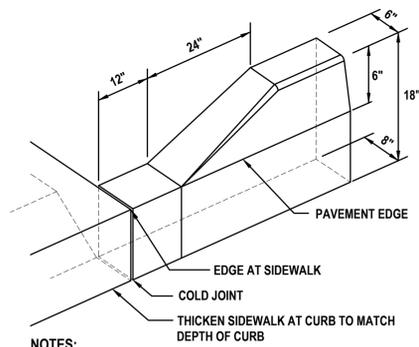


TYPE "D" CURB DETAIL
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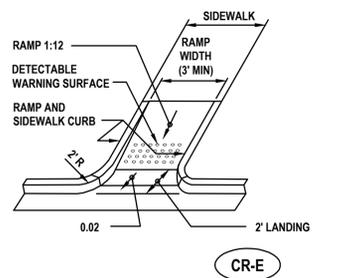
- WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT.
- PROVIDE CONTRACTION JOINTS @ 10' O.C. AND EXPANSION JOINTS @ 50' O.C. ALL JOINTS SEALED PER SPECIFICATIONS
- 6" HEIGHT SHALL BE UNIFORM, IF HEIGHT VARIES ± 1/2" THEN CURB WILL BE REPLACED AT THE DISCRETION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.

CURB CONSTRUCTION NOTES

- ALL CURBS TO BE CONSTRUCTED OF 28 DAY, 3000 P.S.I. CONCRETE.
- 1/2" PRE-MOLDED EXPANSION JOINT REQUIRED EVERY 50', CONSTRUCTION JOINT REQUIRED EVERY 10' MAXIMUM (4' MINIMUM).
- 1/2" PRE-MOLDED EXPANSION JOINT REQUIRED AT EACH SIDE OF ALL STORM INLET STRUCTURES AND AT ALL RADIUS POINTS.
- 6" SUBBASE TO BE COMPACTED AND TESTED TO 98% DENSITY BASED ON AASHTO T-180 MODIFIED PROCTOR TEST AND SHALL BE STABILIZED TO A MINIMUM L.B.R. 40.
- EXPANSION JOINT MATERIAL MUST COVER ENTIRE CROSS SECTION OF CURB. IN NO INSTANCE SHALL EXTRUDED CURBS (DEFINED AS HEADER-TYPE CURBS INSTALLED DIRECTLY ON TOP OF PAVEMENT) BE PERMITTED.

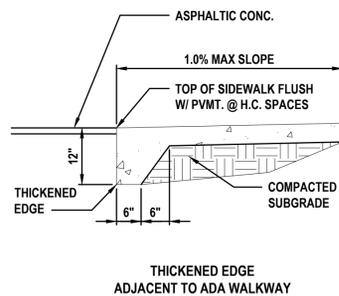
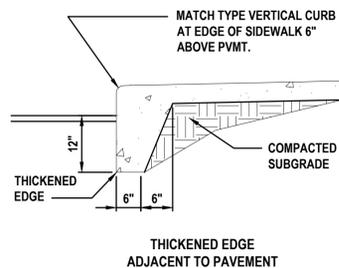


TYPE "D" CURB TERMINATION DETAIL
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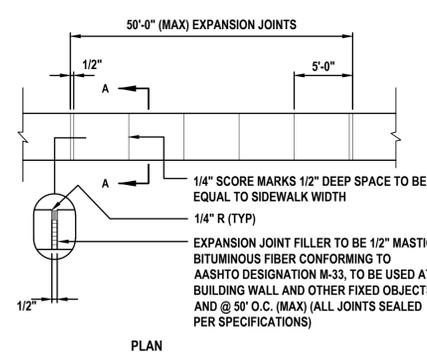
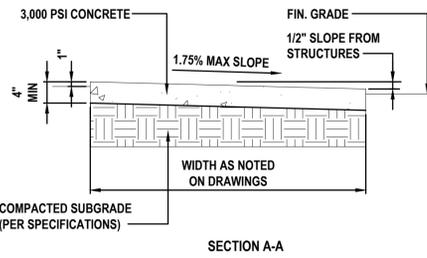


SIDEWALK CURB RAMP DETAIL
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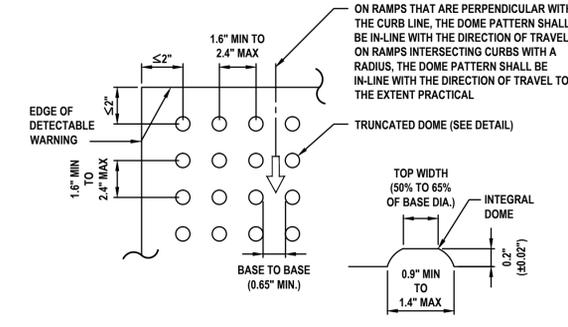
CONCRETE WALKS SHALL BE 4 INCHES THICK HAVING A 3,000 PSI STRENGTH @ 28 DAYS, CLASS I, POURED OVER PROPERLY PREPARED SUBGRADE. ALL CONCRETE SIDEWALKS SHALL BE 8 INCHES THICK ACROSS DRIVEWAYS. 1/2 INCH EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 50'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTERS.



SIDEWALK DETAILS
NOT TO SCALE

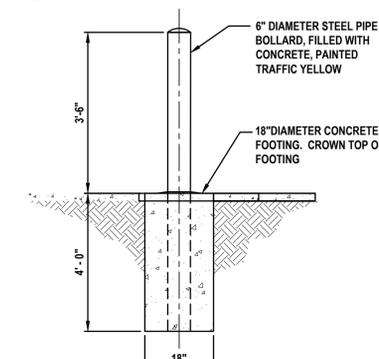


SIDEWALK DETAILS
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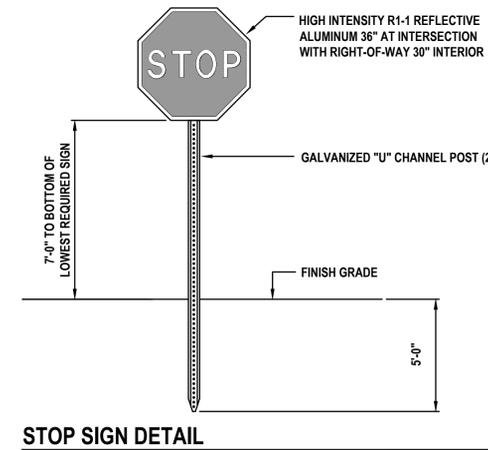


- NOTES:**
- CURB RAMP DETECTABLE WARNING SURFACES SHALL EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24" FROM THE BACK OF CURB. DETECTABLE WARNING SURFACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATION 527 (SEE DETAIL ABOVE). TRANSITION SLOPES SHALL NOT HAVE DETECTABLE WARNINGS.
 - DETECTABLE WARNING SURFACES SHALL BE SURFACE APPLIED PRODUCTS SUCH AS THOSE MANUFACTURED BY ARMOR TILE OR THEIR EQUAL. SURFACE COLOR SHALL BE YELLOW OR RED.
 - THE ACCEPTANCE CRITERIA FOR DETECTABLE WARNING ARE AS FOLLOWS:
 - THE RAMP DETECTABLE WARNING SURFACE SHALL BE COMPLETE AND UNIFORM IN COLOR AND TEXTURE.
 - 90% OF THE INDIVIDUAL DOMES MUST COMPLY WITH THE DESIGN CRITERIA.
 - THERE MAY BE NO MORE THAN 4 NON-COMPLYING DOMES IN ANY ONE SQUARE FOOT OF SURFACE.
 - NO TWO ADJACENT DOMES MAY BE NON-COMPLIANT.
 - SURFACE MAY NOT DEVIATE MORE THAN 0.1" FROM A TRUE PLANE.
 - SEE FDOT STANDARD INDEX 304, LATEST EDITION, FOR MORE DETAILS.

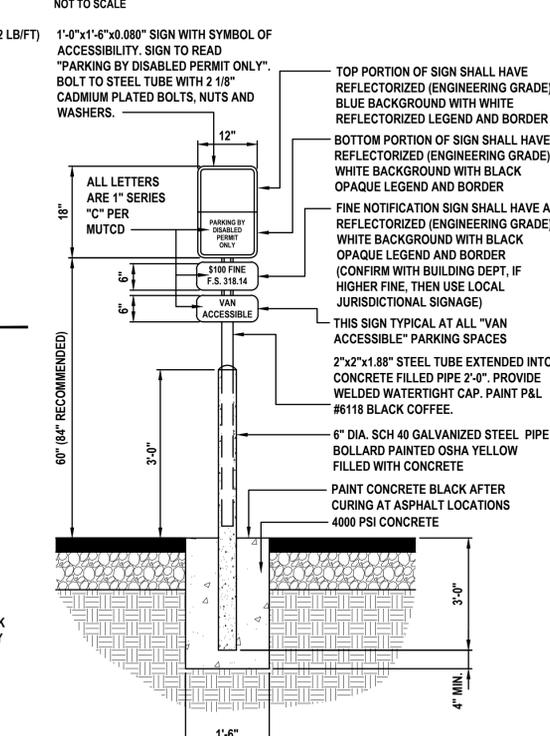
CURB RAMP DETECTABLE WARNING DETAIL
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BOLLARD DETAIL
NOT TO SCALE



STOP SIGN DETAIL
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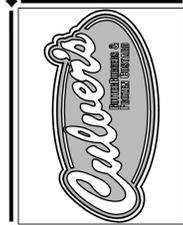
HANDICAP PARKING SIGN
NOT TO SCALE

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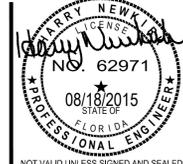
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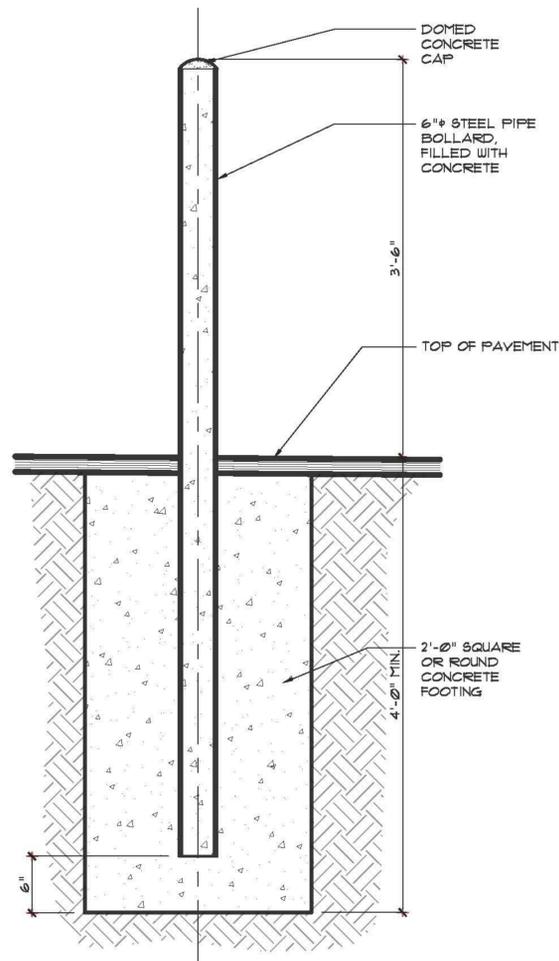
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MISCELLANEOUS DETAILS AND NOTES
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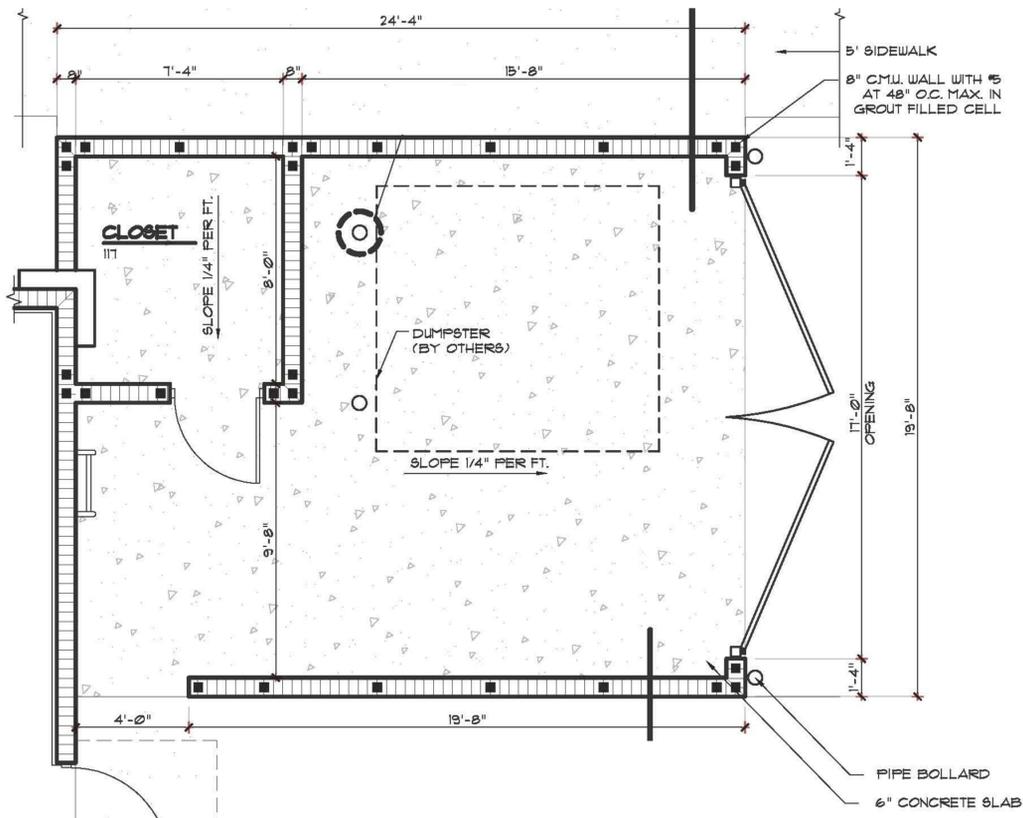
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DATE: MARCH 2015
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CHECKED BY: HHN

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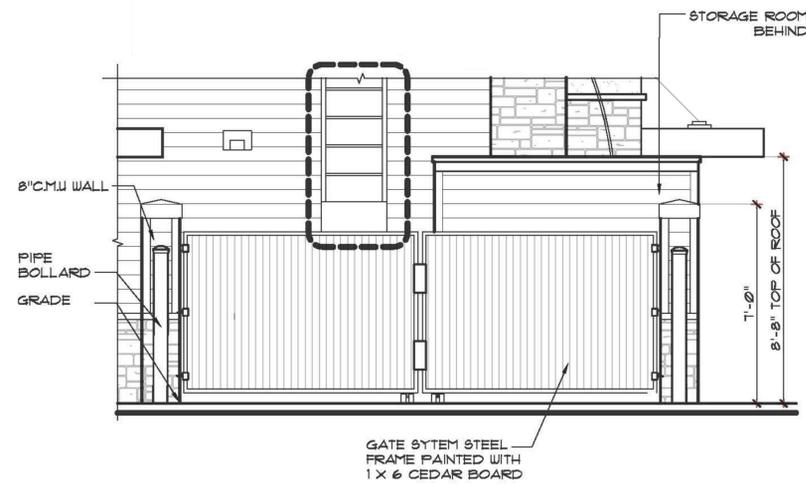
BOLLARD

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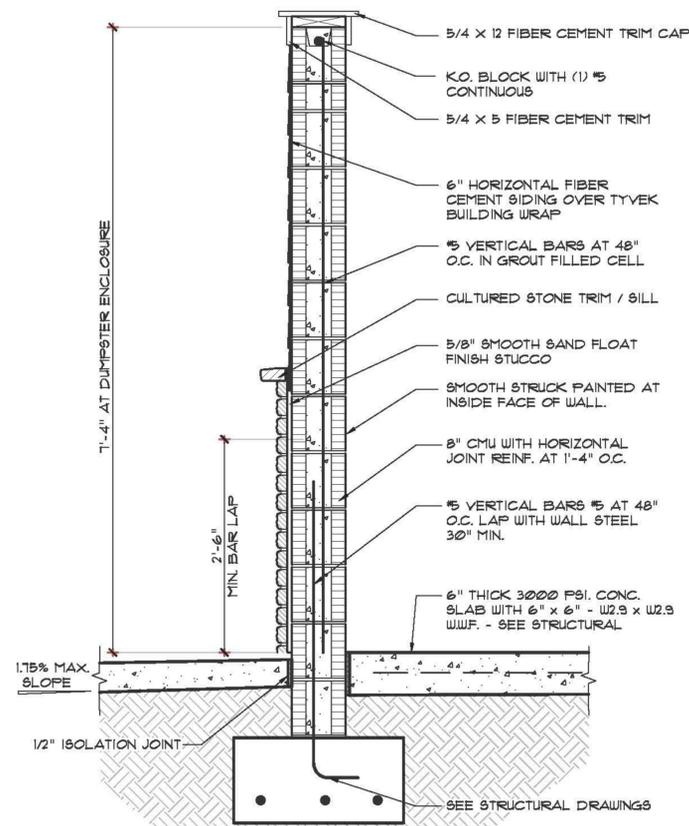
DUMPSTER ENCLOSURE PLAN

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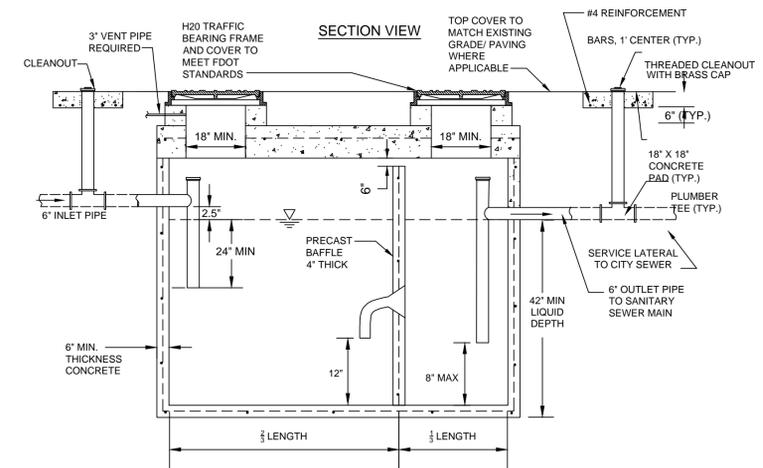
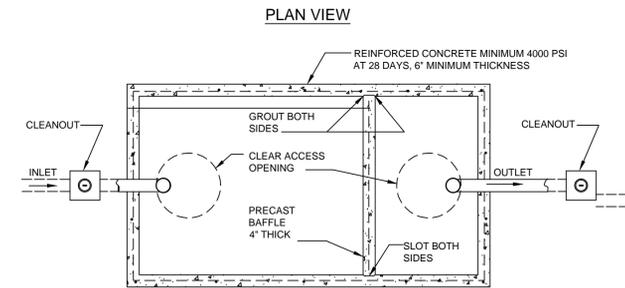
DUMPSTER ENCLOSURE ELEVATION

NOT TO SCALE



WALL SECTION AT DUMPSTER ENCLOSURE

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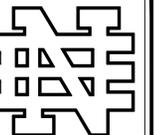
1. SIZE OF GREASE TRAP SHALL BE IN ACCORDANCE WITH FLORIDA PLUMBING CODE.
2. THE INTERCEPTOR SHALL BE CONSTRUCTED AND APPROVED IN ACCORDANCE TO RULE 64E-6 OF FLORIDA ADMINISTRATIVE CODE.
3. SHOP DRAWINGS FOR GREASE INTERCEPTOR SHALL BE SUBMITTED TO CITY OF PORT ORANGE TO VERIFY COMPLIANCE WITH APPLICABLE CODES PRIOR TO FABRICATION.
4. GRAY WATER ONLY, BLACK WATER SHALL BE CARRIED BY SEPARATE SEWER.
5. GREASE TRAP SHALL BE WATER AND GAS TIGHT.
6. LOADS: H-20 TRUCK WHEELS WITH 30% IMPACT PER AASHTO. TRAFFIC BEARING FRAME AND COVERS TO MEET FDOT STANDARDS IF APPLICABLE.
7. BAFFLED, CONCRETE TANK IS REQUIRED.
8. 3" VENT PIPE TO BUILDING REQUIRED PER SECTION 1003.9 OF FBPC.

GREASE INTERCEPTOR DETAIL

NOT TO SCALE

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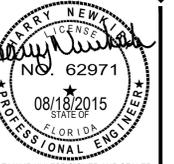
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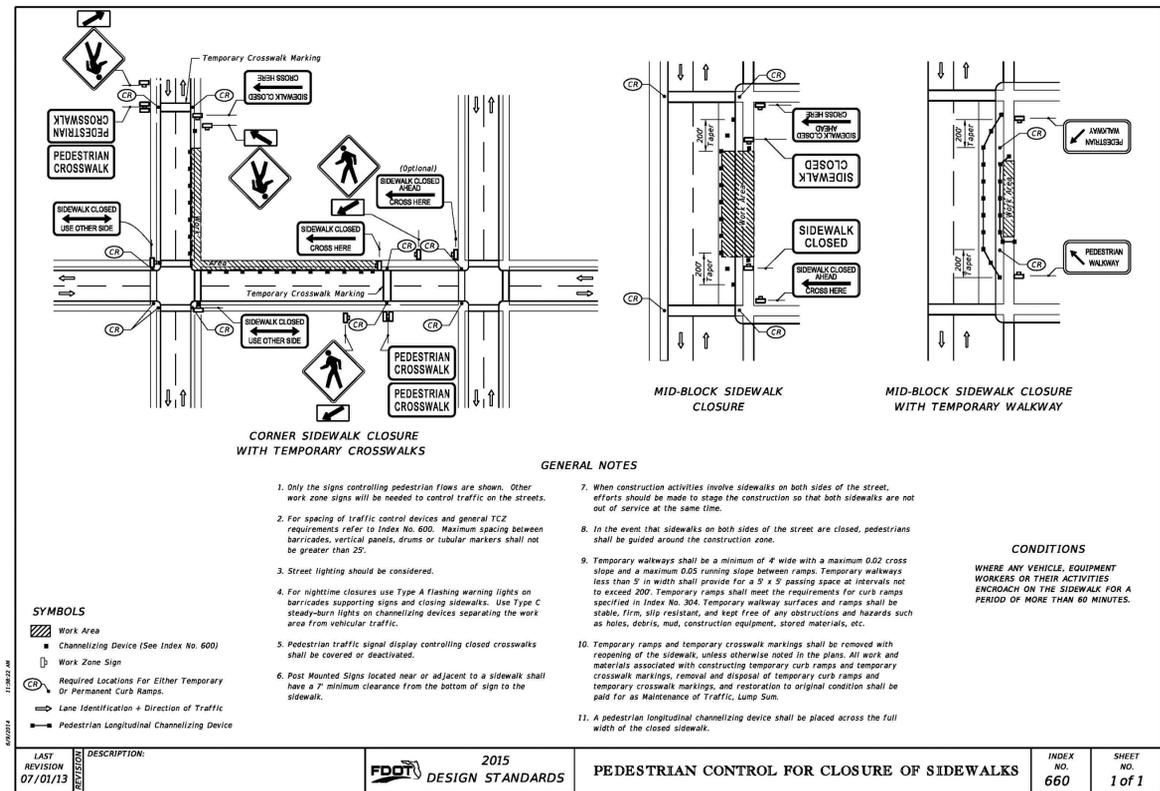
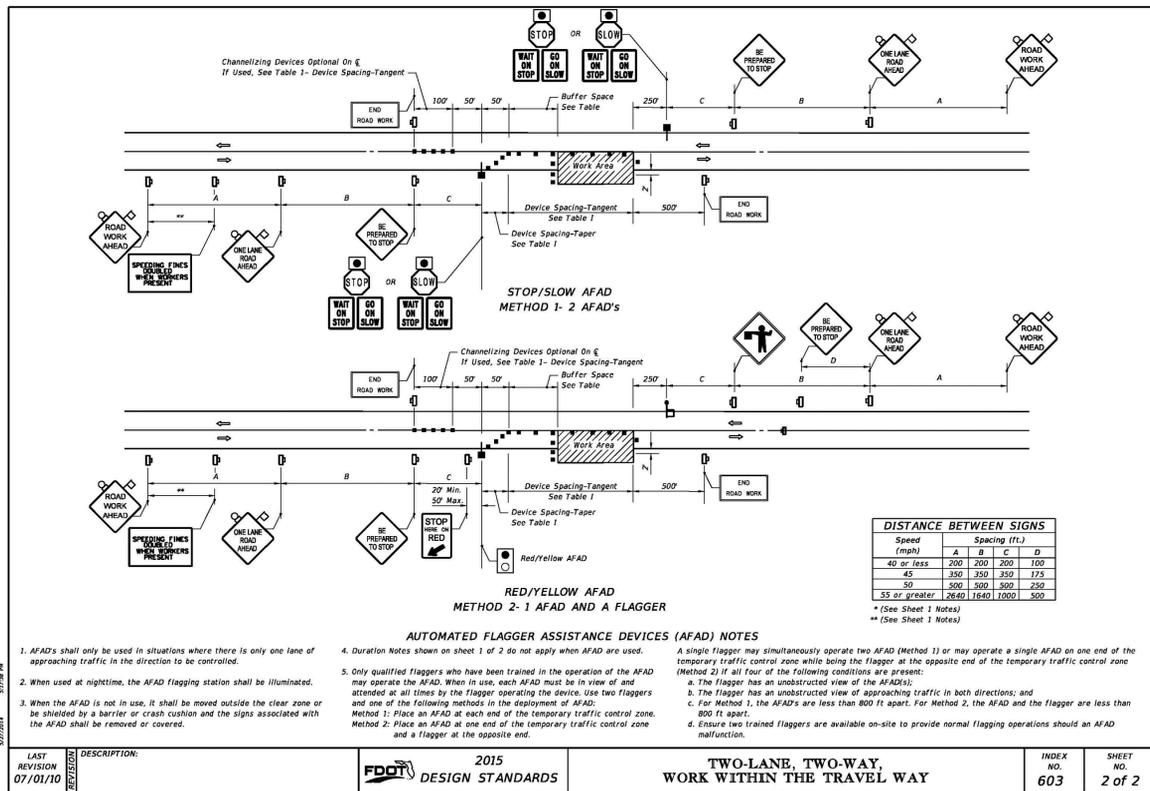
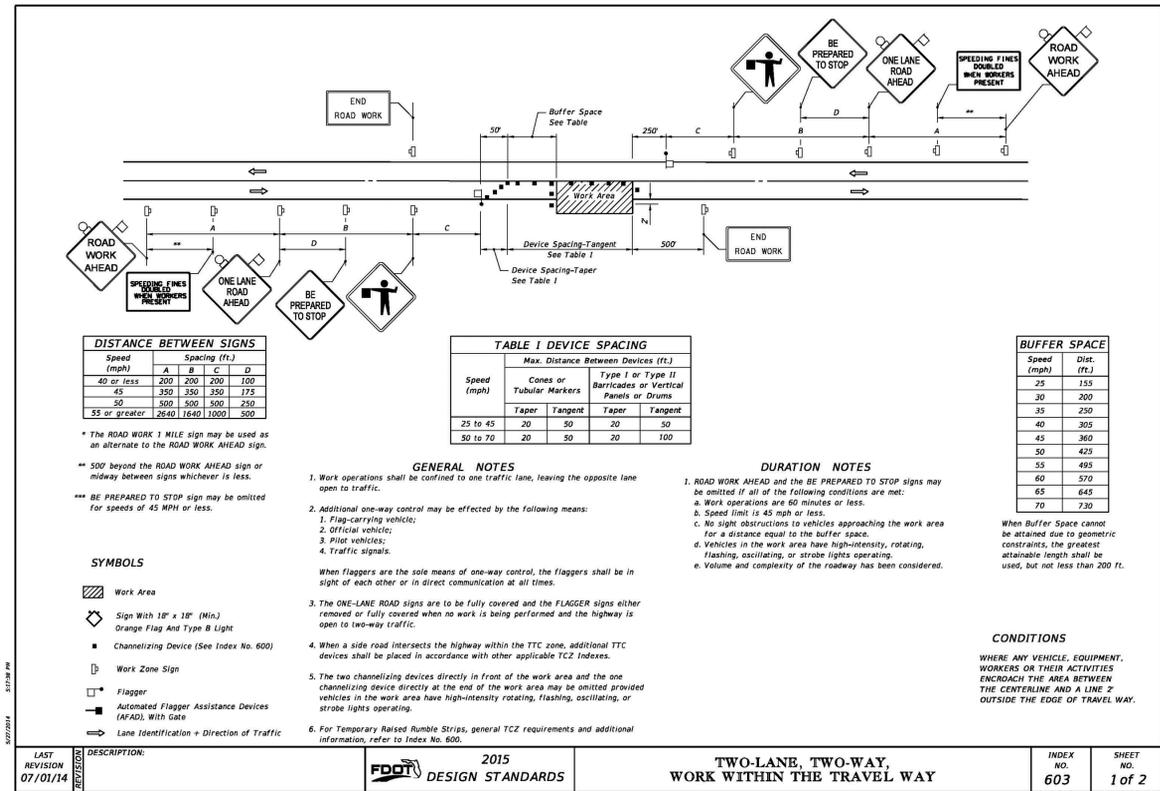
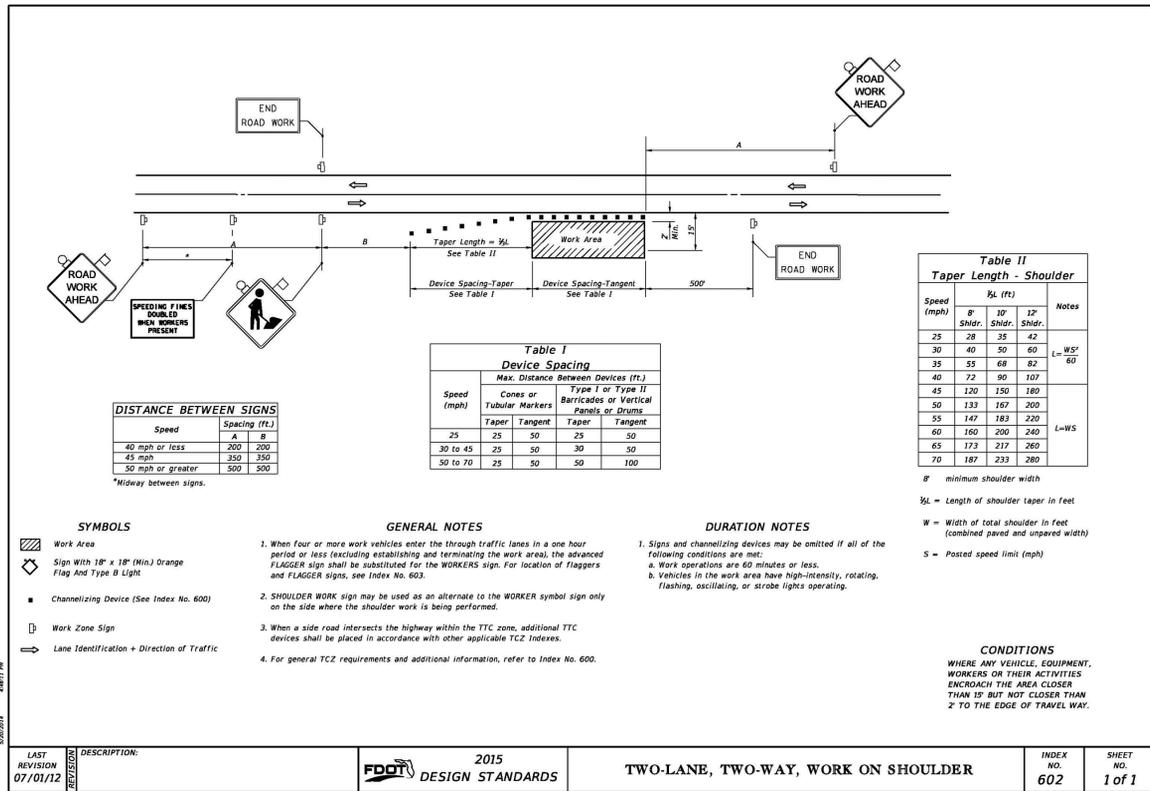
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DRAWN BY: DAB

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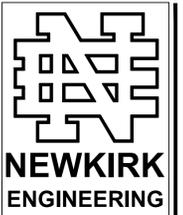
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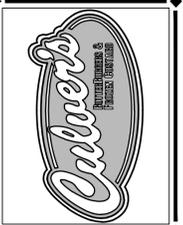


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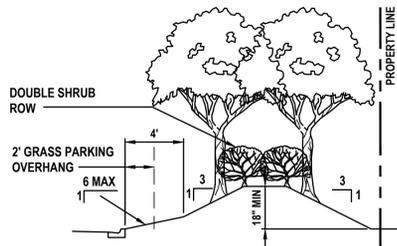
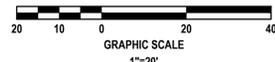
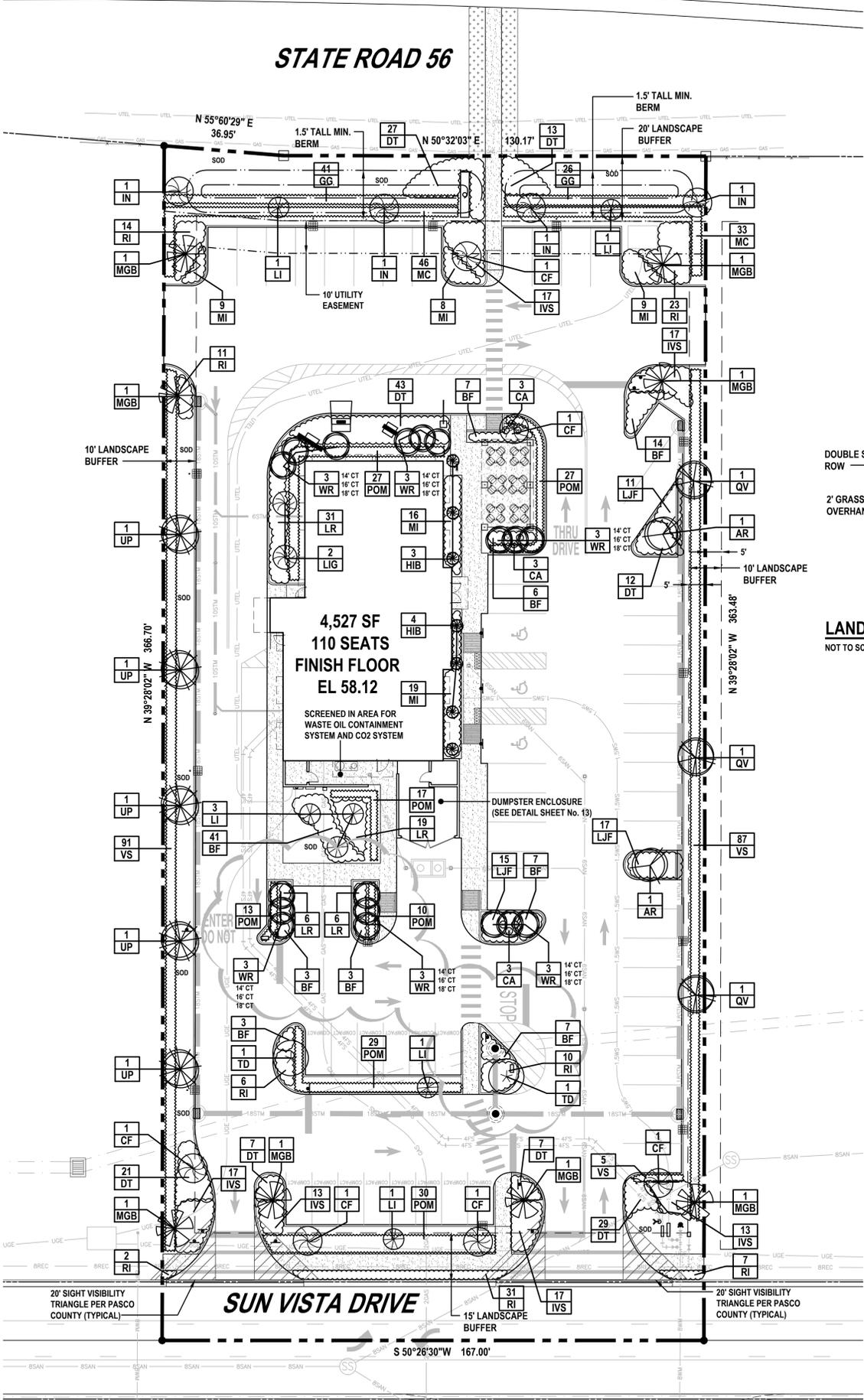
MAINTENANCE OF TRAFFIC
CULVER'S
2303 SUN VISTA DRIVE
LUTZ, FLORIDA 33559



PROJECT No: 2015-08
DATE: MARCH 2015
DESIGN BY: HHN
DRAWN BY: DAB
CHECKED BY: HHN
SCALE:
DRAWING NUMBER

15

STATE ROAD 56



LANDSCAPE BUFFER BERM DETAIL
NOT TO SCALE

BUFFER CALCULATIONS:

STATE ROAD 56 (NORTH PROPERTY LINE): 20' FT WIDE TYPE D BUFFER
 REQUIRED CANOPY: 167 FT x 1 TREE / 30 FT = 6 TREES (6 TREES PROVIDED)
 REQUIRED SHRUBS: DOUBLE ROW (DOUBLE ROW PROVIDED)

SUN VISTA DRIVE (SOUTH PROPERTY LINE): 10' WIDE TYPE A BUFFER
 REQUIRED CANOPY: 167 FT x 1 TREE / 60 FT = 3 TREES (3 PROVIDED)
 REQUIRED SHRUBS: SINGLE ROW (SINGLE ROW PROVIDED)

EAST PROPERTY LINE: 10' WIDE TYPE A BUFFER
 REQUIRED CANOPY: 363.5 FT x 1 TREE / 60 FT = 6 TREES (3 PROVIDED FOR SHARED BUFFER)
 REQUIRED SHRUBS: SINGLE ROW (SINGLE ROW PROVIDED)

WEST PROPERTY LINE: 10' WIDE TYPE A BUFFER
 CANOPY: 366.7 FT x 1 TREE / 60 FT = 7 TREES (7 PROVIDED)
 REQUIRED SHRUBS: SINGLE ROW (SINGLE ROW PROVIDED)

INTERNAL LANDSCAPE REQUIREMENTS:

TOTAL VEHICULAR USE AREA = 33,150 SF
 INTERNAL LANDSCAPE AREA REQUIRED = 33,150 x 0.10 = 3,315 SF
 INTERNAL LANDSCAPE AREA PROVIDED = 3,684 SF

INTERNAL LANDSCAPE AREA TREE REQUIREMENT:

3,684 SF @ 1 TREE PER 200 SF = 3,684 / 200 = 19 TREES REQUIRED
 = 19 TREES PROVIDED

BUILDING LANDSCAPING CALCULATIONS:

TOTAL BUILDING AREA = 4,527 SF
 REQUIRED PERIMETER LANDSCAPE AREA = 4,527 x .10 = 426 SF
 PROVIDED PERIMETER LANDSCAPE AREA = 2,124 SF

TOTAL BUILDING PERIMETER = 296.0 FT
 REQUIRED BUILDING PERIMETER WITH LANDSCAPING = 296 x 0.50 = 148.0 FT (50.0%)
 PROVIDED BUILDING PERIMETER WITH LANDSCAPING = 197.0 FT (66.5%)

NATIVE SHRUB AND G.C. REQUIREMENT:

NATIVE SHRUB AND GROUND COVER REQUIRED = 30% MINIMUM
 817 NATIVE / 1,112 TOTAL x 100% = 73.5%

DROUGHT TOLERANT SHRUB & G.C. REQUIREMENT:

DROUGHT TOLERANT SPECIES REQUIRED = 50% MINIMUM
 973 DROUGHT TOLERANT / 1,112 TOTAL x 100% = 87.5%

GRASSED AREA REQUIREMENT:

MAXIMUM AREA OF REQUIRED LANDSCAPE AREA GRASSED = 30%
 AREA OF REQUIRED LANDSCAPE AREA GRASSED = 4,399 SF / 18,588 SF x 100% = 23.7%

PALM TREE REQUIREMENT:

PALM TREES MAY BE SUBSTITUTED FOR TREES UP TO 30% AT 3 PALMS / 1 TREE
 6 OF 45 TREE CREDITS ARE PALMS = 13.3%

TREES TO BE REPLACED:

EXISTING TREE	QUANTITY	TOTAL DBH
OTHER	0	0

PLANT LIST

CODE	NO.	SCIENTIFIC NAME	COMMON NAME	SIZE REQUIREMENTS	NATIVE FLORIDA?	DROUGHT TOLERANT?	MULTIPLE TRUNK?
TREES							
AR	2	ACER RUBRUM	RED MAPLE	8'-10', 2" CAL. @ DBH, FULL	YES	YES	NO
CF	6	CORNUS FLORIDA	FLOWERING DOGWOOD	8'-10', 2" CAL. @ DBH, FULL	YES	NO	NO
IN	4	ILEX X NELLIE R STEVENS	NELLIE STEVENS HOLLY	8'-10', 2" CAL. @ DBH, FULL	NO	YES	NO
LI	7	LAGERSTROEMIA INDICA	CRAPE MYRTLE (WHITE) STD.	8'-10' HGT., FULL, 3" CAL. @ DBH	NO	YES	YES
LIG	2	LIGUSTRUM JAPONICA	LIGUSTRUM TREE	8'-10' HGT., 6" SPR. MIN. 3 TRUNKS = 3" CAL. @ DBH	NO	YES	YES
MGB	8	MAGNOLIA GRANDIFOLIA	BRAKEN'S BROWN MAGNOLIA	8'-10' HGT., FULL, 2" CAL. @ DBH	YES	YES	NO
QV	3	QUERCUS VIRGINIANA 'CATHEDRAL'	CATHEDRAL LIVE OAK	8'-10' HGT., FULL, 2" CAL. @ DBH	YES	YES	NO
TD	2	TAXODIUM DISTICHUM	BALD CYPRESS	8'-10' HGT., FULL, 2" CAL. @ DBH	YES	YES	NO
UP	5	ULMUS PARVIFOLIA	DRAKE ELM	8'-10' HGT., FULL, 2" CAL. @ DBH	NO	NO	NO
WR	18	WASHINGTONIA ROBUSTA	WASHINGTONIA PALM	14' C.T. - 18' C.T. (SEE PLAN)	NO	YES	NO
SUBTOTAL	57	39 TREES + 18 PALMS @ 3 PER TREE CREDIT = 45 TOTAL TREE CREDITS			21 YES / 36 NO	46 YES / 11 NO	
SHRUBS							
CA	9	CRINIUM SSP	CRINIUM LILLY	10 GAL., 36" HGT., FULL	YES	NO	
GG	67	GALPHIMIA GLAUCA	THYRALLIS	3 GAL., 24" HGT., FULL, 30" O.C.	YES	YES	
HIB	7	HIBISCUS SSP	YELLOW HIBISCUS	6" HGT., DOUBLE BALLED	NO	YES	
IVS	94	ILEX VOMITORIA NANA	DWARF YOPON HOLLY	3 GAL., 18" HGT., FULL	YES	NO	
LJF	43	LIGUSTRUM SSP.	JACK FROST LIGUSTRUM	3 GAL., 18" HGT., 30" O.C.	NO	YES	
LR	62	LOROPETALUM CHINENSE RUBRUM	RUBY LOROPETALUM	3 GAL., 18" HGT., FULL, 30" O.C.	NO	NO	
POM	153	PODOCARPUS MACROPHYLLUS	YEW PODOCARPUS	3 GAL., 30" HGT., FULL, 30" O.C.	YES	YES	
RI	104	RAPHIOLEPIS INDICA	INDIAN HAWTHORNE	3 GAL., 18" HGT., FULL	YES	YES	
VS	183	VIBURNUM SUSPENSUM	SANDANKWA	3 GAL., 30" HGT., 30" O.C.	NO	YES	
SUBTOTAL	722				427 YES / 295 NO	644 YES / 78 NO	
GROUND COVER (G.C.)							
BF	91	BULBINE FRUTESCENS	BULBINE	1 GAL., 14" HGT., FULL	YES	YES	
DT	159	DIANELLA TASMANICA	BLUEBERRY FLAX LILLY	1 GAL., 14" HGT., FULL	YES	YES	
MC	79	MULLENBERGIA CAPILLARIS	PINK MUHLY GRASS	3 GAL., 24" HGT., FULL, 30" O.C.	YES	YES	
MI	61	DIETES IRIDIODES	AFRICAN IRIS	1 GAL., 14" HGT., FULL	YES	NO	
SUBTOTAL	390				390 YES / 0 NO	329 YES / 61 NO	
TOTAL	1169	TOTALS SHRUBS AND GROUND COVER ONLY (1,112 OVERALL)			838 YES / 331 NO	1,019 YES / 150 NO	

NOTE:
 1. ALL TREES (NEW AND EXISTING) ARE TO HAVE A 3" DIAMETER MULCHED CIRCLE AROUND THE BASE UNLESS IT IS IN A PLANTING BED.

LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS FOR FLORIDA #1 OR BETTER AS DESCRIBED IN THE CURRENT "GRADES AND STANDARDS FOR NURSERY PLANTS", STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, TALLAHASSEE, OR THEIR EQUAL AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- ANY PLANT MATERIALS OF WHATSOEVER TYPE AND KIND REQUIRED BY THESE REGULATIONS SHALL BE REPLACED WITHIN THIRTY (30) DAYS OF THEIR DEMISE AND/OR REMOVAL.
- CWC REAL PROPERTIES, LLC. SHALL BE RESPONSIBLE TO PERFORM LANDSCAPE MAINTENANCE. MAINTENANCE TO INCLUDE: MOWING, EDGING AND TRIMMING OF GRASS AREAS; CONTROLLING WEEDS, INSECT PEST AND DISEASES IN GRASS AREAS; MAINTAINING FLOWERS, SHRUBS AND TREES; MAINTAINING IRRIGATION SYSTEMS.
- ALL MULCH SHALL BE ALL NATURAL WOOD (NO CYPRESS). SOD SPECIFIED AS ST. AUGUSTINE "FLORTAM" SHALL BE 35% WEED-FREE. SOD SPECIFIED AS BAHIA SHALL BE 85% WEED-FREE. ALL SOD SHALL BE INSTALLED WITH TIGHT JOINTS, ROLLED AND FERTILIZED.
- SEED, IF ANY, TO MEET SOUTHERN SEED CERTIFICATION ASSOCIATION.
- ALL DIMENSIONS SHALL BE FIELD-CHECKED BY THE LANDSCAPE CONTRACTOR PRIOR TO CONSTRUCTION, WITH ANY DISCREPANCIES REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
- THE PLANT MATERIALS SCHEDULE IS PROVIDED FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR; SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN WILL PREVAIL.
- ALL MATERIALS MUST AS SPECIFIED ON THE LANDSCAPE PLAN. IF MATERIALS OR LABOR DO NOT ADHERE TO THE SPECIFICATIONS, THEY WILL BE REJECTED AT NO ADDITIONAL COST TO THE OWNER.
- ALL PLANTING BEDS SHALL BE TREATED WITH 'ROUND-UP' AND 'RONSTAR'. USE AS DIRECTED BY MANUFACTURERS.
- NO SUBSTITUTIONS OR CHANGES OF ANY KIND WILL BE ALLOWED AT THE TIME OF BIDDING SO AS TO PROVIDE FOR FAIR COMPARISON.
- EXISTING IRRIGATION SYSTEM SHALL BE REVAMPED TO PROVIDE 100% COVERAGE.
- THE CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND CONDITIONS PRIOR TO HIS COMMENCEMENT OF THE ANY WORK.
- ALL BUILDING MATERIALS AND LABOR SHALL CONFORM TO THE SOUTHERN BUILDING CODE AND ALSO TO ALL LOCAL CODES THAT HAVE JURISDICTION.
- ALL PERMIT AND VARIANCE APPLICATIONS SHALL BE MADE BY THE CONTRACTOR.
- PRIOR TO CONSTRUCTION OF PLANTING BEDS, ALL AREAS ARE TO HAVE SOIL TESTS CONDUCTED TO DETERMINE PH AND SOIL FERTILITY. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO AMEND THE SOIL TO MEET ADEQUATE FERTILITY AND PH FOR CORRESPONDING PLANT MATERIAL. ALL TEST RESULTS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT.
- EQUIPMENT SHALL BE OPERATED IN A MANNER AS NOT TO INJURE OR DESTROY ANY TREES EXISTING ON THE PROPERTY. CONTRACTOR SHALL NOT CAUSE OR ALLOW THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE DRIP LINE OF ANY TREE OR GROUPS OF TREES TO BE RETAINED OR THOSE PROPOSED. NOR SHALL THE CONTRACTOR ALLOW THE DISPOSAL OF WASTE MATERIAL, SUCH AS PAINT, OIL SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE DRIP LINE OF ANY TREE OR GROUP OF TREES. NO ATTACHMENT, WIRES (OTHER THAN PROTECTIVE GUY WIRES), SIGNS, OR PERMITS MAY BE FASTENED TO A TREE.
- ALL EXISTING TREES CREDITED TOWARDS REQUIRED BUFFERS OR LANDSCAPE REQUIREMENTS REMOVED FOR ANY REASON SHALL BE REPLACED WITH TREES MEETING CITY APPROVAL WITH REGARDS TO SPECIES AND SIZE.
- ALL QUESTIONS CONCERNING THE PLAN AND/OR SPECIFICATIONS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT (386) 672-9515.
- ALL SHADE TREES AND SINGLE TRUNK UNDERSTORY TREES SHALL BE STAKED USING ARBORGUY STAKING SYSTEM FOR SINGLE STEM TREE AND ALL MULTI-TRUNK UNDERSTORY TREES SHALL BE STAKED WITH ARBORGUY MULTI-TRUNK SYSTEM.
- ANY CHANGE IN STAKING SYSTEM MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT BEFORE BEING INSTALLED.
- ALL UNIMPROVED AREA NOT OTHERWISE PLANTED OR MULCHED SHALL BE SODDED WITH ST. AUGUSTINE FLORTAM UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN.
- PLANT MATERIAL SHALL BE CLEARLY IDENTIFIED AS FLORIDA #1 OR BETTER ON EITHER LABELS OR INVOICES.
- ALL PLANT MATERIAL SHALL BE GUARANTEED ONE YEAR AFTER ACCEPTANCE BY OWNER.
- ALL TREES IN SOD TO BE IN A (4) FOOT MINIMUM-MULCHED RING AROUND.
- TREES SHALL BE PLANTED SO THAT THE TRUNK FLARE IS EXPOSED AND TOPMOST ROOT IN THE ROOTBALL ORIGINATING FROM THE TRUNK IS AT SOIL SURFACE OR WITHIN THE TOP INCH OF SOIL ON THE ROOTBALL.
- ALL PLANT SPECIFICATIONS MUST BE MET OR EXCEEDED.
- PLANT TREE SO THAT ROOTBALL IS 1" 2" ABOVE FINISH GRADE.
- REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASS, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED AND A MINIMUM OF 3" OF CLEAN SAND WITH A pH 5.5-6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS OR TREES.
- FOR ALL NEW DEVELOPMENT, OR REDEVELOPMENT OF EXISTING PROPERTY, THE APPLICANT SHALL BE REQUIRED TO REMOVE ALL INVASIVE NONNATIVE PLANT SPECIES FROM THE PROPERTY PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- ALL EXISTING TREES AND PALMS WILL BE PROPERLY PRUNED AND CLEANED OF DEADWOOD, BROKEN BRANCHES, DEAD FROND AND VINES AS NEEDED.

TREE PRUNING NOTE:

REMOVE ALL EXISTING UNDERBUSH AND GROUND COVERS WITHIN LANDSCAPE BUFFERS. PRUNE ALL TREES TO REMAIN IN ACCORDANCE WITH ANSI A 300 PRUNING STANDARDS AS PERFORMED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) OR A REGISTERED CONSULTING ARBORIST WITH THE AMERICAN SOCIETY OF CONSULTING ARBORISTS (ASCA).

LANDSCAPE CERTIFICATION

- A REGISTERED LANDSCAPE ARCHITECT OR OTHER PERSON AS AUTHORIZED BY CHAPTER 481, FLORIDA STATUTES, AS AMENDED, OR OTHER TYPE OF PROFESSIONAL AS APPROVED BY THE COUNTY ADMINISTRATOR OR DESIGNEE, SHALL CONDUCT A FINAL FIELD INSPECTION. A CERTIFICATE OF COMPLIANCE WITH THE REQUIREMENTS OF THIS SECTION SHALL BE PROVIDED TO THE COUNTY AND THE PROPERTY OWNER PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY (CO). IF THE PROPERTY OWNER INSTALLS THE LANDSCAPING AND IRRIGATION, THE OWNER SHALL ACT AS THE CERTIFYING AGENT.
- INSTALLATION PRIOR TO CO. PRIOR TO ISSUANCE OF ANY CO, OR WHERE NO CO IS REQUIRED, PRIOR TO FINAL INSPECTION OR THE USE OF THE LOT, ALL REQUIRED LANDSCAPING SHALL BE INSTALLED AND IN PLACE AS SET OUT IN THE APPROVED LANDSCAPE PLAN. IN CASES WHERE TIMELY INSTALLATION OF LANDSCAPING IS NOT PRACTICABLE DUE TO THE SEASON OR SHORTAGE, AS DETERMINED BY THE COUNTY ADMINISTRATOR OR DESIGNEE, A BOND SATISFACTORY TO THE ENGINEERING SERVICES DEPARTMENT SHALL BE POSTED UNTIL THE PLANTING OCCURS.

LEGEND

- ST. AUGUSTINE SOD
- BAHIA SOD
- 35 QUANTITY OF PLANTS
- RI PLANT CODE (SEE SCHEDULE)



REVISIONS

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6/12/15	COUNTY COMMENTS
7/24/15	COUNTY COMMENTS
8/18/15	COUNTY COMMENTS

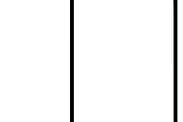


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 390 GATEWOOD COURT - ORMOND BEACH, FLORIDA 32174
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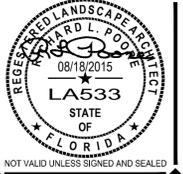


LANDSCAPE PLAN
CULVER'S
 2303 SUN VISTA DRIVE
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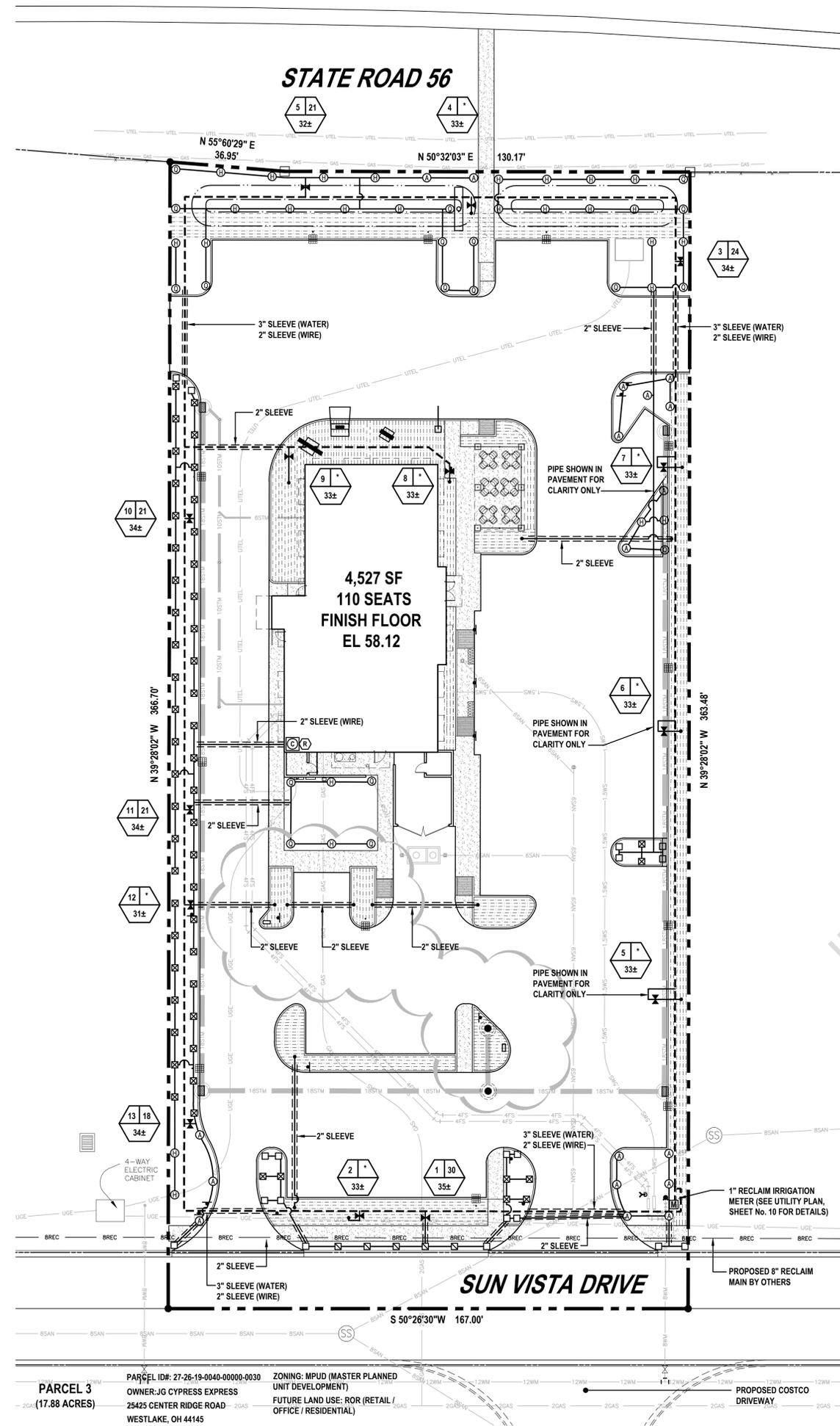
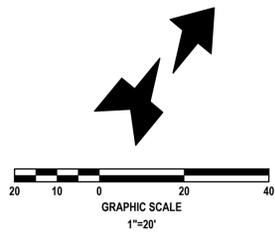
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16

PARCEL 3
 (17.88 ACRES)
 PARCEL ID#: 27-26-19-0040-0000-0030
 OWNER: JG CYPRESS EXPRESS
 25425 CENTER RIDGE ROAD
 WESTLAKE, OH 44145
 ZONING: MPUD (MASTER PLANNED UNIT DEVELOPMENT)
 FUTURE LAND USE: ROR (RETAIL / OFFICE / RESIDENTIAL)
 PROPOSED COSTCO DRIVEWAY



GENERAL NOTES:

1. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE COUNTY WATER WISE ORDINANCE REQUIREMENTS. THE IRRIGATION CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF THERE ARE ANY DEVIATIONS TO THE DRAWING.
2. IRRIGATION LINES ARE SHOWN DIAGRAMMATICALLY AND ARE INTENDED TO SHOW DISTRIBUTION ZONES ONLY. ALL VALVES SHALL BE LOCATED WITHIN PLANTING AREAS (NOT WITHIN PAVEMENT). LINES LOCATED UNDER PAVEMENT SHALL BE KEPT TO A MINIMUM AND ALL PIPING UNDER PAVED AREAS SHALL BE SLEEVED.
3. WHEN INSTALLING IRRIGATION PIPING IN ISLAND AND OTHER NARROW PLANTING AREAS RUN PIPING CLOSE TO CURB AND NOT DOWN THE MIDDLE OF THE PLANTING AREA. (BEFORE DOING IRRIGATION GET A COPY OF THE LANDSCAPE PLAN AND KEEP IRRIGATION LINES OUT OF PLANTING AREAS WHERE POSSIBLE.)
4. NO SIGNIFICANT IRRIGATION OVERTHROW SHALL BE ALLOWED ONTO IMPERVIOUS SURFACES.
5. 25% OF IRRIGATION IS LOW VOLUME.

IRRIGATION NOTES:

1. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL EXISTING UTILITIES AND CONDITIONS PRIOR TO ITS COMMENCEMENT OF THE IRRIGATION WORK.
2. CHECK PRESSURE AND CPM OF WATER SUPPLY BEFORE BEGINNING JOB AND REPORT FINDING TO LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT WILL MAKE ANY ADJUSTMENT NECESSARY TO MAKE SYSTEM WORK AT ITS BEST.
3. THE PLAN IS SCHEMATIC ONLY. THE CONTRACTOR SHALL INSTALL PIPING IN A MINIMUM NUMBER OF TRENCHES AND SHALL INSTALL PIPE IN A MINIMUM LENGTH.
4. QUANTITIES FOR IRRIGATION MATERIALS ARE NOT GIVEN. THE CONTRACTOR SHALL DETERMINE THIS FROM THE PLAN.
5. INSTALL SLEEVE PIPING WHERE SHOWN ON THE DRAWINGS AT THE PROPER DEPTH.
6. ALL SLEEVE PIPE SHALL BE SCHEDULE 40 PVC PIPE INSTALLED A MINIMUM OF 20" BELOW FINISHED PAVING GRADES.
7. ALL SLEEVES WHEN PLACED IN FIELD ARE TO BE LOCATED BY A METAL PIPE AT EACH END AND LOCATED FROM TWO STATIONARY POINTS BY TAPE MEASUREMENTS.
8. ALL PIPE SHALL BE INSTALLED A MINIMUM OF 20" BELOW GRADE.
9. ALL TRENCHING SHALL BE KEPT OUT OF THE DRIP LINE AREA OF ALL EXISTING TREES. USE RADIAL LINES OR TUNNELING WHEN NECESSARY TO ENCR OACH INTO THE DRIP LINE AREA OF TREES.
10. LOCATE ALL VALVES AND OTHER IRRIGATION EQUIPMENT IN PLANT BED AREAS WITHIN THE PROJECT LIMITS FOR CONCEALMENT PURPOSES.
11. RISERS ARE TO BE HIDDEN COMPLETELY IN SHRUBBERY OR PAINTED BLACK AND IN NO CASE BE HIGHER THAN THE SHRUBBERY INSTALLED.
12. ALL PIPE EXPOSED ABOVE GRADE AND TO VIEW SHALL BE SCHEDULE 40 GALVANIZED STEEL PIPE OF THE NOTED SIZE.
13. ALL IRRIGATION EQUIPMENT (PUMP, CONTROLLER, ETC.) SHALL BE PLACED WITHIN FENCED ENCLOSURE.
14. ALL VALVES SHALL BE INSTALLED IN METER TYPE SIZE BOXES EQUAL TO AMETEK POLY-IRON.
15. PROVIDE A 6" GRAVEL SUMP AT THE BOTTOM OF ALL METER BOXES AND INSTALL 1/2" TO 1" DIAMETER GRAVEL AT THE BOTTOM OF THE VALVE PIT.
16. IRRIGATION SHALL MEET ALL APPLICABLE CURRENT MUNICIPAL, COUNTY, STATE OR FEDERAL CODES, ORDINANCES AND REGULATIONS THAT HAVE JURISDICTION.
17. ALL PIPE 1/2" TO 2 1/2" IN SIZE SHALL BE PRESSURE RATED 160 PVC (EXCEPT MAIN).
18. ALL FITTINGS SHALL BE SCHEDULE 40 PVC.
19. ALL SPRAY HEADS ARE TO BE A MINIMUM OF 6" POP-UP AND ALL HEADS IN PLANTING AREAS TO BE 12" POP-UP OR RISERS. RISERS SHALL BE PAINTED GREEN OR BLACK.
20. ELECTRICAL TO CONTROLLER SHALL BE SUPPLIED BY ELECTRICAL CONTRACTOR (NOT IRRIGATION CONTRACTOR).
21. PURPLE IRRIGATION EQUIPMENT MUST BE USED FOR ALL IRRIGATION IF REUSE WATER IS BEING USED.

IRRIGATION LEGEND (USE THE FOLLOWING IRRIGATION EQUIPMENT OR EQUAL)

15 SERIES MPR	FLOW RATE (GPM)	FLOW RATE (GPM)
⊙ ADJUSTABLE 15" RADIUS QUARTER	VARIES	□ 15' EST 0.61
⊙ HALF	0.92	⊠ 15' SST 1.21
⊙ THREE QUARTER	1.85	⊞ 9' SST 1.73
⊙ FULL	2.78	■ 15' CST 1.21
	3.70	

ZONE NUMBER: 2 15 35± (L NUMBER OF HEADS (* DENOTES NETAFIM), APPROX. GALLONS PER MINUTE)

PAVEMENT: 16" MIN, 24" MIN

PVC PIPE SLEEVE, PVC IRRIGATION PIPE, 2" PVC CABLE SLEEVE, ZONE CONTROL CABLES

1-1/2" LOOPED IRRIGATION MAIN (MUST BE SCH 40 PIPE)
 SLEEVE UNDER PAVEMENT FOR WIRE (1")
 SLEEVE UNDER PAVEMENT FOR PIPE (SEE SCHEDULE FOR SIZE REQUIREMENTS)
 12" MIN.

NETAFIM

⊙ CONTROLLER - RACHIO SMART IRRIGATION CONTROLLER - (1) 16 STATION INSIDE MOUNT
 ⊙ RAIN SENSOR SHUTOFF (ON TOP OF CONTROL BOX OR PEDESTAL MOUNT)
 ⊞ 1" RECLAIM IRRIGATION METER
 ✦ ZONE CONTROL VALVE (HARDIE 216B) (1-1/2" ANGLE-PRESSURE REDUCING)

DRAFT INFORMATIONAL PURPOSES ONLY

NOTE:
IRRIGATION PLANS AND DETAILS ARE NOT REVIEWED BY THE SITE REVIEW TEAM.

PIPE SIZING INFORMATION

GALLONS PER MINUTE (GPM)	PIPE SIZE	PIPE SLEEVE SCHEDULE
0-6	1/2"	PIPE SIZE SLEEVE SIZE
7-10	3/4"	2 1/2" 6"
11-16	1"	1" THRU 2" 4"
17-28	1 1/4"	1/2" AND 3/4" 3"
29-35	1 1/2"	
35-55	2"	

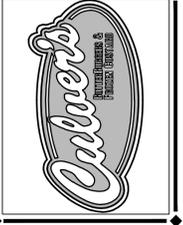
NOTE: AT THE DISCRETION OF THE IRRIGATION CONTRACTOR, THE DIAMETER OF THE SLEEVE PIPE MAY BE REDUCED.

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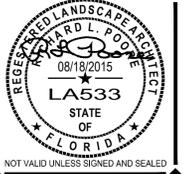


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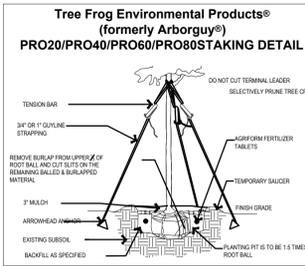


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 WESTLAKE, OH 44145
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 FUTURE LAND USE: ROR (RETAIL / OFFICE / RESIDENTIAL)
 PROPOSED COSTCO DRIVEWAY



Tree Frog® PRO20 SYSTEM
PRO20:
 For up to 2" Caliper Trees
 (3) ARBORGUY™ Guylines 3/4" x 12' = 600 lb test Black or Green, UV resistant, polypropylene strapping
 (3) "Tool-Free" Tension Bars™
 (3) Arrowhead® Anchors (4" x 3-3/4")

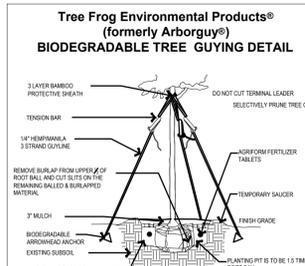
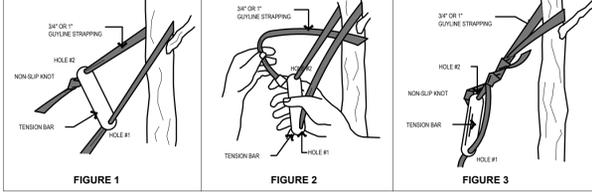
Tree Frog® PRO40 SYSTEM
PRO40:
 For up to 4" Caliper Trees
 (3) ARBORGUY™ Guylines 1" x 12' = 600 lb test Black or Green, UV resistant, polypropylene strapping
 (3) "Tool-Free" Tension Bars™
 (3) Arrowhead® Anchors (4 3/4" x 4 1/2")

Adjustable Guying Method Using a Tension Bar
 The anchors for each kit are best installed using the Integrated Tool Assembly (ITA) from the manufacturer.

- Once the arrowhead anchor has been driven into the ground and set (secured), the guyline should be passed through Hole #1 on the tension bar, then wrapped around the tree trunk just above the lowest established branch. Then, the guyline should be passed through Hole #2 in the tension bar just below the first established branch. After pulling taut any slack, a stop knot is established immediately below Hole #2 in the guyline. (See Figure 1)
- The tension bar is then pulled downward until the tree is straight and the guyline is SNUG (NOT TIGHT). (See Figure 2)
- The tension bar is locked into place by tying the loose end of the guyline itself just above Hole #2. (See Figure 3)

This tensioning method allows the guylines to be readjusted, if necessary, in order to keep the guylines snug until the tree root system is established and the staking material is removed.

*Specify Anchor
 1. Biodegradable (soft or hard soil)
 2. Nylon (soft soil)
 3. Heavy Duty (hard soil)



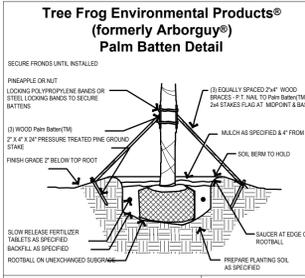
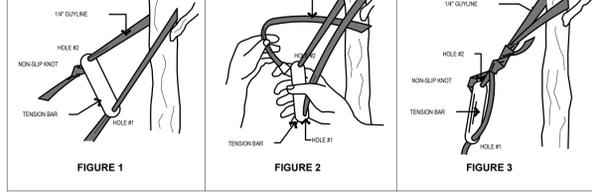
Tree Frog® BIO20 SYSTEM
BIO20:
 For up to 2" Caliper Trees
 (3) FROG ANCHOR™ Guyline 1/4" x 12' = 560 lb tensile Hemp/Manila rope
 (3) "Tool-Free" Tension Bars™
 (3) Biodegradable Arrowhead Anchors (4 3/4" x 4 1/2")

Tree Frog® BIO40 SYSTEM
BIO40:
 For up to 4" Caliper Trees
 (4) FROG ANCHOR™ Guyline 1/4" x 12' = 560 lb tensile Hemp/Manila rope
 (4) "Tool-Free" Tension Bars™
 (4) Biodegradable Arrowhead Anchors (4 3/4" x 4 1/2")

Biodegradable Adjustable Guying Method Using a Tension Bar
 The anchors for each kit are best installed using the Integrated Tool Assembly (ITA) from the manufacturer.

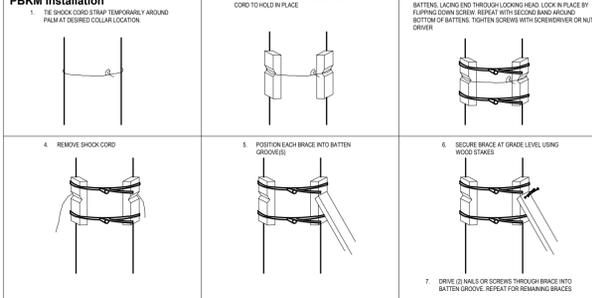
- Once the Biodegradable arrowhead anchor has been driven into the ground and set (secured), the guyline should be passed through Hole #1 on the tension bar, then wrapped around the tree trunk just above the lowest established branch. Then, the guyline should be passed through Hole #2 in the tension bar just below the first established branch. After pulling taut any slack, a stop knot is established immediately below Hole #2 in the guyline. (See Figure 1)
- The tension bar is then pulled downward until the tree is straight and the guyline is SNUG (NOT TIGHT). (See Figure 2)
- The tension bar is locked into place by tying the loose end of the guyline itself just above Hole #2. (See Figure 3)

This tensioning method allows the guylines to be readjusted, if necessary, in order to keep the guylines snug until the tree root system is established and the staking material is removed.



Tree Frog® Palm Batten System
PBKM (Metal Bands)
 (3) 1 1/2"x3" 1/2"x12" (2x4 wood) battens with 5 layers of burlap backing and (4) staple guides for banding, pre-notched (to accept 2"x4"x8" support braces)
 (2) 44" plated carbon steel bands with tensioning and locking screw / clamp

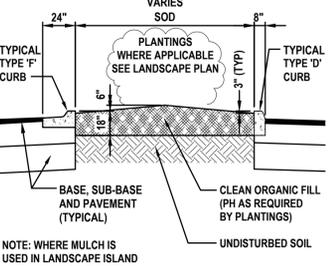
PBKC (Polypropylene Bands)
 (3) 1 1/2"x3" 1/2"x12" (2x4 wood) battens with 5 layers of burlap backing and (4) staple guides for banding, pre-notched (to accept 2"x4"x8" support braces)
 (2) 8"x1", 600 lb test webbing bands with metal spring locking clamps



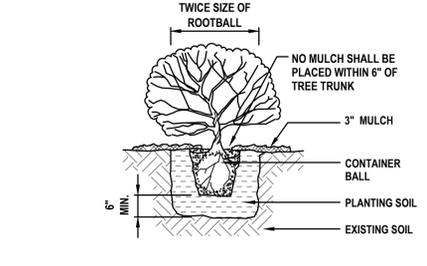
TREE ANCHORING DETAILS
 PROVIDED BY MANUFACTURER
 (See www.froganchor.com or call 352-735-7411)



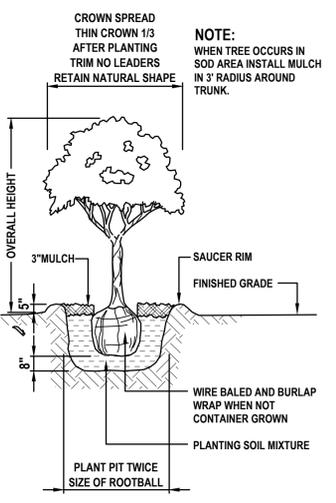
NETAFIM DETAIL
 NOT TO SCALE



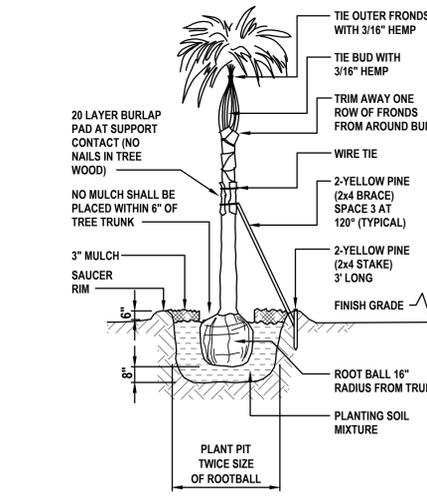
ISLAND PLANTING DETAIL
 NOT TO SCALE



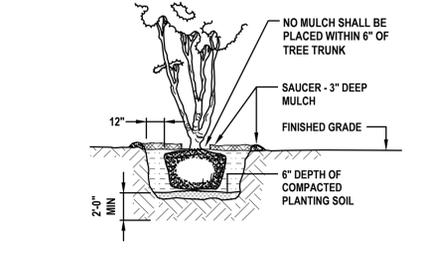
SHRUB PLANTING DETAIL
 NOT TO SCALE



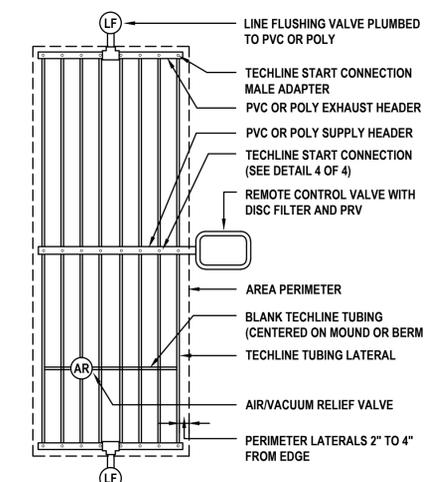
TREE PLANTING DETAIL
 NOT TO SCALE



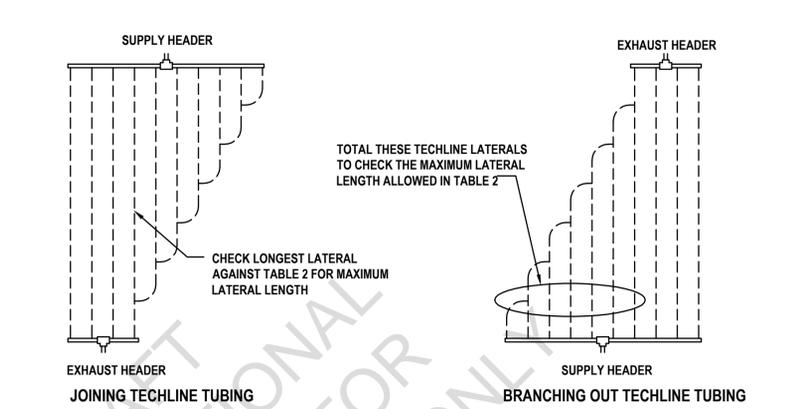
PALM TREE PLANTING DETAIL
 NOT TO SCALE



MULTI-TRUNK PLANTING DETAIL
 NOT TO SCALE



TECHLINE CENTER FEED LAYOUT



CENTER FEED LAYOUTS:
 WHERE LAYOUT FLEXIBILITY EXISTS, IT IS RECOMMENDED THAT CENTER FEED LAYOUTS BE USED. THIS ALLOWS FOR THE MOST EVEN FLOW OF WATER THROUGHOUT THE ZONE.

CENTER FEED LAYOUTS ALSO ALLOW YOU TO MAXIMIZE THE LENGTHS OF TECHLINE THAT CAN BE RUN.

OTHER PIPING LAYOUTS:
 WHEN BRANCHING OUT, OR JOINING TECHLINE, ONE OF TWO RULES APPLY. RULE 1 - WHEN BRANCHING OUT TECHLINE FROM THE SUPPLY HEADER, TOTAL ALL "BRANCHED OUT" DRIPPERLINE AND CHECK THE SUM AGAINST THE MAXIMUM LATERAL LENGTH IN TABLE 2. RULE 2 - WHEN JOINING DRIPPERLINE LATERALS FROM THE SUPPLY HEADER, CHECK ONLY THE LONGEST LATERAL AGAINST THE MAXIMUM ALLOWABLE IN TABLE 2.

TO REDUCE THE NUMBER OF GLUE JOINTS, SADDLES OR INSERT FITTINGS IN A HEADER, TRANSITION TO TECHLINE AND TECHLINE FITTINGS TO MAKE UP SUB-HEADERS, MAKING SURE TO FOLLOW THE GUIDELINE OF A MAXIMUM OF 0.5 GPM IN THE "SUB-HEADER" ZONE.

ZONE WATER REQUIREMENTS:
 ONCE YOU HAVE LAID OUT THE TECHLINE, YOU NEED TO IDENTIFY HOW MANY DRIPPERS THERE ARE, AND THEIR TOTAL OUTPUT. THIS WILL HELP YOU DETERMINE MAINLINE, SUBMAIN AND SUPPLY/EXHAUST HEADER SIZING, VALVE, FILTER, AND REGULATOR SELECTION.

REVISIONS	
DATE	DESCRIPTION
7/15/15	COUNTY COMMENTS

Richard L. Poore, LA
 PLANNER & LANDSCAPE ARCHITECT
 300 GATEWOOD COURT - ORMOND BEACH, FLORIDA 32174
 CELL: (386)212-8491 • RL#A 00005533
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LANDSCAPE AND IRRIGATION DETAILS
CULVER'S
 2303 SUN VISTA DRIVE
 LUTZ, FLORIDA 33559



PROJECT No:	2015-08
DATE:	MARCH 2015
DESIGN BY:	HHN
DRAWN BY:	DAB
CHECKED BY:	HHN
SCALE:	
DRAWING NUMBER	

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