

July 1, 2015

## Pasco County Zoning and Site Development

8731 Citizens Dr.  
New Port Richey, FL 34654  
(727)-847-8193

Reference: **Chick-fil-A – Land O’ Lakes**  
**IP # 2014.0396**  
**Project Narrative**

The proposed project site is located within the Cypress Town Center PD parcel 27-26-19-0040-00000-0060. The 1.402 acre parcel will consist of a 4,968 square foot single story Chick-Fil-A restaurant with a dual lane drive-thru. There will be 136 indoor seats, 16 outdoor seats, 60 parking spaces, 5 bicycle spaces, and a loading zone for deliveries. The site work will consist of grading, drainage, utility, paving, and landscape improvements to the parcel.

Jeff Stalder  
Project Manager  
Civil Engineering Services

## Attachments

cc: S. Anderson; IP File



# ALTA / ACSM LAND TITLE SURVEY

## SURVEYOR'S REPORT

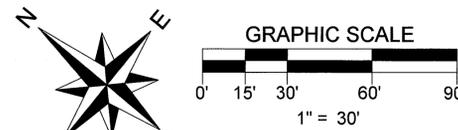
This is to certify that on December 8, 2014, I made an accurate survey of the premises owned by JB Cypress Creek LLC, an Ohio limited liability company, per the title commitment referenced herein, and shown on the accompanying survey entitled ALTA/ACSM LAND TITLE SURVEY.

I made a careful inspection of said premises and of the buildings located thereon at the time of making such survey. I found the premises to be vacant.

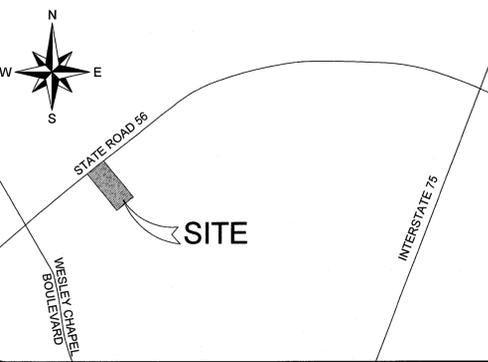
I further certify to the existence or non-existence of the following at the time of my last inspection:

- Rights of way, old highways, or abandoned roads, lanes or driveways, drains, sewer, water, gas, or oil pipe lines across said premises: NONE APPARENT.
- Springs, streams, rivers, ponds, or lakes located, bordering on or running through said premises: Existing pond southeasterly of premises.
- Cemeteries or family burying grounds located on said premises: NONE APPARENT.
- Telephone, telegraph or electric power poles or wires overhanging or crossing said premises and serving other properties: Underground power, gas and telephone lines exist along the northwesterly boundary of the premises.
- Joint driveways or walkways; party walls or rights of support, porches, steps or roofs used in common or joint garages: Easement for SUN VISTA DRIVE exists along the southeasterly boundary of the premises. The roadway did not exist at the time of survey.
- Encroachments, or overhanging projections: NONE APPARENT.
- Building or possession lines: NONE APPARENT.
- Indications of building construction, alterations or repairs within recent months: NONE APPARENT.
- Changes in street lines either completed or officially proposed: NONE APPARENT.
  - Are there indications of recent street or sidewalk construction or repair: NONE APPARENT.
- If any zoning or other municipal regulations, as provided by client, affect the surveyed premises, do the improvements on the premises comply with such: Zoning restrictions have not been provided.
- If the surveyed premises are subject to restrictive covenants, do the improvements comply with such: Property is subject to the Declaration of Restrictions referenced in Schedule B, Section II of the Title Commitment as shown herein.

DATE: December 8, 2014



## VICINITY MAP (NOT TO SCALE)



## LEGAL DESCRIPTION

**PARCEL 1:** PARCEL 6, CYPRESS CREEK TOWN CENTER - LOTS 1, 2, 3 AND 4, BLOCK 5 REPLAT, AS RECORDED IN PLAT BOOK 70, PAGE 41 THROUGH 52, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

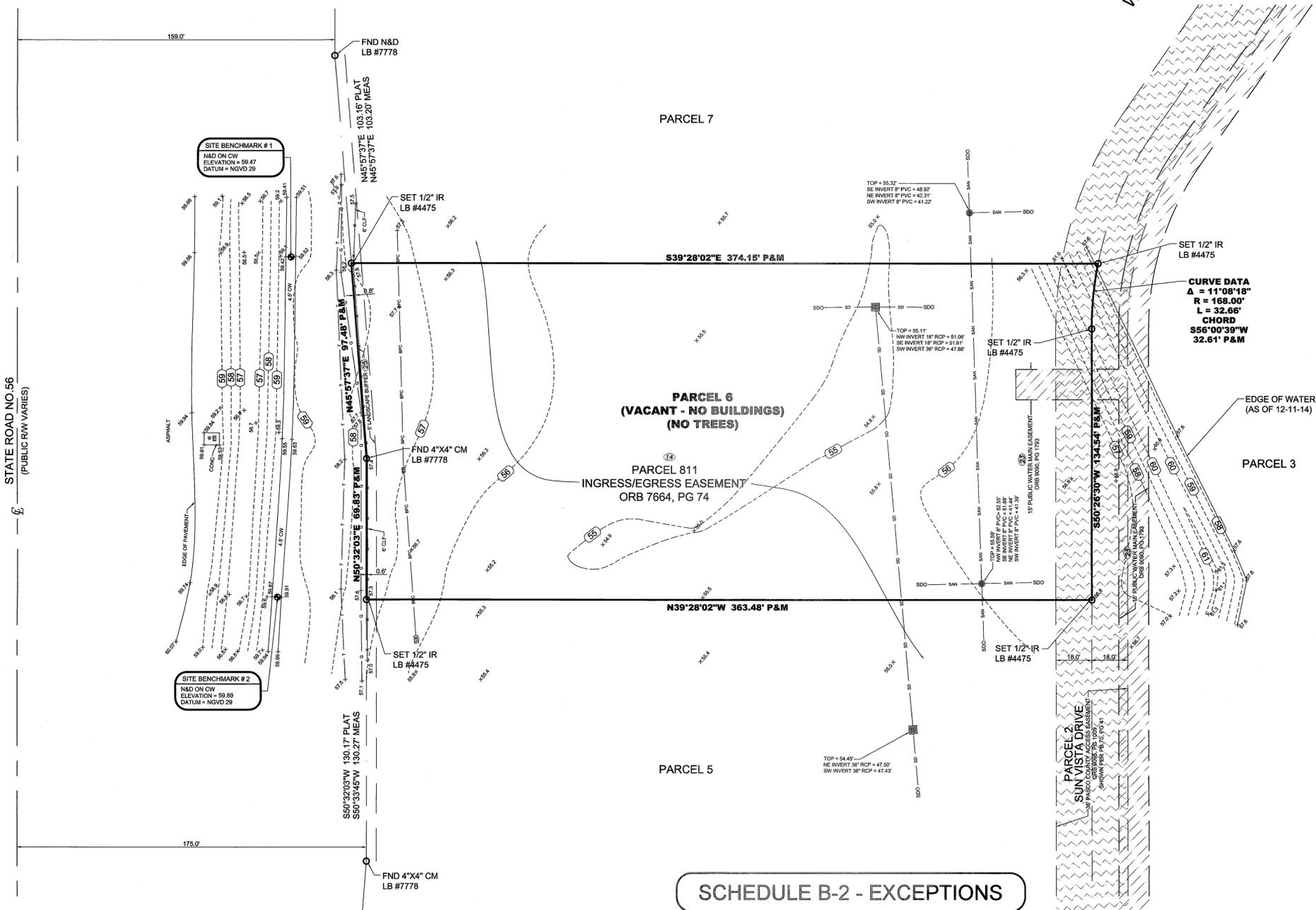
**PARCEL 2:** APPURTENANT EASEMENT(S) SET FORTH IN AMENDED AND RESTATED DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS OF CYPRESS CREEK TOWN CENTER RECORDED OCTOBER 8, 2014 IN OFFICIAL RECORDS BOOK 9095, PAGE 1009, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

## AREA

CONTAINS 61,090 SQUARE FEET OR 1.402 ACRES MORE OR LESS.

## NOTES

- BEARING STRUCTURE IS BASED ON THE MONUMENTED NORTH LINE OF PARCEL 6 BEING N50°32'03"E (PER PLAT).
- THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY THE CLIENT OR CLIENT'S REPRESENTATIVE.
- THIS SURVEY WAS MADE ON THE GROUND. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AS LOCATED BY SUNSHINE UTILITIES LOCATING SERVICE TICKET NO. 336404983 AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS BUILDING/LOT LIES IN ZONE "X", BASED ON FLOOD INSURANCE RATE MAP NO 12101C0409F, COMMUNITY NO. 120230, PASCO COUNTY, FLORIDA, EFFECTIVE SEPTEMBER 26, 2014.
- ACCORDING TO FLORIDA STATUTES, CHAPTER 472.025, A LAND SURVEYOR SHALL NOT AFFIX HIS SEAL OR NAME TO ANY PLAN OR DRAWING WHICH DEPICTS WORK WHICH HE IS NOT LICENSED TO PERFORM OR WHICH IS BEYOND HIS PROFESSION OR SPECIALTY THEREIN. THEREFORE, WE ARE UNABLE TO CERTIFY AS TO MUNICIPAL ZONING COMPLIANCE. INTERPRETATION OF ZONING CODES OR THE DETERMINATION OF VIOLATIONS THEREOF.
- THIS SURVEY MADE WITH BENEFIT OF CHICAGO TITLE INSURANCE COMPANY'S COMMITMENT NO. 4737562, EFFECTIVE OCTOBER 31, 2014 AND REVISED DECEMBER 28, 2014. NOTE: SUBJECT PROPERTY IS "PARCEL 6" OF THE NEWLY RECORDED PLAT REFERENCED IN THE LEGAL DESCRIPTION SHOWN HEREON.
- THIS SURVEY IS VALID ONLY FOR THE PARTIES TO WHOM IT IS CERTIFIED.
- THIS SURVEY EXCEEDS THE ACCURACY REQUIREMENTS SET FORTH IN FLORIDA STATUTES.
- ELEVATIONS BASED ON D.O.T. BENCHMARK # BM 78-A HAVING AN ELEVATION OF 57.63 FEET, (NAVD 29).
- THE WATER BOUNDARIES SHOWN HEREON ARE SUBJECT TO CHANGE DUE TO NATURAL CAUSES AND MAY OR MAY NOT REPRESENT THE ACTUAL LOCATION OF THE LIMIT OF TITLE.
- THERE ARE NO PAINTED STRIPES FOR PARKING.
- ALL PLOTTABLE MATTERS PERTINENT TO THE SUBJECT PROPERTY AS SET FORTH IN THE PLAT OF CYPRESS CREEK TOWN CENTER - LOTS 1, 2, 3 AND 4, BLOCK 5 REPLAT, AS RECORDED IN PLAT BOOK 70, PAGE 41 THROUGH 52, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, HAVE BEEN DEPICTED HEREON.
- SUBJECT PROPERTY IS ZONED RETAIL/OFFICE/RESIDENTIAL (ROR) PER PASCO COUNTY, FLORIDA. SETBACKS HAVE NOT BEEN PROVIDED.
- STATE PLANE COORDINATES ARE RELATIVE TO FLORIDA WEST ZONE.



- ### LEGEND
- BB - BOTTOM OF BANK
  - BS - BACK OF CURB
  - BP - BACKFLOW PREVENTER
  - BLK - BLOCK
  - B - BENCHMARK
  - BPC - BURIED POWER CABLE
  - BT - BURIED TELEPHONE
  - CLC - CALCULATED
  - C&M - CALCULATED & MEASURED
  - CA - CENTRAL ANGLE
  - CBW - CONCRETE BLOCK WALL
  - CC - COVERED CONCRETE
  - CCR - CERTIFIED CORNER RECORD
  - CF - CONCRETE FLOOR
  - CHW - CONCRETE HEAD WALL
  - CLF - CHAIN LINK FENCE
  - CM - CONCRETE MONUMENT
  - CMF - CORRUGATED METAL PIPE
  - CO - CLEAN OUT
  - CONC - CONCRETE
  - COVD - COVERED
  - CP - CONCRETE PAD
  - CW - CONCRETE WALKWAY
  - D&M - DEED/DESC & MEASURED
  - DE - DRAINAGE EASEMENT
  - DESC - DESCRIPTION
  - DI - DOT INLET
  - DP - DUMPSTER PAD
  - DR - DRIVEWAY
  - EN - EASEMENT NUMBER
  - EM - ELECTRIC METER
  - EL - ELECTRICAL BOX
  - EV - ELEVATION
  - ESMT - EASEMENT
  - EP - EDGE OF PAVEMENT
  - FIRM - FLOOD INSURANCE RATE MAP
  - FFE - FINISHED FLOOR ELEVATION
  - FI - FIBER OPTIC CABLE
  - FM - FORCE MAIN
  - FO - FOUND
  - FOC - FIBER OPTIC CABLE
  - FP - FLAG POLE
  - GA - GAS LINE
  - GM - GAS METER
  - GR - GRASSY AREA
  - HA - HANDICAP PARKING
  - HD - HIGH DENSITY POLYETHYLENE
  - IN - INVERT ELEVATION
  - IP - IRON PIPE
  - IR - IRON ROD
  - IRL - IRON ROD
  - LB - LICENSED BUSINESS
  - LS - LIGHT POLE
  - LSA - LICENSED SURVEYOR
  - LSA - LANDSCAPED AREA
  - LSA - MISAPPLICABLE
  - ME - MITERED END SECTION
  - MON - MONITORING WELL
  - NA - NAIL & DISK
  - NAVD - NORTH AMERICAN VERTICAL DATUM
  - NGVD - NATIONAL GEODETIC VERTICAL DATUM
  - NTS - NOT TO SCALE
  - OHE - OVERHEAD ELECTRIC
  - ORB - OFFICIAL RECORDS BOOK
  - OW - OVERHEAD WIRE
  - PL - PLAT BOOK
  - PER - PERMANENT SURVEY
  - PEP - PER ENGINEERING PLANS
  - PAGE - PAGE
  - PI - POINT OF INTERSECTION
  - P&M - PLAT & MEASURED
  - POB - POINT OF BEGINNING
  - POC - POINT OF COMMENCEMENT
  - PRC - POINT OF REVERSE CURVATURE
  - PS - PARKING SPACES
  - PSM - PROFESSIONAL SURVEYOR AND MAPPER
  - POT - POINT OF TANGENCY
  - PVC - PLASTIC PIPE
  - R - CURVE RADIUS
  - RC - REINFORCED CONCRETE PIPE
  - ROW - RIGHT OF WAY
  - SN - SIGN
  - SWF - STOCK WIRE FENCE
  - SW - STOCK WIRE FENCE
  - SM - STORM MANHOLE
  - ST - STORM INLET
  - ST - STORM INLET
  - TB - TOP OF BANK
  - TP - TRAFFIC POLE
  - TR - TRANSFORMER/JUNCTION BOX
  - TR - TELEPHONE RISER
  - TR - TRAFFIC SIGNAL BOX
  - TR - TRAFFIC SIGNAL WARE
  - TYP - TYPICAL
  - UE - UTILITY EASEMENT
  - UP - UTILITY POLE
  - W - WATER LINE
  - WF - WOOD FENCE
  - WS - WOOD SHED
  - WV - WATER VALVE
  - WM - WATER METER

## SCHEDULE B-2 - EXCEPTIONS

- ALL RIGHT, TITLE AND INTEREST OF THE STATE OF FLORIDA, BY AND THROUGH THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION, IN THE STATE ROAD DEPARTMENT OF FLORIDA, A BODY CORPORATE UNDER THE LAWS OF THE STATE OF FLORIDA, PURSUANT TO THE QUIT CLAIM DEEDS RECORDED IN OFFICIAL RECORDS BOOK 350, PAGE 530 AND OFFICIAL RECORDS BOOK 1445, PAGE 118, IN AN UNDIVIDED THREE-FOURTHS INTEREST IN, AND TITLE IN AND TO AN UNDIVIDED THREE-FOURTHS INTEREST IN, ALL THE PHOSPHATE, MINERALS, AND METALS THAT ARE OR MAY BE IN, ON, OR UNDER THE SAID LAND AND AN UNDIVIDED ONE-HALF INTEREST IN ALL THE PETROLEUM THAT IS OR MAY BE IN, ON, OR UNDER SAID LAND WITH THE PRIVILEGE TO MINE AND DEVELOP OF THE SAME, WHICH INTEREST MAY HAVE BEEN RESERVED UNDER SECTION 270.11, FLORIDA STATUTE, (AS TO EASEMENT PARCELS) (DOES NOT AFFECT PARCEL 1 AND IS NOT SHOWN HEREON).
- PERPETUAL EASEMENT FOR INGRESS AND EGRESS IN FAVOR OF THE STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION, AS CONTAINED IN STIPULATED ORDERS OF TAKING AND ORDERS OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 2028, PAGE 594, AND OFFICIAL RECORDS BOOK 3263, PAGE 589, OFFICIAL RECORDS BOOK 3928, PAGE 592, AND OFFICIAL RECORDS BOOK 3928, PAGE 597, AS AFFECTED BY QUITCLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 7654, PAGE 51, AND AS CONTAINED IN STIPULATED ORDER OF TAKING AND ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 3928, PAGE 600, AND OFFICIAL RECORDS BOOK 3928, PAGE 605, AS AFFECTED BY QUITCLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 7882, PAGE 62. (DOES NOT AFFECT PARCEL 1 AND IS NOT SHOWN HEREON).
- PERPETUAL DEED OF CONSERVATION EASEMENT IN FAVOR OF PASCO COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA, RECORDED IN OFFICIAL RECORDS BOOK 7504, PAGE 549, AS RATIFIED AND CONFIRMED IN OFFICIAL RECORDS BOOK 7704, PAGE 1903 AND AS AFFECTED BY ADDENDUM RECORDED IN OFFICIAL RECORDS BOOK 8059, PAGE 986. (DOES NOT AFFECT PARCEL 1 AND IS NOT SHOWN HEREON).
- TERMS, RESTRICTIONS, COVENANTS, CONDITIONS AND PROVISIONS CONTAINED IN DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS OF CYPRESS CREEK TOWN CENTER RECORDED IN OFFICIAL RECORDS BOOK 7551, PAGE 1176, AS MODIFIED BY FIRST AMENDMENT THERETO RECORDED IN OFFICIAL RECORDS BOOK 7612, PAGE 487, AND AS AFFECTED BY QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 7664, PAGE 59, AND BY SUBORDINATION AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 7664, PAGE 62, AND BY QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 7671, PAGE 557, AND BY QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 7671, PAGE 570, AND AS FURTHER AMENDED THERETO RECORDED IN OFFICIAL RECORDS BOOK 7672, PAGE 1170, AND BY THIRD AMENDMENT THERETO RECORDED IN OFFICIAL RECORDS BOOK 7696, PAGE 1171, AND TOGETHER WITH THE AMENDED AND RESTATED DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS OF CYPRESS CREEK TOWN CENTER RECORDED OCTOBER 8, 2014 IN OFFICIAL RECORDS BOOK 9095, PAGE 1009. (SUBJECT TO THE TERMS AND CONDITIONS SET FORTH - NOT PLOTTABLE).
- THIS EXCEPTION HAS BEEN INTENTIONALLY DELETED.
- RESTRICTIONS, COVENANTS AND OTHER MATTERS SHOWN ON PLAT RECORDED IN PLAT BOOK 65, PAGES 22 THROUGH 66, INCLUSIVE, AS AFFECTED BY INDEMNIFICATION AND HOLD HARMLESS AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 7797, PAGE 1122. (DOES NOT AFFECT SUBJECT PROPERTY AND IS NOT SHOWN HEREON).
- PERPETUAL CONSERVATION EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 8031, PAGE 1575. (DOES NOT AFFECT PARCEL 1 AND IS NOT SHOWN HEREON).
- RESTRICTIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS SHOWN ON PLAT RECORDED IN PLAT BOOK 65, PAGES 22 THROUGH 66, INCLUSIVE, AS AFFECTED BY INDEMNIFICATION AND HOLD HARMLESS AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 7797, PAGE 1122. (DOES NOT AFFECT SUBJECT PROPERTY AND IS NOT SHOWN HEREON).
- DEDICATIONS, EASEMENTS, RESTRICTIONS AND OTHER MATTERS SET FORTH ON THE PLAT OF CYPRESS CREEK TOWN CENTER TRACT "D" REPLAT, RECORDED IN PLAT BOOK 65, PAGE 143, AS AFFECTED BY INDEMNIFICATION AND HOLD HARMLESS AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 7797, PAGE 1122. (DOES NOT AFFECT SUBJECT PROPERTY AND IS NOT SHOWN HEREON).
- TERMS, CONDITIONS, RESTRICTIONS AND PROVISIONS CONTAINED IN DECLARATION OF RESTRICTIONS RECORDED IN OFFICIAL RECORDS BOOK 8123, PAGE 525. (SUBJECT TO THE TERMS AND CONDITIONS SET FORTH - NOT PLOTTABLE).
- ITEM IS NOT A SURVEY MATTER.
- ITEM IS NOT A SURVEY MATTER.
- UTILITY EASEMENT IN FAVOR OF PASCO COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA, RECORDED SEPTEMBER 26, 2014 IN OFFICIAL RECORDS BOOK 9090, PAGE 1793, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA. (AFFECTS AS SHOWN).
- TEMPORARY CONSTRUCTION, OPERATION AND EASEMENT AGREEMENT BY AND AMONG PASCO RANCH, INC., A FLORIDA CORPORATION, PASCO 54, LTD., A FLORIDA LIMITED PARTNERSHIP, CYPRESS CREEK LLC, AN OHIO LIMITED LIABILITY COMPANY AND TAMPA PREMIUM OUTLETS LLC, A DELAWARE LIMITED LIABILITY COMPANY, RECORDED OCTOBER 8, 2014 IN OFFICIAL RECORDS BOOK 9095, PAGE 1124. (SUBJECT TO THE TERMS AND CONDITIONS SET FORTH - NOT PLOTTABLE).
- RESTRICTIONS, COVENANTS, CONDITIONS, EASEMENTS AND OTHER MATTERS AS CONTAINED ON THE PLAT OF CYPRESS CREEK TOWN CENTER - LOTS 1, 2, 3 AND 4, BLOCK 5 REPLAT, RECORDED IN PLAT BOOK 70, PAGES 41 THROUGH 52, INCLUSIVE. (AFFECTS AS SHOWN).
- AMENDED AND RESTATED DEVELOPMENT AGREEMENT BETWEEN PASCO COUNTY AND PASCO 54, LTD.; PASCO RANCH, INC. AND CYPRESS CREEK LLC FOR CYPRESS CREEK TOWN CENTER, DEVELOPMENT OF REGIONAL IMPACT NO. 255 RECORDED DECEMBER 9, 2014 IN OFFICIAL RECORDS BOOK 9121, PAGE 1002. (SUBJECT TO THE TERMS AND CONDITIONS SET FORTH - NOT PLOTTABLE).

## SURVEYOR'S CERTIFICATE

TO: CHICK-FILA, INC., A GEORGIA CORPORATION; CHICAGO TITLE INSURANCE COMPANY; FLORIDA COMMERCIAL TITLE SERVICES

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A)(B)(C), 8, 9 AND 11(A) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 12-8-14.

DATE: 12/8/14



THIS SURVEY MEETS THE "STANDARDS OF PRACTICE" AS REQUIRED BY CHAPTER 53-17 FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES.

JAMES D. BRAY PSM 6507

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THIS FLORIDA LICENSED SURVEYOR AND MAPPER.

## BOUNDARY SURVEY DATE: 12/11/14

per 5J-17.051(3)(b)3 Florida Administrative Code

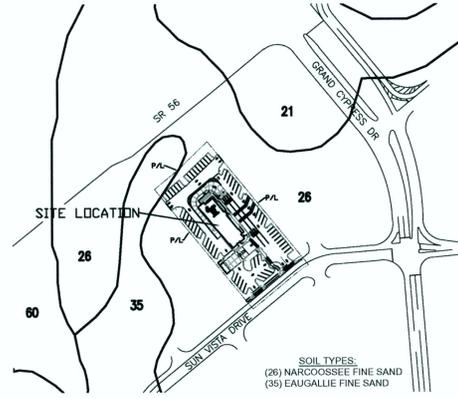
DATE	JOB #	REVISION	BY
06/26/15	41282	ADJUST CAD FILE TO STATE PLANE COORDINATES	TWR
06/16/15	41282	UPDATE DATUM FROM NAVD88 TO NGVD29	TWR
01/16/15	41282	UPDATE TITLE FOR COMMITMENT	TWR

## BOUNDARY, TOPOGRAPHIC & TREE SURVEY

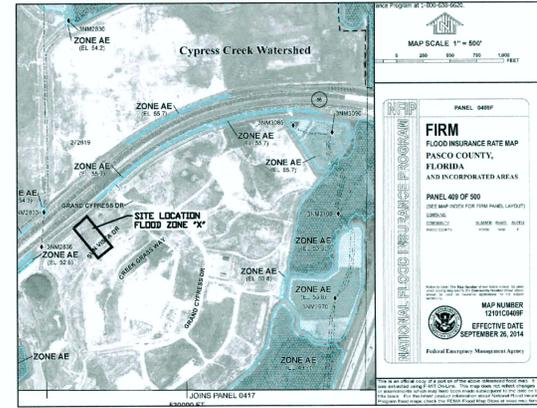
SCALE: 1" = 30'	CF# PA70-41 PARCEL 6 - NGVD29 - STATE PLANE	JOB # 41282
FIELD DATE: 12/11/14		DRAWN BY: TRKII / TWR
PREPARED FOR: INTERPLAN, LLC		
LOCATION: NORTHEAST OF THE INTERSECTION OF WESLEY CHAPEL ROAD AND STATE ROAD 58, PASCO COUNTY, FLORIDA 33559		SUBDIVISION NAME: CYPRESS CREEK TOWN CENTER PARCEL 6



1  
C-1.2 AERIAL W/ SITE OVERLAY  
SCALE 1:200



2  
C-1.2 SITE SOILS  
SCALE 1:200



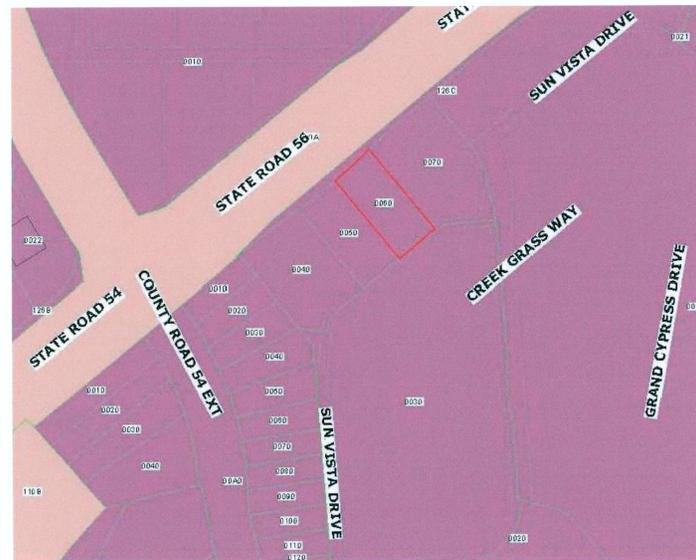
3  
C-1.2 FEMA MAP  
SCALE 1:800



NUMBER	STREET NAME	CITY	ZIP	VPARCEL
2257	SUN VISTA DRIVE	LUTZ	33959	27 26 19 0040 00000 0040
2303	SUN VISTA DRIVE	LUTZ	33959	27 26 19 0040 00000 0050
2349	SUN VISTA DRIVE	LUTZ	33959	27 26 19 0040 00000 0060
2391	SUN VISTA DRIVE	LUTZ	33959	27 26 19 0040 00000 0070

Pasco County, Florida  
Geographic Information Systems  
(GIS)  
8731 Citizens Drive, Suite 310  
New Port Richey FL 34864  
CYPRESS CREEK  
TOWN CENTER  
Author: P.Watson  
Date: 2/10/2015  
Time: 4:05:08 PM

4  
C-1.2 PROPERTY MAP  
SCALE 1:300



Legend  
Pasco County  
Zoning  
More information

- AC - Agricultural
- MDU - Medium Density Residential
- Development

5  
C-1.2 PASCO COUNTY ZONING/LAND USE MAP  
SCALE N.T.S.

PASCO COUNTY UTILITY NOTES:

1. ALL UTILITY SYSTEM-DESIGN MATERIALS AND WORKMANSHIP SHALL COMPLY WITH "STANDARDS OF DESIGN AND CONSTRUCTION OF WATER, WASTEWATER AND RECLAIMED WATER FACILITIES SPECIFICATIONS", LATEST EDITION.
2. CONNECTIONS INTO AN EXISTING COUNTY-OWNED SYSTEM SHALL BE VIA WET TAP. WET TAPS SHALL BE PERFORMED EXCLUSIVELY BY THE UTILITIES SERVICES BRANCH AT THE DEVELOPERS EXPENSE. EXCAVATION, BACKFILL AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MATERIAL FOR WET TAPS LARGER THAN TWO INCHES SHALL BE PROVIDED AND INSTALLED BY THE PROJECT CONTRACTOR.
3. FIRE HYDRANTS SHALL BE FLOW-TESTED AND COLOR-CODED BASED ON FLOW RESULTS.
4. THE UTILITIES SERVICES BRANCH SHALL NOT OWN OR MAINTAIN ON-SITE WATER LINES, SEWER LINES OR FACILITIES.

PASCO COUNTY STANDARD FIRE PROTECTION NOTES:

1. ALL PROJECTS MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE NO. 46-51.
2. FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.
3. PER THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA-1, 16.4.3.1.3: WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
4. PER NFPA-1, 18.3.4.1: CLEARANCES OF 7.5 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4-FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.
5. GATED ENTRIES REQUIRE A SIREN OPERATION SYSTEM OR A 3M OPTICOM SYSTEM FOR EMERGENCY ACCESS.



5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		
△		
△		

Seal  
STUART ANDERSON, P.E.  
FL REG. #60848

AA 003420  
CA 8640  
404 COURTLAND STREET, SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.6008  
FX 407.629.9124

INTERPLAN 21  
ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

STORE  
FSU S08 N-H-LG (Rev.)  
LAND O' LAKES

2349 SUN VISTA DRIVE  
LUTZ, FLORIDA 33559

SHEET TITLE  
SITE MAPS &  
COUNTY NOTES

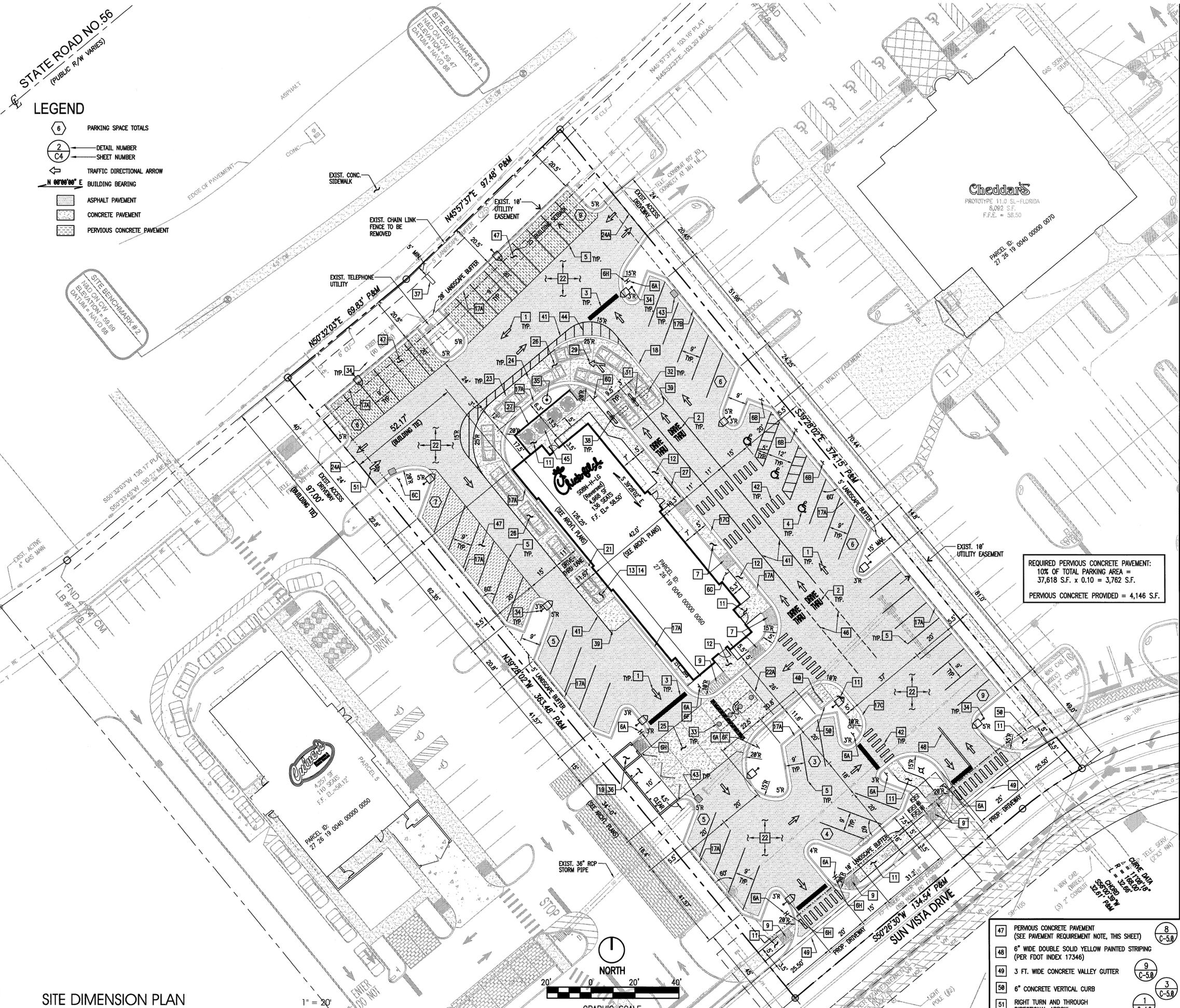
VERSION: V3  
ISSUE DATE: 06/2015

Job No. : 2014.0396  
Store : 3508  
Date : 06/2015  
Drawn By : JS  
Checked By : JS

Sheet  
C-1.2

STATE ROAD NO. 56  
(PUBLIC R/W VARIES)

- LEGEND**
- 6 PARKING SPACE TOTALS
  - 2 C4 DETAIL NUMBER SHEET NUMBER
  - TRAFFIC DIRECTIONAL ARROW
  - N 00°00'00" E BUILDING BEARING
  - ASPHALT PAVEMENT
  - CONCRETE PAVEMENT
  - PERVIOUS CONCRETE PAVEMENT

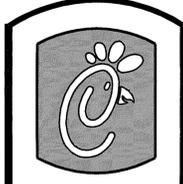


REQUIRED PERVIOUS CONCRETE PAVEMENT:  
10% OF TOTAL PARKING AREA =  
37,618 S.F. x 0.10 = 3,762 S.F.  
PERVIOUS CONCRETE PROVIDED = 4,146 S.F.

- 47 PERVIOUS CONCRETE PAVEMENT (SEE PAVEMENT REQUIREMENT NOTE, THIS SHEET)
- 48 6" WIDE DOUBLE SOLID YELLOW PAINTED STRIPING (PER FOOT INDEX 17346)
- 49 3 FT. WIDE CONCRETE VALLEY GUTTER
- 50 6" CONCRETE VERTICAL CURB
- 51 RIGHT TURN AND THROUGH DIRECTIONAL ARROW

**SITE PLAN DESIGN NOTES & KEY PLAN**

- 1 DIRECTIONAL ARROW
  - 2 DRIVE-THRU GRAPHICS
  - 3 STOP LINE GRAPHIC
  - 4 PAINTED HANDICAP PARKING SYMBOL
  - 5 STANDARD PARKING STALL
  - 6 DIRECTIONAL SIGNAGE
- NOTES: 1. ALL SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION.  
2. SIGNS SHALL BE PROVIDED AND INSTALLED BY CHICK-FIL-A GENERAL CONTRACTOR.
- 6A STOP SIGN
  - 6B HANDICAPPED PARKING SIGN (3 REQUIRED)
  - 6C "RIGHT FOR DRIVE-THRU & PARKING" SIGN
  - 6D "RIGHT-TURN ONLY" SIGN (NOT USED)
  - 6E "ONE WAY" WITH ARROW SIGN
  - 6F "LEFT TURN ONLY" SIGN
  - 6G "CAUTION - WATCH FOR PEDESTRIAN" SIGN
  - 6H "DO NOT ENTER" SIGN
- 7 SIDEWALK HANDICAPPED RAMP
  - 8 HANDICAPPED RAMP WITH FLARED SIDES (NOT USED)
  - 8A HANDICAPPED RAMP w/ SHORT FLARED SIDES (NOT USED)
  - 9 RETURNED CURBED HANDICAPPED RAMP
  - 10 TRUNCATED DOMES - CAST IN PLACE (NOT USED)
  - 11 TYPICAL CONCRETE SIDEWALK
  - 12 SIDEWALK WITH CURB AND GUTTER
  - 13 DRIVE-THRU PLAN
  - 14 DRIVE-THRU ISOMETRIC
  - 15 SOLID YELLOW PLASTIC WHEEL STOP (NOT USED)
  - 16 LANDSCAPE AND IRRIGATION PROTECTOR (NOT USED)
  - 17 24" CONCRETE CURB AND GUTTER
  - 17A SPILLING CURB AND GUTTER
  - 17B CATCHING CURB AND GUTTER
  - 17C DEPRESSED SPILLING CURB AND GUTTER
  - 17D DEPRESSED CATCHING CURB AND GUTTER (NOT USED)
  - 18 ROLLER / MOUNTABLE CURB (1 FT. WIDE)
  - 19 REFUSE ENCLOSURE FOUNDATION PLAN
  - 19A REFUSE ENCLOSURE FOUNDATION PLAN (ALT.) (NOT USED)
  - 19B REFUSE ENCLOSURE ALTERNATE DRAINAGE PLAN (NOT USED)
  - 20 CONCRETE BOLLARD
  - 21 TYPICAL PAVEMENT SECTION
  - 22A PAVEMENT EDGE
  - 23 TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT
  - 24 TRANSVERSE & LONGITUDINAL DOWELED CONST. JOINT
  - 24A BUTT JOINT
  - 25 CONCRETE APRON AT DUMPSTER ENCLOSURE
  - 26 CONCRETE PAVING AT DRIVE-THRU LANE
  - 27 ALUMINUM HANDRAIL
  - 28 TYPICAL ADA RAMP AND HANDRAIL (NOT USED)
  - 29 MULTI-LANE DIRECTIONAL GRAPHICS
  - 30 CROSSWALK (NOT USED)
  - 31 DRIVE-THRU ORDER POINT ISLAND CURB
  - 32 MENU BOARD LOOP DETECTION SYSTEM
  - 33 GREASE TRAP (SEE SITE PLUMBING PLAN, SHEET PS-1.0)
  - 34 TYPICAL LIGHT POLE BASE
  - 35 FLAGPOLE - ECX SERIES 50 FOOT FLAG POLE PACKAGE, BY APPROVED VENDORS: THE FLAG COMPANY OR ATLAS FLAGS
  - 36 REFUSE/STORAGE BUILDING (REFER TO ARCHITECTURAL PLAN, SHEET A-3.6)
  - 37 CHICK-FIL-A PRIME (MONUMENT) SIGN (11 FT. HIGH)  
NOTE: GENERAL CONTRACTOR SHALL COORDINATE WITH SIGN COMPANY IF THERE WILL BE SPECIAL FINISH REQUIREMENTS AT THE BASE OF THE MONUMENT SIGN.
  - 38 MENU BOARD & CANOPY ORDERING STATION
  - 39 2 FT. CHAMFER ON CONCRETE PAVEMENT
  - 40 BICYCLE RACK (MODEL No. B342-1042) ON A FOUR INCH (4") THICK CONCRETE SLAB
  - 41 4" WIDE WHITE STRIPING (SEE PAINT ADDITIVE NOTE IN DETAIL 5, SHEET C-4.0)
  - 42 1 FT. x 5 FT. (SPACED AT 3 FT. ON-CENTER) PAINTED WHITE CROSSWALK STRIPING PER FOOT INDEX 17346. (SEE PAINT ADDITIVE NOTE IN DETAIL 5, SHEET C-4.0)
  - 43 DRAINAGE STRUCTURE (REFER TO GRADING PLAN, SHEET No. C-3.0)
  - 44 PAINTED DIAGONAL / CHEVRON STRIPING
  - 45 OUTDOOR SEATING - SIXTEEN (16) SEATS (REFER TO ARCH'L PLANS FOR DETAILS)
  - 46 2'-4" SKIP WHITE PAINTED GUIDE LINE (PER FOOT INDEX 17346)



5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:  
Mark Date By

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Seal  
STUART ANDERSON, P.E.  
FL. REG. #60848

AA 008420  
CA 8660  
604 COURTLAND STREET, SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.646.6008  
FX 407.629.9124

**INTERPLAN**  
ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

STORE  
FSU S08 N-H-LG (Rev.)  
LAND O' LAKES

2349 SUN VISTA DRIVE  
LUTZ, FLORIDA 33559

SHEET TITLE  
SITE DIMENSION  
PLAN

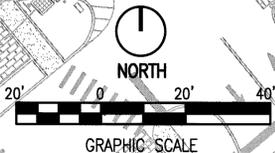
VERSION: V3  
ISSUE DATE: 06/2015

Job No. : 2014.0396  
Store : 3508  
Date : 06/2015  
Drawn By : MJ  
Checked By : JS

Sheet  
**C-2.0**

SITE DIMENSION PLAN

1" = 20'



STATE ROAD NO. 56  
(PUBLIC R/W VARIES)

SITE BENCHMARK # 1  
ELEVATION ON C.M. = 59.47  
DATUM = NAVD 83

SITE BENCHMARK # 2  
ELEVATION ON C.M. = 59.89  
DATUM = NAVD 83

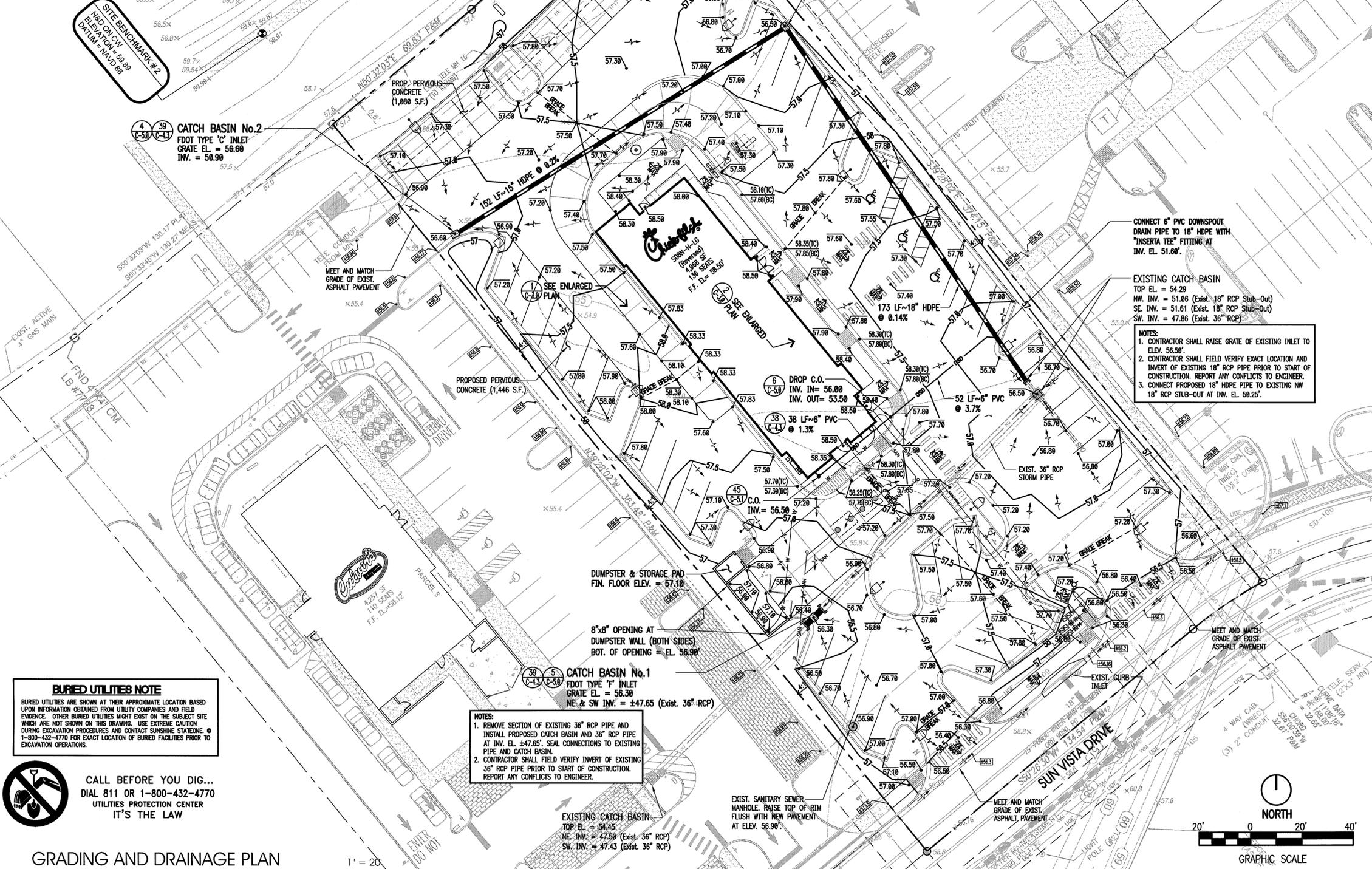
**BURIED UTILITIES NOTE**  
BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION BASED UPON INFORMATION OBTAINED FROM UTILITY COMPANIES AND FIELD EVIDENCE. OTHER BURIED UTILITIES MIGHT EXIST ON THE SUBJECT SITE WHICH ARE NOT SHOWN ON THIS DRAWING. USE EXTREME CAUTION DURING EXCAVATION PROCEDURES AND CONTACT SUNSHINE STATEWIDE, 1-800-432-4770 FOR EXACT LOCATION OF BURIED FACILITIES PRIOR TO EXCAVATION OPERATIONS.

CALL BEFORE YOU DIG...  
DIAL 811 OR 1-800-432-4770  
UTILITIES PROTECTION CENTER  
IT'S THE LAW

GRADING AND DRAINAGE PLAN 1" = 20'

**NOTES:**  
1. REMOVE SECTION OF EXISTING 36" RCP PIPE AND INSTALL PROPOSED CATCH BASIN AND 36" RCP PIPE AT INV. EL. ±47.85'. SEAL CONNECTIONS TO EXISTING PIPE AND CATCH BASIN.  
2. CONTRACTOR SHALL FIELD VERIFY INVERT OF EXISTING 36" RCP PIPE PRIOR TO START OF CONSTRUCTION. REPORT ANY CONFLICTS TO ENGINEER.

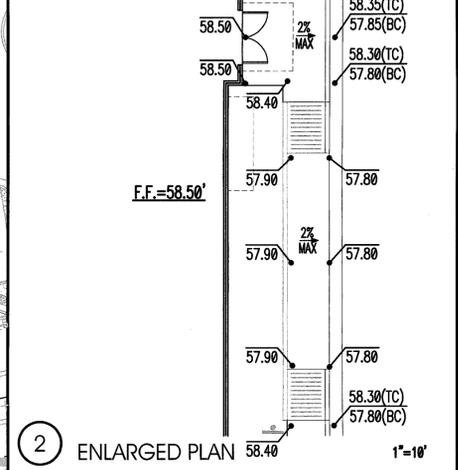
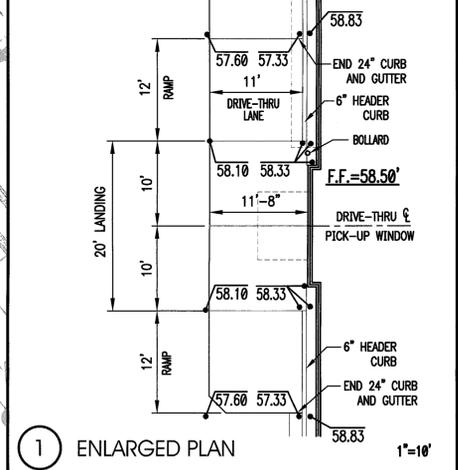
EXISTING CATCH BASIN  
TOP EL. = 54.45  
NE INV. = 47.50 (Exist. 36" RCP)  
SW INV. = 47.43 (Exist. 36" RCP)



**LEGEND**

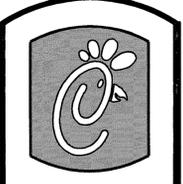
	PROPOSED SPOT ELEVATION (SEE NOTE BELOW)
	PROPOSED CONTOUR ELEVATION
	EXISTING CONTOUR (BY SURVEY)
	EXISTING SPOT-ELEVATION
	HIGH POINT
	DIRECTION OF FLOW AND PERCENT SLOPE
	DOWN SPOUT DRAINS
	STORM SEWER
	GRADE BREAK
	BORING LOCATION (SEE SOILS REPORT)
	CLEANOUT (CO)
	TOP OF CURB
	BOTTOM OF CURB

NOTE: PROPOSED SPOT ELEVATIONS ARE DESIGNED TO BE AT BOTTOM OF CURB.



**ADA COMPLIANCE NOTES:**  
1. HANDICAP PARKING SPACES SHALL NOT EXCEED A 2% MAX. SLOPE IN ANY DIRECTION.  
2. ACCESSIBLE ROUTES (CROSSWALK AREAS AND SIDEWALKS) SHALL NOT EXCEED 2% MAX. CROSS SLOPE OR 5% MAX. LONGITUDINAL SLOPE.

REQUIRED PERVIOUS CONCRETE PAVEMENT:  
10% OF TOTAL PARKING AREA = 37,618 S.F. x 0.10 = 3,762 S.F.  
PERVIOUS CONCRETE PROVIDED = 4,146 S.F.



Cheddar's

5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:  
Mark Date By

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Seal  
STUART ANDERSON, P.E.  
FL REG. #68848

AA 003420  
CA 8640  
604 COURTLAND STREET, SUITE 100  
PALM BEACH, FLORIDA 33484  
PH: 407.629.9124  
FX: 407.629.9124

**INTERPLAN 37**  
ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

STORE  
FSU S08 N-H-LG (Rev.)  
LAND O' LAKES

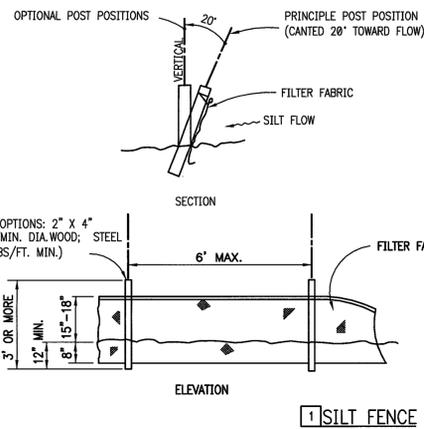
2349 SUN VISTA DRIVE  
LUTZ, FLORIDA 33559

SHEET TITLE  
GRADING PLAN

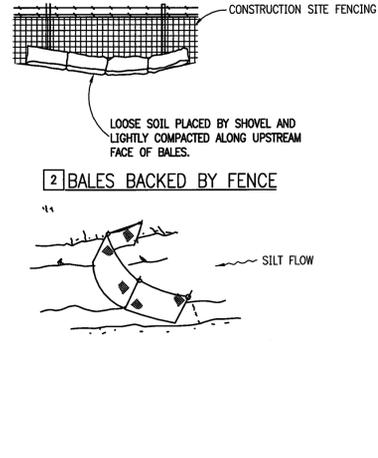
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Sheet  
**C-3.0**



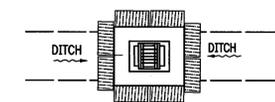
EROSION CONTROL DETAILS



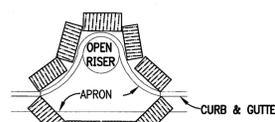
ANCHORING BALES

4 COMPLETED INLET

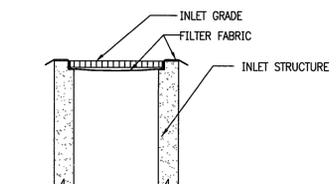
ANCHOR BALES WITH 2 - 2" X 2" X 4" STAKES PER BALE.



5 DITCH BOTTOM INLET

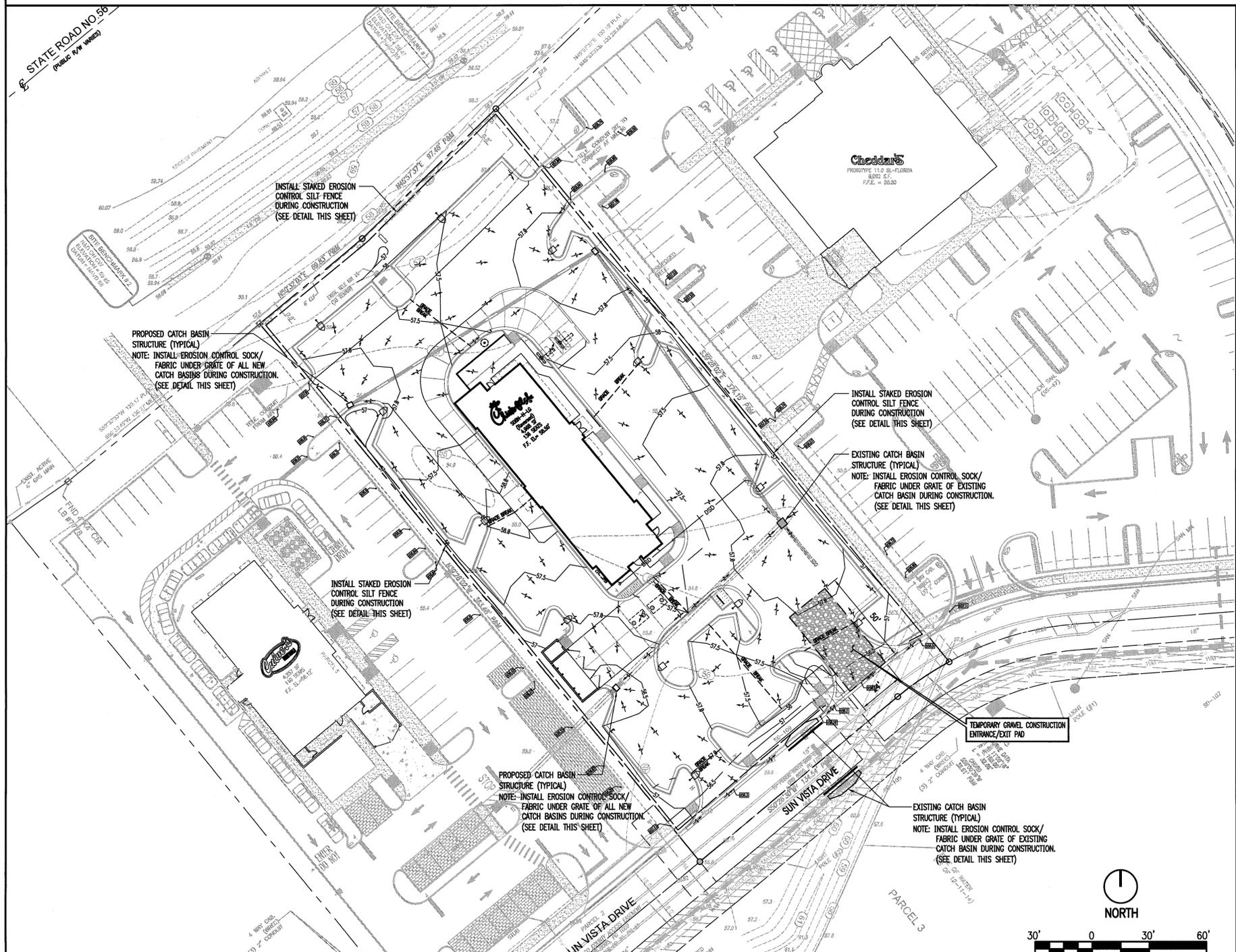


4 PARTIAL INLET



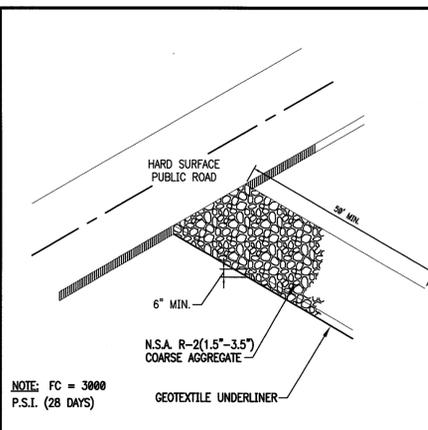
6 EROSION CONTROL SOCK

PROTECTION AROUND INLETS OR SIMILAR STRUCTURES



STORMWATER POLLUTION PREVENTION PLAN

1" = 30'



1 CRUSHED STONE CONSTRUCTION EXIT

TOTAL AREA (SF) (AC)	*DISTURBED AREA (SF) (AC)	UNDISTURBED AREA (SF) (AC)	IMPERVIOUS* AREA (SF) (AC)	PERVIOUS* AREA (SF) (AC)
61,090 1.402	61,090 1.402	0	45,140 1.036	15,950 0.366

\*IMPERVIOUS + PERVIOUS = DISTURBED  
Stormwater Pollution Prevention Plan Inspection Report Form

Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

LOCATION	RAIN DATA	TYPE OF CONTROL	DATE INSTALLED	CURRENT CONDITION / CORRECTIVE ACTION

Condition Code:  
G = Good M = Marginal, needs maintenance or replacement soon  
P = Poor, needs immediate maintenance or replacement C = Needs to be cleaned  
O = Other

Control Type Codes	Control Type Codes	Control Type Codes
1. Silt Fence	16. Storm drain inlet protection	19. Reinforced soil retaining system
2. Earth dikes	17. Vegetative buffer strip	20. Gabion
3. Structural diversion	18. Vegetative preservation area	21. Sediment Basin
4. Swale	19. Retention Pond	22. Temporary seed / sod
5. Sediment Trap	20. Construction entrance stabilization	23. Permanent seed / sod
6. Check dam	21. Perimeter ditch	24. Mulch
7. Subsurface drain	22. Curb and gutter	25. Synthetic Bales
8. Pipe slope drain	23. Paved road surface	26. Geotextile
9. Level spreaders	24. Rock outlet protection	27. Rip-rap
28. Tree protection	31. Waste disposal/housekeeping	33. Sand Bag
29. Detention pond	32. Dam	34. Other
30. Retention pond		

Inspector Information:  
Name \_\_\_\_\_ Date \_\_\_\_\_

Qualification  
The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non-compliance identified above.

\*\*\*\*\*  
I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Name (Responsible Authority) \_\_\_\_\_ Date \_\_\_\_\_  
NOTE: THIS EXAMPLE INSPECTION LOG IS GIVEN FOR REFERENCE PURPOSES. THIS OR A SIMILAR FORM IS REQUIRED PER NOTE 16.

POLLUTION CONTROL NOTES

- ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.
- EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH LOCAL CITY/COUNTY AND WATER MANAGEMENT DISTRICT SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONS OF SITE PERMITS.
- ALL AREAS AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF LOCAL SPECIFICATIONS.
- THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION AND STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL KEEP ANY AND ALL SAND, SILT OR OTHER DEBRIS FROM MOVING OFF-SITE. USE AND MAINTAIN SILT FENCE JUST INSIDE OF PROPERTY LINE.
- CONTRACTOR SHALL BLOCK INTRUSION OF SAND, SILT OR OTHER DEBRIS INTO ANY DRAINAGE OR SANITARY SEWER STRUCTURE OR PIPING ON OR ADJACENT TO SITE.
- ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
- FOR ADDITIONAL INFORMATION AND DETAILS, SEE F.O.D.T. INDEX NO. 102.
- UNLESS SPECIFIED, SILT FENCES MAY BE USED IN LIEU OF SYNTHETIC BARRIERS.
- ADDITIONAL BARRIER LENGTHS MAY BE REQUIRED BY THE COUNTY ENGINEER OR BY REGULATORY AGENCIES.
- ADDITIONAL POSTS AND RAILS MAY BE NECESSARY TO SECURE AND SUPPORT BARRIERS.
- ADDITIONAL BARRIER LENGTHS MAY BE REQUIRED BY THE COUNTY ENGINEER OR BY REGULATORY AGENCIES.
- FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR SYNTHETIC BALES, UNTIL THE LIMESTONE BASE IS FINISHED AND PRIMED.
- THE CONTRACTOR IS REQUIRED TO HAVE THIS PLAN ALONG WITH A COPY OF THE NPDES NOTICE OF INTENT POSTED IN A VISIBLE LOCATION ON THE CONSTRUCTION SITE AT ALL TIMES.
- CONTRACTOR IS REQUIRED BY NPDES TO KEEP A LOG ON SITE FOR THE SOIL EROSION AND SEDIMENT CONTROL MEASURES INDICATED ON THE PLAN. THE LOG SHALL CONTAIN DATES FOR: INSTALLATION OF CONTROL MEASURES, MAJOR SITE CONSTRUCTION ACTIVITIES, INSPECTION ON AT LEAST A WEEKLY BASIS AND INSPECTION AFTER ANY RAINFALL EVENT THAT IS 1/2" OR GREATER.
- THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF TERMINATION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION UPON THE COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL RETAIN ALL RECORDS FOR A PERIOD OF THREE YEARS FOLLOWING THE NOTICE OF TERMINATION.
- NON STORMWATER DISCHARGES SUCH AS FIRE HYDRANT FLUSHING, ETC SHALL BE DISCHARGED TO EXISTING UNDERGROUND STORMWATER FACILITY OR ON SITE RETENTION POND.
- ANY POTENTIALLY HAZARDOUS CHEMICALS BROUGHT ONTO THE JOB SITE WILL BE LIMITED AND KEPT IN ORIGINAL CONTAINER WITH MSDS LABEL.
- NO SILT SHALL BE TRACKED ONTO PUBLIC ROADWAYS. ANY SILT DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED BY THE END OF THE WORK DAY.

CONTRACTOR(S) AND SUBCONTRACTOR(S) THAT IMPLEMENT ANY PART OF THE EROSION/POLLUTION CONTROL MEASURES REQUIRED BY THE NPDES PERMIT SHALL SIGN BELOW:

I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared thereunder.

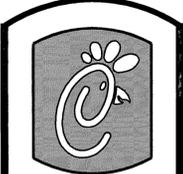
Name	Title	Company Name, Address & phone number	Date

ENGINEER'S CERTIFICATION:  
I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

STUART ANDERSON, P.E. #60848 \_\_\_\_\_ Date \_\_\_\_\_

OWNER/AGENT CERTIFICATIONS:  
I HAVE REVIEWED THIS PLAN AND AGREE TO COMPLY WITH THE REQUIREMENTS SHOWN HEREON.

OWNER/AUTHORIZED REPRESENTATIVE \_\_\_\_\_ Date \_\_\_\_\_



5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:  
Mark Date By

Mark	Date	By
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Seal  
STUART ANDERSON, P.E.  
FL REG. #60848

INTERPLAN 37  
ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

STORE  
FSU S08 N-H-LG (Rev.)  
LAND O' LAKES

2349 SUN VISTA DRIVE  
LUTZ, FLORIDA 33559

SHEET TITLE  
STORMWATER  
POLLUTION PREVENTION  
PLAN

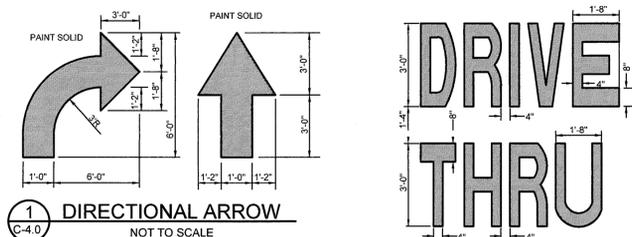
VERSION: V3  
ISSUE DATE: 06/2015

Job No. : 2014.0396  
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Date : 06/2015  
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Checked By : JS

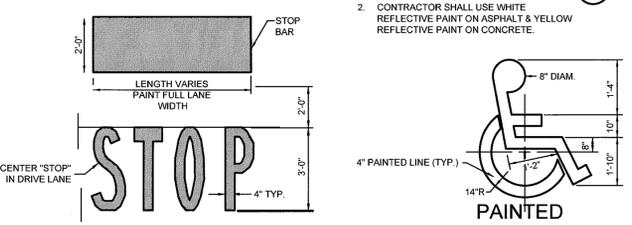
Sheet

C-31



**1 DIRECTIONAL ARROW**  
C-4.0  
NOT TO SCALE

**2 DRIVE-THRU GRAPHICS**  
C-4.0  
NOT TO SCALE

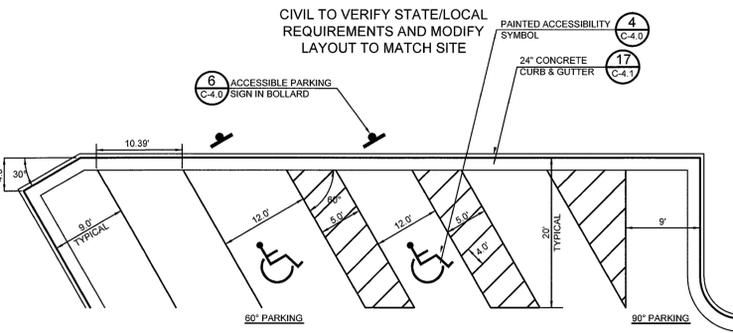


**3 STOP LINE GRAPHIC**  
C-4.0  
NOT TO SCALE

**4 ACCESSIBILITY SYMBOL**  
C-4.0  
NOT TO SCALE

**NOTES:**

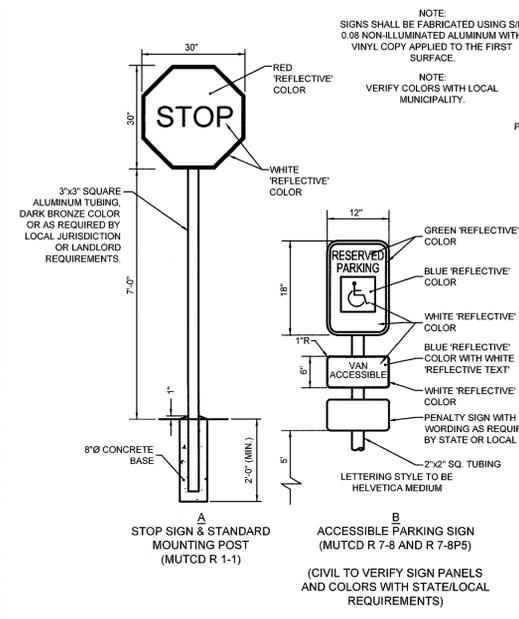
- GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.
- CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.



**NOTES:**

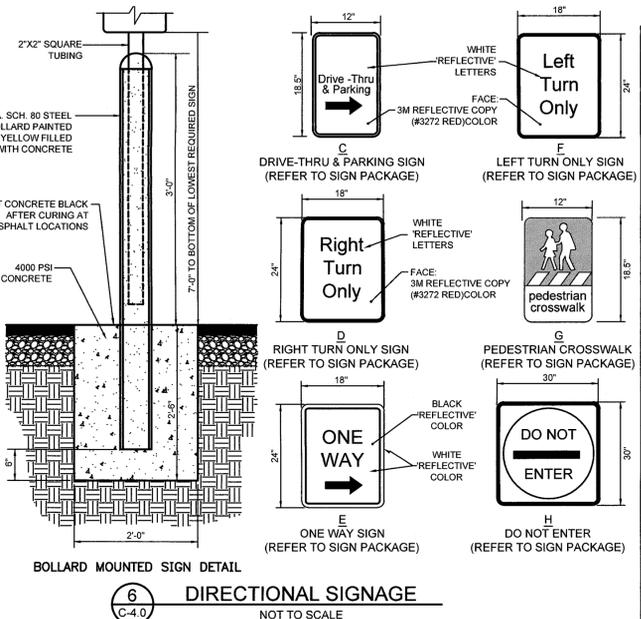
- ACCESSIBLE PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 1:50 IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESS ISLE IS INSTALLED, IT IS TO BE A VAN SIZE.
- PARKING STALL DIMENSIONING SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITY'S AND ADA STANDARDS AND IF DIFFERENT THAN THIS DETAIL SHALL BE THE DIMENSIONING SHOWN ON THE SITE LAYOUT PLAN.
- GENERAL CONTRACTOR SHALL REFER TO CHICK-FIL-A PARKING LOT STRIPING SPECIFICATIONS.
- CONTRACTOR SHALL USE 4" WIDE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.
- CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS.
- NO WHEEL STOPS TO BE INSTALLED WHEN PARKING IS ADJACENT TO SIDEWALK.
- ADA SIGNS IN BOLLARDS AND BOLLARDS SHALL BE INSTALLED WHEN PARKING IS ADJACENT TO FLUSH CURB OR A RAMP.

**PAINT ADDITIVE NOTE:**  
GENERAL CONTRACTOR SHALL ADD H&C "SHARKGRIP" SLIP RESISTANT PAINT ADDITIVE TO PAINT.  
SHERWIN-WILLIAMS CONTACT:  
WALTER J. HEAD  
404-323-2293  
mthhead@sherwin.com



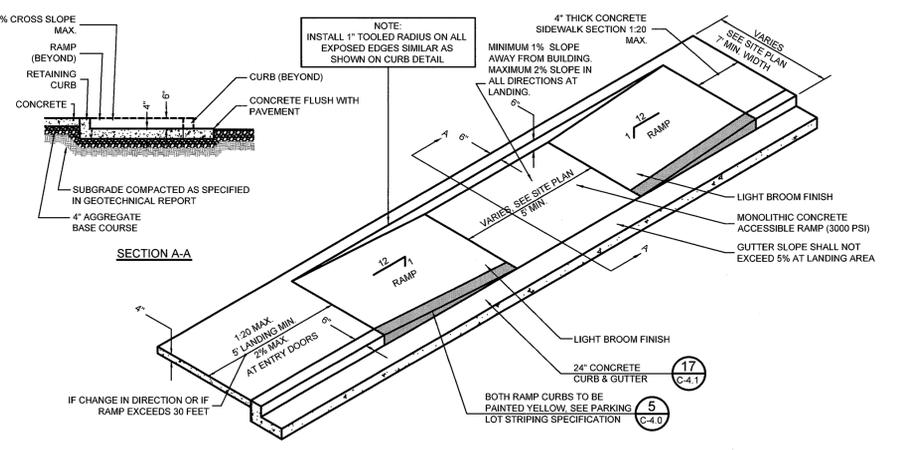
**NOTES:**

- SIGNS SHALL BE FABRICATED USING SIF 0.08 NON-ILLUMINATED ALUMINUM WITH VINYL COPY APPLIED TO THE FIRST SURFACE.
- VERIFY COLORS WITH LOCAL MUNICIPALITY.



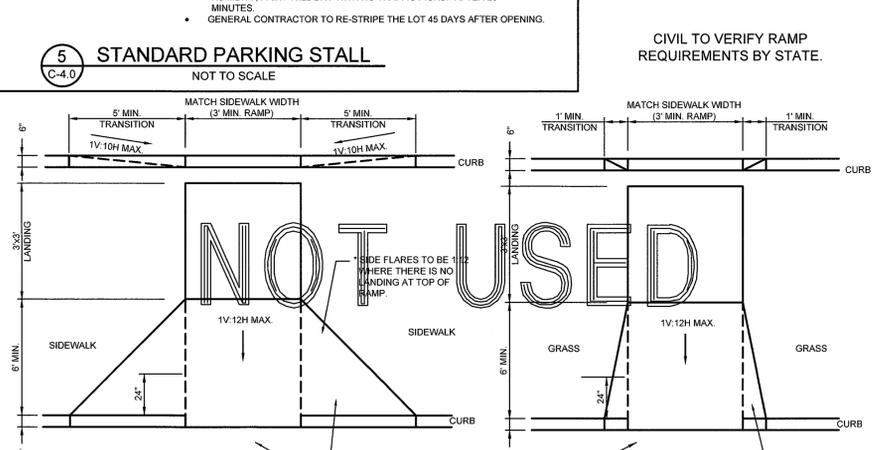
**6 DIRECTIONAL SIGNAGE**  
C-4.0  
NOT TO SCALE

**NOTE:** SIGNS PROVIDED AND INSTALLED BY CFA SIGNAGE CONTRACTOR



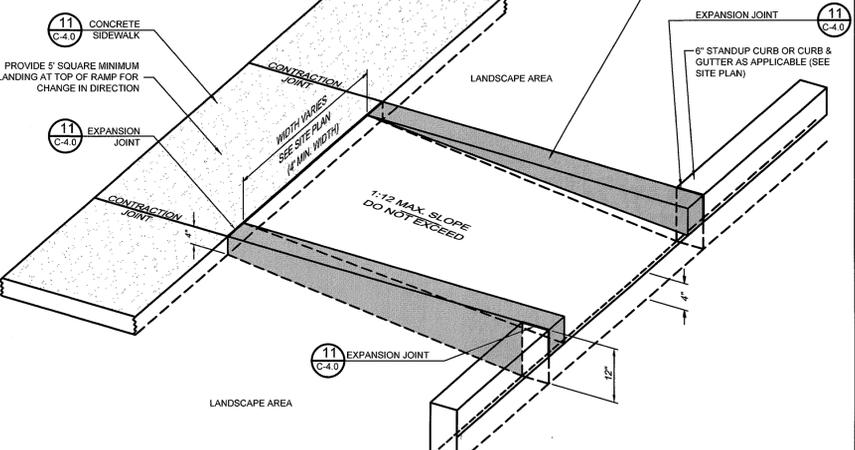
**5 STANDARD PARKING STALL**  
C-4.0  
NOT TO SCALE

**7 SIDEWALK ACCESSIBLE RAMP**  
C-4.0  
NOT TO SCALE

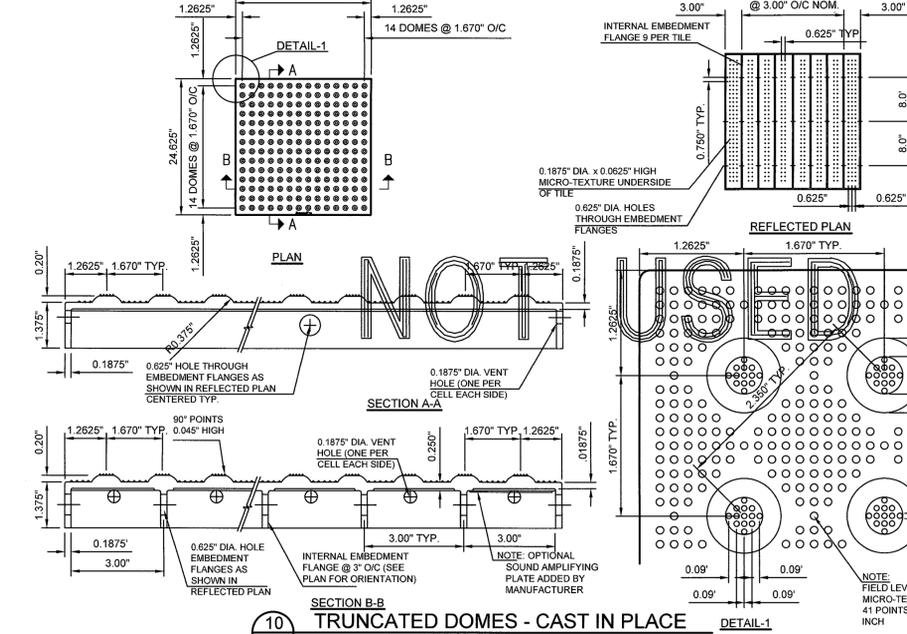


**8 CURB RAMP w/ FLARED SIDES**  
C-4.0  
NOT TO SCALE

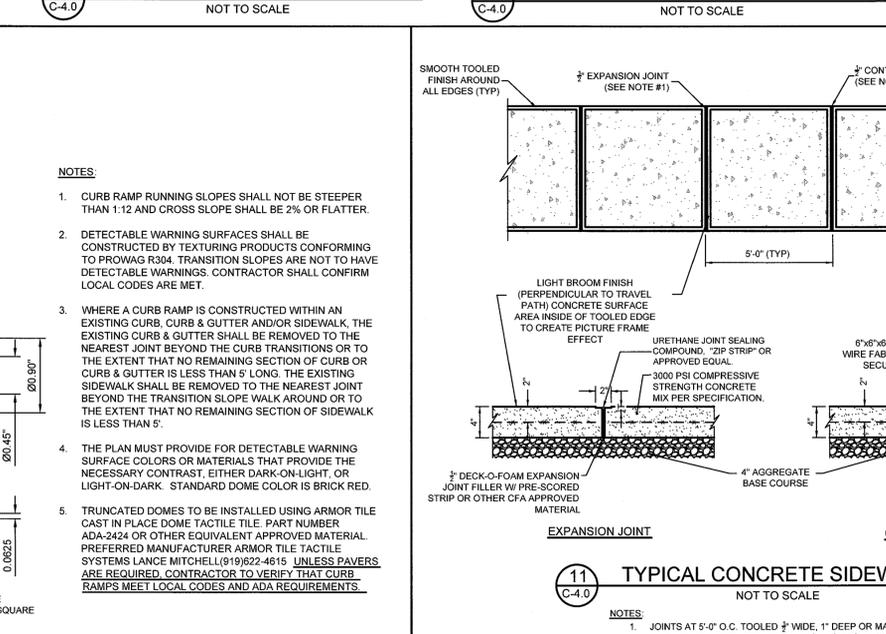
**8A CURB RAMP w/ SHORT FLARED SIDES**  
C-4.0  
NOT TO SCALE



**9 RETURNED CURB ACCESSIBLE RAMP**  
C-4.0  
NOT TO SCALE



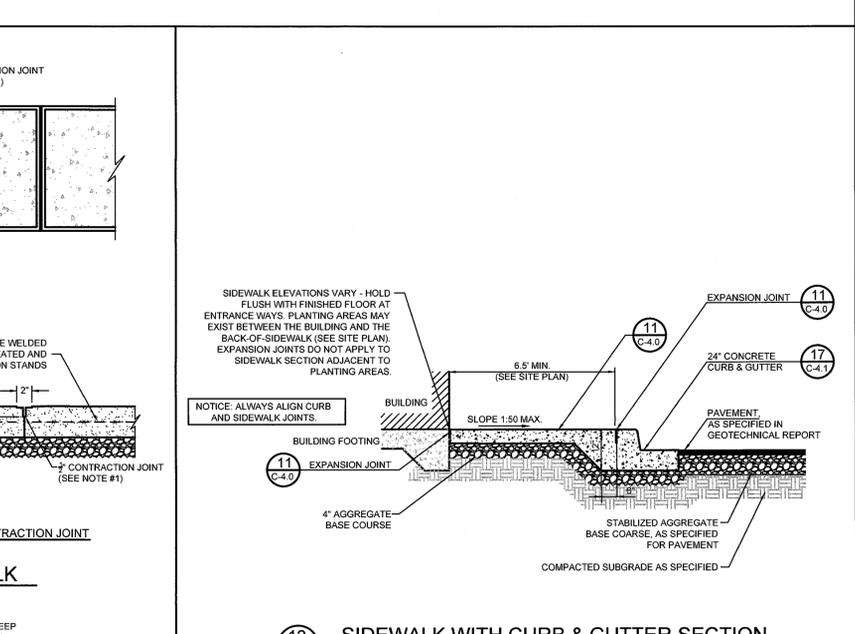
**10 TRUNCATED DOMES - CAST IN PLACE**  
C-4.0  
NOT TO SCALE  
ONLY IF REQUIRED BY STATE/LOCAL ORDINANCE (CIVIL ENGINEER TO VERIFY)



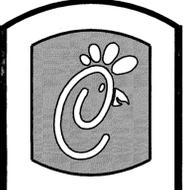
**11 TYPICAL CONCRETE SIDEWALK**  
C-4.0  
NOT TO SCALE

**NOTES:**

- JOINTS AT 5'-0" O.C. TOOLED 1/2" WIDE, 1" DEEP OR MAX. 2" DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 20' MAX. & ALL P.C.s. UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.



**12 SIDEWALK WITH CURB & GUTTER SECTION**  
C-4.0  
NOT TO SCALE



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30349-2998

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STUART ANDERSON, P.E.  
FL REG. #60846

AA 003420  
CA 8640  
604 COURTLAND STREET, SUITE 100  
ORLANDO, FLORIDA 32804  
PH: 407.646.5300  
FX: 407.627.9124

INTERPLAN  
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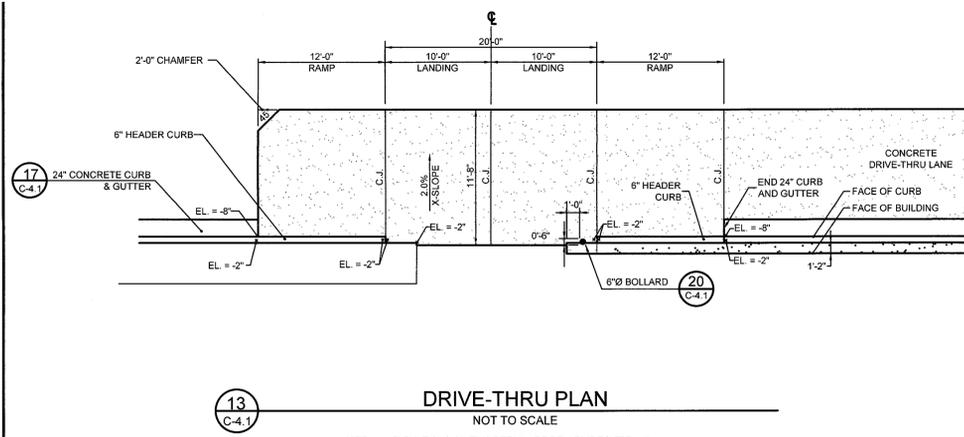
2349 SUN VISTA DRIVE  
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SHEET TITLE  
CFA STANDARD  
DETAILS

VERSION: V3  
ISSUE DATE: 06/2015

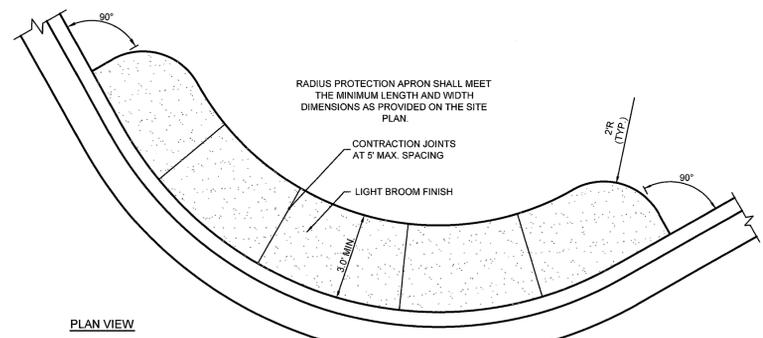
Job No. : 2014.0396  
Store : 3508  
Date : 06/2015  
Drawn By : MJ  
Checked By : SA

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**C-4.0**



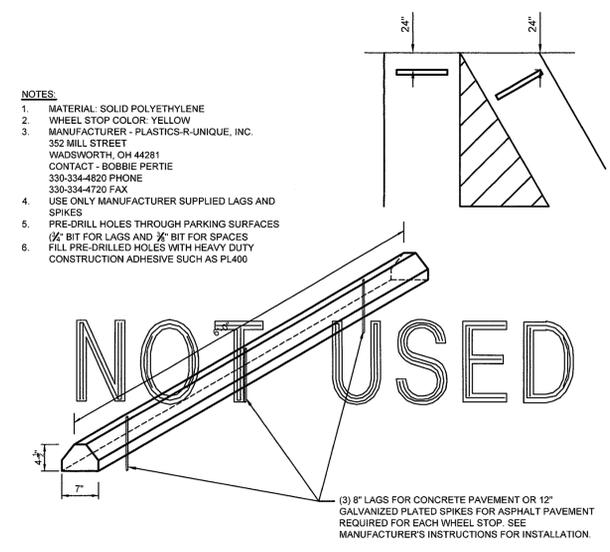
13 DRIVE-THRU PLAN  
NOT TO SCALE

NOTE: ALL ELEVATIONS ON THIS DETAIL ARE RELATIVE TO FFE = 0'



14 DRIVE-THRU ISOMETRIC  
NOT TO SCALE

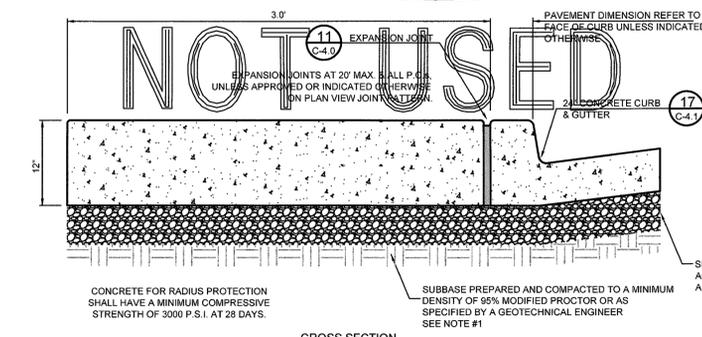
NOTE: 1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.



15 SOLID PLASTIC WHEEL STOP  
NOT TO SCALE

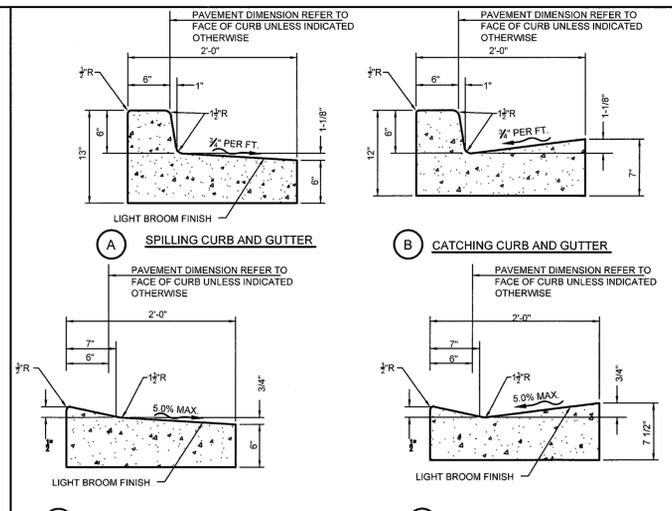
NOTE: WHEEL STOPS ONLY TO BE USED WHEN NO OTHER PRACTICAL OPTION EXISTS

NOTES:  
1. MATERIAL: SOLID POLYETHYLENE  
2. WHEEL STOP COLOR: YELLOW  
3. MANUFACTURER - PLASTICS-R-UNIQUE, INC. 352 MILL STREET WADSWORTH, OH 44281 CONTACT - BOBBIE PERTIE 330-334-4820 PHONE 330-334-4720 FAX  
4. USE ONLY MANUFACTURER SUPPLIED LAGS AND SPIKES  
5. PRE-DRILL HOLES THROUGH PARKING SURFACES (1/2\"/>



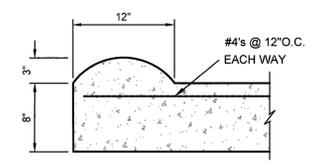
16 LANDSCAPE & IRRIGATION PROTECTOR  
NOT TO SCALE

NOTE: 1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.



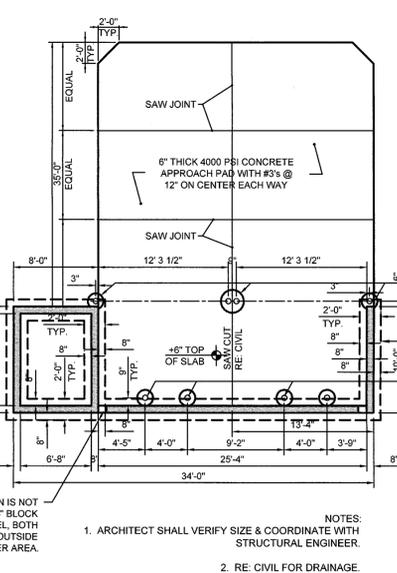
17 24\"/>

CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS.  
CONSTRUCTION STAKING FOR CURBING INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB  
AT CONTRACTOR'S OPTION THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER PARALLEL WITH PAVING OF BASE COURSE.  
CONTRACTION JOINTS AT 10'-0\"/>



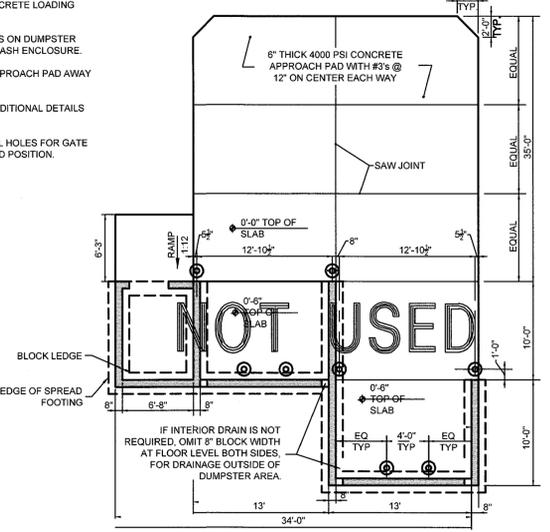
18 ROLLOVER/MOUNTABLE CURB  
NOT TO SCALE

NOTES:  
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS  
2. EXPANSION JOINT FILLER SHALL BE FLEXIBLE, LIGHTWEIGHT, NON-STAINING, POLYETHYLENE, CLOSED-CELL EXPANSION JOINT

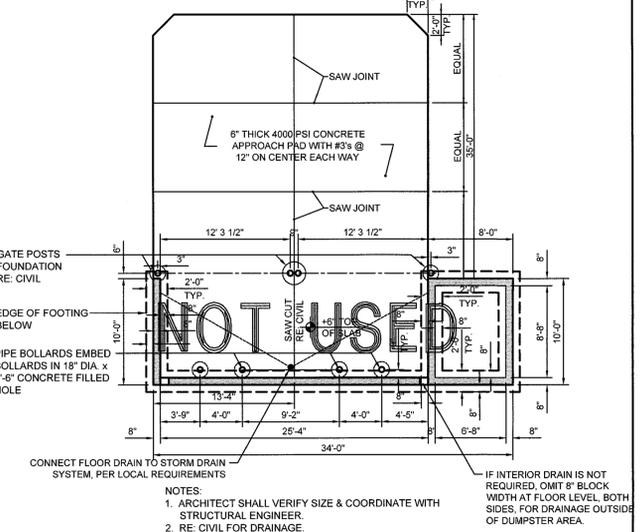


19 SCREENED REFUSE ENCLOSURE FOUNDATION PLAN  
NOT TO SCALE

REFUSE ENCLOSURE PLAN GENERAL NOTES:  
1. SEE SITE PLAN FOR LAYOUT OF CONCRETE LOADING PAD.  
2. SEE GRADING PLAN FOR ELEVATIONS ON DUMPSTER PAD AND DRAINAGE OF INTERIOR TRASH ENCLOSURE.  
3. PROVIDE POSITIVE DRAINAGE ON APPROACH PAD AWAY FROM DUMPSTER.  
4. SEE ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS ON TRASH ENCLOSURE  
5. GENERAL CONTRACTOR SHALL DRILL HOLES FOR GATE PINS IN BOTH THE OPEN AND CLOSED POSITION.

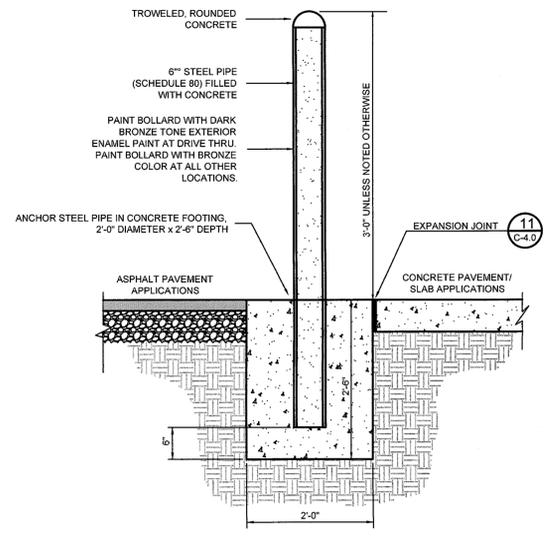


19A REFUSE ENCLOSURE FOUNDATION PLAN (ALT)  
NOT TO SCALE



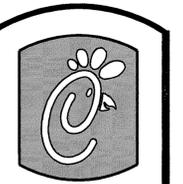
19B REFUSE ENCLOSURE ALTERNATE DRAINAGE PLAN  
NOT TO SCALE

NOTES:  
1. ARCHITECT SHALL VERIFY SIZE & COORDINATE WITH STRUCTURAL ENGINEER  
2. RE: CIVIL FOR DRAINAGE.



20 CONCRETE BOLLARD  
NOT TO SCALE

NOTE: BOLLARD HEIGHT SHALL BE 5'-0\"/>



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AA-003420 CA 8660  
604 COURTLAND STREET, SUITE 100  
ORLANDO, FLORIDA 32804  
PH: 407.645.5008  
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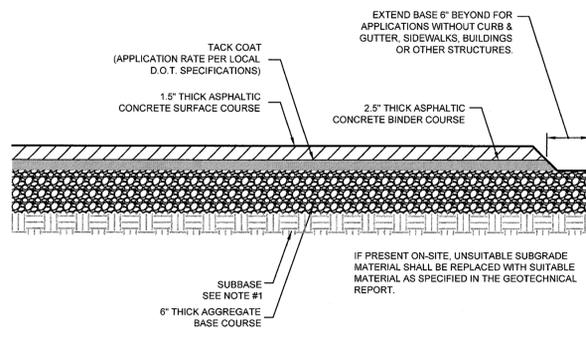
SHEET TITLE  
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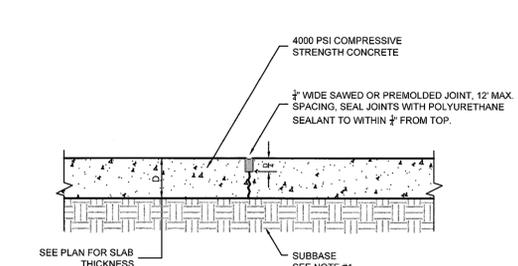
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C-4.1



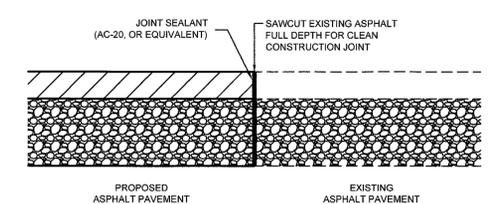
**21**  
C-4.2  
**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE

NOTE:  
1. GENERAL CONTRACTOR SHALL REFERENCE SITE SPECIFIC GEOTECHNICAL REPORT FOR PAVEMENT, AGGREGATE, AND SUBGRADE SECTION REQUIREMENTS.  
2. MINIMUM PAVEMENT THICKNESS SHOULD BE 6\"/>

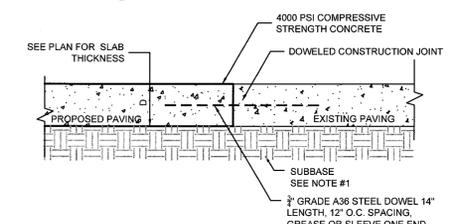


**22**  
C-4.2  
**TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT**  
NOT TO SCALE

NOTE:  
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

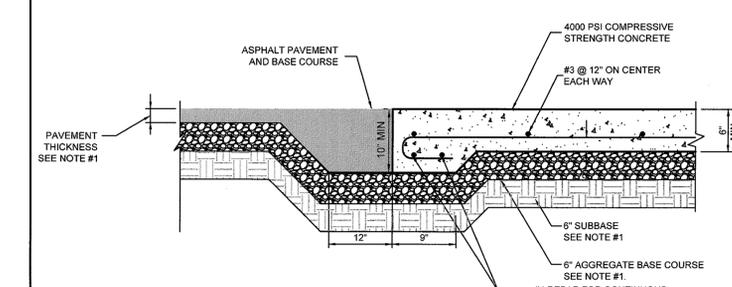


**23A**  
C-4.2  
**BUTT JOINT**  
NOT TO SCALE



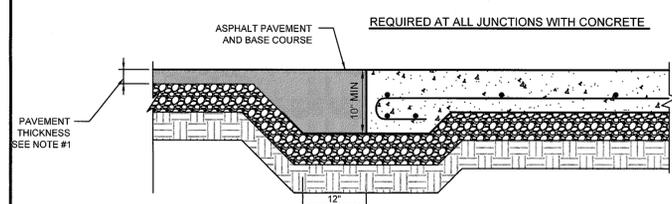
**23**  
C-4.2  
**TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT**  
NOT TO SCALE

NOTE:  
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.



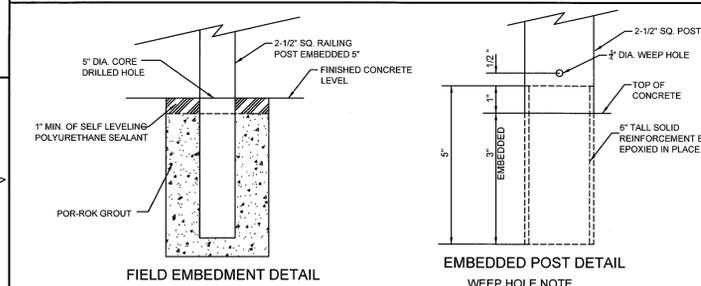
**24**  
C-4.2  
**CONCRETE APRON @ TRASH ENCLOSURE**  
NOT TO SCALE

NOTE:  
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.



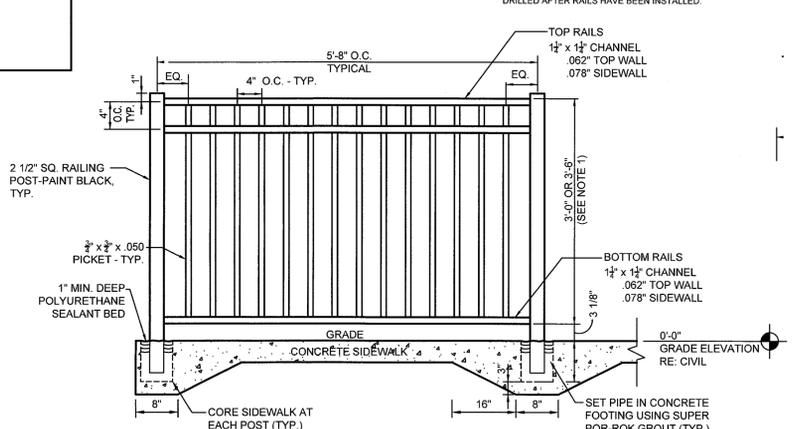
**21A**  
C-4.2  
**PAVEMENT EDGE DETAIL**  
NOT TO SCALE

NOTE:  
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.



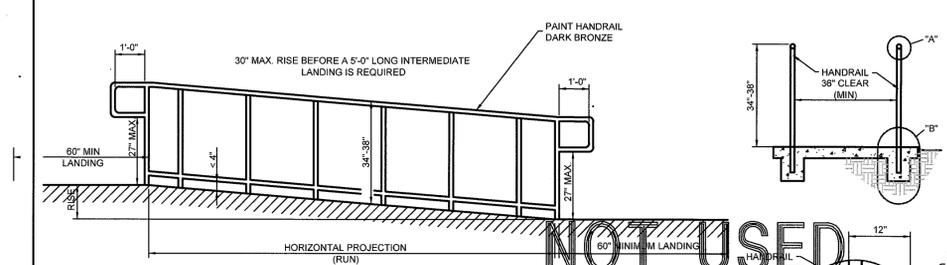
**FIELD EMBEDMENT DETAIL**  
**EMBEDDED POST DETAIL**

**WEEP HOLE NOTE**  
ALL POSTS GROUDED INTO CONCRETE MUST HAVE A 1/2\"/>



**26**  
C-4.2  
**ALUMINUM HANDRAIL**  
NOT TO SCALE

NOTES:  
1. FINAL GUARDRAIL HEIGHT 3'-0\"/>



**27**  
C-4.2  
**TYPICAL ADA RAMP AND HANDRAIL**  
NOT TO SCALE

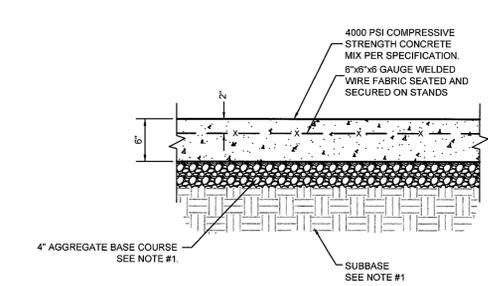
NOTE:  
1. USE ONLY COMMERCIAL GRADE ALUMINUM FENCING WITH DARK BRONZE POWDER COAT FINISH.

**RAMP** SECTION 405  
\*ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH 4.8\"/>

**LANDINGS** SECTION 405.7  
\*LEVEL LANDINGS WILL BE PROVIDED AT TOP AND BOTTOM OF EACH RAMP. LANDING LENGTH SHALL BE MIN. 60\"/>

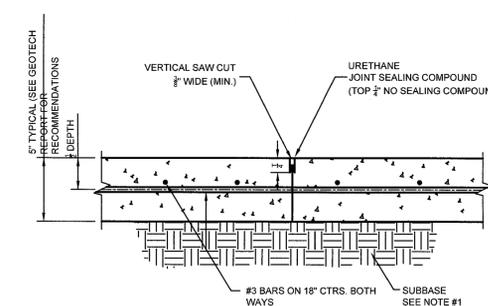
**CROSS SLOPE** SECTION 405.3  
\*THE CROSS SLOPE OF RAMP SURFACES SHALL BE NO GREATER THAN 1:50.  
\*NOWHERE SHALL THE CROSS SLOPE OF AN ACCESSIBLE ROUTE EXCEED 1:50.

NOTE: VERIFY ALL STATE AND LOCAL REQUIREMENTS FOR RAMPS AND HANDRAILS.



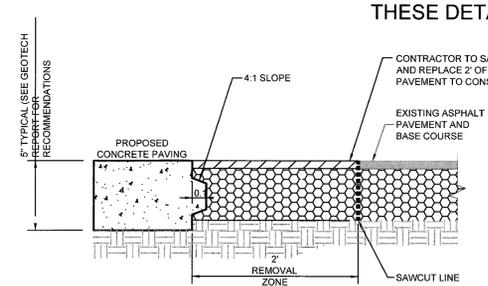
**25**  
C-4.2  
**CONCRETE PAVING DRIVE-THRU LANE**  
NOT TO SCALE

NOTE:  
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

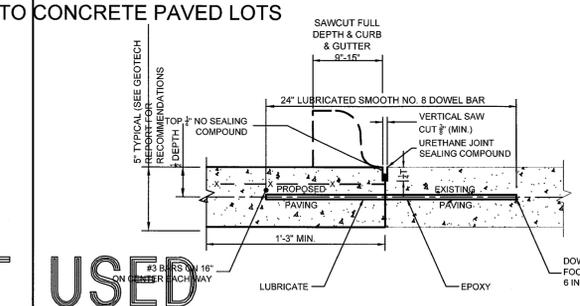


**28**  
C-4.2  
**CONTRACTION JOINT**  
NOT TO SCALE

NOTE:  
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

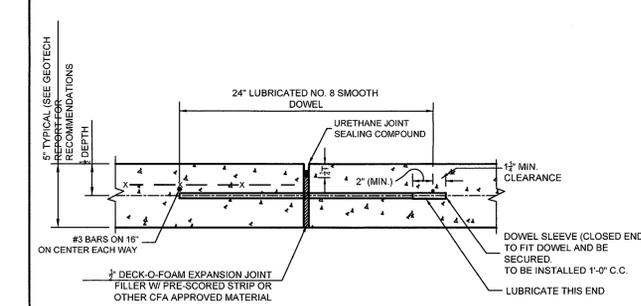


**29**  
C-4.2  
**KEYED CONSTRUCTION JOINT**  
NOT TO SCALE



**30**  
C-4.2  
**LONGITUDINAL BUTT JOINT**  
NOT TO SCALE

NOTES:  
1. DO NOT USE DOWEL BARS MADE USING INCH METRIC PAVEMENT THICKNESS.  
2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.  
3. DOWEL BARS SHALL BE DRILLED & EPOXIED INTO PAVEMENT HORIZONTALLY BY USE OF MECHANICAL EQUIP.  
4. PUSHING DOWEL BARS INTO WET CONCRETE NOT ACCEPTABLE.

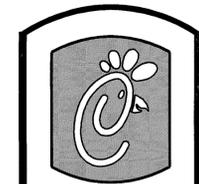


**31**  
C-4.2  
**EXPANSION JOINT**  
NOT TO SCALE

NOTES:  
1. NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.  
2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.  
3. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF MECHANICAL EQUIPMENT.  
4. DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO WET CONCRETE NOT ACCEPTABLE.  
5. JOINT SPACING TO BE 24\"/>

NOT USED  
NOT APPLICABLE ON THIS PROJECT

NOT USED  
NOT APPLICABLE ON THIS PROJECT



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**Seal**  
STUART ANDERSON, P.E.  
FL REG. #60848

AA-003420  
CA 8660  
604 COURTLAND STREET, SUITE 100  
ORLANDO, FLORIDA 32804  
PH: 407.645.5009  
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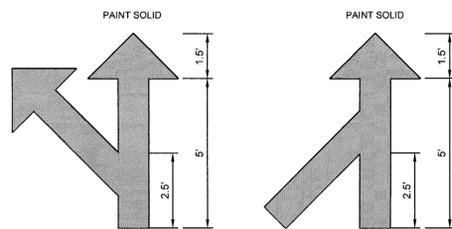
2349 SUN VISTA DRIVE  
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**SHEET TITLE**  
SHEA STANDARD  
DETAILS

VERSION: V3  
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**C-4.2**

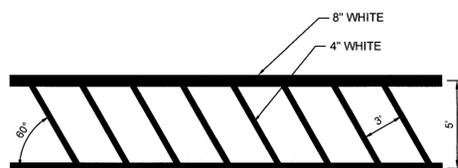


**MULTI-LANE SPLIT**      **MULTI-LANE MERGE**

**32 C-4.3 MULTI-LANE DIRECTIONAL GRAPHICS**  
NOT TO SCALE

- NOTES:**
1. GENERAL CONTRACTOR SHALL REFER TO CHICK-FILA PARKING LOT STRIPING SPECIFICATIONS, SEE DETAIL.
  2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

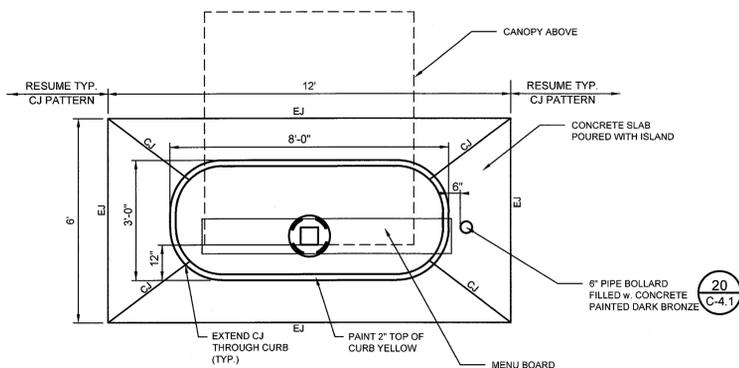
5 C-4.0



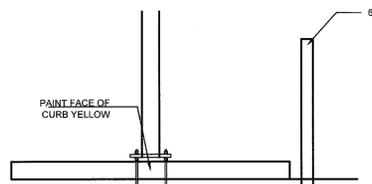
**33 C-4.3 CROSSWALK DETAIL**  
NOT TO SCALE

- NOTES:**
1. REFER TO PARKING LOT STRIPING SPECIFICATION.
  2. CROSSWALK ALONG AN ACCESSIBLE ROUTE SHALL MAINTAIN A CROSS SLOPE OF 2% MAX AND A RUNNING SLOPE OF 5% MAX.

5 C-4.0

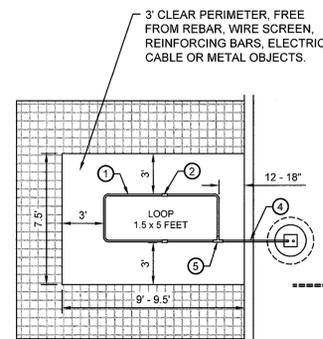


**ISLAND CURB PLAN**

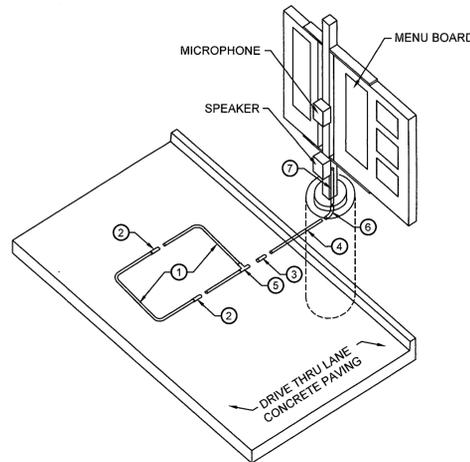


**ISLAND CURB ELEVATION**

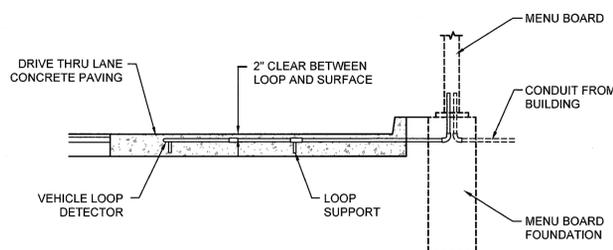
**34 C-4.3 DRIVE THRU ORDER POINT ISLAND CURB**  
NOT TO SCALE



**PLAN VIEW**



**ISOMETRIC VIEW**



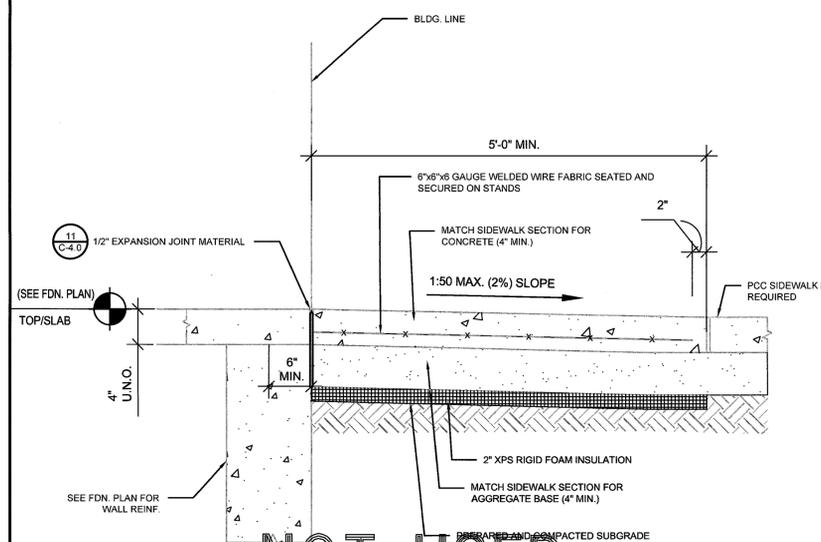
**SECTION VIEW**

**PARTS LIST**

1. PREFAB (FOLDED) LOOP (1.5' x 5')
2. 1/2" PVC COUPLING
3. 1/2" PVC SLEEVE COUPLING
4. 1/2" PVC TUBING (3' LENGTH)
5. 1/2" PVC CORNER FITTING
6. 1/2" PVC 90° ELBOW
7. 1/2" PVC TUBING (2' LENGTH)

**35 C-4.3 MENU BOARD LOOP DETECTION SYSTEM**  
NOT TO SCALE

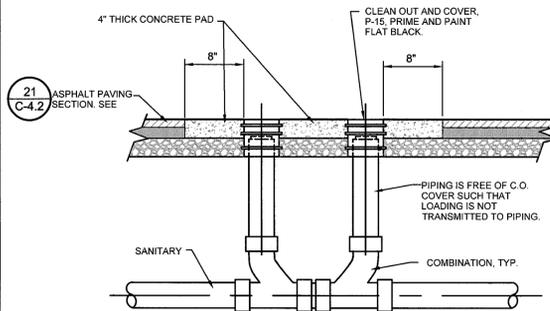
- NOTES:**
1. LOOP DETECTOR IS MODEL NO. VDL100 VEHICLE DETECTION LOOP MANUFACTURED BY MH ELECTRONICS, INC.
  2. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.



**NOT USED**

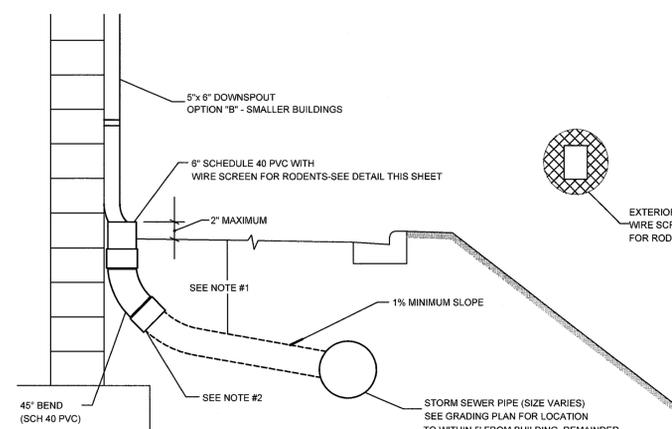
- NOTES:**
1. CONTRACTOR HAS THE OPTION TO DRILL, SET AND EPOXY GROUT DOWEL, IF NOT INSTALLED WHEN THE BUILDING SLAB WAS POURED.
  2. REFER TO ARCHITECTURAL DRAWINGS FOR DOOR LOCATIONS. DOOR STOOP SHALL EXTEND 12" PAST EACH SIDE OF DOOR MIN.
  3. USE A 10'x9' SLAB MINIMUM AT A DOUBLE DOOR ENTRY.
  4. USE A 5'x5' SLAB MINIMUM AT A SINGLE DOOR ENTRY.

**36 C-4.3 ENTRY DOOR FROST SLAB DETAIL**  
NOT TO SCALE



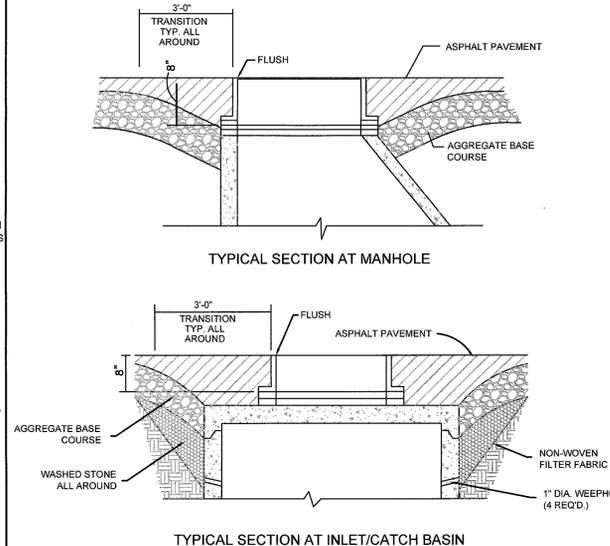
**37 C-4.3 SAN. C.O. OUTSIDE BUILDING**  
NOT TO SCALE

NOTE: SEE PLUMBING PLANS FOR GREASE TRAP DETAIL.

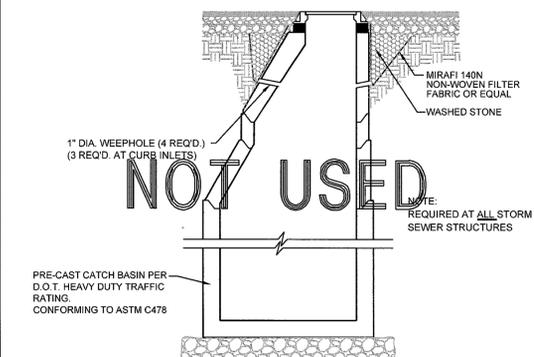


**38 C-4.3 BUILDING DOWNSPOUT CONNECTION DETAIL**  
NOT TO SCALE

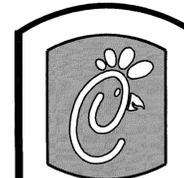
- NOTES:**
1. FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.
  2. A WATERTIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.
  3. THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.



**39 C-4.3 TYPICAL SECTION AT INLET/CATCH BASIN DETAIL**  
NOT TO SCALE



**40 C-4.3 STORM WEEP HOLE DETAIL**  
NOT TO SCALE



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Job No. : 2014.0396

Store : 3508

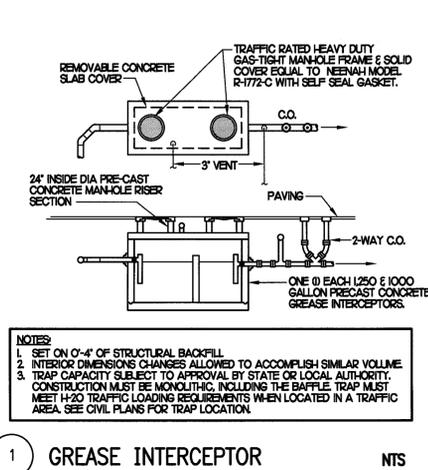
Date : 06/2015

Drawn By : MJ

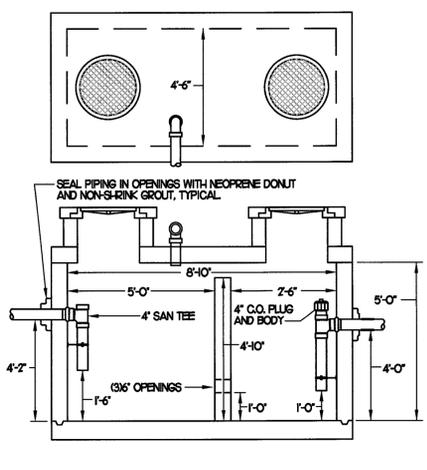
Checked By : SA

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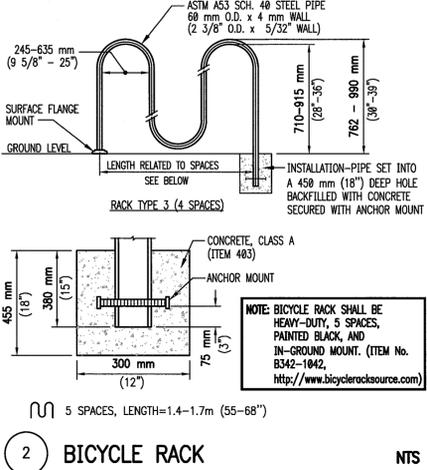
**C-4.3**



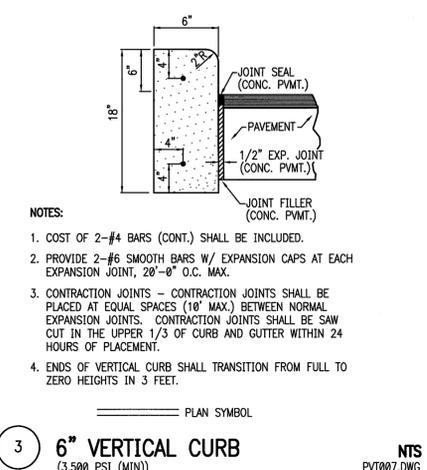
1 GREASE INTERCEPTOR NTS



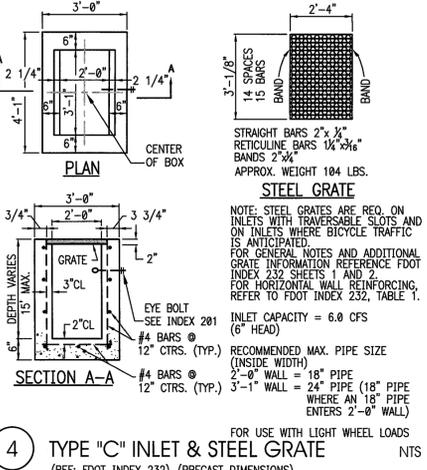
2 BICYCLE RACK NTS



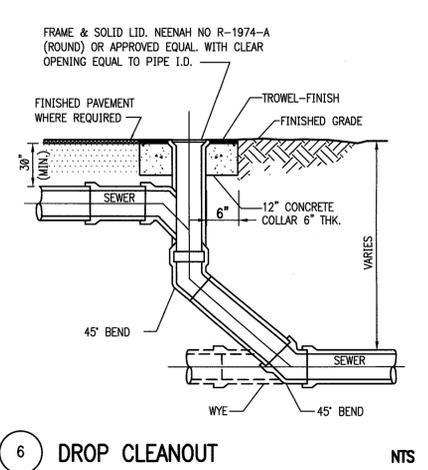
3 6\"/>



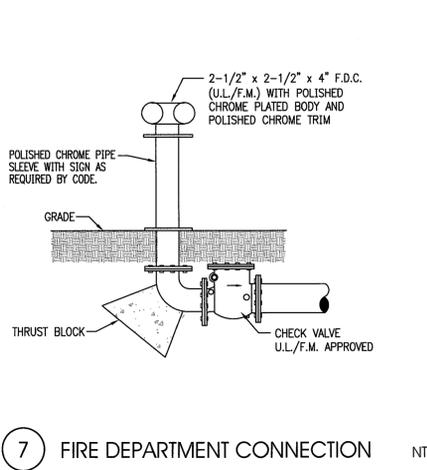
4 TYPE \"C\" INLET & STEEL GRATE NTS



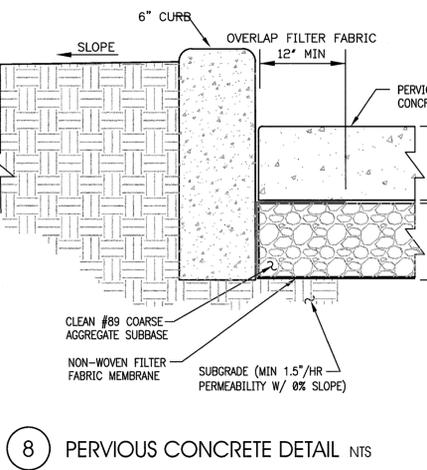
5 TYPE \"F\" INLET NTS



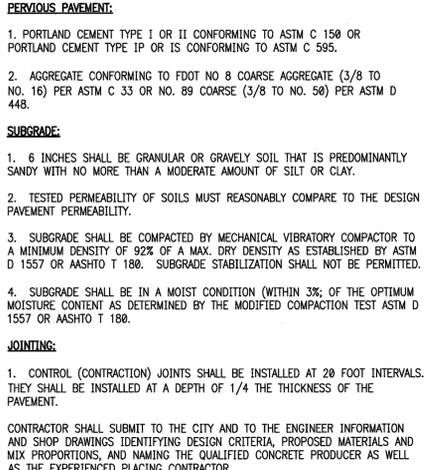
6 DROP CLEANOUT NTS



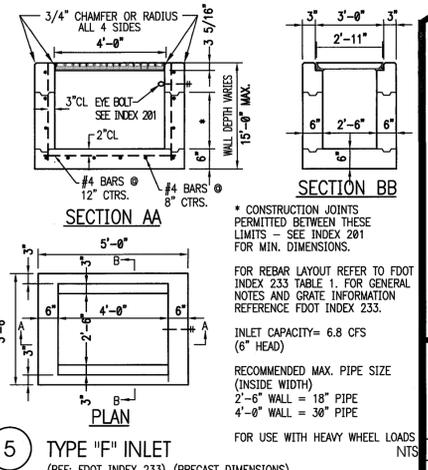
7 FIRE DEPARTMENT CONNECTION NTS



8 PERVIOUS CONCRETE DETAIL NTS



9 VALLEY GUTTER NTS



10 SEAL NTS



5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:	Mark	Date	By



STUART ANDERSON, P.E.  
FL REG. #60848

AA 003420  
CA 8450  
604 COURTLAND STREET, SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.5008  
FX 407.629.9124

**INTERPLAN**  
3111  
ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

STORE  
FSU S08 N-H-LG (Rev.)  
LAND O' LAKES

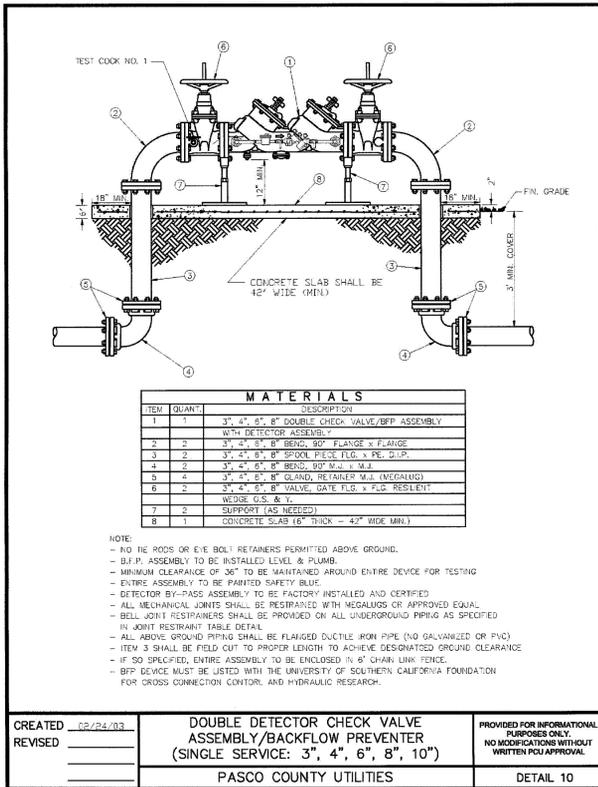
2349 SUN VISTA DRIVE  
LUTZ, FLORIDA 33559

SHEET TITLE  
CONSTRUCTION  
DETAILS

VERSION: V3  
ISSUE DATE: 06/2015

Job No. : 2014.0396  
Store : 3508  
Date : 06/2015  
Drawn By : MJ  
Checked By : SA  
Sheet

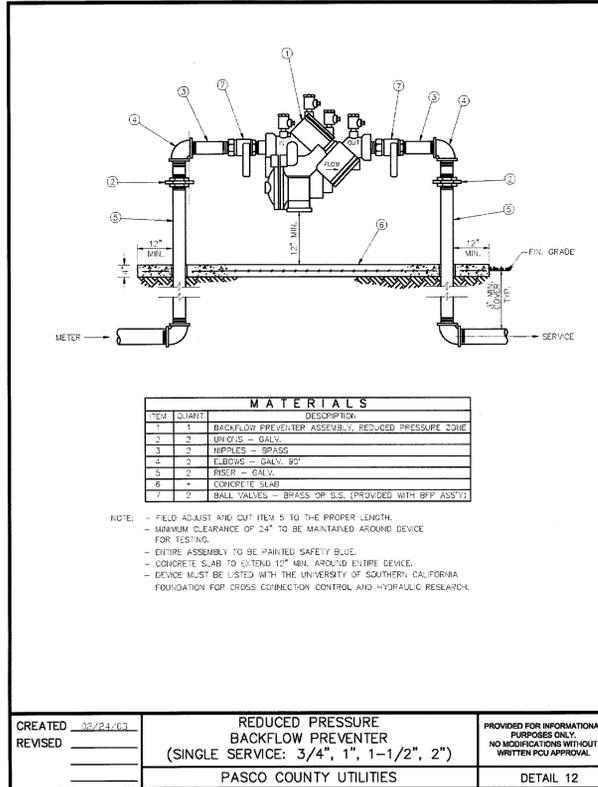
C-5.0



ITEM	QUANTITY	DESCRIPTION
1	1	3" x 4" x 6" 8" DOUBLE CHECK VALVE/BFP ASSEMBLY WITH DETECTOR ASSEMBLY
2	2	3" x 4" x 6" 8" BEND, 90° FLANGE X FLANGE
3	2	3" x 4" x 6" 8" SPOOL PEECE FLG. X PE. S.P.
4	2	3" x 4" x 6" 8" BEND, 90° M.J. X M.J.
5	2	3" x 4" x 6" 8" CLAND. RETAINER M.J. (MEGALUG)
6	2	3" x 4" x 6" 8" VALVE, GATE FLG. X FLS. RESISTANT
7	2	WEDGE G.S. & Y.
8	1	SUPPORT TAG (NEEDED)
9	1	CONCRETE SLAB (6" THICK - 42" WIDE MIN.)

NOTE:  
 - NO THE RODS OR EYE BOLT RETAINERS PERMITTED ABOVE GROUND.  
 - BFP ASSEMBLY TO BE INSTALLED LEVEL & PLUMB.  
 - MINIMUM CLEARANCE OF 36" TO BE MAINTAINED AROUND ENTIRE DEVICE FOR TESTING.  
 - ENTIRE ASSEMBLY TO BE PAINTED SAFETY BLUE.  
 - DETECTOR BY-PASS ASSEMBLY TO BE FACTORILY INSTALLED AND CERTIFIED.  
 - ALL MECHANICAL JOINTS SHALL BE RESTRAINED WITH MEGALUGS OR APPROVED EQUAL.  
 - BELL JOINT RESTRAINTS SHALL BE PROVIDED ON ALL UNDERGROUND PIPING AS SPECIFIED IN JOINT RESTRAINT TABLE DETAIL.  
 - ALL ABOVE GROUND PIPING SHALL BE FLANGED DUCTILE IRON PIPE (NO GALVANIZED OR PVC)  
 - ITEM 3 SHALL BE FIELD CUT TO PROPER LENGTH TO ACHIEVE DESIGNATED GROUND CLEARANCE.  
 - IF SO SPECIFIED, ENTIRE ASSEMBLY TO BE ENCLOSED IN 6' CHAIN LINK FENCE.  
 - BFP DEVICE MUST BE LISTED WITH THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH.

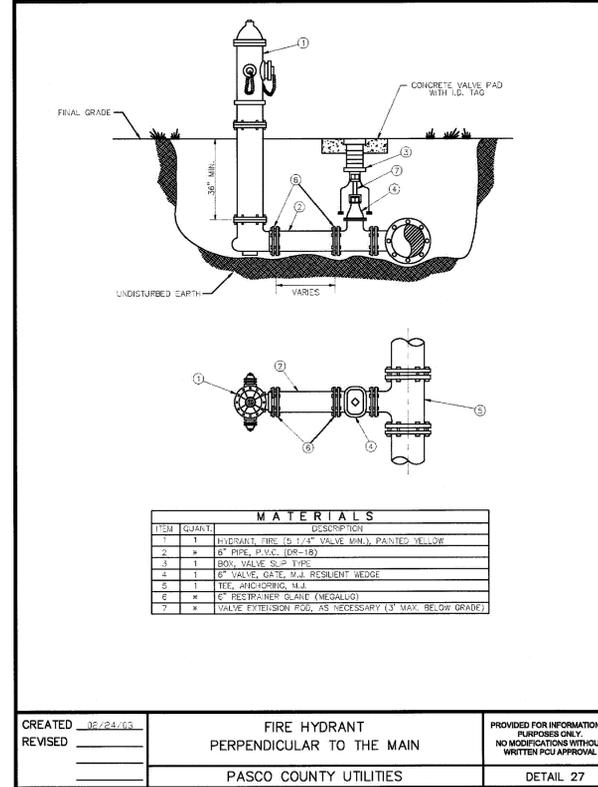
CREATED 02/24/03  
 REVISIONS  
 DOUBLE DETECTOR CHECK VALVE ASSEMBLY/BACKFLOW PREVENTER (SINGLE SERVICE: 3", 4", 6", 8", 10")  
 PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.  
 PASCO COUNTY UTILITIES  
 DETAIL 10



ITEM	QUANTITY	DESCRIPTION
1	1	BACKFLOW PREVENTER ASSEMBLY, REDUCED PRESSURE ZONE
2	2	UNIONS - GALV.
3	2	NIPPLES - BRASS
4	2	ELBOWS - GALV. 90°
5	2	BRETS - GALV.
6	+	CONCRETE SLAB
7	2	BALL VALVES - BRASS OR S.S. (PROVIDED WITH BFP ASSTY)

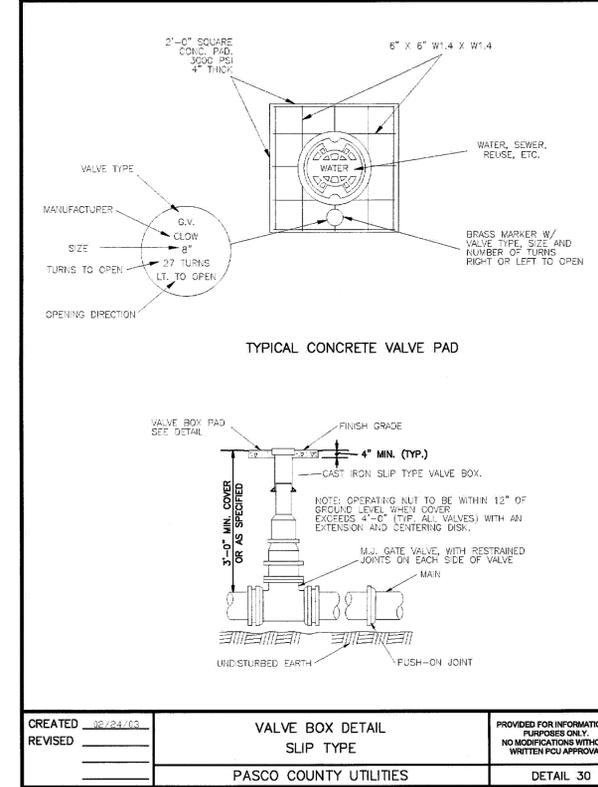
NOTE:  
 - FIELD ADJUST AND CUT ITEM 5 TO THE PROPER LENGTH.  
 - MINIMUM CLEARANCE OF 24" TO BE MAINTAINED AROUND DEVICE FOR TESTING.  
 - ENTIRE ASSEMBLY TO BE PAINTED SAFETY BLUE.  
 - CONCRETE SLAB TO EXTEND 12" MIN. AROUND ENTIRE DEVICE.  
 - DEVICE MUST BE LISTED WITH THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH.

CREATED 02/24/03  
 REVISIONS  
 REDUCED PRESSURE BACKFLOW PREVENTER (SINGLE SERVICE: 3/4", 1", 1-1/2", 2")  
 PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.  
 PASCO COUNTY UTILITIES  
 DETAIL 12



ITEM	QUANTITY	DESCRIPTION
1	1	HYDRANT (MIN. 1/2" VALVE MIN.), PAINTED YELLOW
2	+	6" PIPE P.V.C. (DR-15)
3	1	BOX VALVE SLIP TYPE
4	1	6" VALVE, GATE, W.J. RESISTANT WEDGE
5	1	TEE, ANCHORING M.J.
6	+	6" RESTRAINER CLAND (MEGALUG)
7	+	VALVE EXTENSION PCD, AS NECESSARY (3" MAX. BELOW GRADE)

CREATED 02/24/03  
 REVISIONS  
 FIRE HYDRANT PERPENDICULAR TO THE MAIN  
 PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.  
 PASCO COUNTY UTILITIES  
 DETAIL 27



CREATED 02/24/03  
 REVISIONS  
 VALVE BOX DETAIL SLIP TYPE  
 PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.  
 PASCO COUNTY UTILITIES  
 DETAIL 30

### PIPE RESTRAINT LENGTHS IN FEET COMMON FITTINGS

WATER MAINS - TEST PRESSURE 150 PSI					
PIPE SIZE	FITTING TYPE				
	11-1/4°	22-1/2°	45°	90°	DEAD END
4"	2'	4'	8'	20'	45'
6"	3'	6'	12'	28'	63'
8"	4'	7'	15'	36'	82'
10"	4'	9'	18'	43'	98'
12"	5'	10'	21'	50'	116'
16"	6'	13'	26'	63'	148'
20"	7'	15'	31'	76'	179'
24"	9'	17'	36'	87'	208'

FORCE MAINS - TEST PRESSURE 100 PSI					
PIPE SIZE	FITTING TYPE				
	11-1/4°	22-1/2°	45°	90°	DEAD END
4"	1'	3'	6'	13'	30'
6"	2'	4'	8'	19'	42'
8"	2'	5'	10'	24'	55'
10"	3'	6'	12'	29'	66'
12"	3'	7'	14'	34'	77'
16"	4'	8'	18'	42'	99'
20"	5'	10'	21'	50'	119'
24"	6'	11'	24'	58'	139'

RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE FITTING ALONG THE PIPE IN BOTH DIRECTIONS (EXCEPT DEAD ENDS).

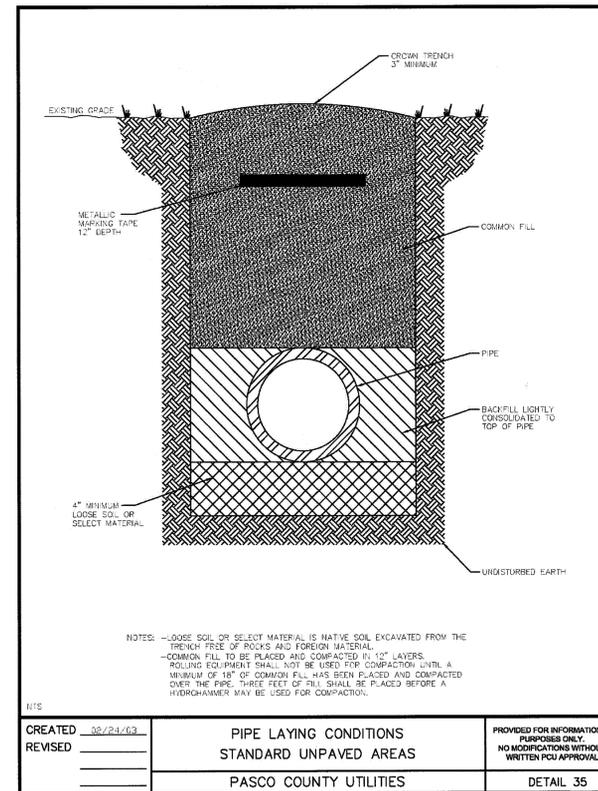
CREATED 02/24/03  
 REVISIONS  
 RESTRAINED JOINT TABLE COMMON FITTINGS  
 PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.  
 PASCO COUNTY UTILITIES  
 DETAIL 31

### PIPE RESTRAINT LENGTHS IN FEET TEES (BRANCH SIDE)

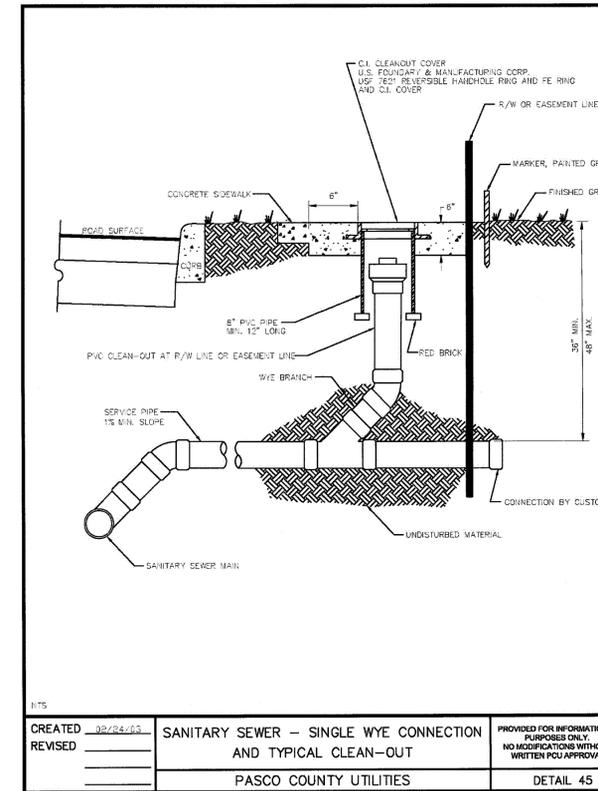
WATER MAINS - TEST PRESSURE 150 PSI									
RUN SIZE	BRANCH SIZE								
	3"	4"	6"	8"	10"	12"	16"	20"	24"
3"	6'	14'	30'	—	—	—	—	—	—
4"	2'	11'	28'	44'	—	—	—	—	—
6"	1'	2'	22'	40'	52'	—	—	—	—
8"	1'	1'	16'	35'	48'	62'	—	—	—
10"	1'	1'	10'	30'	44'	58'	83'	—	—
12"	1'	1'	3'	25'	40'	55'	80'	103'	—
16"	1'	1'	1'	14'	31'	48'	75'	98'	119'
20"	1'	1'	1'	2'	22'	40'	69'	94'	116'
24"	1'	1'	1'	1'	11'	31'	63'	89'	111'

RESTRAINT LENGTHS ARE MEASURED FROM THE CENTER LINE OF THE TEE ALONG THE BRANCH FOR THE DISTANCE INDICATED. A MINIMUM OF 5 FEET OF RESTRAINED PIPE MUST BE INSTALLED ON BOTH RUNS OF THE TEE. MEGALUG TYPE RESTRAINTS ARE REQUIRED ON ALL JOINTS.

CREATED 02/24/03  
 REVISIONS  
 RESTRAINED JOINT TABLE TEES (BRANCH SIDE)  
 PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.  
 PASCO COUNTY UTILITIES  
 DETAIL 32



CREATED 02/24/03  
 REVISIONS  
 PIPE LAYING CONDITIONS STANDARD UNPAVED AREAS  
 PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.  
 PASCO COUNTY UTILITIES  
 DETAIL 35



CREATED 02/24/03  
 REVISIONS  
 SANITARY SEWER - SINGLE WYE CONNECTION AND TYPICAL CLEAN-OUT  
 PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.  
 PASCO COUNTY UTILITIES  
 DETAIL 45



**Chickadee**

5200 Buffington Rd.  
 Atlanta Georgia,  
 30349-2998

Revisions:  
 Mark Date By  
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 △

Seal  


STUART ANDERSON, P.E.  
 FL REG. #60848

AA 003420  
 CA 8660  
 604 COURTLAND STREET, SUITE 100  
 ORLANDO, FLORIDA 32804  
 PH 407.645.5008  
 FX 407.659.9124

311  
**INTERPLAN**  
 ARCHITECTURE  
 ENGINEERING  
 INTERIOR DESIGN  
 PROJECT MANAGEMENT

STORE  
 FSU S08 N-H-LG (Rev.)  
 LAND O' LAKES

2349 SUN VISTA DRIVE  
 LUTZ, FLORIDA 33559

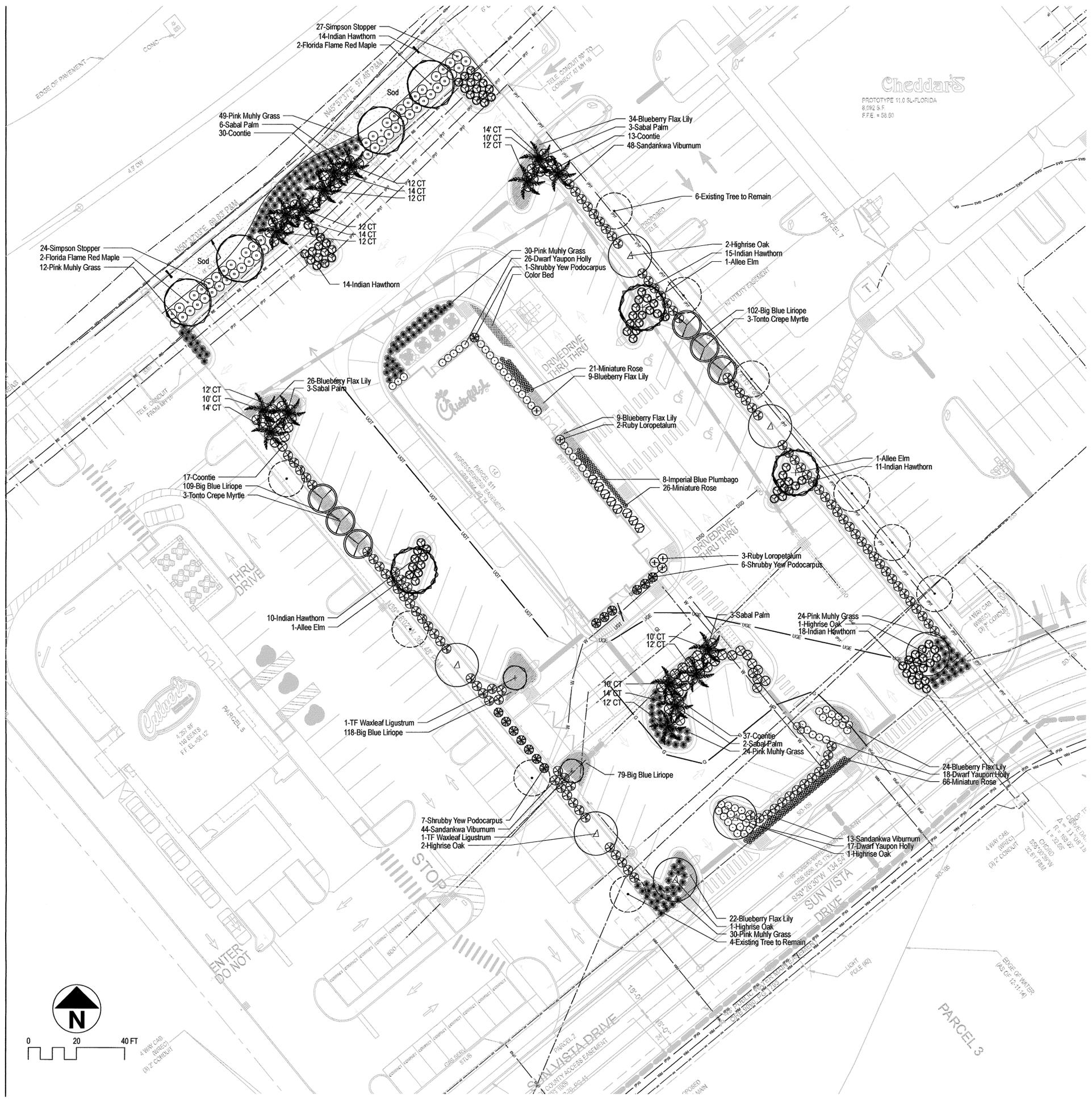
SHEET TITLE  
 PASCO COUNTY  
 STANDARD DETAILS

VERSION: V3  
 ISSUE DATE: 06/2015

Job No. : 2014.0396  
 Store : 3508  
 Date : 06/2015  
 Drawn By : MJ  
 Checked By : JS

Sheet  
**C-51**





**LANDSCAPE NOTES**

- Contractor responsible for locating and protecting all underground utilities prior to digging.
- Contractor responsible for protecting existing trees from damage during construction.
- All shrubs beds (existing and new) to be mulched with a 3 inch minimum layer of double shredded hardwood mulch.
- All annual and perennial beds to be filled to a minimum depth of 12 inches and amended with 4 inches of organic material. Mulch planted annual and perennial beds with 2 inch depth of mini nuggets.
- Planting holes to be dug a minimum of twice the width of the size of the root ball of both shrub and tree. Back to be a mix of 4 parts topsoil and 1 part organic soil conditioner (ie. Nature's Helper or Pro Mix). Backfill and tamp bottom of hole prior to planting so top of root ball does not settle below surrounding grade.
- Existing grass in proposed planting areas to be killed and removed and area to be hand raked to remove all rocks and debris larger than 1 inch in diameter prior to planting shrubs.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentions to be repaired.
- Soil to be tested to determine fertilizer and lime requirements and distributed prior to laying sod.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod is to be "V" trenched.
- All changes to design or plant substitutions are to be authorized by the Landscape Architect.
- All landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism.
- Any plant that is determined dead, in an unhealthy or unsightly condition, lost its shape due to dead branches or other symptoms of poor, non-vigorous growth shall be replaced by the Landscape Contractor.
- General Contractor is responsible for adding a min of 4" of clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil. See specifications for required topsoil characteristics.
- General Contractor to mound all parking islands 6" - 10" w/ clean friable topsoil.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by General Contractor and observe the site conditions under which the work is to be done. Notify General Contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Stake all evergreen and deciduous trees as shown in the details this sheet.
- Remove all stakes and guying from all trees after one year from planting.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- Site to be 100% irrigated in all planting beds and grass area by an automatic underground irrigation system. See Irrigation Plan L-2.0 for design.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- All tree protection areas to be protected from sedimentation.
- All tree protection fencing to be inspected daily, and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.

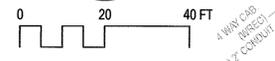
**PLANT LIST**

Qty	Botanical Name	Common Name	Scheduled Size	Remarks
<b>Trees</b>				
4	Acer rubrum 'Florida Flame'	Florida Flame Red Maple	2' Cal.	N
6	Lagerstroemia x 'Tonto'	Tonto Crepe Myrtle	8'-10' Hgt	Multi-Trunk; DT
2	Ligustrum japonicum 'Tree Form'	Tree Form Waxleaf Ligustrum	8' Hgt. x 3' Spr.	DT
7	Quercus virginiana 'QV71A'	Highrise Oak	2' Cal	N, DT
17	Sabal palmetto	Sabal Palm	10'-14' CT	N, DT
3	Ulmus parviflora 'Elmer II'	Allee Elm	2' Cal.; 10' Hgt.	N, DT
<b>Shrubs</b>				
61	Ilex vomitoria 'Stoke's Dwarf'	Stoke's Dwarf Yaupon Holly	3 Gal.	N, DT
5	Loropetalum chinense 'Ruby'	Ruby Loropetalum	3 Gal.	DT
169	Muhlenbergia capillaris	Pink Muhly Grass	3 Gal.	N, DT
51	Myrcianthes fragrans	Simpson Stopper	3 Gal.	N, DT
8	Plumbago auriculata 'Imperial Blue'	Imperial Blue Plumbago	3 Gal.	DT
14	Podocarpus macrophyllus maki	Shrubby Yew Podocarpus	6'-8' Hgt.	Full to Ground; DT
82	Rhaphiolepis indica 'Ballerina'	Ballerina Indian Hawthorn	3 Gal.	DT
113	Rosa x 'Meidarin'	Mandarin Sunblaze Miniature Rose	3 Gal.	DT
105	Viburnum suspensum	Sandankwa Viburnum	3 Gal.	DT
97	Zamia pumila	Coontie	3 Gal.	N, DT
<b>Groundcovers</b>				
124	Dianella tasmanica 'blueberry'	Blueberry Flax Lily	3 Gal.	DT
408	Liriope muscari 'Big Blue'	Big Blue Liriope	4" Pot	Plant 15" O.C.; DT
1347	Sod To Match Overall Development	Sod To Match Overall Development	SF; Sod	
62	Color Bed	Annual Color Bed	SF; Prep & Plant	

N = Native; DT = Drought Tolerant

**LANDSCAPE REQUIREMENTS**

- A. INTERIOR LANDSCAPE AREA**
- REQUIRED**
- A min. 10% of the VUA shall be landscape area. 37,651 SF VUA x 10% = 3,765 SF of interior landscape area
  - a min. of 1 landscaped island per 8 parking spaces 80 spaces / 10 = 8 landscaped islands
  - A min. of 1 tree and shrub/groundcover per required landscape island.
  - 1 Shade tree for every 200 SF of required interior landscape area. 3,765 / 200 = 19 trees
- PROVIDED**
- 3,793 SF of interior landscape area
  - 13 landscape island provided
  - 19 Trees (3 Elm, 3 Oak, 11 Palm, 2 TF Ligustrum)
  - 39 Trees provided on the site (4 Maple, 3 Elm, 7 Oak, 17 Palm, 6 Crepe Myrtle, 2 TF Ligustrum)
- B. BUILDING PERIMETER**
- REQUIRED**
- Building perimeter landscape shall be a min. of 5' wide.
  - Landscape area shall provide coverage of 50% of the facade oriented towards parking areas. 332 LF of facade x 50% = 166 LF
  - The landscape area shall be a min. of 10% of the total building floor area. 4,836 SF of floor area x 10% = 484 SF of landscape area
- PROVIDED**
- Building planting areas are a min. of 5' wide
  - Landscape area is provided around 184 LF of the building.
  - 1,219 SF of landscape area around the building
- C. LANDSCAPE BUFFER - BUFFER 1 - SR 56**
- REQUIRED**
- Buffer shall be a min. of 15' wide
  - Provide 1 tree per 30 LF of frontage 167 LF/30 = 6 trees
  - Provided 5 shrubs per required tree 6 trees x 5 = 30 shrubs
- PROVIDED**
- Buffer is 20' wide
  - 4 Maple trees and 6 Sabal Palms
  - 129 shrubs (51 Simpson Stoppers, 48 Muhly Grass and 30 Coontie)
- D. NATIVE AND DROUGHT TOLERANT**
- REQUIRED**
- 30% shrubs and groundcover are required to be native. 705 shrubs total x 30% = 212 shrubs are to be native
  - 50% of the plant materials used shall be drought tolerant 705 shrubs x 50% = 353 to be drought tolerant
  - A max of 30% of the required landscape area may be grassed.
- PROVIDED**
- Providing 58% native trees and 54% native shrubs.
  - providing 66% drought tolerant trees and 84% drought tolerant shrubs.
  - 12% of the total landscaped areas is sod.



**Chick-fil-A**  
 5200 Buffington Rd.  
 Atlanta, Georgia  
 30349-2998

**Revisions:**

Mark	Date	By
△		
△		
△		

**Seal**  
  
 6-30-15



**manley landdesign**  
 landscape architecture  
 51 old canton street  
 alpharetta, ga 30009  
 ph: 770-442-8171  
 fx: 770-442-1123

**STORE**  
**Land O'Lakes**

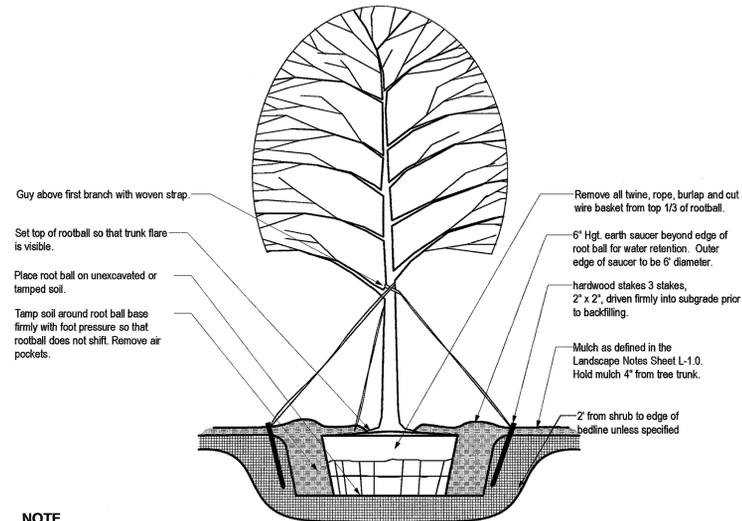
2349 Sun Vista Dr  
 Lutz, FL 33559

**SHEET TITLE**  
**Landscape Plan**

VERSION:  
 ISSUE DATE:

Job No. : 2015048  
 Store : 3508  
 Date : 7.2.15  
 Drawn By : ADN  
 Checked By: SLM

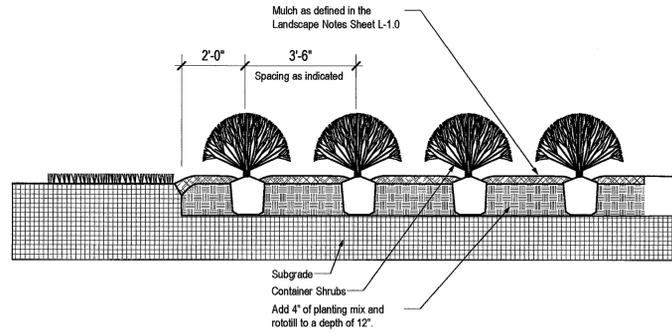
Sheet  
**L-1.0**



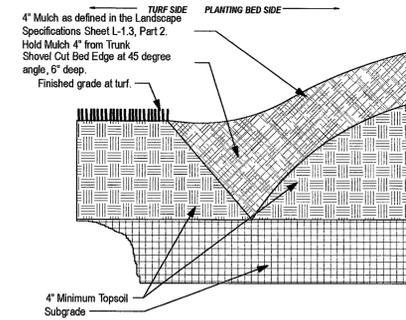
**NOTE**

- Hole to be twice the size of the rootball.
- Do not heavily prune the tree at planting. Prune only crossover limb and broken or dead branches; Do not remove the terminal buds of branches that extend to the edge of the crown.
- Each tree must be planted such that the trunk flare is visible at the top of the root ball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil or mulch.

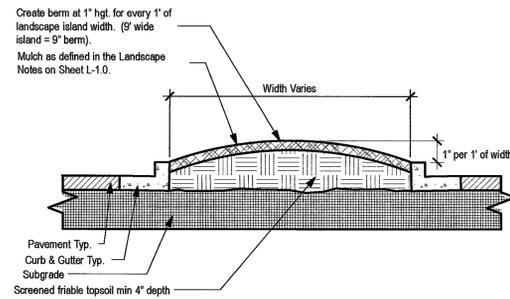
**1 TREE PLANTING & STAKING**  
SCALE: NTS



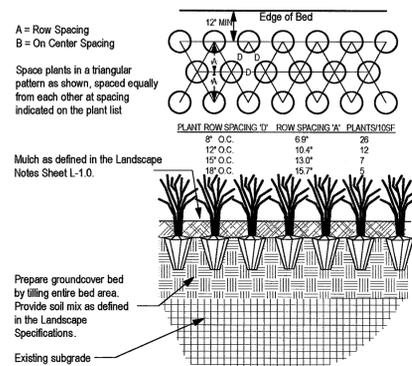
**2 SHRUB BED PLANTING DETAIL**  
SCALE: NTS



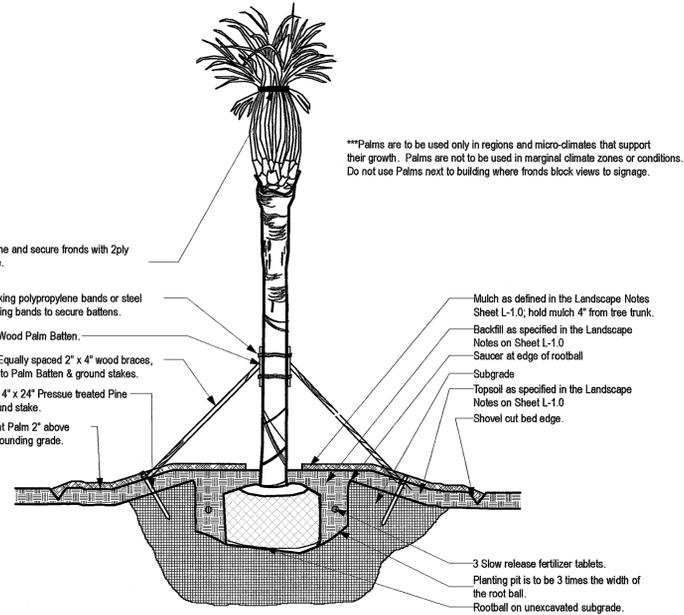
**3 "V" TRENCH BED EDGING**  
SCALE: NTS



**4 PARKING ISLAND DETAIL**  
SCALE: NTS



**5 GROUNDCOVER PLANTING DETAIL**  
SCALE: NTS



**6 PALM PLANTING & STAKING DETAIL**  
SCALE: NTS



**Chick-fil-A**  
5200 Buffington Rd.  
Atlanta, Georgia  
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

Seal

*Shirley M. ...*

6.30.15



**manley landdesign**  
landscape architecture  
51 old canton street  
alpharetta, ga 30009  
ph: 770-442-8171  
fx: 770-442-1123

STORE  
Land O'Lakes

2349 Sun Vista Dr  
Lutz, FL 33559

SHEET TITLE  
Landscape Details

VERSION:  
ISSUE DATE:

Job No. : 2015048

Store : 3508

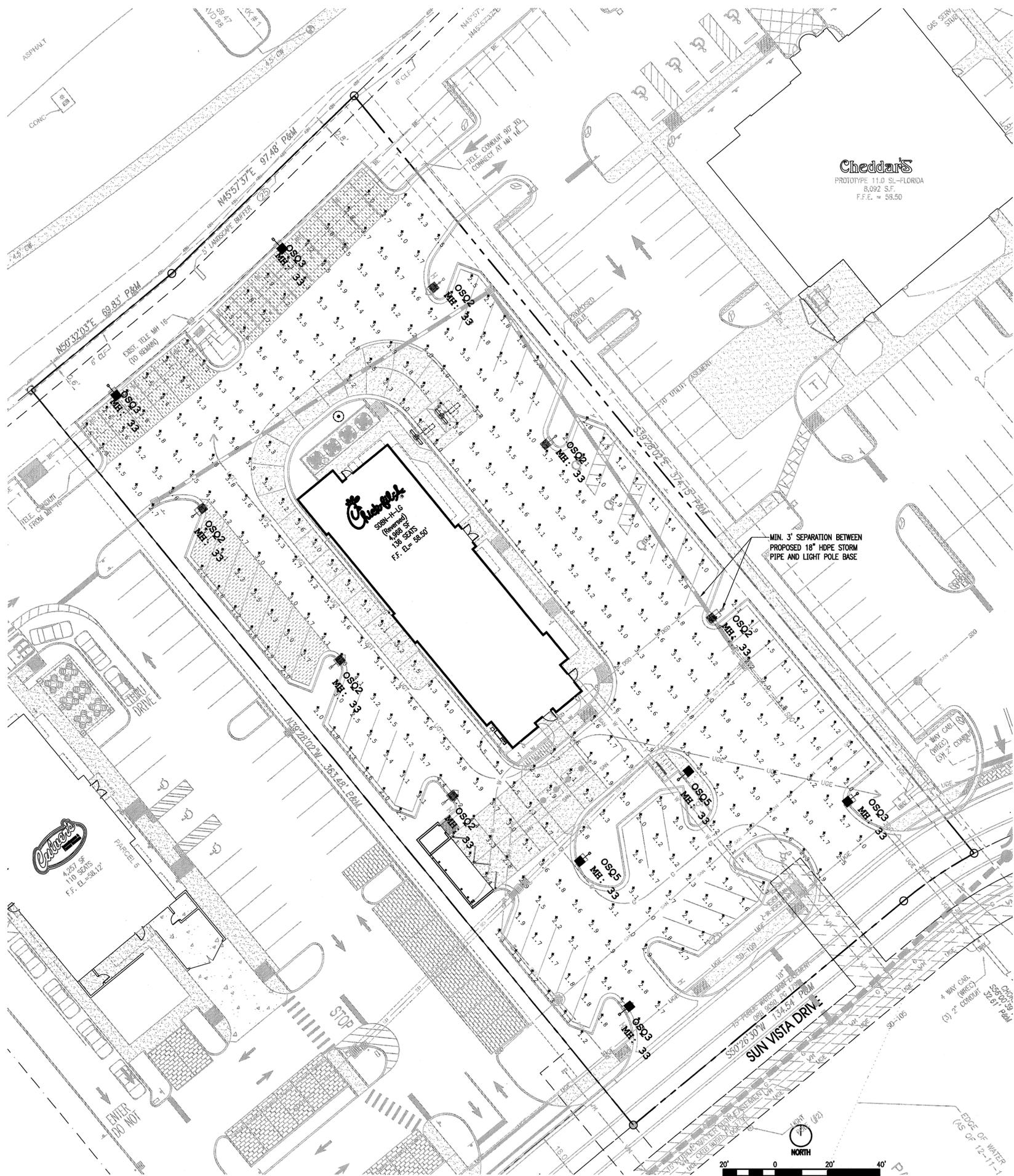
Date : 6.29.15

Drawn By : ADN

Checked By: SLM

Sheet

L-1.1



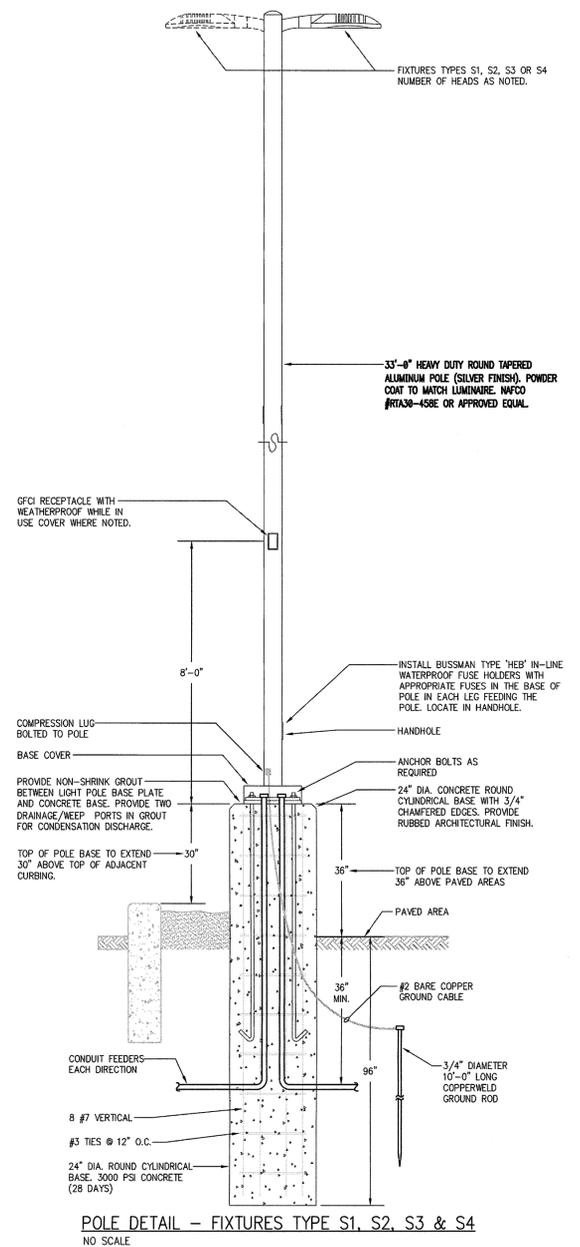
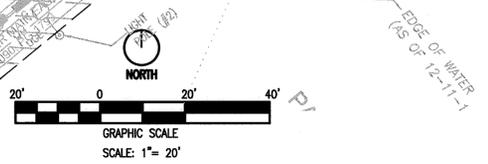
**Cheddar's**  
 PROTOTYPE 11.0 SL-FLORIDA  
 8,092 S.F.  
 F.F.E. = 55.50

**Cheddar's**  
 STORE N-H-LG  
 (REVISED)  
 4,368 SF  
 156 SEATS  
 F.F. EL. 58.50

**Cheddar's**  
 4,251 SF  
 110 SEATS  
 F.F. EL. 58.12

**SITE ELECTRICAL / PHOTOMETRIC PLAN**

1" = 20'



**POLE DETAIL - FIXTURES TYPE S1, S2, S3 & S4**  
 NO SCALE

**POLE BASE NOTES:**

- 3000 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH CONCRETE WITH GRADE 60 RE-BAR.
- IF WATER IS PRESENT IN HOLE, REMOVE BEFORE POURING CONCRETE.
- FOUNDATION EXCAVATION SHALL BE BY 24" AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL. AN INSPECTION DURING THE CONSTRUCTION OF THE SITE LIGHT POLE MUST BE PERFORMED AND RECORDED BY A CERTIFIED SPECIAL INSPECTOR EMPLOYED BY THE OWNER.
- MINIMUM ALLOWABLE SOIL BEARING PRESSURE 3000 PSF. NOTIFY ENGINEER IF BEARING PRESSURE IS LESS.
- AIR ENTRAINMENT: 4 TO 6%
- POLE TO BE CERTIFIED FOR 110 MPH WIND LOAD BY MANUFACTURER.

**LIGHTING NOTE:**

THIS PLAN IS PROVIDED FOR LIGHT POLE PLACEMENT AND PHOTOMETRIC DESIGN ONLY. THE PROJECT ELECTRICAL ENGINEER WILL SPECIFY THE CIRCUITING OF THE SITE AND BUILDING LIGHTING AS WELL AS PROVIDING THE POWER AND SWITCHES IN THE BUILDING'S ELECTRICAL PANEL.

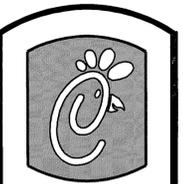
**NOTES:**

- REFER TO SHEET ES-1.1 FOR ELECTRICAL CIRCUIT PLAN.
- LIGHT HEAD SHALL BE CREE OSQ-A-NM-3ME-J-40K-UH-SV (33"-Ø" POLE MOUNTED ON A 24" DIA. CONCRETE POLE BASE). POLE: SS-33-5G-DM28-BC-NACF-DOB ANCHOR BOLT SET: ABS5S-5.
- ALL POLES ARE TO BE PLACED 3'-0" BEHIND BACK OF CURBS AND MIN. 3'-0" CLEARANCE FROM STORM PIPES.

Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
○	4	OSQ3	SINGLE	16189	0.890	672	OSQ-A-NM-3ME-J-40K-UH-SV
○	2	OSQ5	SINGLE	15817	0.890	336	OSQ-A-NM-5SH-J-40K-UH-SV
○	6	OSQ2	SINGLE	16356	0.890	1008	OSQ-A-NM-2ME-J-40K-UH-SV

Label	Footcandles calculated using predicted lumen values after 50K hours of operation			
	Avg	Max	Min	Avg/Min
PAVED SURFACE	2.81	4.7	1.1	2.55

Pole Schedule  
 (12) PS4S30R1SV (30" X 4" X 125" STEEL SQUARE POLE)  
 Proposed poles meet 110 MPH sustained winds.  
 Additional Equipment  
 (12) OSQ-DA-SV (OSQ DIRECT ARM MOUNT)



**Chick-fil-e**

5200 Buffington Rd.  
 Atlanta Georgia,  
 30349-2998

**Revisions:**

Mark	Date	By
△		
△		
△		
△		
△		

**Seal**

STUART ANDERSON, P.E.  
 FL REG. #60848

AA 003420  
 CA 8660  
 484 COURTLAND STREET SUITE 100  
 ORLANDO FLORIDA 32804  
 PH 407 645 5008  
 FX 407 609 9124

**INTERPLAN**  
 ARCHITECTURE  
 ENGINEERING  
 INTERIOR DESIGN  
 PROJECT MANAGEMENT

STORE  
 FSU S08 N-H-LG (Rev.)  
 LAND O' LAKES

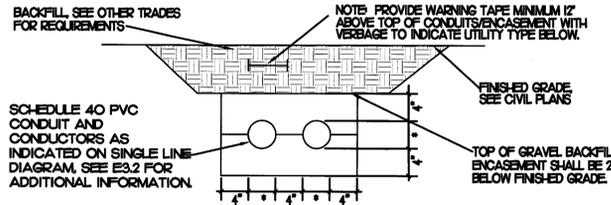
2349 SUN VISTA DRIVE  
 LUTZ, FLORIDA 33559

SHEET TITLE  
**ELECTRICAL  
 SITE PLAN/  
 PHOTOMETRICS**

VERSION: V3  
 ISSUE DATE: 06/2015

Job No. : 2014.0396  
 Store : 3508  
 Date : 06/2015  
 Drawn By : VD  
 Checked By : SA

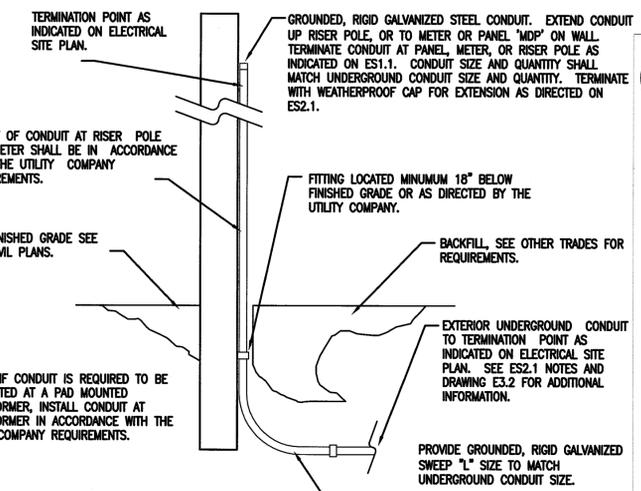
Sheet  
**ES-1.0**



NOTE: WHERE THE SECONDARY CONDUITS FROM THE UTILITY TRANSFORMER TO THE CURRENT TRANSFORMER CABINET (OR MAIN PANELBOARD) ARE FURNISHED BY THE UTILITY COMPANY (FOR INSTALLATION BY THE CONTRACTOR) OR ARE FURNISHED AND INSTALLED BY THE UTILITY COMPANY, THE CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS WITH THE UTILITY COMPANY PRIOR TO BID. REFER TO THE ELECTRICAL SITE PLAN FOR ADDITIONAL INFORMATION.

**2 ELECTRICAL SERVICE LATERAL CONDUIT DETAIL**

NOT TO SCALE



**3 EXTERIOR CONDUIT TURN UP DETAIL**

NO SCALE

**5 ELECTRICAL SITE PLAN KEYNOTES**

(APPLIES TO THE ELECTRICAL SITE PLAN SHEET ES.1)

- APPROXIMATE LOCATION OF PRIMARY UNDERGROUND ELECTRICAL UTILITY LINES.
- APPROXIMATE LOCATION OF PAD MOUNTED TRANSFORMER FURNISHED BY THE ELECTRICAL UTILITY COMPANY. THE ELECTRICAL CONTRACTOR SHALL PROVIDE:
  - PROVIDE TWO 4" SCH. 40 PVC CONDUIT TO UTILITY SOURCE, AT MINIMUM 30" BELOW FINISHED GRADE AND IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS. COORDINATE ALL REQUIREMENTS WITH THE UTILITY COMPANY PRIOR TO BID.
  - SECONDARY SERVICE LATERAL FROM UTILITY TRANSFORMER TO PANEL "MDP" VIA THE CURRENT TRANSFORMER CABINET. SEE SHEET E3.2, "SINGLE-LINE DIAGRAM". REFER TO "ELECTRICAL SERVICE LATERAL CONDUIT DETAIL", THIS SHEET FOR ADDITIONAL INFORMATION.
  - CONCRETE PAD FOR UTILITY TRANSFORMER IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.
  - METERING CONDUIT. SEE NOTE-14.
- APPROXIMATE LOCATION OF TERMINATION OF SECONDARY SERVICE LATERAL AT PANEL "MDP". REFER TO "SINGLE-LINE DIAGRAM", SHEET E3.2, FOR ADDITIONAL INFORMATION.
- PROVIDE TWO 2" SCH. 40 PVC CONDUIT, MINIMUM 24" BELOW FINISHED GRADE, FOR TELEPHONE SERVICE FROM TELEPHONE UTILITY SOURCE TO JUNCTION BOX IN MECHANICAL CLOSET. REFER TO SHEET E2.2 FOR LOCATION OF JUNCTION BOX AT BRANCH PANELBOARDS. REFER TO "TELEPHONE SERVICE CONDUIT DETAIL", THIS SHEET, FOR ADDITIONAL INFORMATION. COORDINATE EXACT LOCATION OF UTILITY SOURCE WITH TELEPHONE UTILITY. TERMINATE CONDUITS AT UTILITY SOURCE AS REQUIRED BY THE UTILITY COMPANY.
- LOCATION OF DUMPSTER. REFER TO "REFUSE ENCLOSURE PLAN - ELECTRICAL", SHEET E2.3 FOR ELECTRICAL REQUIREMENTS IN THIS AREA.
- REFER TO SHEETS E1.3, E2.1 AND E2.2 FOR ELECTRICAL REQUIREMENTS AT MENU BOARD, DRIVE-THROUGH CANOPY, AND PRESELL MENU BOARD.
- REFER TO SHEETS E4.1, & E4.2 FOR ELECTRICAL SPECIFICATIONS PERTAINING TO ELECTRICAL WORK DESCRIBED ON THIS SHEET.
- REFER TO SHEET E1.1 FOR LIGHTING FIXTURE SCHEDULE.
- PROVIDE 2" UNDERGROUND CONDUIT TO JUNCTION BOX IN OFFICE FOR POLE MOUNTED SECURITY CAMERA. REFER TO SHEET E2.2 FOR LOCATION OF JUNCTION BOX IN OFFICE AND REQUIRED SIZE OF CONDUIT. COORDINATE EXACT CAMERA LOCATION WITH CHICK-FIL-A SECURITY SYSTEM REPRESENTATIVE PRIOR TO ROUGH-IN.
- CONNECT SITE LIGHTING CIRCUITS TO TERMINAL BLOCKS LOCATED IN THE "CFA-T500" CONTROL PANEL (TYPICAL). SEE PANEL SCHEDULES ON SHEET E3.1.
- CONNECT SITE SIGNAGE CIRCUITS TO TERMINAL BLOCKS LOCATED IN THE "CFA-T500" CONTROL PANEL (TYPICAL). SEE PANEL SCHEDULES ON SHEET E3.1. COORDINATE LOCATIONS OF ALL SIGNS WITH CHICK-FIL-A REPRESENTATIVE PRIOR TO BID AND PRIOR TO CONDUIT INSTALLATION.
- PROVIDE GFCI TYPE WEATHERPROOF RECEPTACLE MOUNTED ON MAIN SIGN SUPPORT +14" AFG. THIS RECEPTACLE SHALL NOT BE SWITCHED. (BYPASS THE CONTACTOR AND SIGN'S DISCONNECT SWITCH.)
- PROVIDE WEATHERPROOF 20A SPST TOGGLE SWITCH 18" AFG AND CONNECTION TO MAINTENANCE DISCONNECT SWITCH FOR MAIN I.D. SIGN.
- APPROXIMATE LOCATION OF BUILDING MOUNTED ELECTRICAL UTILITY METER. METER BASE WILL BE FURNISHED BY THE UTILITY COMPANY AND INSTALLED BY THE CONTRACTOR. THE CURRENT TRANSFORMER CABINET SHALL BE FURNISHED AND INSTALLED ON THE BUILDING BY THE CONTRACTOR. THE CONTRACTOR SHALL ALSO FURNISH AND INSTALL A 1-1/4" RIGID GALVANIZED CONDUIT BETWEEN METER BASE AND CURRENT TRANSFORMER CABINET. COORDINATE LOCATIONS AND REQUIREMENTS WITH ELECTRIC UTILITY COMPANY PRIOR TO BID.
- REFER TO BUILDING DRAWING E2.2 FOR LAYOUT OF THE SERVICE YARD AREA. COORDINATE LOCATIONS OF ALL ITEMS AT THE SERVICE YARD AREA PRIOR TO ROUGH-IN OF ANY ITEMS INSTALLED ON OR NEAR THE SERVICE YARD. COORDINATE EXACT LOCATIONS OF SECURITY SYSTEM EQUIPMENT WITH CHICK-FIL-A SECURITY SYSTEM REPRESENTATIVE PRIOR TO ROUGH-IN.
- USE NOTE 16 TO SPECIFY TYPE 'OG' FIXTURES IF PROTOTYPE 'OD' FIXTURE IS NOT ALLOWED OR WHEN CFA POLE IS NEEDED FOR CCTV CAMERA

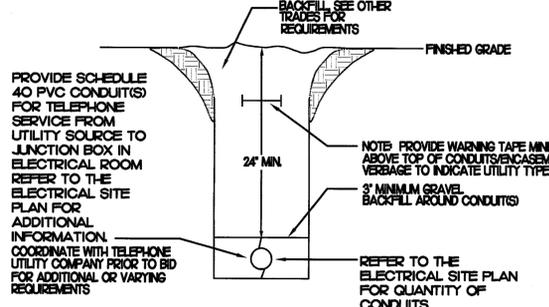
**6 GENERAL ELECTRICAL SITE PLAN NOTES**

(APPLIES TO THE ELECTRICAL SITE PLAN ONLY)

- VERIFY WITH LOCAL AUTHORITIES AND UTILITIES THAT OWNER'S SIGNS, POLES, AND THEIR APPURTENANCES ARE NOT LOCATED ON OR OVER ANY EASEMENT OR MUNICIPAL RIGHT OF WAY.
- SITE WORK, UTILITY, AND ROADWAY INFORMATION ARE TAKEN FROM BOUNDARY AND TOPO SURVEY SITE PLANS. REFER TO C-DRAWINGS.
- MINIMUM CONDUIT SIZE SHALL BE 3/4". MINIMUM CONDUCTOR SIZE SHALL BE #10AWG COPPER UNLESS OTHERWISE NOTED.
- REFER TO BUILDING ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING CONTROL.
- FOR WORK UNDER THIS DIVISION, ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ONLY NEW AND U.L. LABELED ELECTRICAL EQUIPMENT, UNLESS INDICATED OTHERWISE BY THE CONTRACT DOCUMENTS.
- FOR WORK UNDER THIS DIVISION, ELECTRICAL CONTRACTOR SHALL CONTACT ALL UTILITIES FOR VERIFICATION AND IDENTIFICATION OF ALL UNDERGROUND RUNS, PRIOR TO SITE TRENCHING ("CALL BEFORE YOU DIG").
- FOR WORK UNDER THIS DIVISION, ELECTRICAL CONTRACTOR SHALL PERFORM ALL WORK IN STRICT ACCORDANCE WITH THE CURRENT EDITION OF THE NATIONAL ELECTRIC CODE (NFPA 70), AND THE LIFE SAFETY CODE (NFPA 101), AS ADOPTED AND/OR AMENDED BY STATE AND LOCAL AUTHORITIES HAVING JURISDICTION.
- FOR WORK UNDER THIS DIVISION, ELECTRICAL CONTRACTOR SHALL COORDINATE AND FIELD VERIFY LOCATIONS OF ALL UTILITY SERVICE RUNS, ORIGINATIONS, TERMINATIONS AND ANY INSTALLATION REQUIREMENTS (I.E. ELECTRICAL, TELEPHONE, WATER, GAS, SEWAGE, ETC.), AS RELATED TO THIS JOB, OR THEREBY EFFECTED.

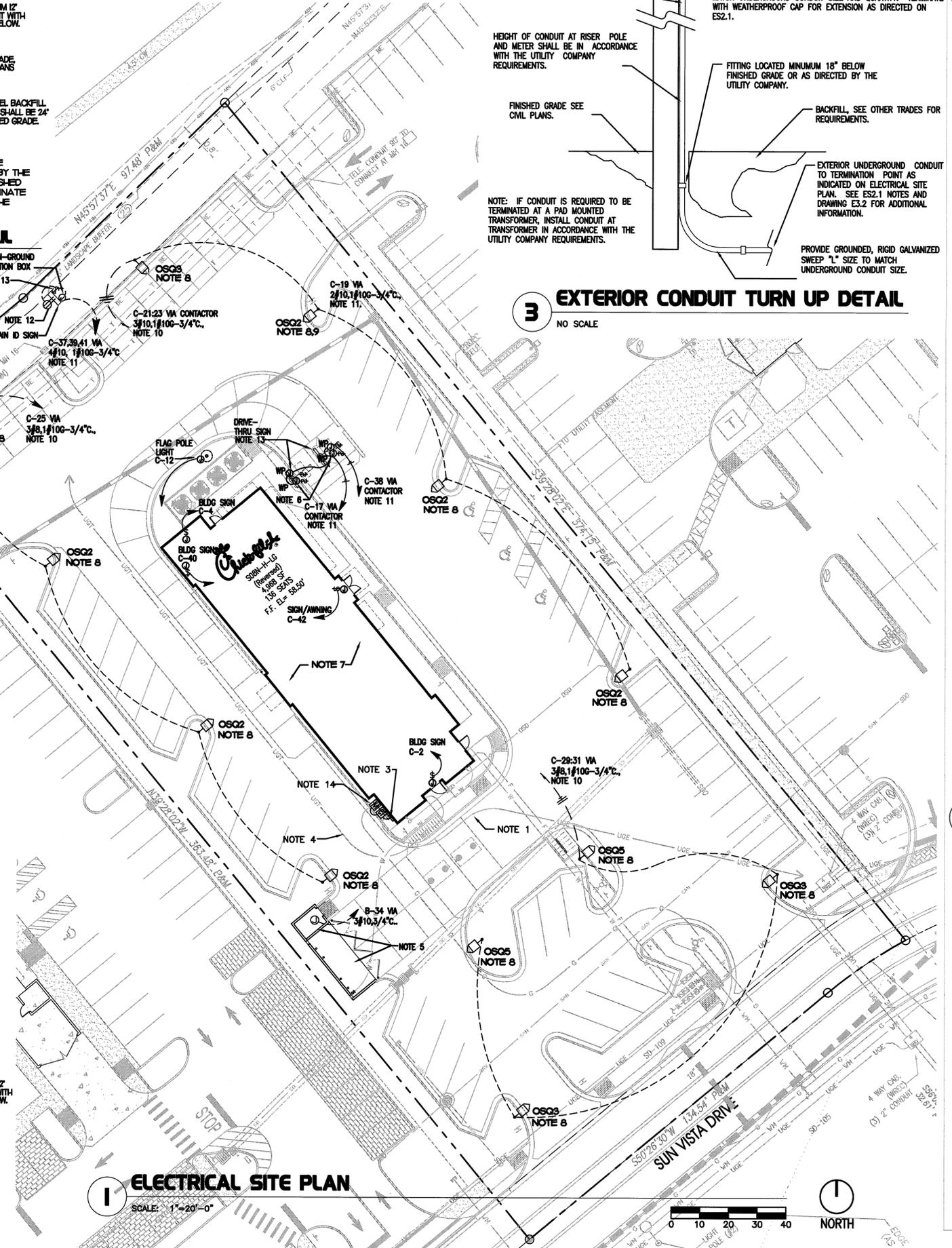
**ELECTRICAL SITE PLAN SYMBOLS**

SYMBOL	DESCRIPTION (UNLESS OTHERWISE NOTED ON PLANS)
	UTILITY COMPANY TRANSFORMER, (208 VOLT, 3 PHASE, 4 WIRE SECONDARY)
	S.P.S.T. LIGHT SWITCH (600V AC QUIET TYPE)
	DUPLEX RECEPTACLE GROUND FAULT CIRCUIT INTERRUPTER
	CONDUIT HOMERUN TO PANEL
	JUNCTION BOX (SINGLE GANG STEEL WHERE WALL MOUNTED, 4" SQ. STEEL WHERE CEILING MOUNTED, UNLESS NOTED OTHERWISE)
	CONDUIT BURIED BELOW GRADE
	POLE MOUNTED SITE LIGHTING FIXTURE. CHEVRON INDICATES DIRECTION OF PRIMARY LIGHT DISTRIBUTION. ROTATE REFLECTOR AS NECESSARY.



**1 TELEPHONE SERVICE CONDUIT DETAIL**

NOT TO SCALE





Chicken  
5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark Date By

△

△

△

△

△

△

Seal



STUART ANDERSON, P.E.  
FL REG. #60848

AA 003420  
CA 8640  
604 COURTLAND STREET, SUITE 100  
ORLANDO, FLORIDA 32804  
TEL: 407.629.9126  
FAX: 407.629.9124

INTERPLAN  
ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

STORE  
FSU S08 N-H-LG (Rev.)  
LAND O' LAKES

2349 SUN VISTA DRIVE  
LUTZ, FLORIDA 33559

SHEET TITLE  
ELECTRICAL  
SITE PLAN/  
CUT SHEETS

VERSION: V3  
ISSUE DATE: 06/2015

Job No. : 2014.0396

Store : 3508

Date : 06/2015

Drawn By : VD

Checked By : SA

Sheet

ES-2.0

### OSQ Series

OSQ™ LED Area/Flood Luminaire – Medium

#### Product Description

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatherlight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. An Input power designator is a suitable upgrade for HID applications up to 250 Watt. 'J' Input power designator is a suitable upgrade for HID applications up to 400 Watt.

**Applications:** Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

#### Performance Summary

Utilizes BetaLED® Technology

NanoOptic® Precision Delivery Grid™ optic

Made in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI (4000K & 5700K); 80 CRI (3000K)

CCT: 3000K (+/- 300K), 4000K (+/- 300K), 5700K (+/- 500K)

Limited Warranty\*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

\*See www.cree.com/lighting/products/warranty for warranty terms

#### Accessories

Field-Installed	OSQ-EL-SMR - Retained optic
Backlight Shield	
OSQ-EL-SIF - Front facing optic	

#### Ordering Information

Fully assembled luminaire is composed of two components that must be ordered separately. Example: Mount: OSQ-AA SV + Luminaire: OSQ-A NM 2ME A 40K-LV SV

Mount (Luminaire must be ordered separately)		Order Options:	
OSQ-		SV Silver	BZ Bronze
OSQ-AA Adjustable Arm		BK Black	PH Platinum Bronze
OSQ-DA Direct Arm		WH White	

Luminaire (Mount must be ordered separately)										
DGQ	A	NM	Optic		Input Power Designator	CCT	Voltage	Color Options	Options	
OSQ	A	NM	2ME Type II Medium 4ME Type IV Medium 5ME Type V Medium 5SH Type V Short	Wide Sign Flood 25' Flood 40' Flood 60' Flood	A 112W J 168W	30K 40K 5700K	US Canada	UL Universal 120-277V 40K 5700K	SV Silver BK Black BZ Bronze PH Platinum Bronze WH White	DIM 0-18V dimming - Control by others - Refer to dimming spec sheet for details - Can't exceed wattage of specified input power designator F Fuse - When code dictates fusing, use time delay fuse ML Multi-Level - Refer to ML spec sheet for details - High: 100%, Low: 30% - Intended for downlight applications at 0° tilt PML Programmable Multi-Level, 30-40° Beamwidth Height - Designed for applications where mounting height is 30-40' A.F.D. - Refer to PML spec sheet for details - Intended for downlight applications at 0° tilt PML2 Programmable Multi-Level, 20" Mounting Height - Designed for applications where mounting height is 20' A.F.D. - Refer to PML2 spec sheet for details - Intended for downlight applications at 0° tilt O9 Field Adjustable Output - Refer to Field Adjustable Output spec sheet for details R NEMA® Photocell Receptacle - Intended for downlight applications with maximum 45° tilt - Photocell by others RL Rotate Left - LED and optic are rotated to the left RR Rotate Right - LED and optic are rotated to the right

\* Available with Backlight Shield when ordered with field-installed accessory (see table above)



Rev. Date: V5 03/09/2015



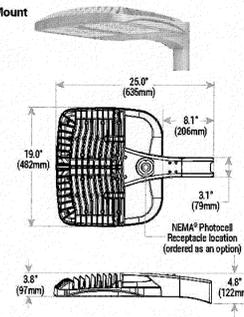
US: www.cree.com/lighting

T (800) 236-6800 F (262) 504-5415

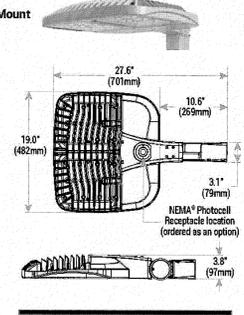
Canada: www.cree.com/canada

T (800) 473-1234 F (800) 890-7507

#### DA Mount



#### AA Mount



Weight  
26.5 lbs. (12kg)



FRONT ELEVATION SCALE = 1/4"



DRIVE THRU ELEVATION SCALE = 1/4"



**CHICK-FIL-A**  
 2349 Sun Vista Dr  
 Lutz, FL 33559

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.

**INTERPLAN** 

INTERPLAN NO. 2014.0396  
 06-29-15



PROPOSED REAR ELEVATION SCALE = 1/4"



SIDE ENTRY ELEVATION SCALE = 1/4"



**CHICK-FIL-A**  
2349 Sun Vista Dr  
Lutz, FL 33559

**INTERPLAN**

INTERPLAN NO. 2014.0396  
06-29-15

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.