

PASCO COUNTY, FLORIDA
INTEROFFICE MEMORANDUM

TO: Joaquin Servia
Development Review Manager

DATE: 8/4/2015 FILE: PDD15-1511

SUBJECT: Large Subdivision
Development Review-
Epperson Ranch Overpass
Road Phase 1 Modification
(Project No. LRG14-019)
Recommendation: Approval
with Conditions (Attachment
No. 1)

FROM: Brad Tippin
Senior Development
Review Technician

REFERENCES: Land Development Code,
Sections 300, Procedures;
403, Site Development;
and 900, Development
Standards; Comm. Dist. 1

The following is presented to the Development Review Manager for consideration.

PROJECT DESCRIPTION:

Commission District:	The Honorable Theodore J. Schrader
Project Name:	Epperson Ranch Overpass Road Phase 1
Developer's Name:	Epperson Ranch, LLC
Location:	Wesley Chapel North of Wells Road, Westside Curley Road (Attachment No. 2)
Parcel ID Nos.:	34-25-20-0000-00100-0010 (a portion of) 34-25-20-0000-00100-0020 (a portion of) 34-25-20-0000-00100-00B0 (a portion of) 35-25-20-0000-00300-0010 (a portion of) 35-25-20-0000-00300-0020 (a portion of) 35-25-20-0000-00300-00B0 (a portion of) 27-25-20-0000-00200-0010 (a portion of) 26-25-20-0000-00200-0040 (a portion of)
Land Use Classification:	RES-3 (Residential- 3) TC (Town Center)
Zoning District:	MPUD (Epperson Ranch South MPUD)
Transportation Corridor:	Not Applicable
Existing Right-of-Way:	Not Applicable
Required Right-of-Way:	Not Applicable
Acreage:	66.15 Acres, m.o.l. (Project Area)

Flood Zone:	"X," "A" and "AE"
Water/Sewage:	Pasco/Pasco
Mobility Fee Assessment District:	B
Mobility Fee Collection/Benefit District:	3
Roads:	Public
Certificate of Capacity:	Not Applicable

DEVELOPER'S REQUEST:

The applicant/developer of Epperson Ranch Overpass Road Phase 1 is requesting Modification of the Preliminary Site Plan/Construction Plan, Stormwater Management Plan and Report approval to construct a portion of roadway within the Epperson Ranch South MPUD (Attachment No. 3a and 3b).

BACKGROUND AND FINDINGS OF FACT:

See Attachment No. 4

CONCURRENCY ANALYSIS:

Not Applicable. Concurrency is not completed for this type of roadway project.

RECOMMENDATION:

The Planning and Development Department recommends approval of the Preliminary Site Plan/Construction Plan, and Stormwater Management Plan and Report request with the attached conditions.

ATTACHMENTS:

1. Conditions of Approval
2. Location Map
- 3a. Site Plan
- 3b. Impact Area – Mitigation Plan
4. Background and Findings of Fact

APPROVED

- B.C.C.
- D.R.C.
- ZSD

PLANNING AND DEVELOPMENT DEPARTMENT ACTION:

AMENDMENT

- P.D.D.

Pasco County

By:  Date 5-4-15
 For Substantial Compliance With
 The Applicable Provisions of Pasco County
 Land Development Regulations
 And Their Intent

ATTACHMENT NO. 1 – CONDITIONS OF APPROVAL
Epperson Ranch Overpass Road Phase 1 Modification

Hard-Copy Site Development Permit

1. Before commencing approved construction activities, the applicant/developer or project contractor shall obtain from the Planning and Development Department an authorization to commence approve construction, a.k.a. “a hard copy Site Development Permit.” To obtain said authorization, the following must be submitted to the Planning and Development Department:
 - a. The completed notarized acknowledgment portion of the attached agenda memorandum. The owner/developer is hereby notified that the effective date of this development approval shall be the date of the final County action; however, no activity shall commence on site until such time as the acknowledgment portion of this document is completed (including notarization) and received by the Planning and Development Department.
 - b. Per section CON 1.3.11, Pasco County requires that all wetland encroachments be permitted and mitigated according to Chapters 62 and 40D-4 and Section 404 Clean Water Act and monitored by FDEP, SWFWMD and Army Corp of Engineers. Please provide a copy of the United States Army Corp of Engineers permit demonstrating approval of all wetland impacts and mitigation for the Overpass Road Phase 1 project, including wetland impacts and mitigation outside the immediate road right-of-way.
 - c. A copy of any other State and Federal permits obtained that relate to the project, including drawings, plans, etc.
 - d. National Pollutant Discharge Elimination System Permit/Permit Application.
 - e. The developer shall complete a Gopher Tortoise 100% Survey in accordance with the FFWCC survey guidelines. A copy of the issued gopher tortoise relocation permit and the after action report shall be sent to Planning and Development and the County Biologist.

No construction shall commence until the Hard Copy Site Development Permit has been properly posted on the site.

Specific Conditions

2. All conditions of approval pursuant to Rezoning Petition number 7103, approved by the Board of County Commissioners (BCC) on November 5, 2014 remain in full force and effect. Any conditions not specifically mentioned herein as they may pertain to Overpass Road construction shall be adhered to.
3. Overpass Road Phase 1 northwest of Curley Road is not to be open to public traffic until such time that the realignment and related offsite modifications on the portion of Overpass Road southeast of Curley Road are completed and pass Pasco County

Attachment 1 - Conditions of Approval
(PDD15-1511)

Engineering Inspections. Off-site modifications to Overpass Road southeast of Curley Road are to include tapering of the eastbound lane, removal and/or realignment of the median and restriping of the median to reduce deflection of the lane(s) at the intersection of Overpass Road and Curley Road.

4. Prior to commencement of any construction for each phase or increment of development, the developer or master developer shall:
 - a. If construction activities begin within the Florida Sand Hill breeding season (January-July), preconstruction breeding season surveys shall be conducted at all appropriate/suitable wetland for the Florida Sandhill crane just prior to anticipated construction activities.
 - b. Preconstruction breeding season surveys shall be conducted according to FFWCC guidelines for the Sherman's fox squirrels (May to August and November through January). If nest are found, FFWCC and the County shall be contacted for review and consultation to determine the conservation plan and mitigation measures.
 - c. Preconstruction Kestrel surveys shall be conducted according to FFWCC guidelines. If nest are found, FFWCC and the County shall be contacted for review and consultation to determine the conservation and mitigation measures. All survey and habitat delineation methods as well as associated mitigation requirements should follow procedures as described in "Ecology and habitat protection needs of the southeastern American kestrel (*Falco sparverius Paulus*) on large scale development sites in Florida" (Stys, B. 1993, Florida Game and Fresh Water Fish Commission, Nongame Wildlife Program, Technical Report No 13).
 - d. Preconstruction surveys for wood storks shall be conducted of the wetlands within the Epperson Ranch South project boundary. If any nesting/roosting is observed, a protection plan with be coordinated with USFWS, FFWCC, and the County Biologist.
 - e. If any other listed species are observed on-site during construction activities all construction activities shall cease immediately and the FFWCC and the County Biologist shall be contacted to determine conservation and mitigation measures.
 - f. The jurisdictional wetland line and the upland buffer line shall be clearly field demarcated prior to any construction activities.
 - g. No construction activities including: clearing, grading, grubbing shall occur within the Wetland Upland Buffer as depicted on the approved project Construction Plans.
5. Prior to the start of clearing and grubbing, or any soil disturbance contact Pasco County Stormwater Management at 727-834-3611 for a soil erosion and sediment control, pre-inspection meeting.

6. No dirt shall be transported offsite.
7. Upon construction and completion of improvements, the developer shall provide easements over all drainage facilities, flow thru easement, and slope and access easement to the County. In the event the Owner or the Association fails to properly maintain any private drainage easements/facilities, the County shall have the reasonable right, but not the obligation, to access and enter upon any drainage easement for the purpose of performing maintenance to ensure the free flow of water.
8. Credits for trees being planted are to be obtained from the tree removal calculation from the Mass Grading approval. The required replacement trees will be given for trees planted pursuant to future site construction plans that are related to the Epperson Ranch South project which include lot trees, and landscaping and buffering requirements within this mass grading project boundary.
9. For improvements within the County right-of-way with traffic-control devices, the Traffic Control Devices Submittal data form shall be submitted to the Traffic Operations Division for approval prior to installation of any traffic control devices within the County right-of-way.

General

10. There shall be no driveway connections to Overpass Road.
11. The applicant/developer shall acknowledge that should Pasco County collect funds under a guarantee document, the developer shall authorize the County or its designee access to the property in question to complete the required work.
12. The applicant/developer shall acknowledge that should Pasco County be required to institute legal proceedings in order to collect any funds under a guarantee document, the developer shall be responsible for attorney's fees and court costs incurred by the County in such action.
13. The developer acknowledges that an appeal may be filed against the decision of the Planning and Development Department within 30 days of the date of this approval. Any development that takes place within the 30-day-appeal deadline shall not establish vested rights with respect to construction of the project.

Construction

14. The applicant/developer or project contractor shall notify the Project Management Division at least five working days prior to commencing any activity on the site.
15. Any roadway construction required herein as a condition of development approval shall not be entitled to the TID credits, unless such credits have been granted pursuant to a prior written agreement, as provided herein, or as previously approved through the MPUD rezoning. Appeal from this provision shall be made in accordance with the TIF Ordinance.

16. No excavation within the area of future lanes of multilane facilities will be allowed with the exception of excavation for drainage structures, permitted removal of wetlands, excavation to match existing grade, or as direct by the Engineering Services Director.
17. In the event ordinances/resolutions are adopted by the BCC including, but not limited to, solid waste, public safety, or wildlife, the developer shall be required to comply with such ordinances/resolutions.
18. All construction work, including roads, drainage, and utilities, shall be constructed in accordance with Pasco County design standards and tested in compliance with the Engineering Services Department's *Testing Specifications for Construction of Roads, Storm Drainage, and Utilities*.
19. Overpass Road shall be constructed in accordance with applicable County/Florida Department of Transportation (FDOT) design, construction, and signage standards; e.g., Chapter 316, Florida Statutes, and *Manual of Uniform Traffic Control Devices* standards.
20. Curb ramps are required at all intersections of curbs and sidewalks and shall be constructed in conformance with the uniform *Federal Accessibility Standards* published by the General Services Administration, Department of Housing and Urban Development, Department of Defense, and United States Postal Service (Section 336.045, Florida Statutes).
21. Prior to any construction activity, the developer shall ensure that proper erosion and sediment control measures are in place. The applicant/developer or project contractor shall notify the Stormwater Management Division at least two working days prior to commencing any site preparation, including clearing and grubbing work, for a preinspection of the sediment and erosion-control devices. The developer shall control all fugitive dust originating from the project site and shall indicate on the construction drawings the manner in which fugitive dust is to be controlled. Further, all retention pond side slopes and associated swales shall be sodded to prevent soil erosion.
22. If, during construction activities, any evidence of historic resources including, but not limited to, aboriginal or historic pottery, prehistoric stone tools, bone or shell tools, historic trash pits, or historic building foundations are discovered, work shall come to an immediate stop, and Pasco County and the Florida Division of Historical Resources shall be notified within two working days.
23. If, during construction activities, any evidence of the presence of State and Federally protected plant and/or animal species is discovered, work shall come to an immediate stop, and Pasco County shall be notified within two working days of the plant and/or animal species found on the site.

OWNER/DEVELOPER'S ACKNOWLEDGMENT:

The owner/developer acknowledges that he/she has read, understood, and accepted the above-listed conditions of approval.

Date

Signature

Print Name

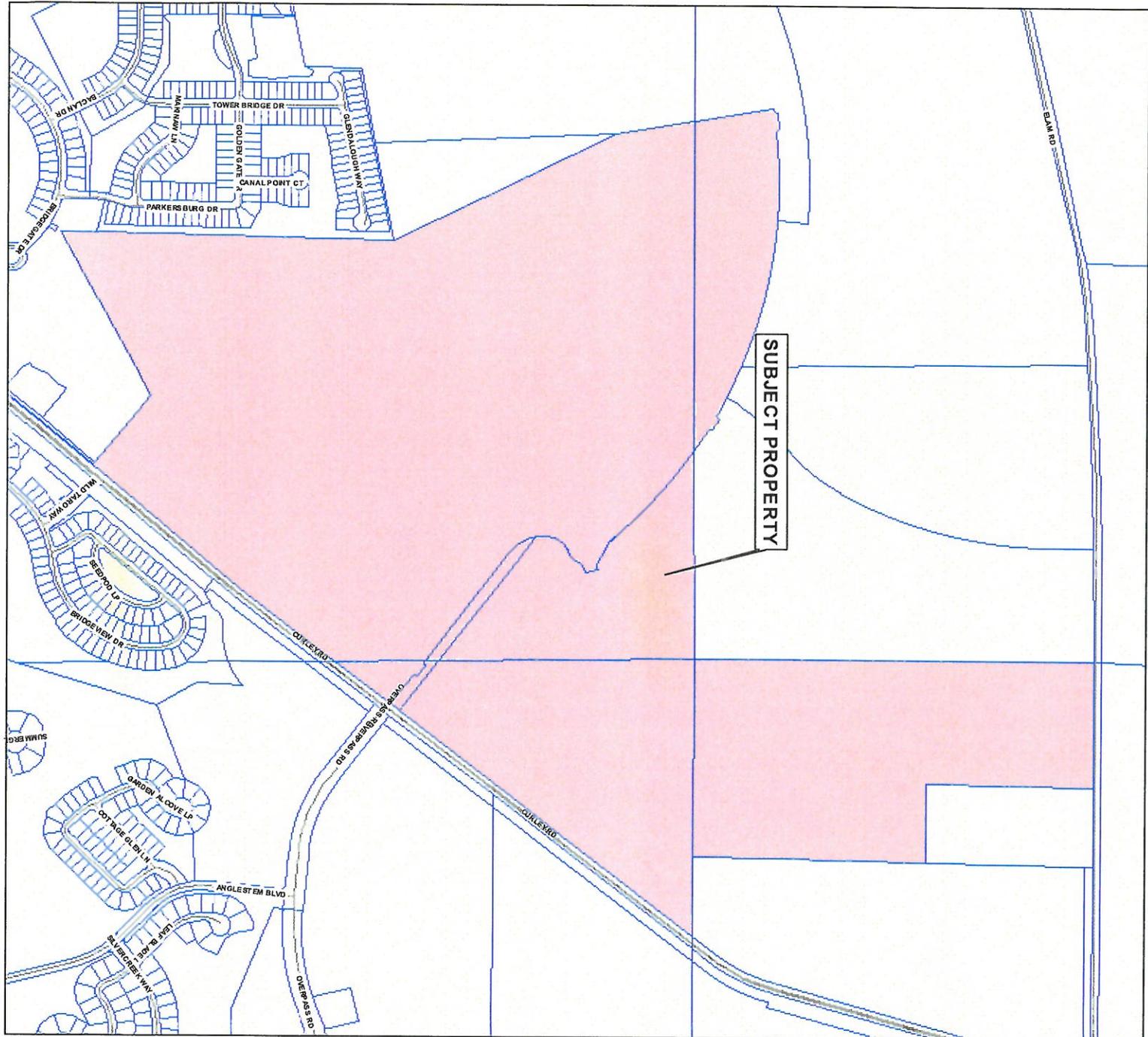
Title

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____
(date), by _____ (name
of corporation acknowledging) a _____
(State or place of incorporation) corporation, on behalf of the corporation. He/she is personally
known to me or who has produced _____ (type of
identification) as identification.

Seal:

NOTARY



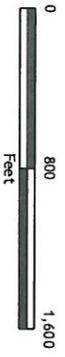
LRG14-019
Overpass Road Phase 1
Epperson Ranch South MPUD

- 34 25 20 0000 00100 0010
- 34 25 20 0000 00100 0020
- 34 25 20 0000 00100 00B0
- 35 25 20 0000 00300 0020
- 35 25 20 0000 00300 0010
- 35 25 20 0000 00300 00B0
- 27 25 20 0000 00200 0010
- 26 25 20 0000 00200 0040

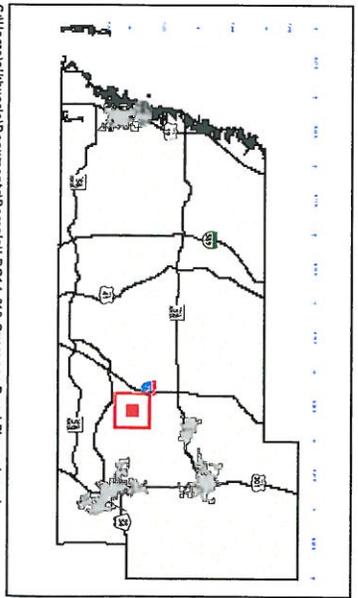
PHYSICAL ADDRESS:
 NONE

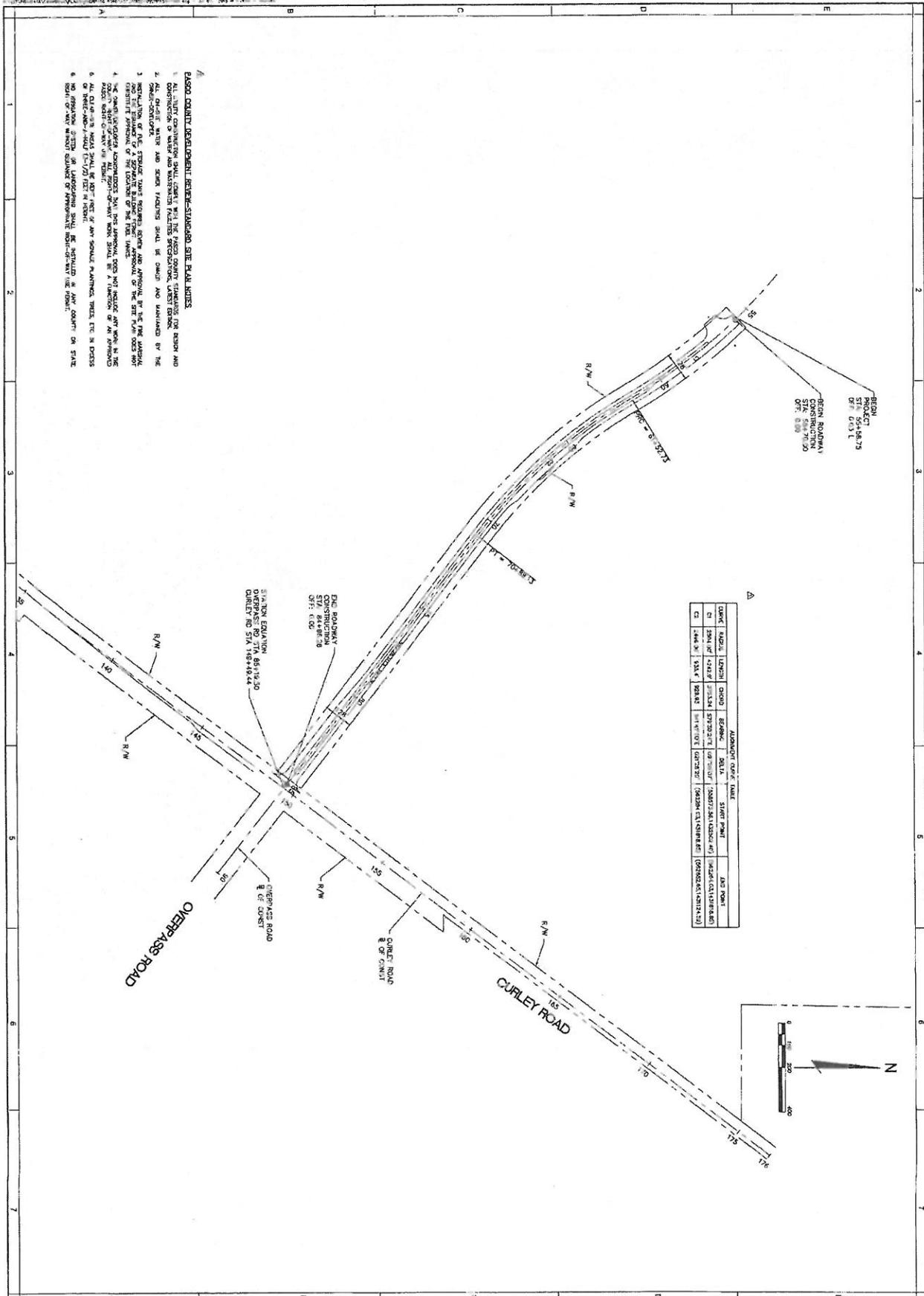
TAZ - 269
COMMISSION DISTRICT: 1

SUBJECT PROPERTY



Pasco County GIS | 2/12/2015 | aikhuoria

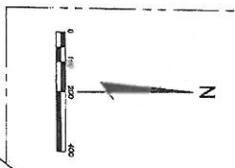




- BASED COUNTY DEVELOPMENT SPECIFIC STANDARD SITE PLAN RULES:**
1. THE DEVELOPER SHALL COMPLY WITH THE BASED COUNTY THRESHOLD FOR ROAD AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES SPECIFICATIONS, LATEST EDITION.
 2. ALL DRIVEWAYS, WATER AND SEWER FACILITIES SHALL BE GRADE AND MAINTAINED BY THE HOMEOWNER.
 3. THE DEVELOPER SHALL PROVIDE SUFFICIENT EVIDENCE AND APPROVAL BY THE PUBLIC UTILITIES AND THE STATE OF FLORIDA TO VERIFY THE LOCATION OF ALL UTILITIES AND THE EXISTENCE OF A SEWERAGE SYSTEM. APPROVAL OF THE SITE PLAN DOES NOT CONSTITUTE APPROVAL OF THE LOCATION OF THE UTILITIES.
 4. THE DEVELOPER SHALL PROVIDE SUFFICIENT EVIDENCE AND APPROVAL BY THE PUBLIC UTILITIES AND THE STATE OF FLORIDA TO VERIFY THE LOCATION OF ALL UTILITIES AND THE EXISTENCE OF A SEWERAGE SYSTEM.
 5. THE DEVELOPER SHALL PROVIDE SUFFICIENT EVIDENCE AND APPROVAL BY THE PUBLIC UTILITIES AND THE STATE OF FLORIDA TO VERIFY THE LOCATION OF ALL UTILITIES AND THE EXISTENCE OF A SEWERAGE SYSTEM.
 6. NO APPROVAL OF THIS PLAN SHALL BE VALID UNLESS THE DEVELOPER HAS OBTAINED ALL NECESSARY APPROVALS FROM THE APPROPRIATE AGENCIES.

ADJUSTMENT OF TOTAL

LINE	ANGLE	LENGTH	COORD. X	COORD. Y	START POINT	END POINT
1	100° 00' 00"	100.00	100.00	0.00	100.00	0.00
2	90° 00' 00"	100.00	100.00	100.00	100.00	100.00
3	00° 00' 00"	100.00	200.00	100.00	200.00	100.00
4	270° 00' 00"	100.00	200.00	0.00	200.00	0.00
5	180° 00' 00"	100.00	100.00	0.00	100.00	0.00
6	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
7	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
8	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
9	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
10	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
11	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
12	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
13	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
14	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
15	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
16	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
17	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
18	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
19	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
20	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
21	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
22	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
23	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
24	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
25	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
26	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
27	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
28	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
29	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
30	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
31	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
32	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
33	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
34	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
35	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
36	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
37	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
38	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
39	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
40	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
41	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
42	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
43	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
44	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
45	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
46	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
47	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
48	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
49	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
50	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
51	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
52	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
53	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
54	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
55	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
56	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
57	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
58	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
59	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
60	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
61	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
62	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
63	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
64	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
65	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
66	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
67	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
68	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
69	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
70	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
71	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
72	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
73	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
74	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
75	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
76	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
77	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
78	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
79	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
80	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
81	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
82	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
83	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
84	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
85	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
86	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
87	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
88	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
89	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
90	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
91	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
92	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
93	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
94	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
95	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
96	270° 00' 00"	100.00	100.00	100.00	100.00	100.00
97	180° 00' 00"	100.00	100.00	100.00	100.00	100.00
98	090° 00' 00"	100.00	100.00	100.00	100.00	100.00
99	00° 00' 00"	100.00	100.00	100.00	100.00	100.00
100	270° 00' 00"	100.00	100.00	100.00	100.00	100.00



 FLORIDA DESIGN CONSULTANTS, INC. THINK IT. ACHIEVE IT. 3030 STARKEY BOULEVARD, NEW BERT RICHEY, FLORIDA 34688 PHONE: (813) 931-1211 FAX: (813) 442-3646 WWW.FLDCON.COM CA NO 1421	DESIGNED FOR EPPERSON RANCH, LLC 150 NORTH RIVER POINT DRIVE, SUITE 100 TAMPA, FLORIDA 33604 PHONE: (813) 931-1211	PROJECT NAME EPPERSON RANCH OVERPASS ROAD - PHASE 1	SHEET NAME HORIZONTAL CONTROL PLAN	DATE 06-04-2014	REVISIONS 1. 06-04-2014 REVISION FOR PASCO COUNTY COMMENTS	PROJECT NO. 0697-028K	DRAWN BY 157	CHECKED BY AVS	DATE 06-04-2014		
	PROJECT NO. 0697-028K	DRAWN BY 157	CHECKED BY AVS	DATE 06-04-2014	PROJECT NO. 0697-028K	DRAWN BY 157	CHECKED BY AVS	DATE 06-04-2014	PROJECT NO. 0697-028K	DRAWN BY 157	CHECKED BY AVS
	PROJECT NO. 0697-028K	DRAWN BY 157	CHECKED BY AVS	DATE 06-04-2014	PROJECT NO. 0697-028K	DRAWN BY 157	CHECKED BY AVS	DATE 06-04-2014	PROJECT NO. 0697-028K	DRAWN BY 157	CHECKED BY AVS
	PROJECT NO. 0697-028K	DRAWN BY 157	CHECKED BY AVS	DATE 06-04-2014	PROJECT NO. 0697-028K	DRAWN BY 157	CHECKED BY AVS	DATE 06-04-2014	PROJECT NO. 0697-028K	DRAWN BY 157	CHECKED BY AVS

**ATTACHMENT NO. 4 - BACKGROUND AND FINDINGS OF FACT
Epperson Ranch Overpass Road Phase 1 Amendment**

BACKGROUND:

1. On November 5, 2008, the Board of County Commissioners (BCC) adopted a Comprehensive Plan Amendment which allowed the applicants/developers to change the Future Land Use from RES-1 (Residential – 1du/ga) and AG (Agricultural – 1 du/10ga) to RES-3 (Residential – 3du/ga)(CPAD258; Ordinance 08-46.)
2. On November 8, 2008, the BCC approved a Development Agreement (DA) for the Epperson Ranch DRI, as recorded in OR Book 7972, Pages 295-363.
3. On July 14, 2009, the (BCC approved a rezoning from A-C Agricultural and A-R Agricultural-Residential Districts to an MPUD Master Planned Unit Development District for Epperson Ranch (RZ Petition No. 6859).
4. On November 5, 2014, the BCC approved The Epperson Ranch DRI rescission along with the cancellation of the DA. At this same hearing the BCC approved three (3) rezoning requests to change zoning from one Master Planned Unit Development (MPUD) Zoning District associated with the Epperson Ranch DRI to three separate MPUD Zoning Districts: Epperson Ranch Town Center MPUD (RZ7102), Epperson Ranch South MPUD (RZ7103), and EPCO Ranch North MPUD (RZ7104). Along with the Epperson Ranch South rezoning request was a variance from Section 407.5.C of the Land Development Code which allowed the applicants/developers to reduce the right-of-way for Overpass Road from the required 166 feet to 152 feet from the boundary of the Town Center to the westernmost boundary of Epperson Ranch South.
5. On February 19, 2015, the Planning and Development Department approved with conditions the Mass Grading of the Overpass Road Phase 1 project area.
6. On March 25, 2015, the Planning and Development Department approved with conditions the Excavation and Mass Grading of Pond 180 and Pond 230 within the abutting Park Place Entrance Road project. Dirt from this excavation and mass grading was approved to be moved to the abutting Overpass Road Phase 1 project area.
7. On June 11, 2015, the Planning and Development Department approved with conditions the Preliminary Site Plan/Construction Plan, Stormwater Management Plan and Report for Overpass Road Phase 1.

FINDINGS OF FACT:

1. Presently, the subject site is being mass graded.
2. On July 17, 2015, AECOM confirmed by email that the alignment of Overpass Road Phase 1 Modification as shown in the project plans is consistent with the alignment in the current PD&E study.

(PDD15-1511)
Attachment No. 4

3. The Preliminary Site Plan/Construction Plan, Stormwater Management Plan and Report for the above-subject project was prepared for Epperson Ranch, LLC by Florida Design Consultants, Inc. and consists of 54 sheets dated June 4, 2014; the sheets were last revised on July 6, 2015. The plans were originally received by the Planning and Development Department on May 18, 2015, and final revisions were received on July 8, 2015.

The Planning and Development Department's approval of this Preliminary Site/Construction Plan, and Stormwater Management Plan and Report constitutes a finding by the Planning and Development Department that the Preliminary Site/Construction Plan, and Stormwater Management Plan and Report, as conditioned, are consistent with those Goals, Objectives, and Policies of the Comprehensive Plan and those provisions of the LDC that are applicable to Preliminary Site/Construction Plan, and Stormwater Management Plan and Report approvals. This action is based on the office review of the plans, supporting documentation, and certifications of the Engineer of Record.

PASCO COUNTY, FLORIDA
INTEROFFICE MEMORANDUM

TO: Joaquin Servia
Development Review Manager

DATE: 6/11/15 FILE: PDD15-1225

SUBJECT: Large Subdivision
Development Review-
Epperson Ranch Overpass
Road Phase 1 (Project No.
LRG14-019)
Recommendation: Approval
with Conditions (Attachment
No. 1)

FROM: Brad Tippin
Senior Development
Review Technician

REFERENCES: Land Development Code,
Sections 300, Procedures;
403, Site Development;
and 900, Development
Standards; Comm. Dist. 1

The following is presented to the Development Review Manager for consideration.

PROJECT DESCRIPTION:

Commission District:	The Honorable Theodore J. Schrader
Project Name:	Epperson Ranch Overpass Road Phase 1
Developer's Name:	Epperson Ranch, LLC
Location:	Wesley Chapel North of Wells Road, Westside Curley Road (Attachment No. 2)
Parcel ID Nos.:	34-25-20-0000-00100-0010 (a portion of) 34-25-20-0000-00100-0020 (a portion of) 34-25-20-0000-00100-00B0 (a portion of) 35-25-20-0000-00300-0010 (a portion of) 35-25-20-0000-00300-0020 (a portion of) 35-25-20-0000-00300-00B0 (a portion of) 27-25-20-0000-00200-0010 (a portion of) 26-25-20-0000-00200-0040 (a portion of)
Land Use Classification:	RES-3 (Residential- 3) TC (Town Center)
Zoning District:	MPUD (Epperson Ranch South MPUD)
Acreage:	66.15 Acres, m.o.l. (Project Area)
Flood Zone:	"X," "A" and "AE"
Water/Sewage:	Pasco/Pasco
Transportation Analysis Zone:	262, 269

Mobility Fee Assessment District: B
Mobility Fee Collection/Benefit District: 3
Roads: Public
Certificate of Capacity: Initial

DEVELOPER'S REQUEST:

The applicant/developer of Epperson Ranch Overpass Road Phase 1 is requesting Preliminary Site Plan/Construction Plan, Stormwater Management Plan and Report approval to construct a portion of roadway within the Epperson Ranch South MPUD (Attachment No. 3).

BACKGROUND AND FINDINGS OF FACT:

See Attachment No. 4

RECOMMENDATION:

The Planning and Development Department recommends approval of the Preliminary Site Plan/Construction Plan, and Stormwater Management Plan and Report request with the attached conditions.

ATTACHMENTS:

1. Conditions of Approval
2. Location Map
3. Site Plan
4. Background and Findings of Fact

PLANNING AND DEVELOPMENT DEPARTMENT ACTION:

APPROVED

B.C.C.
 D.R.C.
 P. D. D.

Pasco County

By: *Joy L. D.* Date 6-11-15

**For Substantial Compliance With
The Applicable Provisions of Pasco County
Land Development Regulations
And Their Intent**

ATTACHMENT NO. 1 – CONDITIONS OF APPROVAL

Epperson Ranch Overpass Road Phase 1

Hard-Copy Site Development Permit

1. Before commencing approved construction activities, the applicant/developer or project contractor shall obtain from the Planning and Development Department an authorization to commence approve construction, a.k.a. “a hard copy Site Development Permit.” To obtain said authorization, the following must be submitted to the Planning and Development Department:
 - a. The completed notarized acknowledgment portion of the attached agenda memorandum. The owner/developer is hereby notified that the effective date of this development approval shall be the date of the final County action; however, no activity shall commence on site until such time as the acknowledgment portion of this document is completed (including notarization) and received by the Planning and Development Department.
 - b. A copy of the Southwest Florida Water Management District (SWFWMD) Permit and Plan. In the event the SWFWMD Permit and Plan require any changes to the County-approved plan, an amendment to the County-approved plan shall be submitted for review and approval prior to the issuance of the Site Development Permit.
 - c. A copy of any State and Federal permits obtained that relate to the project, including drawings, plans, etc.
 - d. National Pollutant Discharge Elimination System Permit/Permit Application.
 - e. The developer shall complete a Gopher Tortoise 100% Survey in accordance with the FFWCC survey guidelines. A copy of the issued gopher tortoise relocation permit and the after action report shall be sent to Planning and Development and the County Biologist.

No construction shall commence until the Hard Copy Site Development Permit has been properly posted on the site.

Specific Conditions

2. Overpass Road Phase 1 northwest of Curley Road is not to be open to public traffic until such time that the realignment and related offsite modifications on the portion of Overpass Road southeast of Curley Road are completed and pass Pasco County Engineering Inspections. Off-site modifications to Overpass Road southeast of Curley Road are to include tapering of the eastbound lane, removal and/or realignment of the median and restriping of the median to reduce deflection of the lane(s) at the intersection of Overpass Road and Curley Road.
3. Prior to commencement of any construction for each phase or increment of development, the developer or master developer shall:

Attachment 1 - Conditions of Approval
(PDD15-1225)

- a. If construction activities begin within the Florida Sand Hill breeding season (January-July), preconstruction breeding season surveys shall be conducted at all appropriate/suitable wetland for the Florida Sandhill crane just prior to anticipated construction activities.
 - b. Preconstruction breeding season surveys shall be conducted according to FFWCC guidelines for the Sherman's fox squirrels (May to August and November through January). If nest are found, FFWCC and the County shall be contacted for review and consultation to determine the conservation plan and mitigation measures.
 - c. Preconstruction Kestrel surveys shall be conducted according to FFWCC guidelines. If nest are found, FFWCC and the County shall be contacted for review and consultation to determine the conservation and mitigation measures. All survey and habitat delineation methods as well as associated mitigation requirements should follow procedures as described in "Ecology and habitat protection needs of the southeastern American kestrel (*Falco sparverius Paulus*) on large scale development sites in Florida" (Stys, B. 1993, Florida Game and Fresh Water Fish Commission, Nongame Wildlife Program, Technical Report No 13).
 - d. Preconstruction surveys for wood storks shall be conducted of the wetlands within the Epperson Ranch South project boundary. If any nesting/roosting is observed, a protection plan with be coordinated with USFWS, FFWCC, and the County Biologist.
 - e. If any other listed species are observed on-site during construction activities all construction activities shall cease immediately and the FFWCC and the County Biologist shall be contacted to determine conservation and mitigation measures.
 - f. The jurisdictional wetland line and the upland buffer line shall be clearly field demarcated prior to any construction activities.
 - g. No construction activities including: clearing, grading, grubbing shall occur within the Wetland Upland Buffer as depicted on the approved project Construction Plans.
4. Prior to the start of clearing and grubbing, or any soil disturbance contact Pasco County Stormwater Management at 727-834-3611 for a soil erosion and sediment control, pre-inspection meeting.
 5. Per section CON 1.3.11, Pasco County requires that all wetland encroachments be permitted and mitigated according to Chapters 62 and 40D-4 and Section 404 Clean Water Act and monitored by FDEP, SWFWMD and Army Corp of Engineers. Please provide a copy of the permit(s) from the jurisdictions having authority for the removal of the wetland.
 6. No dirt shall be transported offsite.

7. Upon construction and completion of improvements, the developer shall provide easements over all drainage facilities, flow thru easement, and slope and access easement to the County. In the event the Owner or the Association fails to properly maintain any private drainage easements/facilities, the County shall have the reasonable right, but not the obligation, to access and enter upon any drainage easement for the purpose of performing maintenance to ensure the free flow of water.
8. Credits for trees being planted are to be obtained from the tree removal calculation from the Mass Grading approval. The required replacement trees will be given for trees planted pursuant to future site construction plans that are related to the Epperson Ranch South project which include lot trees, and landscaping and buffering requirements within this mass grading project boundary.
9. For improvements within the County right-of-way with traffic-control devices, the Traffic Control Devices Submittal data form shall be submitted to the Traffic Operations Division for approval prior to installation of any traffic control devices within the County right-of-way.

General

10. There shall be no driveway connections to Overpass Road.
11. The applicant/developer shall acknowledge that should Pasco County collect funds under a guarantee document, the developer shall authorize the County or its designee access to the property in question to complete the required work.
12. The applicant/developer shall acknowledge that should Pasco County be required to institute legal proceedings in order to collect any funds under a guarantee document, the developer shall be responsible for attorney's fees and court costs incurred by the County in such action.
13. The developer acknowledges that an appeal may be filed against the decision of the Planning and Development Department within 30 days of the date of this approval. Any development that takes place within the 30-day-appeal deadline shall not establish vested rights with respect to construction of the project.
14. All conditions of approval pursuant to Rezoning Petition number 7103, approved by the Board of County Commissioners (BCC) on November 5, 2014 remain in full force and effect. Any conditions not specifically mentioned herein as they may pertain to Overpass Road construction shall be adhered to.

Construction

15. The applicant/developer or project contractor shall notify the Project Management Division at least five working days prior to commencing any activity on the site.
16. Any roadway construction required herein as a condition of development approval shall not be entitled to the TID credits, unless such credits have been granted pursuant to a

prior written agreement, as provided herein, or as previously approved through the MPUD rezoning. Appeal from this provision shall be made in accordance with the TIF Ordinance.

17. No excavation within the area of future lanes of multilane facilities will be allowed with the exception of excavation for drainage structures, permitted removal of wetlands, excavation to match existing grade, or as direct by the Engineering Services Director.
18. In the event ordinances/resolutions are adopted by the BCC including, but not limited to, solid waste, public safety, or wildlife, the developer shall be required to comply with such ordinances/resolutions.
19. All construction work, including roads, drainage, and utilities, shall be constructed in accordance with Pasco County design standards and tested in compliance with the Engineering Services Department's *Testing Specifications for Construction of Roads, Storm Drainage, and Utilities*.
20. Overpass Road shall be constructed in accordance with applicable County/Florida Department of Transportation (FDOT) design, construction, and signage standards; e.g., Chapter 316, Florida Statutes, and *Manual of Uniform Traffic Control Devices* standards.
21. Curb ramps are required at all intersections of curbs and sidewalks and shall be constructed in conformance with the uniform *Federal Accessibility Standards* published by the General Services Administration, Department of Housing and Urban Development, Department of Defense, and United States Postal Service (Section 336.045, Florida Statutes).
22. Prior to any construction activity, the developer shall ensure that proper erosion and sediment control measures are in place. The applicant/developer or project contractor shall notify the Stormwater Management Division at least two working days prior to commencing any site preparation, including clearing and grubbing work, for a preinspection of the sediment and erosion-control devices. The developer shall control all fugitive dust originating from the project site and shall indicate on the construction drawings the manner in which fugitive dust is to be controlled. Further, all retention pond side slopes and associated swales shall be sodded to prevent soil erosion.
23. If, during construction activities, any evidence of historic resources including, but not limited to, aboriginal or historic pottery, prehistoric stone tools, bone or shell tools, historic trash pits, or historic building foundations are discovered, work shall come to an immediate stop, and Pasco County and the Florida Division of Historical Resources shall be notified within two working days.
24. If, during construction activities, any evidence of the presence of State and Federally protected plant and/or animal species is discovered, work shall come to an immediate stop, and Pasco County shall be notified within two working days of the plant and/or animal species found on the site.

OWNER/DEVELOPER'S ACKNOWLEDGMENT:

The owner/developer acknowledges that he/she has read, understood, and accepted the above-listed conditions of approval.

Date

Signature

Print Name

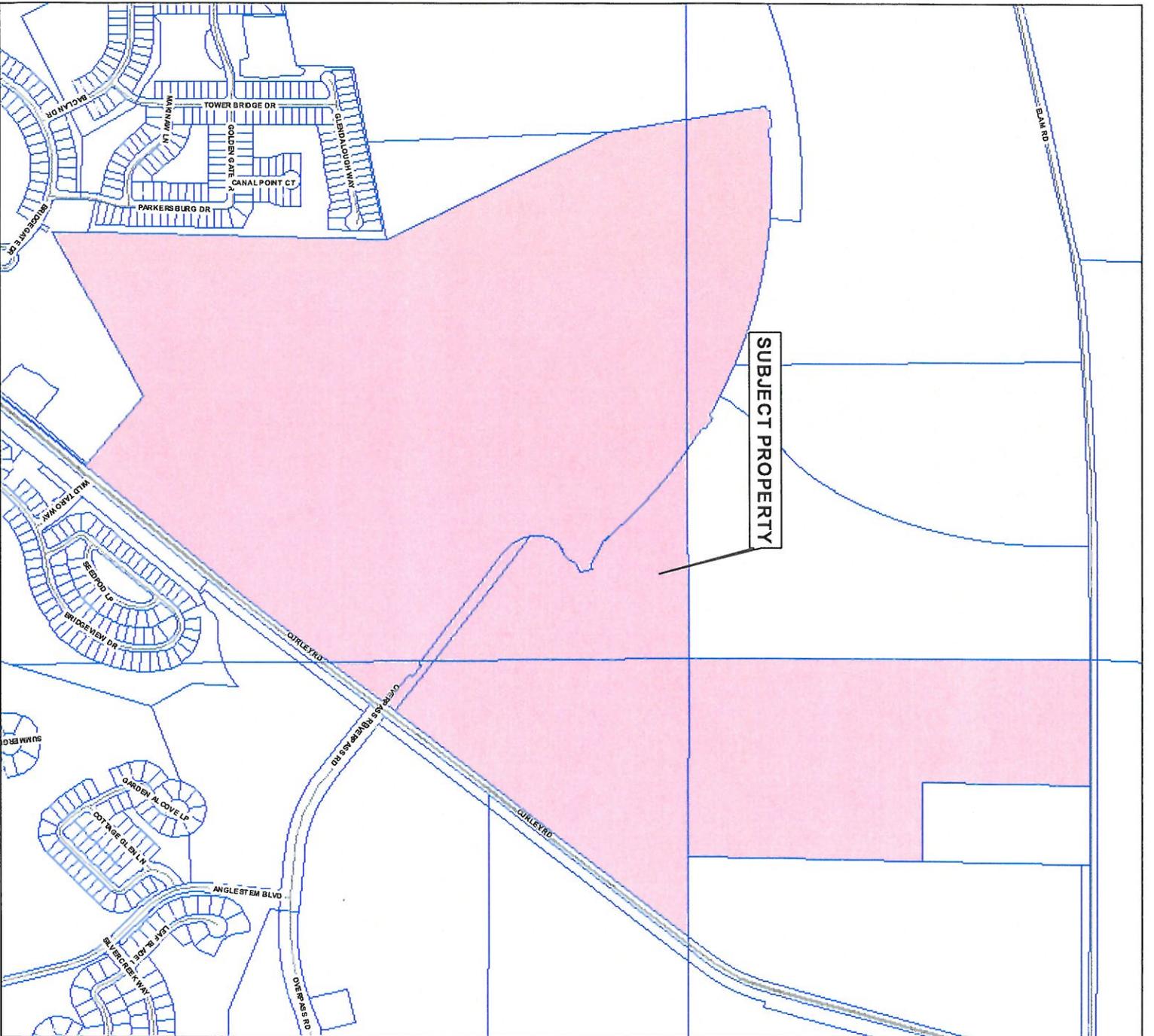
Title

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____
(date), by _____ (name
of corporation acknowledging) a _____
(State or place of incorporation) corporation, on behalf of the corporation. He/she is personally
known to me or who has produced _____ (type of
identification) as identification.

Seal:

NOTARY



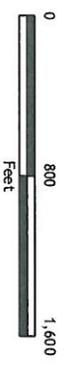
LRG14-019
Overpass Road Phase 1
Epperson Ranch South MPUD

- 34 25 20 0000 00100 0010
- 34 25 20 0000 00100 0020
- 34 25 20 0000 00100 00B0
- 35 25 20 0000 00300 0020
- 35 25 20 0000 00300 0010
- 35 25 20 0000 00300 00B0
- 27 25 20 0000 00200 0010
- 26 25 20 0000 00200 0040

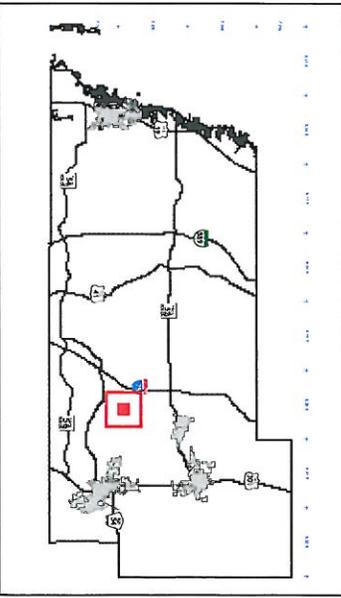
PHYSICAL ADDRESS:
 NONE

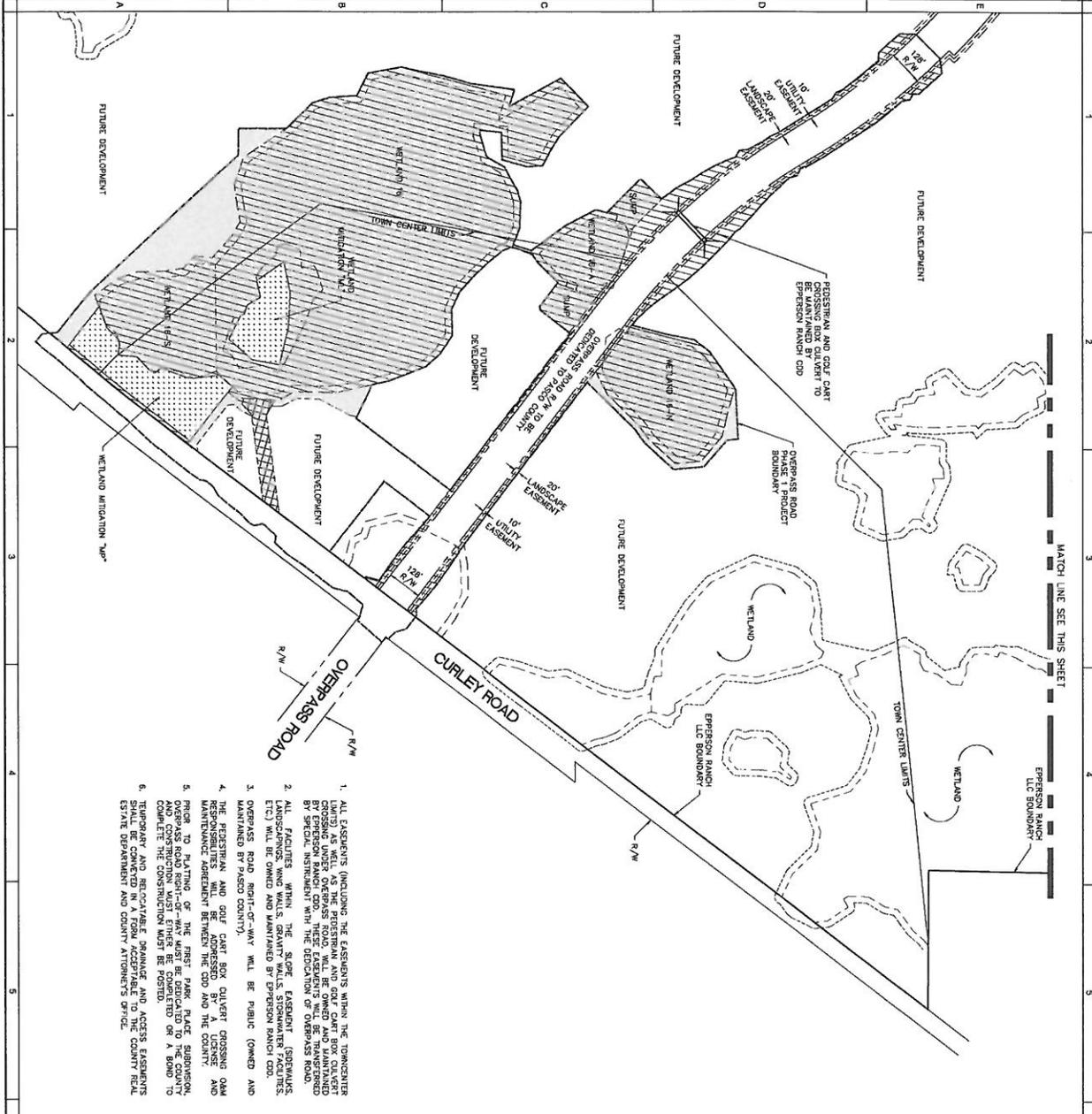
TAZ - 269
COMMISSION DISTRICT: 1

 **SUBJECT PROPERTY**



Pasco County GIS | 2/12/2015 | aikhuoria

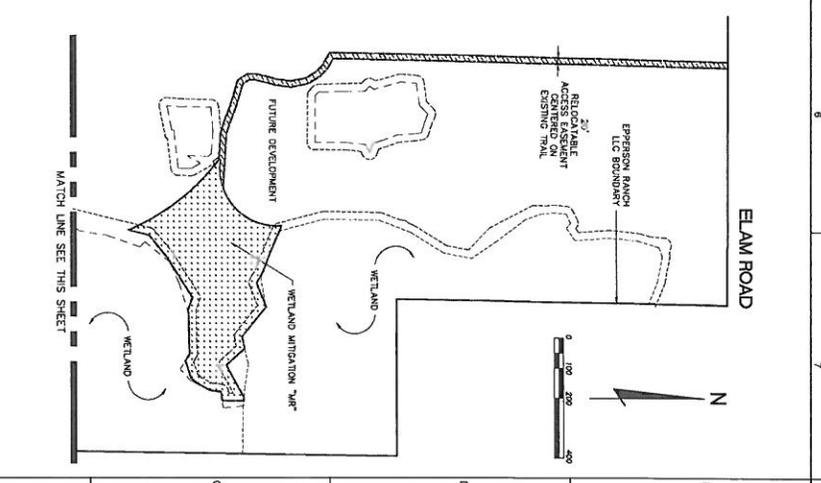




1. ALL EASEMENTS (INCLUDING THE EASEMENTS WITHIN THE TOWN CENTER LIMITS) AS WELL AS THE PEDESTRIAN AND GOLF CART BOX CULVERT CROSSING UNDER OVERPASS ROAD WILL BE OWNED AND MAINTAINED BY EPPERSON RANCH LLC. THE PEDESTRIAN AND GOLF CART BOX CULVERT CROSSING UNDER OVERPASS ROAD WILL BE OWNED AND MAINTAINED BY SPECIAL INSTRUMENT WITH THE DEDICATION OF OVERPASS ROAD. LANDSCAPES, SIGN WALLS, STORMWATER FACILITIES, ETC.) WILL BE OWNED AND MAINTAINED BY EPPERSON RANCH LLC.
2. ALL FACILITIES WITHIN THE SLOPE EASEMENT (SIDEWALKS, LANDSCAPES, SIGN WALLS, STORMWATER FACILITIES, ETC.) WILL BE OWNED AND MAINTAINED BY EPPERSON RANCH LLC.
3. OVERPASS ROAD RIGHT-OF-WAY WILL BE PUBLIC (OWNED AND MAINTAINED BY PASCO COUNTY).
4. THE PEDESTRIAN AND GOLF CART BOX CULVERT CROSSING UNDER OVERPASS ROAD WILL BE OWNED AND MAINTAINED BY EPPERSON RANCH LLC. THE PEDESTRIAN AND GOLF CART BOX CULVERT CROSSING UNDER OVERPASS ROAD RIGHT-OF-WAY MUST BE DEDICATED TO THE COUNTY AND CONSTRUCTION MUST EITHER BE COMPLETED OR A BOND TO COMPLETE THE CONSTRUCTION MUST BE FORNEN AND ACCESS EASEMENTS TO BE DEDICATED TO PASCO COUNTY.
5. PEDESTRIAN AND GOLF CART BOX CULVERT CROSSING UNDER OVERPASS ROAD RIGHT-OF-WAY MUST BE DEDICATED TO THE COUNTY AND CONSTRUCTION MUST EITHER BE COMPLETED OR A BOND TO COMPLETE THE CONSTRUCTION MUST BE FORNEN AND ACCESS EASEMENTS TO BE DEDICATED TO PASCO COUNTY.
6. PEDESTRIAN AND GOLF CART BOX CULVERT CROSSING UNDER OVERPASS ROAD RIGHT-OF-WAY MUST BE DEDICATED TO THE COUNTY AND CONSTRUCTION MUST EITHER BE COMPLETED OR A BOND TO COMPLETE THE CONSTRUCTION MUST BE FORNEN AND ACCESS EASEMENTS TO BE DEDICATED TO PASCO COUNTY.

LEGEND

- (1) OVERPASS ROAD PHASE 1 PROJECT BOUNDARY
- (2) TEMPORARY BRIDGE EASEMENT TO PASCO COUNTY (MAINTAINED BY EPPERSON RANCH LLC)
- (3) BRIDGE EASEMENT TO BE DEDICATED TO PASCO COUNTY (MAINTAINED BY EPPERSON RANCH LLC)
- (4) BRIDGE EASEMENT/BRIDGE EASEMENT TO BE DEDICATED TO PASCO COUNTY (MAINTAINED BY EPPERSON RANCH LLC)
- (5) SLOPE EASEMENT/BRIDGE EASEMENT DEDICATED TO PASCO COUNTY (MAINTAINED BY EPPERSON RANCH LLC)
- (6) RELOCATABLE ACCESS EASEMENT TO MINOR ROAD (MAINTAINED BY EPPERSON RANCH LLC)
- (7) RELOCATABLE DRAINAGE AND ACCESS EASEMENT TO PASCO COUNTY (MAINTAINED BY EPPERSON RANCH LLC)
- (8) RELOCATABLE DRAINAGE AND ACCESS EASEMENT TO PASCO COUNTY (MAINTAINED BY EPPERSON RANCH LLC)



<p>FLORIDA DESIGN CONSULTANTS, INC. — THINK IT. ACHIEVE IT. —</p> <p>3030 STARKEY BOULEVARD, NEW PORT RICHEY, FLORIDA 34455 PHONE: (800) 522-1047 FAX: (727) 848-3048 WWW.FLORIDACON.COM C.A. NO. 7421</p>	<p>DESIGNED FOR: EPPERSON RANCH, LLC 202 HENRIETTA ROAD, SUITE 1008 TAMPA, FLORIDA 33611 PHONE: (813) 288-8079</p>	<p>DATE: 05/07/2015 SHEET: 137 PROJECT: 1516-09-2016 DRAWN: AUB CHECKED: AUB SCALE: AS SHOWN</p>	
	<p>PROJECT NAME: EPPERSON RANCH OVERPASS ROAD - PHASE 1</p> <p>SHEET NAME: EASEMENT PLAN</p>		

ATTACHMENT NO. 4 - BACKGROUND AND FINDINGS OF FACT
Epperson Ranch Overpass Road Phase 1

BACKGROUND:

1. On November 5, 2008, the Board of County Commissioners (BCC) adopted a Comprehensive Plan Amendment which allowed the applicants/developers to change the Future Land Use from RES-1 (Residential – 1du/ga) and AG (Agricultural – 1 du/10ga) to RES-3 (Residential – 3du/ga)(CPAD258; Ordinance 08-46.)
2. On November 8, 2008, the BCC approved a Development Agreement (DA) for the Epperson Ranch DRI, as recorded in OR Book 7972, Pages 295-363.
3. On July 14, 2009, the (BCC approved a rezoning from A-C Agricultural and A-R Agricultural-Residential Districts to an MPUD Master Planned Unit Development District for Epperson Ranch (RZ Petition No. 6859).
4. On November 5, 2014, the BCC approved The Epperson Ranch DRI was rescission along with the cancellation of the DA. At this same hearing the BCC approved three (3) rezoning requests to change zoning from one Master Planned Unit Development (MPUD) Zoning District associated with the Epperson Ranch DRI to three separate MPUD Zoning Districts: Epperson Ranch Town Center MPUD (RZ7102), Epperson Ranch South MPUD (RZ7103), and EPCO Ranch North MPUD (RZ7104). Along with the Epperson Ranch South rezoning request was a variance from Section 407.5.C of the Land Development Code which allowed the applicants/developers to reduce the right-of-way for Overpass Road from the required 166 feet to 152 feet from the boundary of the Town Center to the westernmost boundary of Epperson Ranch South.

FINDINGS OF FACT:

1. Presently, the subject site is characterized as unimproved agricultural land.
2. The Preliminary Site/Construction Plan, and Stormwater Management Plan and Report have been reviewed by the Planning and Development Department, and it has been determined that the proposed use is consistent with the above-referenced zoning district's permitted uses and with the Pasco County applicable provisions of the Comprehensive Plan, as submitted.
3. The Preliminary Site/Construction Plan, and Stormwater Management Plan and Report for the above-subject project was prepared for Epperson Ranch, LLC by Florida Design Consultants, Inc. and consists of 52 sheets dated June 4, 2014; the sheets were last revised on April 7, 2015. The plans were originally received by the Planning and Development Department on July 3, 2014, and final revisions were received on April 8, 2015.

The Planning and Development Department's approval of this Preliminary Site/Construction Plan, and Stormwater Management Plan and Report constitutes a finding by the Planning and Development Department that the Preliminary Site/Construction Plan, and Stormwater

Management Plan and Report , as conditioned, are consistent with those Goals, Objectives, and Policies of the Comprehensive Plan and those provisions of the LDC that are applicable to Preliminary Site/Construction Plan, and Stormwater Management Plan and Report approvals. This action is based on the office review of the plans, supporting documentation, and certifications of the Engineer of Record.



PASCO COUNTY, FLORIDA

"Bringing Opportunities Home"

WEST PASCO GOVERNMENT CENTER
PLANNING AND DEVELOPMENT DEPARTMENT
8731 CITIZENS DRIVE, SUITE 230
NEW PORT RICHEY, FL 34654
TELEPHONE: (727) 847-8132
FAX: (727) 847-8901
btippin@pascocountyfl.net

February 19, 2015

Paul Skidmore, P.E.
Florida Design Consultants, Inc.
3030 Starkey Blvd.
New Port Richey, FL 34655
pskidmore@fldesign.com

RE: Overpass Road Phase 1 (LRG14-019), Mass Grading

Dear Mr. Skidmore:

Please be advised that a mass grading permit is being issued for the above referenced project.

This permit is solely for clearing, grading, cut and fill, and the installation of stormwater pipes and retention/detention devices in accordance with the related portion of the Overpass Road Phase 1 plans. **CONSTRUCTION OF PAVEMENT STRUCTURES AND OTHER CONSTRUCTION ACTIVITIES NOT SPECIFICALLY NOTED ABOVE ARE NOT APPROVED WITH THIS PERMIT.**

The following conditions shall apply:

1. The owner/developer is hereby notified that the effective date of this mass grading permit shall be the date of the final County action; however, no activity shall commence on site until such time as the acknowledgment portion of this document is completed (including notarization) and received by the Planning and Development Department.
2. This permit does not authorize any construction activities other than clearing, grading, cut and fill, and the installation of stormwater pipes and retention/detention devices.

Pasco County—Florida's premier county for balanced economic growth, environmental sustainability, and first-class services."

Overpass Road Phase 1 (LRG14-019), Mass Grading

3. All clearing, grading, cut and fill, and installation of Stormwater pipes and retention/detention devices shall be completed according to the Overpass Road Phase 1 plans on file with the Pasco County Planning and Development Department.
4. The applicant/developer agrees that outstanding items not yet approved on the Overpass Road Phase 1 plans, including but not limited to Overpass Road's alignment at Curley Road, may result in necessary changes to the mass grading activities approved by this permit. The applicant/developer agrees that commencement of mass grading activities prior to approval of the Overpass Road Phase 1 construction plans is at the applicant/developer's own risk.
5. National Pollutant Discharge Elimination System Permit must be provided to the Planning and Development Department.
6. Prior to any construction activity, the developer shall ensure that proper erosion and sediment control measures are in place. The applicant/developer or project contractor shall notify the Stormwater Management Division at least two working days prior to commencing any site preparation, including clearing and grubbing work, for a pre-inspection of the sediment and erosion-control devices. The developer shall control all fugitive dust originating from the project site and shall indicate on the construction drawings the manner in which fugitive dust is to be controlled. Further, all retention pond side slopes and associated swales shall be sodded to prevent soil erosion.

Please have the developer's acknowledgment signed and notarized and return to this office.

If you have any questions, please do not hesitate to contact me.

Sincerely,

Brad Tippin

Brad Tippin
Senior Development Review Technician

Corelynn Burns

Corelynn Burns
Planner II

CC: Kartik Goyani (Epperson ranch, LLC; kgoyani@mdgflorida.com)

DEVELOPER'S ACKNOWLEDGMENT:

The developer acknowledges that it has read, understood, and accepted the above-listed conditions of approval.

Date Signature

Print Name

Title

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____
(date), by _____ (name
of corporation acknowledging) a _____
(State or place of incorporation) corporation, on behalf of the corporation. He/she is personally
known to me or who has produced _____ (type of
identification) as identification.

Seal: _____
NOTARY



DEPARTMENT OF THE ARMY
JACKSONVILLE DISTRICT CORPS OF ENGINEERS
10117 PRINCESS PALM AVENUE, SUITE 120
TAMPA, FLORIDA 33610

January 16, 2015

REPLY TO
ATTENTION OF

Regulatory Division
South Permits Branch
Tampa Permits Section
SAJ-2014-01744 (NW-TEH)

Mr. John Ryan
Meadow Ridge Owner, LLC
2502 Rocky Point Dr., Suite 1050
Tampa, FL 33607

Dear Mr. Ryan:

The U.S. Army Corps of Engineers (Corps) assigned your application for a Department of the Army permit, which the Corps received on June 23, 2014, the file number SAJ-2014-01744 (NW-TEH). A review of the information and drawings provided indicates that the proposed project, known as "Overpass Road Extension", includes the construction of 2,600 linear feet of a 4-lane roadway, requiring impacts to 0.38 acre of waters of the United States (0.35 acre of ditches and 0.03 acre of freshwater marsh). The project is located within the New River watershed in Pasco County, Florida, in Sections 34 and 35 of Township 25 South and Range 20 East. The proposed roadway will extend northwest from the existing intersection of Curley and Overpass Roads.

Your project, as depicted on the enclosed drawings, is authorized by Nationwide Permit (NWP) Number No. 14. In addition, project specific conditions have been enclosed. This verification is valid until **March 18, 2017**. Furthermore, if you commence or are under contract to commence this activity before the date that the relevant nationwide permit is modified or revoked, you will have 12 months from the date of the modification or revocation of the NWP to complete the activity under the present terms and conditions of this nationwide permit. Please access the U.S. Army Corps of Engineers' (Corps) Jacksonville District's Regulatory Internet page to access Internet links to view the Final Nationwide Permits, Federal Register Vol. 77, dated February 21, 2012, specifically pages 10270 – 10290, the Corrections to the Final Nationwide Permits, Federal Register 77, March 19, 2012, and the List of Regional Conditions. The Internet page address is:

<http://www.saj.usace.army.mil/Missions/Regulatory.aspx>

Please be aware this Internet address is case sensitive and should be entered as it appears above. Once there you will need to click on "Source Book"; and, then click on

“Nationwide Permits.” These files contain the description of the Nationwide Permit authorization, the Nationwide Permit general conditions, and the regional conditions, which apply specifically to this verification for NWP No. 14. Enclosed is a list of the six General Conditions, which apply to all Department of the Army authorizations. You must comply with all of the special and general conditions and any project specific condition of this authorization or you may be subject to enforcement action. In the event you have not completed construction of your project within the specified time limit, a separate application or re-verification may be required.

The following special conditions are included with this verification:

1. **Reporting Address:** The Permittee shall submit all reports, notifications, documentation and correspondence required by the general and special conditions of this permit to the following address:

a. For standard mail: U.S. Army Corps of Engineers, Regulatory Division, Special Projects and Enforcement Branch, 10117 Princess Palm Avenue, Suite 120, Tampa, FL 33610-8302.

b. For electronic mail: tampacompliance.reg@usace.army.mil (not to exceed 10 MB). The Permittee shall reference this permit number, SAJ-2014-01744 (NW - TEH), on all submittals.

2. **Final Mitigation Plan:** The Permittee shall not commence work with waters of the United States until the Corps has approved, in writing, the final mitigation plan to replace 0.32 units of functional loss associated with the loss of potential wood stork foraging habitat within Wetland 17.

3. **Commencement Notification:** Within 10 days from the date of initiating the work authorized by this permit/Within 10 days from the date of initiating the work authorized by this permit for each phase of the authorized project, the Permittee shall provide a written notification of the date of commencement of authorized work to the Corps.

4. **Self-Certification:** Within 60 days of completion of the work authorized by this permit, the Permittee shall complete the attached “Self-Certification Statement of Compliance” form (Attachment 3) and submit it to the Corps. In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the “Self-Certification Statement of Compliance” form. The description of any deviations on the “Self-Certification Statement of Compliance” form does not constitute approval of any deviations by the Corps.

5. **Erosion Control:** Prior to the initiation of any work authorized by this permit, the Permittee shall install erosion control measures along the perimeter of all work areas to prevent the displacement of fill material outside the work area into waters of the United States. Immediately after completion of the final grading of the land surface, all slopes, land surfaces, and filled areas shall be stabilized using sod, degradable mats, barriers, or a combination of similar stabilizing materials to prevent erosion. The erosion control measures shall remain in place and be maintained until all authorized work is completed and the work areas are stabilized.

6. **Eastern Indigo Snake Protection Measures:** The Permittee shall comply with U.S. Fish and Wildlife Service's 2013 "Standard Protection Measures for the Eastern Indigo Snake" (Attachment 4). All gopher tortoise burrows, active or inactive, shall be evacuated prior to site manipulation in the vicinity of the burrow. If excavating potentially occupied burrows, active or inactive, individuals must first obtain state authorization via a Florida Fish and Wildlife Conservation Commission (FWC) Authorized Gopher Tortoise Agent permit. The excavation method selected shall minimize the potential for injury of an indigo snake. The Permittee shall follow the excavation guidance provided in the most current FWC Gopher Tortoise Permitting Guidelines found at <http://myfwc.com/gophertortoise>. If an indigo snake is encountered, the snake must be allowed to vacate the area prior to additional site manipulation in the vicinity. Holes, cavities, and snake refugia other than gopher tortoise burrows shall be inspected each morning before planned site manipulation of a particular area, and if occupied by an indigo snake, no work shall commence until the snake has vacated the vicinity of the proposed work.

7. **Fill Material:** The Permittee shall use only clean fill material for this project. The fill material shall be free from items such as trash, debris, automotive parts, asphalt, construction materials, concrete block with exposed reinforcement bars, and soils contaminated with any toxic substance, in toxic amounts in accordance with Section 307 of the Clean Water Act.

8. **Cultural Resources/Historic Properties:**

a. No structure or work shall adversely affect impact or disturb properties listed in the *National Register of Historic Places* (NRHP) or those eligible for inclusion in the NRHP.

b. If during the ground disturbing activities and construction work within the permit area, there are archaeological/cultural materials encountered which were not the subject of a previous cultural resources assessment survey (and which shall include, but not be limited to: pottery, modified shell, flora, fauna, human remains, ceramics, stone tools or metal implements, dugout canoes, evidence of structures or any other

physical remains that could be associated with Native American cultures or early colonial or American settlement), the Permittee shall immediately stop all work and ground-disturbing activities within a 100-meter diameter of the discovery and notify the Corps within the same business day (8 hours). The Corps shall then notify the Florida State Historic Preservation Officer (SHPO) and the appropriate Tribal Historic Preservation Officer(s) (THPO(s)) to assess the significance of the discovery and devise appropriate actions.

c. Additional cultural resources assessments may be required of the permit area in the case of unanticipated discoveries as referenced in accordance with the above Special Condition ; and if deemed necessary by the SHPO, THPO(s), or Corps, in accordance with 36 CFR 800 or 33 CFR 325, Appendix C (5). Based, on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume on non-federal lands without written authorization from the SHPO for finds under his or her jurisdiction, and from the Corps.

d. In the unlikely event that unmarked human remains are identified on non-federal lands, they will be treated in accordance with Section 872.05 Florida Statutes. All work and ground disturbing activities within a 100-meter diameter of the unmarked human remains shall immediately cease and the Permittee shall immediately notify the medical examiner, Corps, and State Archeologist within the same business day (8-hours). The Corps shall then notify the appropriate SHPO and THPO(s). Based, on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume without written authorization from the State Archeologist and from the Corps.

This letter of authorization does not obviate the necessity to obtain any other Federal, State, or local permits, which may be required. Prior to the initiation of any construction, projects qualifying for this Nationwide permit must qualify for an exemption under section 403.813(1), Florida Statutes or 373.406, Florida Statutes, or otherwise be authorized by the applicable permit required under Part IV of Chapter 373, Florida Statutes, by the Department of Environmental Protection, a water management district under section 373.069, Florida Statutes, or a local government with delegated authority under section 373.441, Florida Statutes, and receive Water Quality Certification and applicable Coastal Zone Consistency Concurrence or waiver thereto, as well as any authorizations required for the use of state-owned submerged lands under Chapter 253,

Florida Statutes, and, as applicable, Chapter 258, Florida Statutes. You should check State-permitting requirements with the Florida Department of Environmental Protection or the appropriate water management district.

This letter of authorization does not include conditions that would prevent the 'take' of a state-listed fish or wildlife species. These species are protected under sec. 379.411, Florida Statutes, and listed under Rule 68A-27, Florida Administrative Code. With regard to fish and wildlife species designated as species of special concern or threatened by the State of Florida, you are responsible for coordinating directly with the Florida Fish and Wildlife Conservation Commission (FWC). You can visit the FWC license and permitting webpage (<http://www.myfwc.com/license/wildlife/>) for more information, including a list of those fish and wildlife species designated as species of special concern or threatened. The Florida Natural Areas Inventory (<http://www.fnai.org/>) also maintains updated lists, by county, of documented occurrences of those species.

This letter of authorization does not give absolute Federal authority to perform the work as specified on your application. The proposed work may be subject to local building restrictions mandated by the National Flood Insurance Program. You should contact your local office that issues building permits to determine if your site is located in a flood-prone area, and if you must comply with the local building requirements mandated by the National Flood Insurance Program.

If you are unable to access the internet or require a hardcopy of any of the conditions, limitations, or expiration date for the above referenced NWP, please contact me by telephone at 813-769-7063.

Thank you for your cooperation with our permit program. The Corps Jacksonville District Regulatory Division is committed to improving service to our customers. We strive to perform our duty in a friendly and timely manner while working to preserve our environment. We invite you to complete our automated Customer Service Survey at

http://corpsmapu.usace.army.mil/cm_apex/f?p=regulatory_survey. Please be aware this Internet address is case sensitive; and, you will need to enter it exactly as it appears above. Your input is appreciated – favorable or otherwise.

Sincerely,

Tracy Hurst
Biologist, Tampa Permits Section

Attachments:

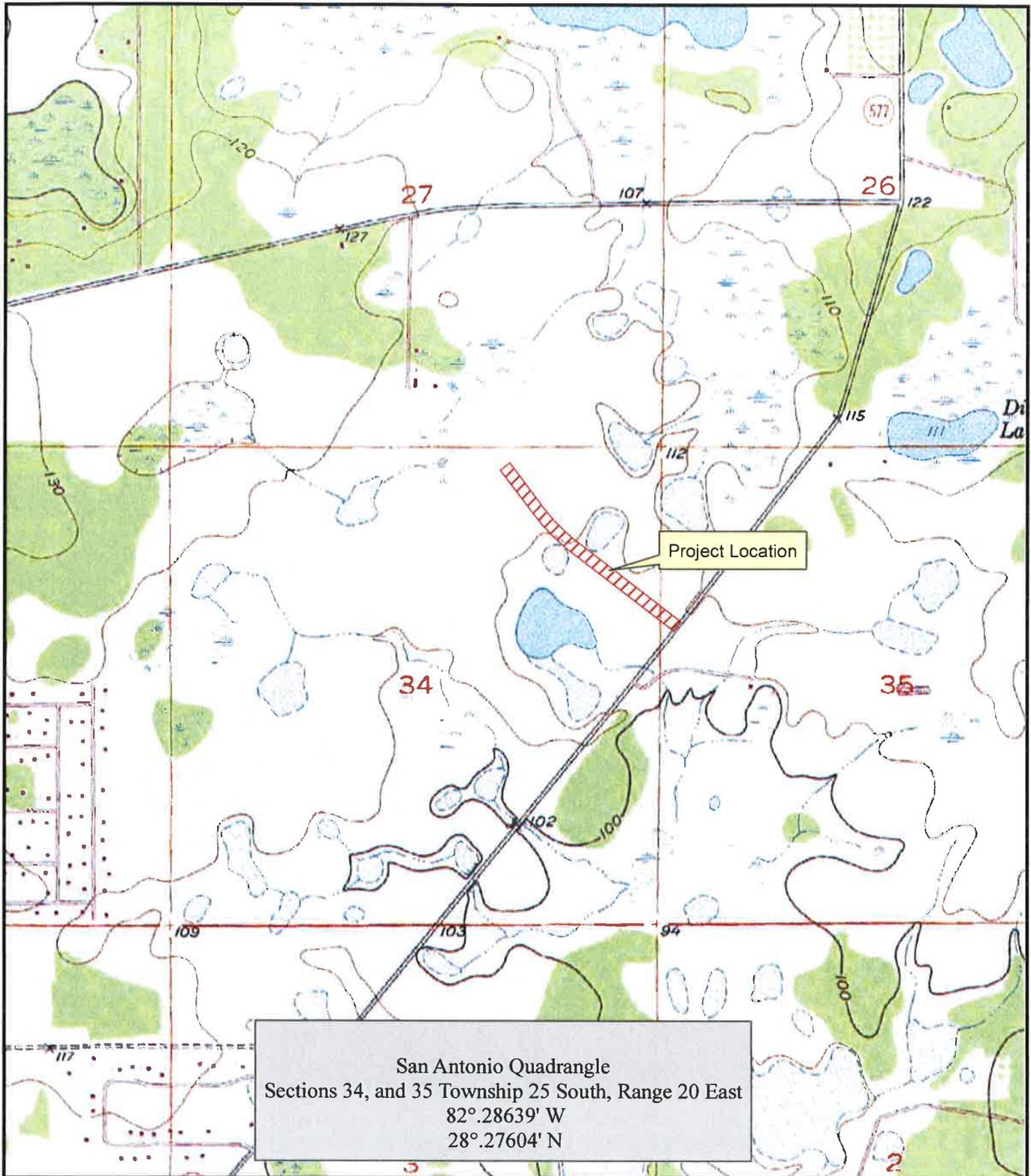
1. General Conditions
2. Permit Drawings
3. Self-certification Form
4. Eastern Indigo Snake Protection Measures
5. Transfer Form

cc (w/atts):

Ms. Cory Catts, SWFWMD (Ref. ERP Application No. 699150)
Mr. James Hunting, Florida Design Consultants, Inc.
Ms. Angela Ryan, USACE Enforcement

GENERAL CONDITIONS
33 CFR PART 320-330

1. The time limit for completing the work authorized ends on **March 18, 2017**.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort of if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit you must obtain the signature of the new owner in the space provided and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit. For your convenience, a copy of the certification is attached if it contains such conditions.
6. You must allow a representative from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.



San Antonio Quadrangle
 Sections 34, and 35 Township 25 South, Range 20 East
 82° 28' 39" W
 28° 27' 60" N



SOURCES
 USGS San Antonio Quad

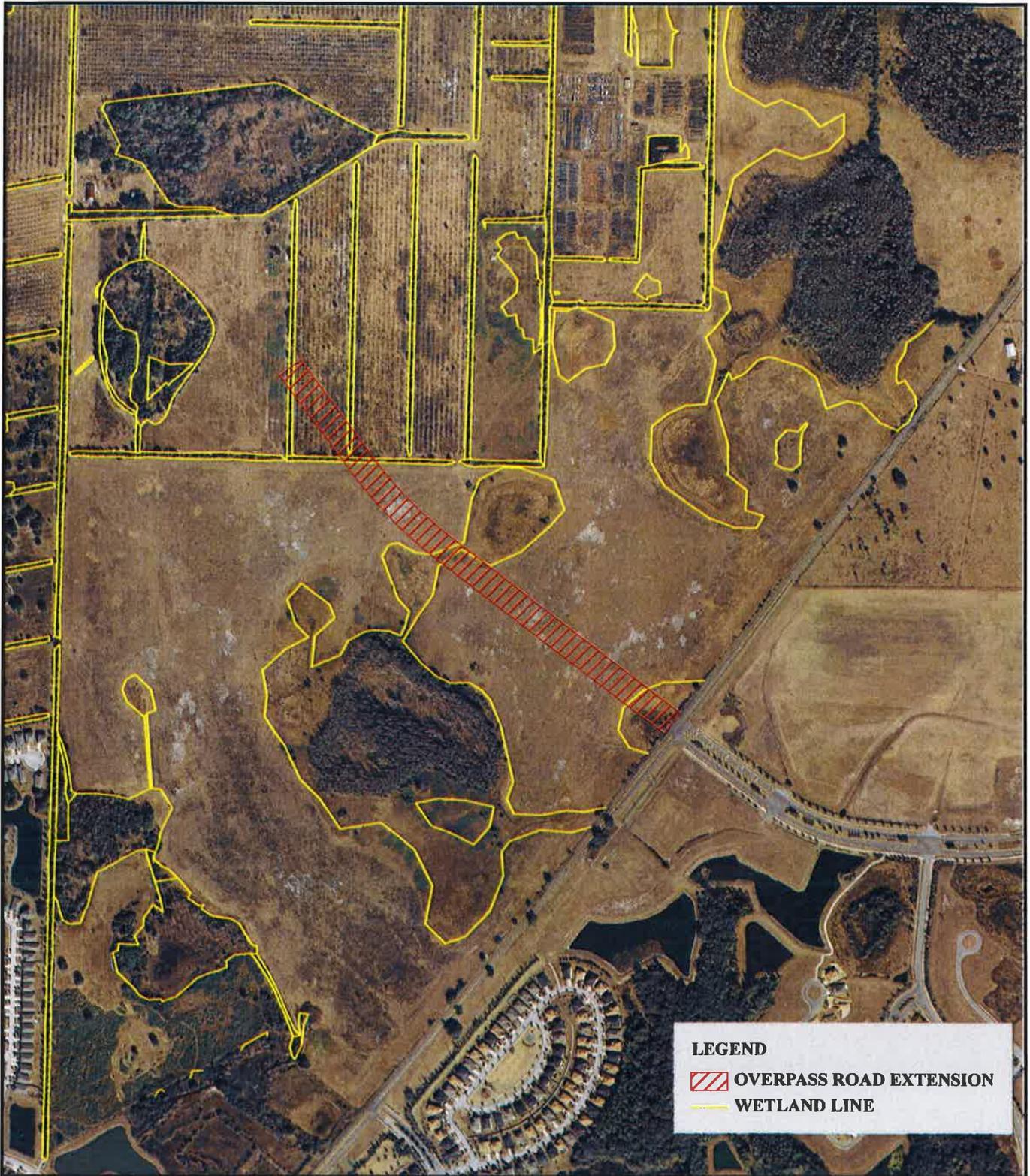
GIS DATA
 This drawing is comprised of data obtained from a variety of sources. It is for informational purposes only and is not to be considered comprehensive for site-specific data.

Overpass Road Extension

FIGURE 2 - USGS QUAD MAP

prepared for

Meadow Ridge Owner, LLC



LEGEND

-  OVERPASS ROAD EXTENSION
-  WETLAND LINE



SOURCES

2011 Aerial Photography, SWFWMD

GIS DATA

This drawing is comprised of data obtained from a variety of sources. It is for informational purposes only and is not to be considered comprehensive for site-specific data.

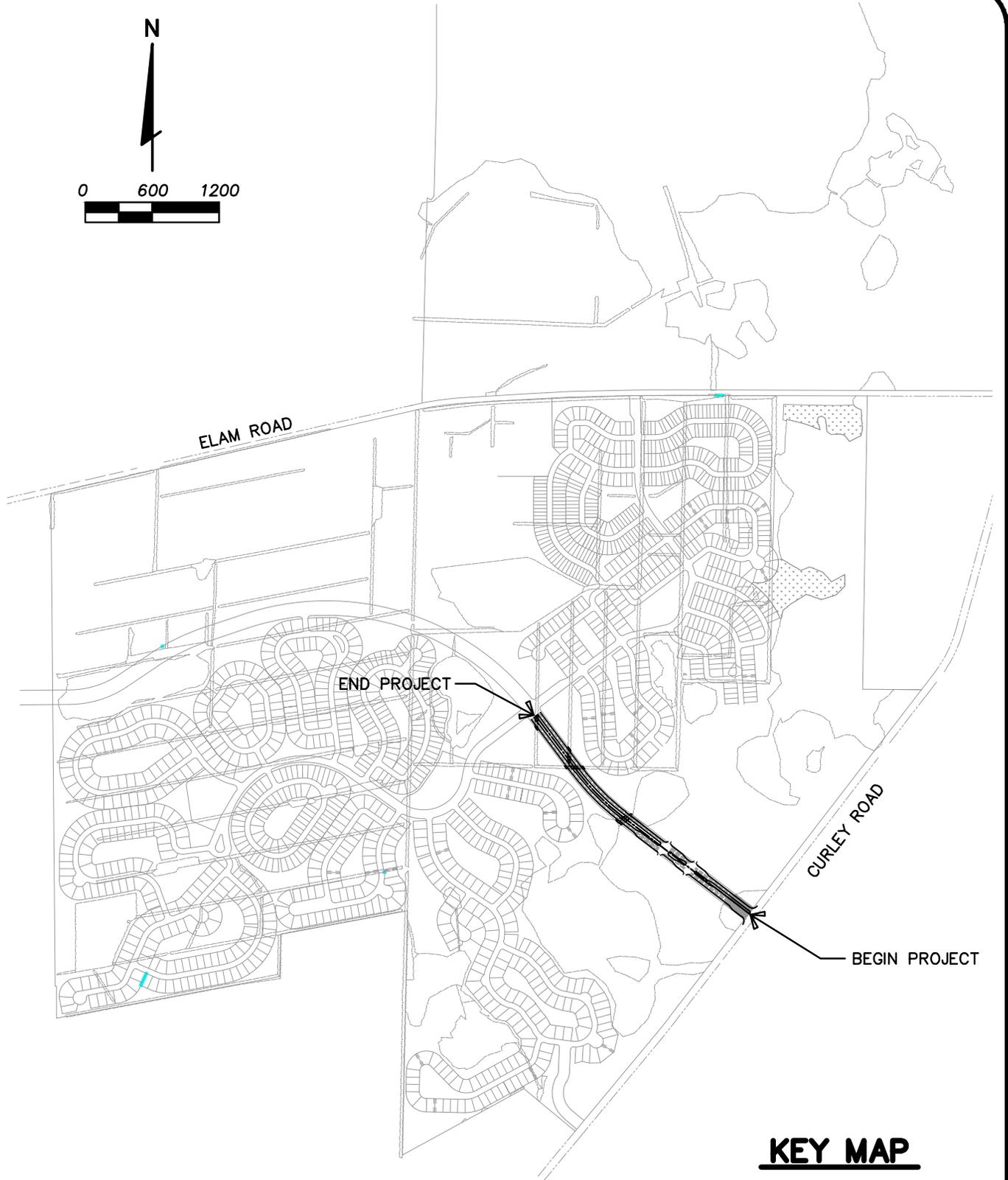
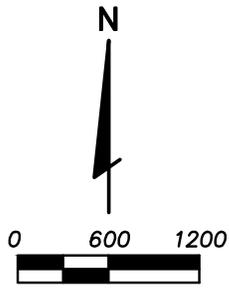
Overpass Road Extension

FIGURE 3 - PROJECT AREA MAP

prepared for

Meadow Ridge Owner, LLC

K:\137\ProjData\Exhibits\ACOE-2014\Overpass_Road_Extension\137_Overpass_c-spr_fdc-key.dwg - Apr 04, 2014 @ 11:31am - rhall



KEY MAP

DESCRIPTION:	OVERPASS ROAD EXTENSION	PROJECT No. 597-03	EPN: 137
		DATE: 3-25-2014	FIGURE: 1
		DRAWN BY: RAH	

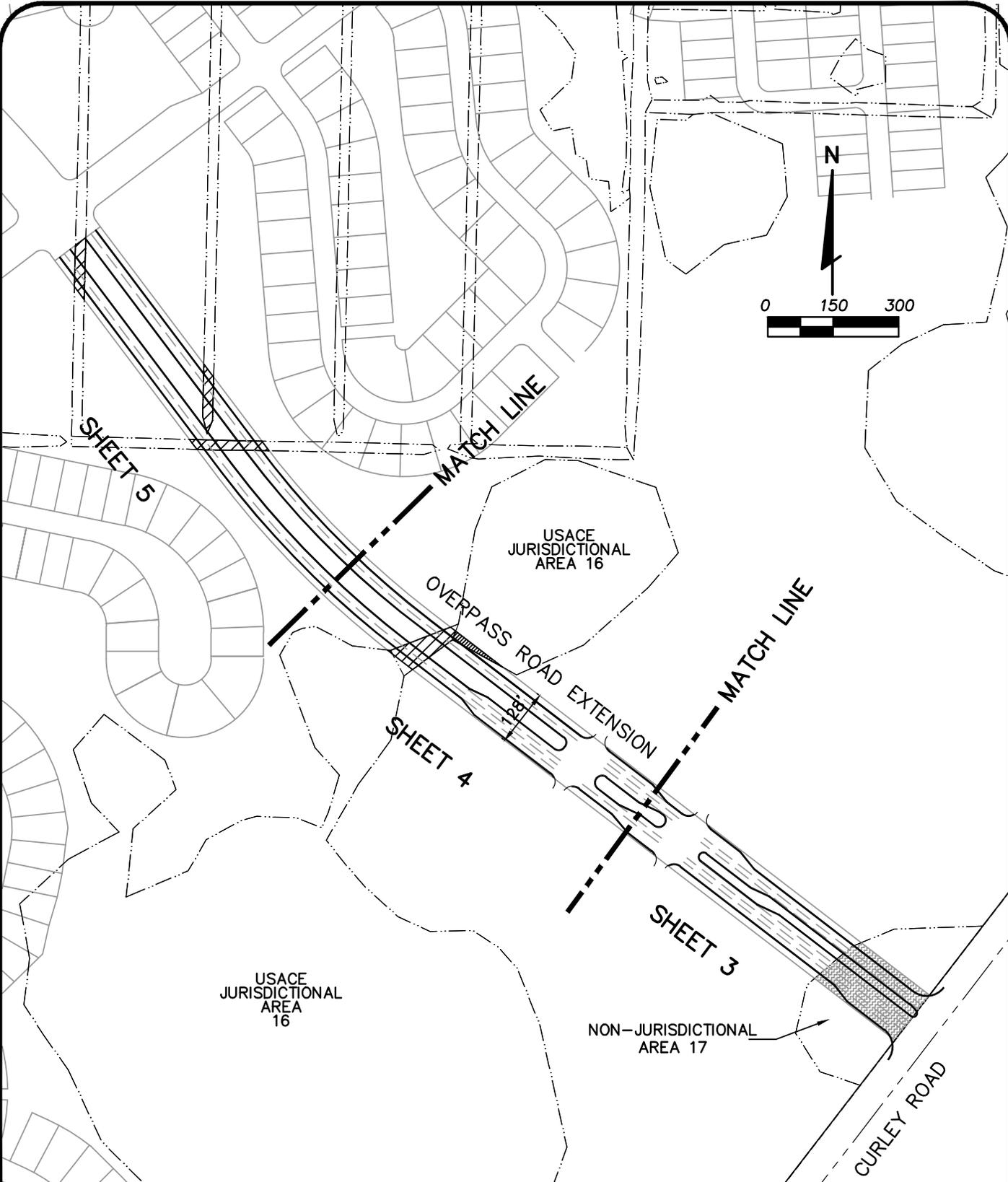


FLORIDA DESIGN CONSULTANTS, INC.
— THINK IT. ACHIEVE IT —

3030 STARKEY BOULEVARD, NEW PORT RICHEY, FLORIDA 34865
PHONE: (800) 532-1047 WWW.FLDESIGN.COM C.A. No. 7423

© Copyright 2014 Florida Design Consultants, Inc. Drawings and concepts may not be used or reproduced without written permission.

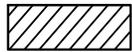
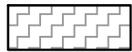
K:\137\ProData\Exhibits\ACOE\2014\Overpass_Road_Extension\137_Overpass-c-sprdr_fac.dwg - Apr 04, 2014 @ 11:31am - rhall

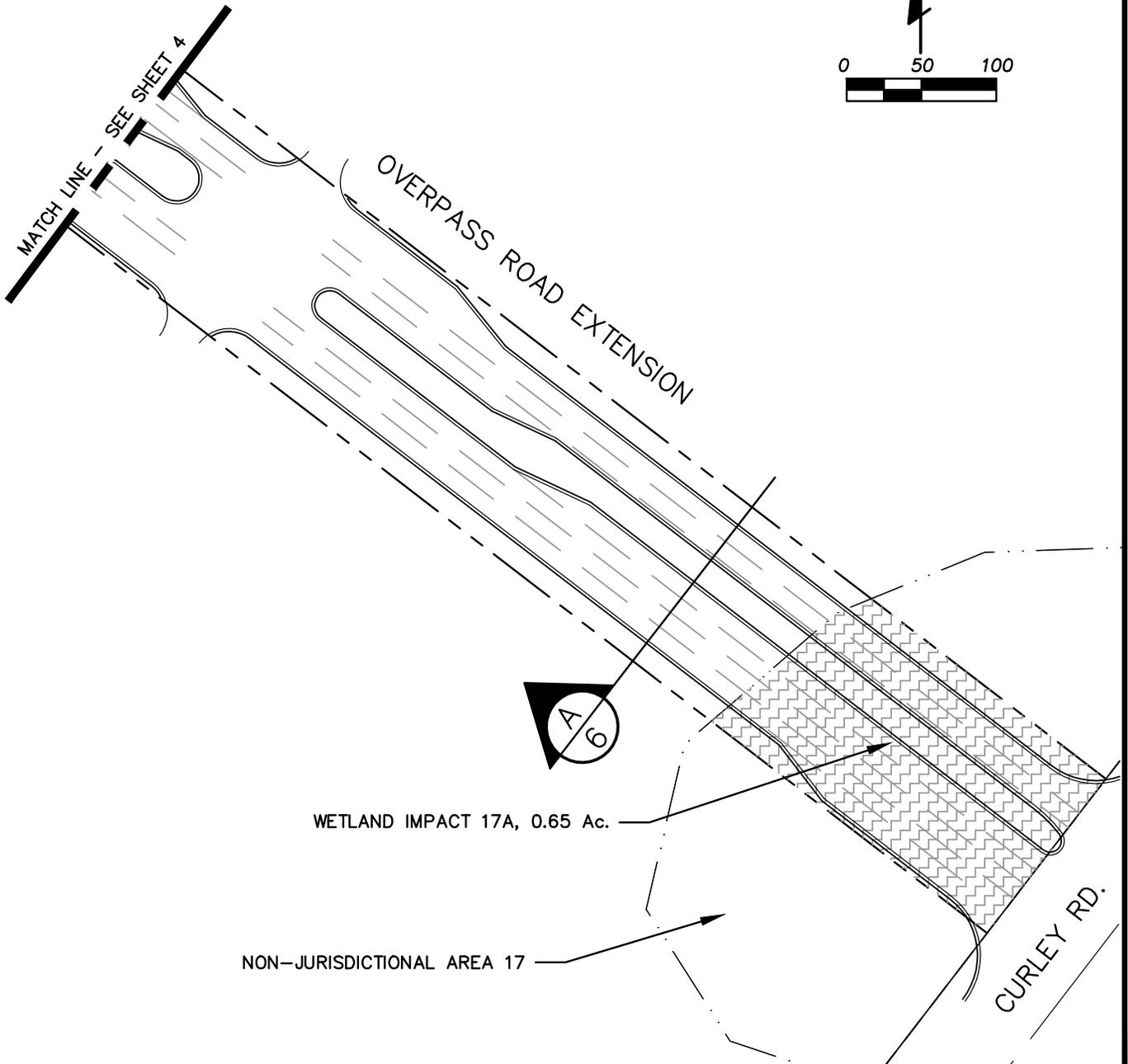
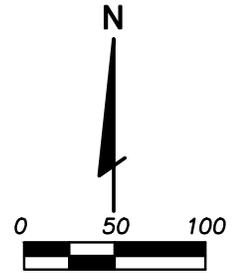


DESCRIPTION:	OVERPASS ROAD EXTENSION		PROJECT No. 597-03	EPN: 137
	 FLORIDA DESIGN CONSULTANTS, INC. THINK IT. ACHIEVE IT. <small>3030 STARKEY BOULEVARD, NEW PORT RICHEY, FLORIDA 34655 PHONE: (800) 532-1047 WWW.FLDESIGN.COM C.A. No.7421</small>	DATE: 3-25-2014	FIGURE: 2	
		DRAWN BY: RAH		

© Copyright 2014 Florida Design Consultants, Inc. Drawings and concepts may not be used or reproduced without written permission.

LEGEND:

-  = JURISDICTIONAL WETLAND IMPACTS
-  = JURISDICTIONAL DITCH IMPACTS
-  = NON-JURISDICTIONAL IMPACTS

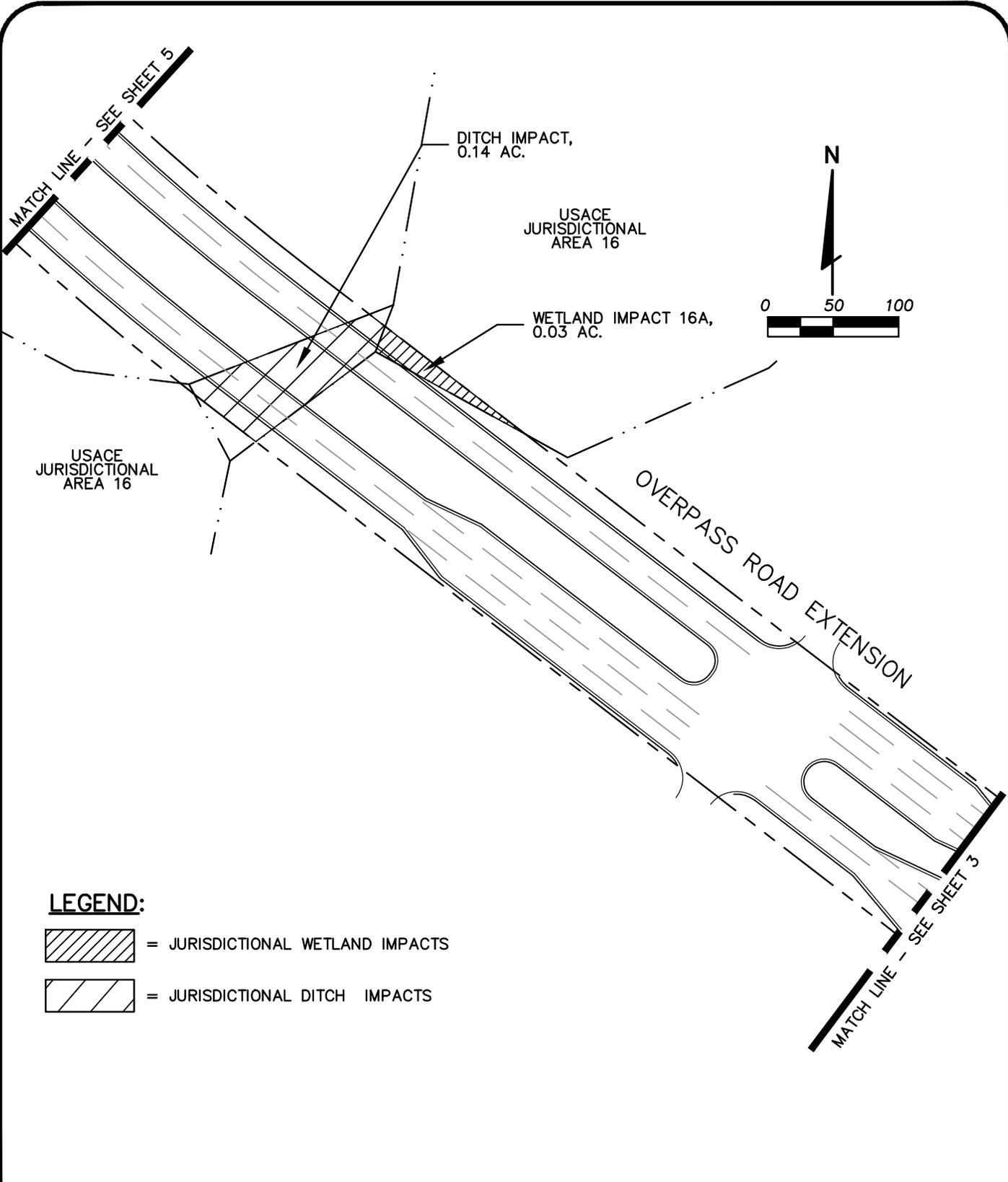


K:\137\ProData\Exhibits\ACOE\ACOE-2014\Overpass_Road_Extension\137_Overpass-SHEET 3.dwg - Apr 04, 2014 @ 11:31am - rhall

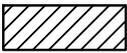
DESCRIPTION:	OVERPASS ROAD EXTENSION		PROJECT No. 597-03	EPN: 137
	 FLORIDA DESIGN CONSULTANTS, INC. THINK IT. ACHIEVE IT. <small>3030 STARKEY BOULEVARD, NEW PORT RICHEY, FLORIDA 34655 PHONE: (800) 532-1047 WWW.FLDESIGN.COM C.A. No.7421</small>		DATE: 3-25-2014	FIGURE: 3
			DRAWN BY: RAH	

© Copyright 2014 Florida Design Consultants, Inc. Drawings and concepts may not be used or reproduced without written permission.

K:\137\ProData\Exhibits\ACOE\ACOE-2014\Overpass-Road Extension\137_Overpass-SHEET 4.dwg - Apr. 04, 2014 @ 11:31am - rhall



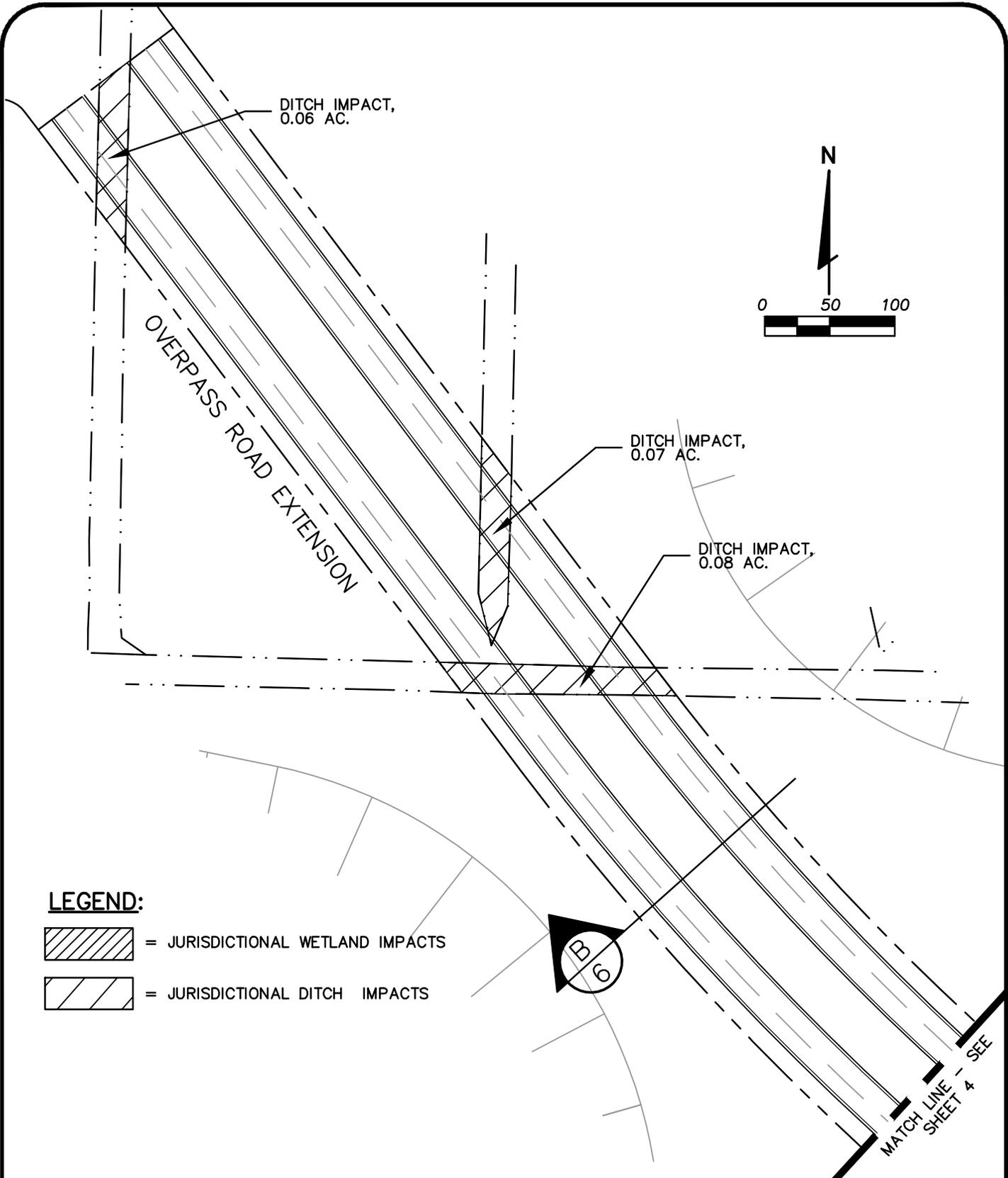
LEGEND:

-  = JURISDICTIONAL WETLAND IMPACTS
-  = JURISDICTIONAL DITCH IMPACTS

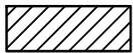
DESCRIPTION:	OVERPASS ROAD EXTENSION		PROJECT No. 597-03	EPN: 137
	 <p>FLORIDA DESIGN CONSULTANTS, INC. — THINK IT. ACHIEVE IT —</p> <small>3030 STARKEY BOULEVARD, NEW PORT RICHEY, FLORIDA 34655 PHONE: (800) 532-1047 WWW.FLDESIGN.COM C.A. No. 7421</small>	DATE: 3-25-2014	FIGURE: 4	
		DRAWN BY: RAH		

©Copyright 2014 Florida Design Consultants, Inc. Drawings and concepts may not be used or reproduced without written permission.

K:\137\ProData\Exhibits\ACOE\ACOE-2014\Overpass Road Extension\137_Overpass-SHEET 5.dwg -- Apr. 04, 2014 @ 11:32am -- rhall



LEGEND:

-  = JURISDICTIONAL WETLAND IMPACTS
-  = JURISDICTIONAL DITCH IMPACTS

DESCRIPTION:

OVERPASS ROAD EXTENSION



FLORIDA DESIGN CONSULTANTS, INC.
 THINK IT. ACHIEVE IT.

3030 STARKEY BOULEVARD, NEW PORT RICHEY, FLORIDA 34655
 PHONE: (800) 532-1047 WWW.FLDESIGN.COM C.A. No. 7421

PROJECT No.
597-03

EPN:
137

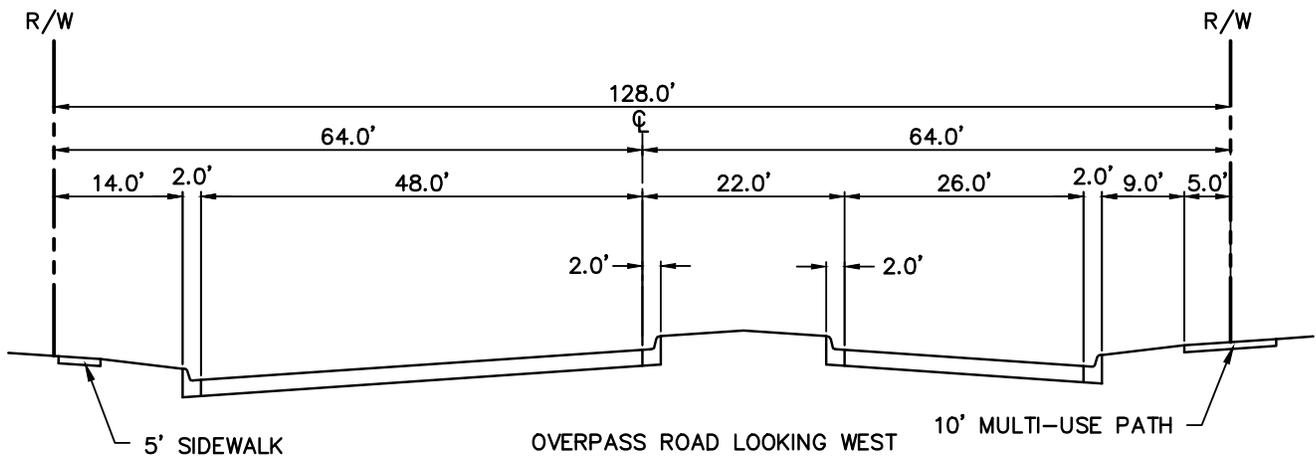
DATE:
3-25-2014

FIGURE:

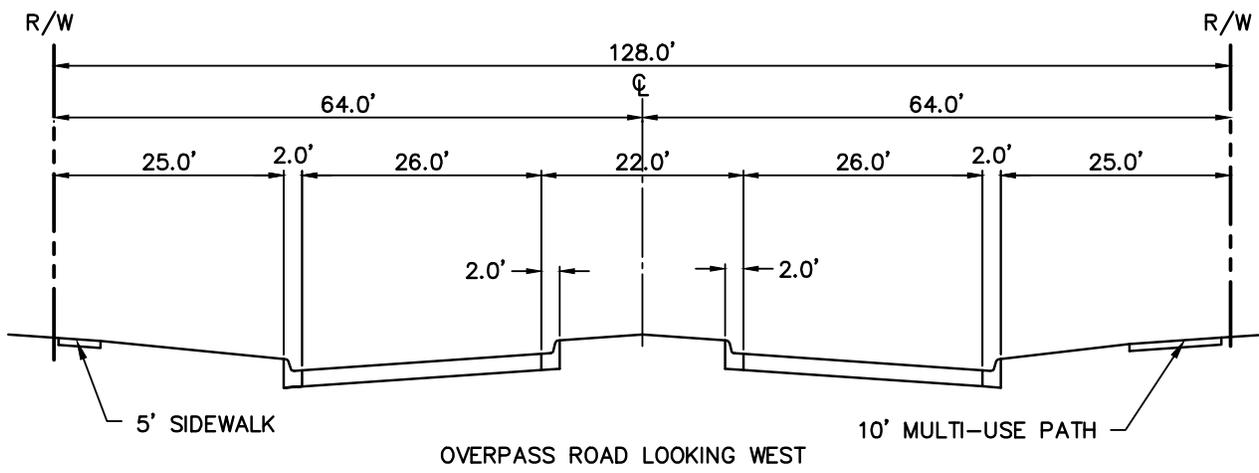
DRAWN BY:
RAH

5

K:\137\ProData\Exhibits\ACOE\ACOE-2014\Overpass Road Extension\137_Overpass-SHEET 6.dwg - Apr. 04, 2014 @ 11:32am - rhall



SECTION A
3



SECTION B
5

DESCRIPTION: OVERPASS ROAD EXTENSION	PROJECT No. 597-03	EPN: 137
	DATE: 3-25-2014	FIGURE: 6
 FLORIDA DESIGN CONSULTANTS, INC. <small>THINK IT. ACHIEVE IT.</small> <small>3030 STARKEY BOULEVARD, NEW PORT RICHEY, FLORIDA 34655 PHONE: (800) 532-1047 WWW.FLDESIGN.COM C.A. No. 7421</small>	DRAWN BY: RAH	

SELF-CERTIFICATION STATEMENT OF COMPLIANCE

Permit Number: SAJ-2014-01744 (NW-TEH)

Permittee's Name & Address (please print or type): _____

Telephone Number: _____

Location of the Work: _____

Date Work Started: _____ Date Work Completed: _____

PROPERTY IS INACCESSIBLE WITHOUT PRIOR NOTIFICATION: YES _____ NO _____

TO SCHEDULE AN INSPECTION PLEASE CONTACT _____
AT _____

Description of the Work (e.g. bank stabilization, residential or commercial filling, docks, dredging, etc.): _____

Acreage or Square Feet of Impacts to Waters of the United States: _____

Describe Mitigation completed (if applicable): _____

Describe any Deviations from Permit (attach drawing(s) depicting the deviations):

I certify that all work, and mitigation (if applicable) was done in accordance with the limitations and conditions as described in the permit. Any deviations as described above are depicted on the attached drawing(s).

Signature of Permittee

Date

STANDARD PROTECTION MEASURES FOR THE EASTERN INDIGO SNAKE
U.S. Fish and Wildlife Service
August 12, 2013

The eastern indigo snake protection/education plan (Plan) below has been developed by the U.S. Fish and Wildlife Service (USFWS) in Florida for use by applicants and their construction personnel. At least **30 days prior** to any clearing/land alteration activities, the applicant shall notify the appropriate USFWS Field Office via e-mail that the Plan will be implemented as described below (North Florida Field Office: jaxregs@fws.gov; South Florida Field Office: verobeach@fws.gov; Panama City Field Office: panamacity@fws.gov). As long as the signatory of the e-mail certifies compliance with the below Plan (including use of the attached poster and brochure), no further written confirmation or “approval” from the USFWS is needed and the applicant may move forward with the project.

If the applicant decides to use an eastern indigo snake protection/education plan other than the approved Plan below, written confirmation or “approval” from the USFWS that the plan is adequate must be obtained. At least 30 days prior to any clearing/land alteration activities, the applicant shall submit their unique plan for review and approval. The USFWS will respond via e-mail, typically within 30 days of receiving the plan, either concurring that the plan is adequate or requesting additional information. A concurrence e-mail from the appropriate USFWS Field Office will fulfill approval requirements.

The Plan materials should consist of: 1) a combination of posters and pamphlets (see **Poster Information** section below); and 2) verbal educational instructions to construction personnel by supervisory or management personnel before any clearing/land alteration activities are initiated (see **Pre-Construction Activities** and **During Construction Activities** sections below).

POSTER INFORMATION

Posters with the following information shall be placed at strategic locations on the construction site and along any proposed access roads (a final poster for Plan compliance, to be printed on 11” x 17” or larger paper and laminated, is attached):

DESCRIPTION: The eastern indigo snake is one of the largest non-venomous snakes in North America, with individuals often reaching up to 8 feet in length. They derive their name from the glossy, blue-black color of their scales above and uniformly slate blue below. Frequently, they have orange to coral reddish coloration in the throat area, yet some specimens have been reported to only have cream coloration on the throat. These snakes are not typically aggressive and will attempt to crawl away when disturbed. Though indigo snakes rarely bite, they should NOT be handled.

SIMILAR SNAKES: The black racer is the only other solid black snake resembling the eastern indigo snake. However, black racers have a white or cream chin, thinner bodies, and **WILL BITE** if handled.

LIFE HISTORY: The eastern indigo snake occurs in a wide variety of terrestrial habitat types throughout Florida. Although they have a preference for uplands, they also utilize some wetlands

and agricultural areas. Eastern indigo snakes will often seek shelter inside gopher tortoise burrows and other below- and above-ground refugia, such as other animal burrows, stumps, roots, and debris piles. Females may lay from 4 - 12 white eggs as early as April through June, with young hatching in late July through October.

PROTECTION UNDER FEDERAL AND STATE LAW: The eastern indigo snake is classified as a Threatened species by both the USFWS and the Florida Fish and Wildlife Conservation Commission. “Taking” of eastern indigo snakes is prohibited by the Endangered Species Act without a permit. “Take” is defined by the USFWS as an attempt to kill, harm, harass, pursue, hunt, shoot, wound, trap, capture, collect, or engage in any such conduct. Penalties include a maximum fine of \$25,000 for civil violations and up to \$50,000 and/or imprisonment for criminal offenses, if convicted.

Only individuals currently authorized through an issued Incidental Take Statement in association with a USFWS Biological Opinion, or by a Section 10(a)(1)(A) permit issued by the USFWS, to handle an eastern indigo snake are allowed to do so.

IF YOU SEE A LIVE EASTERN INDIGO SNAKE ON THE SITE:

- Cease clearing activities and allow the live eastern indigo snake sufficient time to move away from the site without interference;
- Personnel must NOT attempt to touch or handle snake due to protected status.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Immediately notify supervisor or the applicant’s designated agent, **and** the appropriate USFWS office, with the location information and condition of the snake.
- If the snake is located in a vicinity where continuation of the clearing or construction activities will cause harm to the snake, the activities must halt until such time that a representative of the USFWS returns the call (within one day) with further guidance as to when activities may resume.

IF YOU SEE A DEAD EASTERN INDIGO SNAKE ON THE SITE:

- Cease clearing activities and immediately notify supervisor or the applicant’s designated agent, **and** the appropriate USFWS office, with the location information and condition of the snake.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Thoroughly soak the dead snake in water and then freeze the specimen. The appropriate wildlife agency will retrieve the dead snake.

Telephone numbers of USFWS Florida Field Offices to be contacted if a live or dead eastern indigo snake is encountered:

North Florida Field Office – (904) 731-3336
Panama City Field Office – (850) 769-0552
South Florida Field Office – (772) 562-3909

PRE-CONSTRUCTION ACTIVITIES

1. The applicant or designated agent will post educational posters in the construction office and throughout the construction site, including any access roads. The posters must be clearly visible to all construction staff. A sample poster is attached.
2. Prior to the onset of construction activities, the applicant/designated agent will conduct a meeting with all construction staff (annually for multi-year projects) to discuss identification of the snake, its protected status, what to do if a snake is observed within the project area, and applicable penalties that may be imposed if state and/or federal regulations are violated. An educational brochure including color photographs of the snake will be given to each staff member in attendance and additional copies will be provided to the construction superintendent to make available in the onsite construction office (a final brochure for Plan compliance, to be printed double-sided on 8.5" x 11" paper and then properly folded, is attached). Photos of eastern indigo snakes may be accessed on USFWS and/or FWC websites.
3. Construction staff will be informed that in the event that an eastern indigo snake (live or dead) is observed on the project site during construction activities, all such activities are to cease until the established procedures are implemented according to the Plan, which includes notification of the appropriate USFWS Field Office. The contact information for the USFWS is provided on the referenced posters and brochures.

DURING CONSTRUCTION ACTIVITIES

1. During initial site clearing activities, an onsite observer may be utilized to determine whether habitat conditions suggest a reasonable probability of an eastern indigo snake sighting (example: discovery of snake sheds, tracks, lots of refugia and cavities present in the area of clearing activities, and presence of gopher tortoises and burrows).
2. If an eastern indigo snake is discovered during gopher tortoise relocation activities (i.e. burrow excavation), the USFWS shall be contacted within one business day to obtain further guidance which may result in further project consultation.
3. Periodically during construction activities, the applicant's designated agent should visit the project area to observe the condition of the posters and Plan materials, and replace them as needed. Construction personnel should be reminded of the instructions (above) as to what is expected if any eastern indigo snakes are seen.

POST CONSTRUCTION ACTIVITIES

Whether or not eastern indigo snakes are observed during construction activities, a monitoring report should be submitted to the appropriate USFWS Field Office within 60 days of project completion. The report can be sent electronically to the appropriate USFWS e-mail address listed on page one of this Plan.



ATTENTION:

THREATENED EASTERN INDIGO SNAKES MAY BE PRESENT ON THIS SITE!!!

IF YOU SEE A LIVE EASTERN INDIGO SNAKE ON THE SITE:

- Cease clearing activities and allow the eastern indigo snake sufficient time to move away from the site without interference.
- Personnel must NOT attempt to touch or handle snake due to protected status.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Immediately notify supervisor or the applicant's designated agent, **and** the appropriate U.S. Fish and Wildlife Service (USFWS) office, with the location information and condition of the snake.
- If the snake is located in a vicinity where continuation of the clearing or construction activities will cause harm to the snake, the activities must halt until such time that a representative of the USFWS returns the call (within one day) with further guidance as to when activities may resume.

IF YOU SEE A DEAD EASTERN INDIGO SNAKE ON THE SITE:

- Cease clearing activities and immediately notify supervisor or the applicant's designated agent, **and** the appropriate USFWS office, with the location information and condition of the snake.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Thoroughly soak the dead snake in water and then freeze the specimen. The appropriate wildlife agency will retrieve the dead snake.

USFWS Florida Field Offices to be contacted if a live or dead eastern indigo snake is encountered:

North Florida Field Office – (904) 731-3336

Panama City Field Office – (850) 769-0552

South Florida Field Office – (772) 562-3909

Killing, harming, or harassing indigo snakes is strictly prohibited and punishable under State and Federal Law.

- DESCRIPTION:** The eastern indigo snake is one of the largest non-venomous snakes in North America, with individuals often reaching up to 8 feet in length. They derive their name from the glossy, blue-black color of their scales above and uniformly slate blue below. Frequently, they have orange to coral reddish coloration in the throat area, yet some specimens have been reported to only have cream coloration on the throat. These snakes are not typically aggressive and will attempt to crawl away when disturbed. Though indigo snakes rarely bite, they should NOT be handled.
- SIMILAR SNAKES:** The black racer is the only other solid black snake resembling the eastern indigo snake. However, black racers have a white or cream chin, thinner bodies, and WILL BITE if handled.
- LIFE HISTORY:** The eastern indigo snake occurs in a wide variety of terrestrial habitat types throughout Florida. Although they have a preference for uplands, they also utilize some wetlands and agricultural areas. Eastern indigo snakes will often seek shelter inside gopher tortoise burrows and other below- and above-ground refugia, such as other animal burrows, stumps, roots, and debris piles. Females may lay from 4 - 12 white eggs as early as April through June, with young hatching in late July through October.
- PROTECTION:** The eastern indigo snake is classified as a Threatened species by both the USFWS and the Florida Fish and Wildlife Conservation Commission. "Taking" of eastern indigo snakes is prohibited by the Endangered Species Act without a permit. "Take" is defined by the USFWS as an attempt to kill, harm, harass, pursue, hunt, shoot, wound, trap, capture, collect, or engage in any such conduct. Penalties include a maximum fine of \$25,000 for civil violations and up to \$50,000 and/or imprisonment for criminal offenses, if convicted.

Only individuals currently authorized through an issued Incidental Take Statement in association with a USFWS Biological Opinion, or by a Section 10(a)(1)(A) permit issued by the USFWS, to handle an eastern indigo snake are allowed to do so.

August 12, 2013

**IF YOU SEE A LIVE EASTERN
INDIGO SNAKE ON THE SITE:**

- Cease clearing activities and allow the eastern indigo snake sufficient time to move away from the site without interference.
- Personnel must NOT attempt to touch or handle snake due to protected status.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Immediately notify supervisor or the applicant's designated agent, **and** the appropriate U.S. Fish and Wildlife Service (USFWS) office, with the location information and condition of the snake.
- If the snake is located in a vicinity where continuation of the clearing or construction activities will cause harm to the snake, the activities must halt until such time that a representative of the USFWS returns the call (within one day) with further guidance as to when activities may resume.

**IF YOU SEE A DEAD EASTERN
INDIGO SNAKE ON THE SITE:**

- Cease clearing activities and immediately notify supervisor or the applicant's designated agent, **and** the appropriate USFWS office, with the location information and condition of the snake.
- Take photographs of the snake, if possible, for identification and documentation purposes.
- Thoroughly soak the dead snake in water and then freeze the specimen. The appropriate wildlife agency will retrieve the dead snake.

USFWS Florida Field Offices to be contacted if a live or dead eastern indigo snake is encountered:

North Florida ES Office – (904) 731-3336

Panama City ES Office – (850) 769-0552

South Florida ES Office – (772) 562-3909

DESCRIPTION: The eastern indigo snake is one of the largest non-venomous snakes in North America, with individuals often reaching up to 8 feet in length. They derive their name from the glossy, blue-black color of their scales above and uniformly slate blue below. Frequently, they have orange to coral reddish coloration in the throat area, yet some specimens have been reported to only have cream coloration on the throat. These snakes are not typically aggressive and will attempt to crawl away when disturbed. Though indigo snakes rarely bite, they should NOT be handled.

SIMILAR SNAKES: The black racer is the only other solid black snake resembling the eastern indigo snake. However, black racers have a white or cream chin, thinner bodies, and WILL BITE if handled.

LIFE HISTORY: The eastern indigo snake occurs in a wide variety of terrestrial habitat types throughout Florida. Although they have a preference for uplands, they also utilize some wetlands and agricultural areas. Eastern indigo snakes will often seek shelter inside gopher tortoise burrows and other below- and above-ground refugia, such as other animal burrows, stumps, roots, and debris piles. Females may lay from 4 - 12 white eggs as early as April through June, with young hatching in late July through October.

Killing, harming, or harassing indigo snakes is strictly prohibited and punishable under State and Federal Law.

Only individuals currently authorized through an issued Incidental Take Statement in association with a USFWS Biological Opinion, or by a Section 10(a)(1)(A) permit issued by the USFWS, to handle an eastern indigo snake are allowed to do so.

LEGAL STATUS: The eastern indigo snake is classified as a Threatened species by both the USFWS and the Florida Fish and Wildlife Conservation Commission. “Taking” of eastern indigo snakes is prohibited by the Endangered Species Act without a permit. “Take” is defined by the USFWS as an attempt to kill, harm, harass, pursue, hunt, shoot, wound, trap, capture, collect, or engage in any such conduct. Penalties include a maximum fine of \$25,000 for civil violations and up to \$50,000 and/or imprisonment for criminal offenses, if convicted.



August 12, 2013

ATTENTION:

**THREATENED EASTERN INDIGO
SNAKES MAY BE PRESENT ON
THIS SITE!!!**



Please read the following information provided by the U.S. Fish and Wildlife Service to become familiar with standard protection measures for the eastern indigo snake.

DEPARTMENT OF THE ARMY PERMIT TRANSFER REQUEST

PERMIT NUMBER: SAJ-2014-01744 (NW-TEH)

When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. Although the construction period for works authorized by Department of the Army permits is finite, the permit itself, with its limitations, does not expire.

To validate the transfer of this permit and the associated responsibilities associated with compliance with its terms and conditions, have the transferee sign and date below and mail to the U.S. Army Corps of Engineers, Enforcement Section, Post Office Box 4970, Jacksonville, FL 32232-0019.

(TRANSFEREE-SIGNATURE)

(SUBDIVISION)

(DATE)

(LOT)

(BLOCK)

(NAME-PRINTED)

(STREET ADDRESS)

(MAILING ADDRESS)

(CITY, STATE, ZIP CODE)