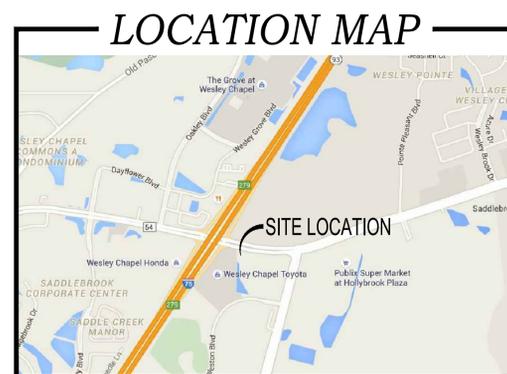


POPEYE'S WESLEY CHAPEL - STATE ROAD 54

CLASS 1 SUBMITTAL PRELIMINARY/CONSTRUCTION PLANS

SECTION 07, TOWNSHIP 26 SOUTH, RANGE 20 EAST
28014 WESLEY CHAPEL BLVD
PASCO COUNTY, FLORIDA



ARCHITECT:
OLIVERI ARCHITECTS
32707 US HWY 19
PALM HARBOR, FL 34684
(727) 781-7525

OWNER:
**W CHAPEL INC C/O RMC
REALTY PROPERTY GROUP**
8902 N. DALE MABRY HWY, SUITE 200
TAMPA, FL 333614

SHEET INDEX

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LEGAL DESC.

A PARCEL OF LAND LOCATED IN THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 26 SOUTH, RANGE 20 EAST, PASCO COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS A POINT OF REFERENCE COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 7; THENCE N01°02'29"W, 2555.52 FEET ALONG THE WEST BOUNDARY OF THE SOUTHWEST 1/4 OF SAID SECTION 7 TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD 54; THENCE S78°50'21"E, 15.35 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD 54 TO THE POINT OF BEGINNING; THENCE S78°50'21"E, 240.77 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD 54; THENCE S01°02'29"E, 157.63 FEET; THENCE S88°57'31"W, 101.11 FEET; THENCE S01°02'29"E, 50.00 FEET; THENCE S88°57'31"W, 134.22 FEET TO A POINT 15.00 FEET EAST OF THE WEST BOUNDARY OF THE SOUTHWEST 1/4 OF SAID SECTION 7; THENCE N01°02'29"W, 258.52 FEET ALONG A LINE 15.00 FEET EAST OF AND PARALLEL TO THE WEST BOUNDARY OF THE SOUTHWEST 1/4 OF SAID SECTION 7 TO THE POINT OF BEGINNING, LESS ROAD RIGHT-OF-WAY FOR STATE ROAD 54.

ENGINEER:
CAMPO
ENGINEERING, INC.

FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726
1725 EAST 5TH AVENUE
TAMPA, FLORIDA 33605
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Utility Owner	Contact	Phone Number	Utility Type
BRIGHT HOUSE NETWORKS - EAST PASCO	MIKE KIKER	PHONE: 813-862-0522 X 84263 ALT: 863-581-5730	FIBER, CABLE
VERIZON FLORIDA, INC.	DAVID WYNNS	PHONE: 813-978-2164	CABLE/FIBER/PHONE
PASCO COUNTY TRAFFIC OPERATIONS DIVISION	ROBERT W. RECK	PHONE: 727-847-8139	TRAFFIC CONTROL/ STREET LIGHTS
PASCO COUNTY UTILITIES	PAUL HAMAR	PHONE: 727-847-8145 ALT: 727-847-8144	WATER/SEWER/ RECLAIMED WATER
TECO PEOPLES GAS - TAMPA	LUIS CASTELLANO	PHONE: 813-275-3743	GAS
WITHLACOCOCHEE RIVER ELECTRIC COOPERATIVE	COREY LITTLEFIELD	PHONE: 352-588-5115	ELECTRIC

REVISIONS:

1. _____
2. _____
3. _____
4. _____
5. _____
6. _____

BY SIGNING AND SEALING THESE PLANS THE ENGINEER OF RECORD CERTIFIES THAT THE ROADWAY SYSTEM IS IN SUBSTANTIAL CONFORMANCE WITH THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE OF STREETS AND HIGHWAYS, STATE OF FLORIDA, IN EFFECT AT THE TIME THE PLANS WERE PREPARED.

MATTHEW D. CAMPO, P.E. NO. 53988

August 27, 2015
DATE (SEAL)

CONSTRUCTION NOTES

SAFETY

- DURING THE CONSTRUCTION AND MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL.
- THE CONTRACTOR'S MAINTENANCE OF TRAFFIC PLAN MUST BE SUBMITTED AND APPROVED BY THE GOVERNMENTAL AGENCIES HAVING JURISDICTION PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
- LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ITS OWN SAFETY EQUIPMENT IN ACCORDANCE WITH ITS HEALTH & SAFETY PROGRAM AND ALL OTHER APPLICABLE LEGAL AND HEALTH AND SAFETY REQUIREMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING ITS EMPLOYEES AND SUBCONTRACTORS WITH ADEQUATE INFORMATION AND TRAINING TO ENSURE THAT ALL EMPLOYEES AND SUBCONTRACTORS' EMPLOYEES COMPLY WITH ALL APPLICABLE REQUIREMENTS. CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH ALL OCCUPATION SAFETY AND HEALTH REGULATIONS AS WELL AS THE ENVIRONMENTAL PROTECTION LAWS. THE FOLLOWING IS NOT TO BE PERCEIVED AS THE ENTIRE SAFETY PROGRAM BUT JUST BASIC REQUIREMENTS.
- ALL EXCAVATIONS BY THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF LABOR'S OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION RULES AND REGULATIONS. PARTICULAR ATTENTION MUST BE PAID TO THE CONSTRUCTION STANDARDS FOR EXCAVATIONS, 29 CFR PART 1926, SUBPART P.
- THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF "THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS" SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.
- ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE ADEQUATE NOTICE TO UTILITY COMPANIES PRIOR TO ANY EXCAVATION OR CONSTRUCTION TO OBTAIN FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES. CALL SUNSHINE ONE CALL AT 811 TO ARRANGE FOR FIELD LOCATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THIS CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND PROVIDING PROTECTION OR SHORING AS NECESSARY. ALL EXCAVATIONS AND DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.

EXISTING TREE PROTECTION NOTES:

- REQUIRED BARRICADES AND FLAGGING SHALL BE ERRECTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER AND REGULATORY AGENCIES PRIOR TO COMMENCEMENT OF LAND ALTERATION ACTIVITIES. BARRICADES SHALL REMAIN IN PLACE UNTIL ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED.
- DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, WITHIN THE DRIPLINE OF A TREE REMAINING ON SITE, UNLESS OTHERWISE APPROVED, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION, EXCEPT BY HAND, BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN ON SITE.
- ADEQUATE PROTECTION MEASURES (I.E. HAY BALES, BARRIERS, SODDING AND SANDBAGGING) SHALL BE PROVIDED TO MINIMIZE EROSION AND DOWNSTREAM SEDIMENTATION CAUSED BY SURFACE WATER RUNOFF ON EXPOSED LAND SURFACES.
- ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS. THIS INFORMATION MUST BE CLEARLY IDENTIFIED ON THE CONSTRUCTION PLANS.

CLEARING/DEMOLITION

- PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN AS INDICATED IN THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH LOCAL TREE ORDINANCES AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREE SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE REGULATORY AGENCY OR THE OWNER.
- THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, SODDED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
- REMAINING EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE IF REQUIRED, PROVIDED THAT THE MATERIAL IS DEEMED SUITABLE FOR CONSTRUCTION BY THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO BE EITHER STOCKPILED ON THE SITE AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING EXCESS EARTHWORK FROM THE SITE.
- ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATORY REQUIREMENTS.
- CONTRACTOR WILL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE AND WILL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL, PURSUANT TO ALL FEDERAL, STATE, COUNTY, CITY OR OTHER GOVERNMENT AGENCY REQUIREMENTS, OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES THAT WILL NOT BE INCORPORATED WITHIN THE NEW FACILITIES.

SITE PLAN AND COORDINATE GEOMETRY

- BOUNDARY SURVEY PREPARED BY LICENSED SURVEYOR.
- ALL POINTS AND MONUMENTS SHALL BE SURVEYED UPON MOBILIZATION TO VERIFY THEIR ACCURACY. ANY DISCREPANCIES DISCOVERED MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING.
- MONUMENTS AND OTHER SURVEY CONTROL POINTS SHALL BE PROTECTED FROM DAMAGE AND DISTURBANCE. IF ANY CONTROL POINTS ARE DAMAGED OR DISTURBED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND REPLACE THE CONTROL POINTS TO THEIR ORIGINAL CONDITION AT HIS OWN EXPENSE.
- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL FURNISH THE OWNER'S ENGINEER WITH COMPLETE "AS-BUILT" INFORMATION CERTIFIED BY A REGISTERED LAND SURVEYOR. THIS "AS-BUILT" INFORMATION SHALL INCLUDE INVERT ELEVATIONS, LOCATION OF FITTINGS, LOCATION OF STRUCTURES FOR ALL UTILITIES INSTALLED, AS WELL AS TOP OF BANK, TOE OF SLOPE AND GRADE BREAK LOCATIONS AND ELEVATIONS FOR POND AND DITCH CONSTRUCTION. NO ENGINEER'S CERTIFICATIONS FOR CERTIFICATE OF OCCUPANCY PURPOSES WILL BE MADE UNTIL THIS INFORMATION IS RECEIVED AND APPROVED BY THE OWNER'S ENGINEER.

GENERAL NOTES

- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION RELATED PERMITS, INCLUDING BUT NOT LIMITED TO: RIGHT OF WAY USE PERMITS, PIPING PERMITS, NOT PERMITS, ETC. PRIOR TO CONSTRUCTION, AND SCHEDULE ANY NECESSARY INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS.
- ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO IN THESE PLANS SHALL BE OF THE LATEST REVISION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO THE OWNER'S ENGINEER FOR APPROVAL. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE.
- WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES & THEIR SUBCONTRACTORS.
- THE WATER, SANITARY SEWER, AND STORM DRAINAGE FACILITIES ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE REGULATORY AGENCY AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE REQUIRED PERMITS TO PERFORM WORK IN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES BEFORE ORDERING MATERIALS AND CASTING STRUCTURES.
- IT WILL BE NECESSARY TO EXAMINE, COORDINATE AND ADJUST ACCORDINGLY THE PROPOSED LOCATIONS OF THE VARIOUS COMPONENTS OF THE SITE UTILITIES. THE LAYOUTS INDICATED IN THE PLANS ARE NOT EXACT AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT COORDINATION DRAWINGS SHOWING PIPE SIZES, STRUCTURES, AND ELEVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING AND COORDINATION OF ALL THE UNDERGROUND WORK ASSOCIATED WITH THIS PROJECT.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW.
- ADJUSTMENTS OF INLETS, JUNCTION BOXES, MANHOLE TOPS, WATER VALVES, WATER METERS, ETC. SHALL BE INCLUDED IN THE CONTRACTOR'S BID AND NO CLAIM SHALL BE MADE AGAINST THE OWNER OR ENGINEER FOR THESE ADJUSTMENTS, IF REQUIRED.
- OVERALL CLEANUP SHALL BE ACCOMPLISHED BY THE CONTRACTOR IN ACCORDANCE WITH REGULATORY AGENCY STANDARDS OR AS DIRECTED BY THE ENGINEER. ANY AND ALL EXPENSES INCURRED FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR OTHER ITEMS.
- THE CONTRACTOR SHALL ENDEAVOR TO PROTECT PRIVATE PROPERTY. ANY DAMAGE CAUSED BY THE CONTRACTOR TO THE PERFORMANCE OF HIS WORK SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE. PAYMENT SHALL NOT BE MADE FOR THIS WORK.
- ANY DAMAGE TO STATE, COUNTY, OR LOCAL ROADS CAUSED BY THE CONTRACTOR'S HAULING OR EXCAVATION EQUIPMENT SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE ENGINEER. PAYMENT SHALL NOT BE MADE FOR THIS WORK.
- ANY U.S.C. & G.S. MONUMENT WITHIN LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF IN DANGER OF DAMAGE, THE CONTRACTOR SHOULD NOTIFY THE OWNER'S ENGINEER.

PAVING AND GRADING

- ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER, THE OWNER'S ENGINEER, OR OWNER'S SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS TO BE BACK FILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
- ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOIL TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS OR THE REFERENCED SOILS REPORT.
- PROPOSED SLOPE ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
- CONTRACTOR SHALL TRIM, TACK AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- CURBING WILL BE PLACED AT THE EDGE OF ALL PAVEMENT, AS SHOWN ON THE PLANS.
- REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL F.D.O.T. TYPE CURBING AND GUTTERS CALLED FOR IN THESE PLANS.
- CONTRACTOR TO PROVIDE A 1/2" TO 1" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENT OF CONCRETE AND OTHER MATERIALS (BUILDINGS, OTHER POURED CONCRETE, ETC.)
- ALL PAVEMENT MARKINGS IN RIGHT-OF-WAY AND STOP BARS SHALL BE MADE WITH PERMANENT THERMOPLASTIC AND SHALL CONFORM TO F.D.O.T. STANDARD INDEX NO. 17346, SHEETS 1-7. PARKING STALL STRIPING AND ON-SITE PAVEMENT MARKINGS TO BE TRAFFIC GRADE PAINT.
- THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOD OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE TESTING SCHEDULE LOCATED ON THIS SHEET. UPON COMPLETION OF THE WORK, SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.
- A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN PLACE MATERIALS AS REQUIRED BY THESE PLANS AND THE VARIOUS AGENCIES. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COST OF SAID RETESTING.
- ALL UNDERGROUND UTILITIES MUST BE IN PLACE AND TESTED OR INSPECTED PRIOR TO BASE AND PAVEMENT CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE EROSION CONTROL AND SEDIMENTATION BARRIER (SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION, THE CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.
- IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION OR OTHER ACCEPTABLE METHODS.

DRAINAGE

- ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS AND LOCAL AGENCY STANDARDS UNLESS OTHERWISE SHOWN ON PLANS.
- PIPE LENGTHS SHOWN ARE APPROXIMATE.
- ALL DRAINAGE STRUCTURE GRATES AND COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
- ALL STORM DRAINAGE PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
- THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR MAY BE REQUIRED TO RECLEAN PIPES AND INLETS FOR THESE PURPOSES.

SANITARY SEWER

- SEE PIPE SEPARATION REQUIREMENTS, THIS SHEET.
- ALL SANITARY SEWER MAINS AND LATERALS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
- ALL ON SITE PVC GRAVITY SANITARY SEWER PIPE SHALL BE MADE OF MATERIAL HAVING A CELL CLASSIFICATION OF 12454 B, 12454 C OR 13354 B AS DEFINED IN ASTM D-1784. PVC PIPE AND FITTINGS USED IN THE GRAVITY SYSTEM SHALL MEET THE REQUIREMENTS OF ASTM D3034 SDR 35 TO A DEPTH OF 15' AND SDR 26 AT A DEPTH BEYOND 15'.
- ALL ON SITE DUCTILE IRON PIPE SHALL BE CLASS 52 AND SHALL RECEIVE INTERIOR AND EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.6, A 21.8, OR A 21.51.
- ALL SANITARY SEWER WORK SHALL CONFORM WITH APPLICABLE AGENCY STANDARDS AND SPECIFICATIONS, LATEST EDITION THERE OF.
- PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW SANITARY SEWER LINES TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES NEAR THE POINT OF CONNECTION AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES WITH DESIGN INFORMATION SHOWN IN THESE PLANS.
- ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO PLACEMENT OF BASE AND PAVING AND AGAIN PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS.
- THE CONTRACTOR SHALL PERFORM A CLOSED CIRCUIT TELEVISION INSPECTION ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION PRIOR TO FINAL ACCEPTANCE.
- ALL WASTE-WATER LATERALS WILL A MINIMUM OF 36" COVER AT THE RIGHT-OF-WAY LINE.

PIPE SEPARATION REQUIREMENTS:

FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATER MAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER; FIRE HYDRANT LEADS; AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.

- HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, AND RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS**
 - A. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 - B. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 - C. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 - D. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.
- VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, AND RECLAIMED WATER PIPELINES**
 - A. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY TEN INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
 - B. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
 - C. AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES**
 - A. NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE.
 - B. EFFECTIVE AUGUST 28, 2003, WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A STORM SEWER MANHOLE OR INLET STRUCTURE.
- SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS**

NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

WATER DISTRIBUTION

- SEE PIPE SEPARATION REQUIREMENTS, THIS SHEET.
- ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
- ALL WATER SYSTEM WORK SHALL CONFORM WITH LOCAL REGULATORY AGENCY STANDARDS AND SPECIFICATIONS.
- CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER TO BE RESOLVED BY ADJUSTING THE WATER LINES AS NECESSARY AND PER PIPE SEPARATION REQUIREMENTS NOTED THIS SHEET.
- ALL ON SITE PVC WATER MAINS 4 INCHES THROUGH 12 INCHES SHALL BE IN ACCORDANCE WITH AWWA C-900 AND SHALL BE CLASS 150 SDR 18. ALL ON-SITE PVC WATER MAINS 2" TO 3" SHALL BE CLASS 1120 AND MEET REQUIREMENTS OF SDR 21 IN ACCORDANCE WITH ASTM D-2241. WATER MAINS SMALLER THAN 1 1/2" SHALL BE CLASS 1120 OR 1220 SCHEDULE 80 AND MEET REQUIREMENTS OF ASTM D-1785.
- ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI STANDARD A21.51. MINIMUM CLASS 50. JOINTS FOR DUCTILE IRON PIPE SHALL BE MECHANICAL OR PUSH-ON JOINTS. PIPE SHALL HAVE AN EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A21.51. PIPE INTERIOR SHALL HAVE A CEMENT MORTAR LINING WITH AN ASPHALTIC SEAL COAT CONFORMING TO AWWA/ANSI C104/A21.4. THE WEIGHT AND CLASS DESIGNATION SHALL BE PAINTED IN WHITE ON THE EXTERIOR SURFACE OF ALL PIPE AND FITTINGS. THE MANUFACTURER'S CODE OR SERIAL NUMBER SHALL BE PROVIDED ON THE BELL OF EACH PIPE JOINT.
- ALL DUCTILE FITTINGS SHALL BE MECHANICAL JOINT WITH A MINIMUM PRESSURE RATING OF 250 PSI AND SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA STANDARD A21.10/C110. ALL FITTING SHALL BE COATED AND LINED AS SPECIFIED ABOVE FOR DUCTILE IRON PIPE.
- RESTRAINED JOINTS SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS AS SHOWN ON DETAILS.
- ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS, CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY PRESSURE TESTED AND ACCEPTED BY THE OWNER'S ENGINEER. PRESSURE TESTS TO BE IN ACCORDANCE WITH LOCAL REGULATORY AGENCY SPECIFICATIONS. CONTRACTOR TO NOTIFY OWNER'S ENGINEER AND LOCAL INSPECTORS 48 HOURS IN ADVANCE OF PERFORMING TESTS.
- CONTRACTOR TO PERFORM CHLORINATION AND BACTERIOLOGICAL SAMPLING AND OBTAIN CLEARANCE OF DOMESTIC WATER SYSTEM. COPIES OF ALL BACTERIOLOGICAL TESTS TO BE SUBMITTED TO OWNER'S ENGINEER.
- IN CONSIDERATION OF PASCO COUNTY'S AGREEMENT TO PROVIDE POTABLE WATER AND/OR SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, DEVELOPER/OWNER, AND ITS SUCCESSORS AND ASSIGNS, AGREE TO THE FOLLOWING:
 - A. IN THE EVENT OF PRODUCTION FAILURE OR SHORTFALL BY TAMPA BAY WATER, AS SET FORTH IN SECTION 3.19 OF THE INTERLOCAL AGREEMENT CREATING TAMPA BAY WATER, DEVELOPER/OWNER SHALL TRANSFER TO PASCO COUNTY ANY AND ALL WATER USE PERMITS OR WATER USE RIGHTS THE DEVELOPER/OWNER MAY HAVE TO USE OR CONSUME SURFACE OR GROUND WATER WITHIN PASCO COUNTY.
 - B. PRIOR TO DEVELOPER/OWNER SELLING WATER OR WATER USE PERMITS OR WATER USE RIGHTS, DEVELOPER/OWNER SHALL NOTIFY PASCO COUNTY, AND PASCO COUNTY SHALL HAVE A RIGHT OF FIRST REFUSAL TO PURCHASE SUCH WATER OR WATER USE PERMITS OR WATER USE RIGHTS.

- CONTRACTOR TO PULL ALL RIGHT OF WAY USE PERMITS FOR PASCO COUNTY AND FDOT.
- CONTRACTOR TO SCHEDULE PASCO COUNTY PRE-CON MEETING AND NOTIFY ENGINEER.
- CONTRACTOR TO OBTAIN ANY SITE PIPING PERMITS.
- CONTRACTOR TO OBTAIN TREE REMOVAL / CLEARING PERMIT FOR PASCO COUNTY.
- CONTRACTOR MUST HAVE MOT CERTIFIED FIELD PERSONNEL.
- A BOND OR LETTER OF CREDIT MAY BE REQUIRED.
- INSURANCE CERTIFICATE IS REQUIRED TO WORK IN ROW.
- A LICENSE IS REQUIRED FOR UNDERGROUND UTILITIES INSTALLATIONS.

SC-1 TESTING SCHEDULE

NOTE: GOVERNING AGENCY REQUIREMENTS SUPERSEDE THESE REQUIREMENTS.

ITEM	TEST	TEST FREQUENCY
EMBANKMENT	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER SOIL TYPE
	95% OF MODIFIED PROCTOR (AASHTO T-180-57, ASTM D-1557)	ONE PER 500 FEET HORIZONTALLY, IN 12 INCH LIFTS
UTILITY TRENCH BACKFILL OVER PIPELINES AND AROUND STRUCTURES FROM R.O.W. LINE TO R.O.W. LINE	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER SOIL TYPE
	98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T180-57 (ASTM D1557-70) - MINUS 3% TOLERANCE	***
UTILITY TRENCH BACKFILL OVER PIPELINES AND AROUND STRUCTURES OUTSIDE THE R.O.W.	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER SOIL TYPE
	95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T180-57 (ASTM D1557-70) - MINUS 3% TOLERANCE	***
STABILIZED SUBGRADE	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER MATERIAL TYPE
	MINIMUM 40 LBR	*** PER MATERIAL TYPE
BASE (OTHER THAN SOIL CEMENT)	98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T180-57 (ASTM D1557-70) - NO TOLERANCE	***
	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER SOURCE
CONCRETE	MINIMUM 100 LBR	PER SOURCE
	98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T180-57 (ASTM D1557-70) - NO TOLERANCE	*** EACH LIFT
ASPHALTIC CONCRETE	GRADATION, ATTERBURG LIMITS	PER SOURCE
	SLUMP TEST COMPRESSIVE STRENGTH CYLINDERS	ONE PER SET OF CYLINDERS
AIR CONTENT	ONE SET OF THREE (3) CYLINDERS FOR 100 CUBIC YARDS OR FRACTION THEREOF	*** PER MATERIAL TYPE
	AGGREGATE ANALYSIS DESIGN MIX	ONE PER DESIGN
BITUMEN CONTENT	ONE PER TYPE	ONE PER DAY
	GRADATION STABILITY FLOW	ONE PER DAY
PROPERTIES OF IN PLACE MATERIALS (MARSHALL)	THICKNESS	ONE PER DAY
	95% OF LAB DENSITY	***

* TESTS SHALL BE LOCATED NO MORE THAN 500 FEET APART. TESTS SHALL BE PERFORMED ON EACH LIFT, EXCEPT THAT TESTS SHALL NOT BE FURTHER APART THAN ONE (1) FOOT VERTICALLY. FIELD DENSITIES SHALL BE TAKEN OVER ALL ROAD CROSSINGS. FIELD DENSITIES FOR SANITARY LINES SHALL BE STAGGERED TO ENSURE RESULTS OVER SEVERAL LATERALS. THERE SHALL BE A MINIMUM OF ONE (1) TEST SERIES FOR EACH 12 INCHES OF LIFT OVER PIPELINE BETWEEN MANHOLE. TESTS AROUND STRUCTURES SHALL BE SPIRALED IN 12 INCH LIFTS.

GENERAL LANDSCAPE NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES, BEFORE PERFORMING ANY WORK. ANY CONFLICTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR RESOLUTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION AND PROTECTION OF ALL SITE CONDITIONS TO REMAIN FROM DAMAGE DUE TO HIS WORK. IN THE EVENT OF DAMAGE, ALL DAMAGE SHALL BE COMPLETELY REPAIRED TO ITS ORIGINAL CONDITION. ALL COST OF SUCH WORK SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED DAMAGE OR CUTTING OF EXISTING TREES TO REMAIN ON SITE. DAMAGE MAY BE CAUSED BY OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. DAMAGE ALSO INCLUDES THE COMPACTION OF THE ROOT ZONE BY DRIVING OR PARKING INSIDE THE DRIP-LINE OF TREES OR THE SPILLAGE OF DELETERIOUS CHEMICALS, OILS, DIESEL, ETC. WITHIN THE DRIP-LINE OF TREES.
- EXISTING TREES AND PALMS WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION AND SPECIFIED TO REMAIN ARE TO BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS WITH TREE BARRICADES PER LOCAL REGULATORY AGENCY REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE AN INTERNATIONAL SOCIETY OF ARBORIST (ISA) CERTIFIED ARBORIST WITH A MINIMUM OF 5 YEARS EXPERIENCE WITH SIMILAR PROJECTS, TO DIRECT APPROPRIATE PRUNING (ROOTS, BRANCHES) AND/OR OTHER TREATMENT NECESSARY TO ENSURE THE HEALTH, VIABILITY AND ATTRACTIVENESS OF TREES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE CERTIFIED ARBORIST'S INSTRUCTIONS.
- ALL LANDSCAPE AREAS AND AROUND EXISTING TREES SHALL BE MULCHED UTILIZING SHREDDED MELALEUCA OR PINE BARK NUGGETS (100% ORGANIC). MULCH SHALL BE INSTALLED TO A WETTED DEPTH OF 3". MULCH SHALL BE FREE OF EXTRANEOUS DEBRIS.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL COMPLY WITH ALL REQUIRED INSPECTIONS, GRADING STANDARDS AND PLANT REGULATIONS, AS SET FORTH BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES DIVISION OF PLANT INDUSTRY. ALL PLANT MATERIAL SHALL BE TESTED AND CERTIFIED. ALL PLANT MATERIAL SHALL ALSO CONFORM TO ANSI STANDARDS FOR NURSERY STOCK (ANSI Z601-1990). THE MINIMUM GRADE FOR ALL PLANT MATERIALS SHALL BE FLORIDA #1.
- THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATER; OVER THE AMOUNT OF WATER SUPPLIED BY THE IRRIGATION SYSTEM, FOR THE ESTABLISHMENT OF ALL NEWLY INSTALLED TREES AND PALMS FOR 90 DAYS; COMMENCING IMMEDIATELY AFTER INSTALLATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST WATERING AMOUNTS AND FREQUENCY TO ENSURE PROPER ESTABLISHMENT OF ALL PLANT MATERIAL.
- PLANTING AREAS SHALL BE FREE OF EXTRANEOUS MATERIALS AND CAPABLE OF PERCOLATION PRIOR TO PLANTING AND PREPARED SOIL BACKFILL.
- ALL LANDSCAPE CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF THE LOCAL REGULATORY AGENCY LANDSCAPE CODE.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. THE OWNER RESERVES THE RIGHT TO DIRECT THE REMOVAL AND REPLACEMENT OF ANY ITEMS WHICH, IN HIS OPINION, DO NOT MEET INDUSTRY STANDARDS OR PRESENT AN ORDINARY AND WORKMANLIKE APPEARANCE. PROVIDED THAT SUCH ITEMS CAN BE INSTALLED PROPERLY USING STANDARD INDUSTRY PRACTICES.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN HIS FINISHED WORK FROM THE TIME OF INSTALLATION IS COMPLETE TO THE TIME OF FINAL ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A 1-YEAR WARRANTY ON THE INSTALLED PLANT MATERIAL AND A 90-DAY WARRANTY ON SOD.
- PLANTING SOIL SHALL BE FERTILE, NATURAL TOPSOIL, TYPICAL TO THE LOCALITY, OBTAINED FROM WELL DRAINED AREAS. IT SHALL BE WITHOUT ADMIXTURE OF SUBSOIL OR CLAYS AND SHALL BE FREE OF STONES, LUMPS, STICKS, PLANTS, ROOTS, TOXIC SUBSTANCES OR OTHER EXTRANEOUS MATTER THAT MAY BE HARMFUL TO PLANT GROWTH OR INTERFERE WITH FUTURE MAINTENANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING OF SOILS AND MAKE THE NECESSARY ADJUSTMENTS OR AMENDMENTS FOR LONG TERM PLANT HEALTH AND VITALITY.
- SOD SHALL BE OF KIND AND PLACED AS SHOWN ON THE PLANS. SOD SHALL BE WELL WATERED WITH GRAY ROOTS. SOD SHALL BE IN 12"x14" RECTANGLES, HAVING A MINIMUM THICKNESS OF 2", AND SHALL BE FRESH, LIVE AND UNJUNIORED AT TIME OF PLANTING. SOD SHALL BE CERTIFIED AS FREE OF WEEDS AND OTHER GRASSES, HAVING SUFFICIENT SOIL MAT TO ADHERE FIRMLY TO ROOTS FOR HANDLING. SOD SHALL BE PLANTED WITHIN 72 HOURS OF BEING HARVESTED AND ROLLED IMMEDIATELY AFTER INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL STAKING OF TREES AND PALMS BASED ON SITE CONDITIONS, TO PROVIDE FOR THE STABILITY OF THE TREE AND PALM MATERIALS AND TO PROTECT THE HEALTH AND SAFETY OF THE PUBLIC/PROPERTY.
- TREE AERATION SYSTEM SHALL MEET THE MINIMUM REQUIREMENTS OF LOCAL GOVERNING AGENCY AND UNDER THE SUPERVISION OF THE CERTIFIED ARBORIST. THE CERTIFIED ARBORIST SHALL ADJUST THE REQUIREMENTS OF THE AERATION SYSTEM IN THE FIELD TO ACCOUNT FOR ACTUAL FIELD CONDITIONS AND THE ROOT SYSTEM OF THE TREE.

REVISIONS

NO.	DESCRIPTION	DATE

PASCO COUNTY NOTE: IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERAL PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.

PASCO COUNTY NOTE: A ROLLING STRAIGHT EDGE TEST IS REQUIRED PER PASCO COUNTY REQUIREMENTS. ALL ROADWAYS TO BE DEDICATED TO PASCO COUNTY MUST MEET COUNTY AND DOT STANDARDS.

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DATE: 06/2015

REVIEWED BY: LDC

DRAWN BY: KLD

DESIGNED BY: MDC

PROJECT NUMBER

15-002

NAME SEAL NO. DATE

SHEET TITLE

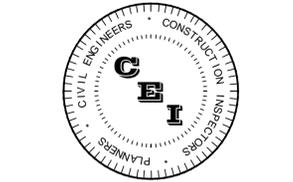
GENERAL NOTES

SHEET NUMBER

C-2

** FOR FLEXIBLE PIPE (CORRUGATED STEEL OR ALUMINUM), 95% OF MAXIMUM DENSITY (AASHTO-199) PER FDOT SUPPLEMENTAL SPECIFICATIONS SUB ARTICLE 125-8.3.2 AS MODIFIED.

*** TESTS SHALL BE LOCATED NO MORE THAN 500 FEET APART. THERE SHALL BE NO LESS THAN ONE (1) TEST PER STREET.



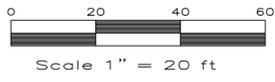
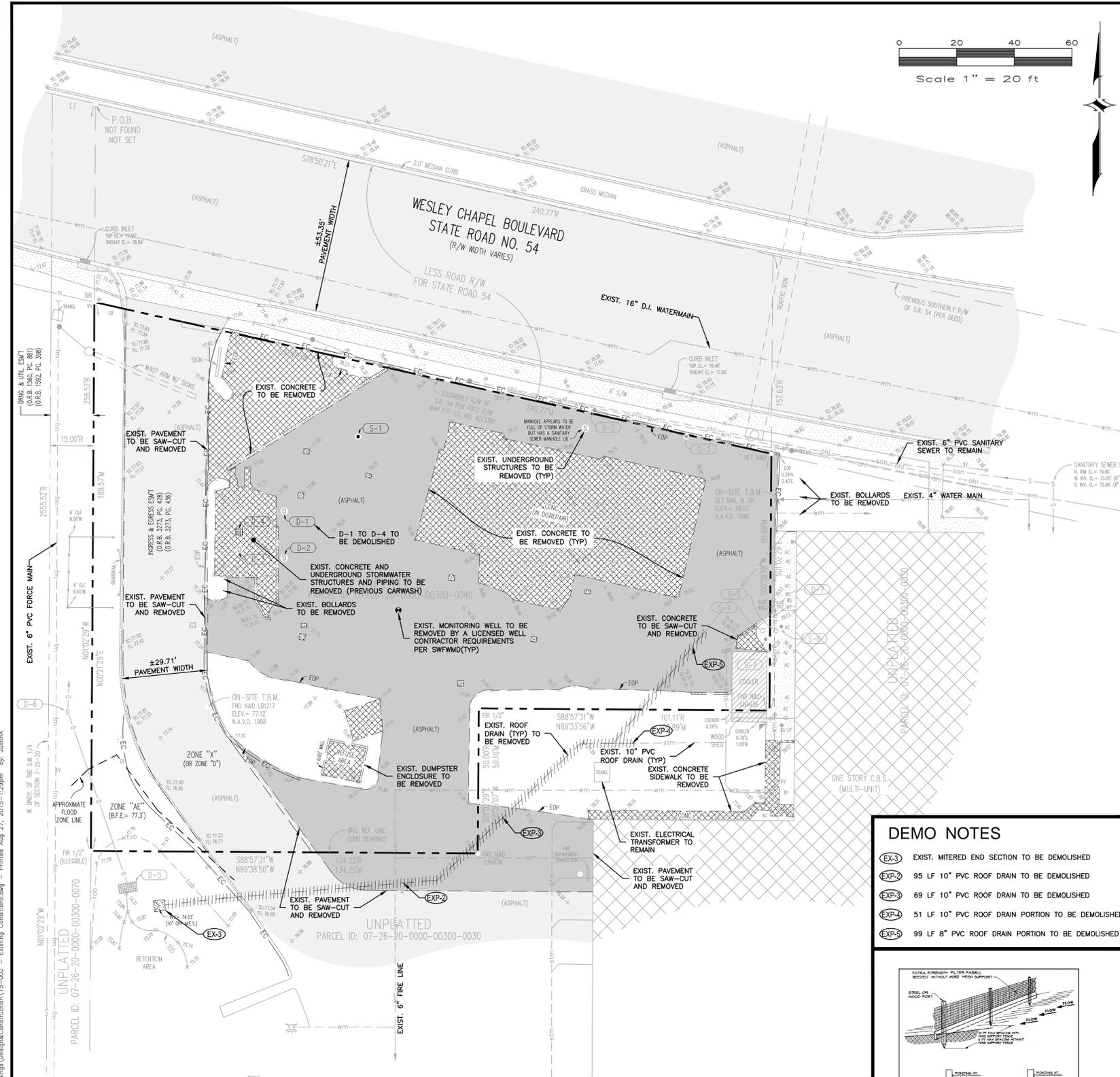
CAMPO
ENGINEERING, INC.

FBRP CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL 33605

PHONE: (813) 215-7372

FAX: (813) 902-8782



LEGEND

- AC - AIR CONDITIONER
- B - BOLLARD
- C - CONDENSING UNIT
- EB - ELECTRIC BOX
- EV - ELECTRIC VAULT
- E - ELEVATION
- G - GAS METER
- GI - GRATE INLET
- - GREASE TRAP
- - LIGHT POLE
- - MITERED END SECTION
- - MONITORING WELL
- - POWER POLE
- - SEWER CLEAN OUT
- - SIGN
- - STORM SEWER MANHOLE
- - STREET LIGHT VAULT
- TP - TELEPHONE PEDESTAL
- TS - TRAFFIC SIGNAL VAULT
- - UNKNOWN TANK
- UV - UNKNOWN VAULT
- VP - VERIZON PEDESTAL
- W - VERIZON VAULT
- D - WATER HEATER
- WS - WATER SOFTENER
- YD - YARD DRAIN
- - GUY WIRE
- - TOP OF BANK
- - OVERHEAD WIRES
- - U.G. STORM SEWER LINE
- - 2.0' CURB & GUTTER
- - 0.60' UPRIGHT CURB

SURVEYOR'S NOTES

- 1.) THIS SURVEY HAS BEEN EXCLUSIVELY PREPARED FOR THE NAMED ENTITIES (THE "CERTIFIED PARTIES") SHOWN HEREON AND IS NOT TRANSFERABLE. NO OTHER PERSON OR ENTITY IS ENTITLED TO RELY UPON AND/OR RE-USE THIS SURVEY FOR ANY PURPOSE WITHOUT THE EXPRESSED, WRITTEN CONSENT OF GEORGE A. SHUP & ASSOCIATES, INC. (THE "SURVEY FIRM") AND THE CERTIFYING PROFESSIONAL SURVEYOR AND MAPPER (THE "SIGNING SURVEYOR"), HEREINAFTER COLLECTIVELY REFERRED TO AS "THE SURVEYOR". NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANY OTHER THAN THE CERTIFIED PARTIES SHOWN ON THIS SURVEY.
- 2.) UNAUTHORIZED COPIES AND/OR REPRODUCTIONS BY ANY MEDIUM OF THIS SURVEY OR ANY PORTIONS THEREOF ARE EXPRESSLY PROHIBITED WITHOUT THE SURVEYOR'S EXPRESSED, WRITTEN CONSENT.
- 3.) THE WORD "CERTIFY" AS SHOWN AND USED HEREON, MEANS AN EXPRESSION OF THE SURVEYOR'S OPINION REGARDING THE FACTS OF THE SURVEY BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT DOES NOT CONSTITUTE NEITHER A GUARANTEE NOR A WARRANTY, EITHER EXPRESSED OR IMPLIED.
- 4.) THIS SURVEY SHALL BE VALID FOR ONE (1) YEAR FROM THE DATE OF FIELD SURVEY SHOWN HEREON.
- 5.) THIS PROPERTY WAS SURVEYED BASED ON THE PROPERTY'S LEGAL DESCRIPTION, AS SHOWN HEREON, WHICH UNLESS OTHERWISE STATED, WAS PROVIDED TO THE SURVEYOR BY THE CLIENT, OR CLIENT'S DESIGNATED AGENT.
- 6.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE OR TITLE COMMITMENT AND IS SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS AND/OR OTHER MATTERS OF RECORD. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR, EXCEPT AS SHOWN.
- 7.) THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, EMINENT DOMAIN TITLE EVIDENCE OR ANY OTHER MATTERS OF RECORD THAT AN ACCURATE AND CURRENT TITLE SEARCH WOULD DISCLOSE.
- 8.) THERE MAY BE ADDITIONAL EASEMENTS, RESERVATIONS, RESTRICTIONS AND/OR OTHER MATTERS OF RECORD AFFECTING THIS PROPERTY THAT ARE NOT SHOWN HEREON AND MAY (OR MAY NOT) BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- 9.) MEASURED BEARINGS ARE IN REFERENCE TO FLORIDA STATE PLANE COORDINATE GRID NORTH, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 READJUSTMENT), AS ESTABLISHED BY THE NATIONAL GEODETIC SURVEY.
- 10.) THERE ARE NO VISIBLE ENCROACHMENTS, EXCEPT AS SHOWN HEREON.
- 11.) THIS SURVEY SHOWS VISIBLE, ABOVE GROUND FEATURES, NO UNDERGROUND FEATURES, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, STRUCTURES, INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS SHOWN HEREON.
- 12.) ALL BUILDING TIES, PROPERTY MARKER LOCATIONS AND OTHER SITE IMPROVEMENT LOCATIONS SHOWN HEREON ARE MEASURED PERPENDICULAR TO ADJACENT BOUNDARY LINES, UNLESS OTHERWISE STATED.
- 13.) THE FLOOD ZONE DETERMINATION IS BASED ON THE FLOOD INSURANCE RATE MAP, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND DOES NOT IMPLY THAT THE PROPERTY WILL OR WILL NOT BE FREE FROM FLOODING AND DAMAGE. LARGER FLOODS THAN THOSE PREDEICTED ON SAID MAP MAY OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THE FLOOD INSURANCE RATE MAP IS FOR INSURANCE PURPOSES ONLY, AND ANY DAMAGES THAT MAY RESULT FROM RELIANCE ON THIS FLOOD ZONE DETERMINATION SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR. THE FLOOD ZONE LINES (IF ANY) SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON A SCALED INTERPRETATION FROM THE FLOOD INSURANCE RATE MAP AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- 14.) UNLESS OTHERWISE SHOWN, THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP LINES, LINES AFFECTED BY ADVERSE USE, LINES OF CONFLICTING/OVERLAPPING DEEDS, OR OTHER LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.
- 15.) NO INFORMATION ON ADJOINING PROPERTY OWNERS OR ADJOINING PROPERTY RECORDING INFORMATION WAS PROVIDED TO THE SURVEYOR.
- 16.) BECAUSE OF THE POSSIBILITY OF MOVEMENT OF THE MONUMENTATION FROM ITS ORIGINAL PLACEMENT BY PERSONS OTHER THAN THE SURVEYOR, IT IS RECOMMENDED THAT PRIOR TO ANY NEW IMPROVEMENTS ON THE PROPERTY THAT THE POSITION OF THE MONUMENTATION BE VERIFIED.
- 17.) FENCES AND WALLS (IF ANY) SHOWN ALONG THE BOUNDARIES OF THIS SURVEY ARE EXAGGERATED FOR CLARITY AND CONVEYANCE IS NOT DETERMINED. THE TIES AT THE PROPERTY CORNERS OR AT SPECIALLY DESIGNATED POINTS ARE BASED UPON FIELD LOCATIONS. FENCES AND WALLS ALONG OTHER PROPERTY BOUNDARIES MEANDER AND ARE APPROXIMATE. PRIOR TO THE RECONSTRUCTION OF ANY FENCES OR WALLS, IT WOULD BE PRUDENT TO HAVE THE BOUNDARY LINE STAKED.
- 18.) THE PRINTED DIMENSIONS SHOWN ON THIS SURVEY SUPERSEDE ANY SCALED DIMENSIONS. THERE MAY BE ITEMS DRAWN OUT OF SCALE TO GRAPHICALLY SHOW THEIR LOCATION.
- 19.) THIS SURVEY IS A REPRESENTATION OF EXISTING FIELD CONDITIONS AT THE TIME OF THE FIELD SURVEY AND UNLESS OTHERWISE SHOWN, IS BASED ON EXISTING SURVEY MONUMENTATION AS FOUND IN THE FIELD.
- 20.) THE ACCURACY OF THIS SURVEY, AS OBTAINED BY FIELD-MEASURED CONTROL MEASUREMENTS AND CALCULATIONS, MEETS OR EXCEEDS THE MINIMUM RELATIVE ACCURACY REQUIREMENT AS SPECIFIED IN THE MINIMUM TECHNICAL STANDARDS (6A-17, FLORIDA ADMINISTRATIVE CODE).
- 21.) THIS SURVEY IS BEING CERTIFIED ACCORDING TO THE LAST DATE OF FIELD SURVEY AND NOT THE SIGNATURE DATE (IF ANY).
- 22.) THIS SURVEY SHALL NOT BE FILED FOR PUBLIC RECORDS WITHOUT THE KNOWLEDGE AND THE EXPRESSED, WRITTEN CONSENT OF THE SURVEYOR.
- 23.) UNLESS OTHERWISE SHOWN, THE DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE BASED ON THE DEFINITION OF A FOOT AS ADOPTED BY THE UNITED STATES BUREAU OF STANDARDS AND REFER TO THE HORIZONTAL PLANE.
- 24.) TREES BY NATURE ARE IRREGULAR IN SHAPE AND SIZE AND EVERY EFFORT IS MADE TO ACCURATELY LOCATE THEM. THE TREE SIZE IS DETERMINED AT CHEST HEIGHT DIAMETER AND THE TREE LOCATION IS CENTER OF THE TREE TRUNK. ANY TREE LOCATIONS THAT ARE CRITICAL TO DESIGN SHOULD BE FIELD VERIFIED. EVERY EFFORT HAS BEEN MADE TO PROPERLY IDENTIFY THE TREES SHOWN HEREON. HOWEVER, TREE IDENTIFICATION IS OUTSIDE THE AREA OF EXPERTISE OF A PROFESSIONAL SURVEYOR AND MAPPER, THEREFORE, THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR IDENTIFICATION OF TREE SPECIES. ALL TREE TYPES SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY AND ANY TREE SPECIES THAT ARE CRITICAL SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- 25.) THIS SURVEY SHALL NOT BE USED WITH A SURVEY AFFIDAVIT. AN INCORRECT SURVEY AFFIDAVIT CAN UNNECESSARILY INCREASE THE OWNER/AUTHER'S LIABILITY AND DECREASE THEIR LEGAL RIGHTS WHICH MAY RESULT IN COSTLY LITIGATION. AN INCORRECT SURVEY AFFIDAVIT COULD BE THE RESULT OF CHANGES MADE TO THE PROPERTY SINCE THE DATE OF THE LAST SURVEY, WHICH MAY INCLUDE IMPROVEMENTS MADE BY THE OWNER, ADJACENT OWNERS OR UTILITY COMPANIES OR CHANGES IN THE SURVEY BOUNDARY MONUMENTATION. ALSO, BECAUSE THE SURVEY IS NOT CERTIFIED TO THE BUYER, THE BUYER DOES NOT HAVE A CONTRACTUAL RELATIONSHIP WITH THE SURVEYOR AND LOSES ANY PROTECTIONS AFFORDED BY A CURRENT SURVEY. USE OF THIS SURVEY IN CONNECTION WITH A SURVEY AFFIDAVIT IS STRICTLY PROHIBITED AND SHALL RENDER THIS SURVEY NULL AND VOID.
- 26.) THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) AS ESTABLISHED FROM N.G.S. CONTINUOUSLY OPERATING REFERENCE STATIONS (C.O.R.S.) "BARTON COBS ARP", "DUNNELLON COBS ARP" AND "BROOKSVILLE COBS ARP" USING THE ONLINE POSITIONING USER SERVICE (OPUS) ON FEBRUARY 3, 2015.

EROSION CONTROL NOTES

1. THE INSTALLATION OF TEMPORARY EROSION CONTROL BARRIERS SHALL BE COORDINATED WITH THE CONSTRUCTION OF THE PERMANENT EROSION CONTROL FEATURES TO THE EXTENT NECESSARY TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL OF EROSION AND WATER POLLUTION THROUGHOUT THE LIFE OF THE CONSTRUCTION PHASE.
2. THE TYPE OF EROSION CONTROL BARRIERS USED SHALL BE GOVERNED BY THE NATURE OF THE CONSTRUCTION OPERATION AND SOIL TYPE THAT WILL BE EXPOSED. SILTY AND CLAYEY MATERIAL USUALLY REQUIRE SOLID SEDIMENT BARRIERS TO PREVENT TURBID WATER DISCHARGE, WHILE SANDY MATERIAL MAY NEED ONLY SILT SCREENS OR HAY BALES TO PREVENT EROSION. FLOATING TURBIDITY CURTAINS SHALL BE USED IN OPEN WATER SITUATIONS. DIVERSION DITCHES OR SWALES MAY BE REQUIRED TO PREVENT TURBID STORMWATER RUNOFF FROM BEING DISCHARGED TO WETLANDS OR OTHER WATER BODIES, IF IT MAY BE NECESSARY TO EMPLOY A COMBINATION OF BARRIERS, DITCHES AND OTHER EROSION/TURBIDITY CONTROL MEASURES IF CONDITIONS WARRANT.
3. CONSTRUCTION OPERATIONS IN OR ADJACENT TO WETLANDS SHALL BE RESTRICTED TO THOSE AREAS IDENTIFIED IN THE PLANS AND IN THE SPECIFICATIONS.
4. EXCAVATED MATERIAL SHALL NOT BE DEPOSITED IN THE WETLANDS OR IN A POSITION CLOSE ENOUGH THERETO TO BE WASHED AWAY BY HIGH WATER OR RUNOFF.
5. WHERE PUMPS ARE TO BE USED TO REMOVE TURBID WATERS FROM CONSTRUCTION AREAS, THE WATER SHALL BE TREATED PRIOR TO DISCHARGE TO THE WETLANDS. TREATMENT METHODS INCLUDE AND ARE NOT LIMITED TO: TURBID WATER BEING PLUMBED INTO GRASSSED SWALES OR APPROPRIATE VEGETATED AREAS, SEDIMENT BASINS, OR CONFINED BY AN APPROPRIATE ENCLOSURE SUCH AS TURBIDITY BARRIERS, AND KEPT CONFINED UNTIL ITS TURBIDITY LEVEL MEETS STATE WATER QUALITY STANDARDS.
6. THE CONTRACTOR SHALL SCHEDULE HIS OPERATIONS SUCH THAT THE AREA OF UNPROTECTED ERODIBLE EARTH EXPOSED AT ANY ONE TIME IS NOT LARGER THAN THE MINIMUM AREA NECESSARY FOR EFFICIENT CONSTRUCTION OPERATIONS, AND THE DURATION OF EXPOSED, UNCOMPLETED CONSTRUCTION TO THE ELEMENTS SHALL BE AS SHORT AS PRACTICABLE. CLEARING AND GRUBBING SHALL BE SO SCHEDULED AND 3PERFORMED THAT GRADING OPERATIONS CAN FOLLOW IMMEDIATELY THEREAFTER, AND GRADING OPERATIONS SHALL BE SCHEDULED AND PERFORMED THAT PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER IF CONDITIONS ON THE PROJECT PERMIT.
7. THE CONTRACTOR AND/OR OWNER'S REPRESENTATIVE SHALL PROVIDE ROUTINE MAINTENANCE OF PERMANENT AND TEMPORARY EROSION CONTROL FEATURES UNTIL THE PROJECT IS COMPLETE AND ALL BARED SOILS ARE STABILIZED.
8. SILT FENCE SHALL BE LOCATED AT THE PERIMETER OF CONSTRUCTION LIMITS, AS DEFINED BY FIELD CONDITIONS.
9. CONTRACTOR IS TO PROVIDE EROSION CONTROL AND SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION, CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.
10. IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION OR OTHER ACCEPTABLE METHODS.
11. ALL EXISTING SIDEWALK CRACKED OR DAMAGED SHALL BE REPLACED.

DEMO NOTES

- EX-3 EXIST. MITERED END SECTION TO BE DEMOLISHED
- EXP-2 95 LF 10" PVC ROOF DRAIN TO BE DEMOLISHED
- EXP-3 69 LF 10" PVC ROOF DRAIN TO BE DEMOLISHED
- EXP-4 51 LF 10" PVC ROOF DRAIN PORTION TO BE DEMOLISHED
- EXP-3 99 LF 8" PVC ROOF DRAIN PORTION TO BE DEMOLISHED

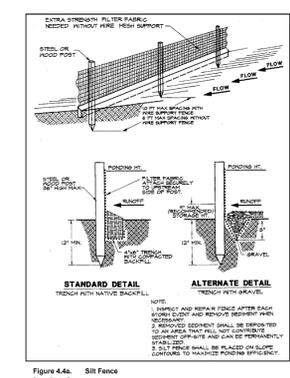
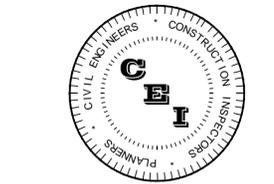


Figure 4.4a. Silt Fence
Florida Stormwater Erosion and Sedimentation Control Inspector's Manual

EXISTING STRUCTURE NOTES

- (D-1) STORM SEWER MANHOLE
N. INV. EL. = 75.17'
TOP OF WATER EL. = 75.17'
BOTTOM EL. = 75.07'
(UNDERGROUND STORM WATER VAULT)
- (D-2) STORM SEWER MANHOLE
N. INV. EL. = 75.17'
TOP OF WATER EL. = 75.17'
BOTTOM EL. = 75.07'
(UNDERGROUND STORM WATER VAULT)
- (D-3) STORM SEWER MANHOLE
N. INV. EL. = 75.24'
TOP OF WATER EL. = 75.24'
BOTTOM EL. = 75.14'
(UNDERGROUND STORM WATER VAULT)
- (D-4) GRATE INLET
TOP EL. = 75.57'
TOP OF WATER EL. = 75.57'
BOTTOM EL. = 75.47'
(UNDERGROUND STORM WATER VAULT)
- (D-5) OUTFALL CONTROL STRUCTURE
N. INV. EL. = 75.57' (2' ROP)
TOP OF WATER EL. = 75.57' (2' ROP)
BOTTOM EL. = 75.47' (2' ROP)
- (D-6) STORM SEWER MANHOLE
N. INV. EL. = 75.24'
TOP OF WATER EL. = 75.24'
BOTTOM EL. = 75.14'
(UNDERGROUND STORM WATER VAULT)
- (D-7) YARD DRAIN
N. INV. EL. = 75.24'
- (S-1) CLEAN OUT
TOP EL. = 75.57' (4" METAL)
(COLOR NOT SHOWN ACTUAL INVERT)
- (S-2) CLEAN OUT
TOP EL. = 75.57' (4" PVC)
(COLOR NOT SHOWN ACTUAL INVERT)
- (S-3) CLEAN OUT
TOP EL. = 75.27' (4" PVC)
(COLOR NOT SHOWN ACTUAL INVERT)
- (S-4) GREASE TRAP
N. INV. EL. = 75.67'
- (S-5) GREASE TRAP
N. INV. EL. = 75.67'
- (S-6) CLEAN OUT
TOP EL. = 75.57' (4" PVC)
- (S-7) CLEAN OUT
TOP EL. = 75.57' (4" PVC)



CAMPO
ENGINEERING, INC.

FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL 33605
PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE

**POPEYE'S
WESLEY CHAPEL
STATE ROAD 54**

PASCO COUNTY, FLORIDA
CLIENT

W CHAPEL INC C/O RMC
REALTY PROPERTY GROUP
8902 N. DALE MABRY HWY,
SUITE 200
TAMPA, FL 33614

REVISIONS

NO.	DESCRIPTION	DATE

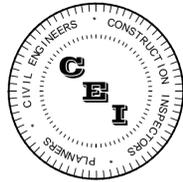
DATE: 06/2015
REVIEWED BY: LDC
DRAWN BY: KLD
DESIGNED BY: MDC

PROJECT NUMBER
15-002

Matthew D. Campo 53988 08/27/2015
NAME SEAL NO. DATE

SHEET TITLE
**EXISTING CONDITIONS,
DEMO & EROSION
CONTROL PLAN**

SHEET NUMBER
C-3



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REVISIONS

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DRAWN BY: KLD

DESIGNED BY: MDC

PROJECT NUMBER

15-002

Matthew D. Campo 53988 08/27/2015
NAME SEAL NO. DATE

SHEET TITLE

**HORIZONTAL
CONTROL, SIGN &
MARKING PLAN**

SHEET NUMBER

C-4

LEGEND

	EXISTING PAVEMENT		PROPERTY LINE
	PROPOSED BUILDING		BUILDING SETBACK
	PROPOSED 4" THK. CONCRETE		LANDSCAPE BUFFER
	PROPOSED 6" THK. CONCRETE (MIN.)		PARKING SPACE COUNT
	PROPOSED ASPHALT PAVEMENT		PROPOSED PARKING EASEMENT

SITE DATA TABLE

TOTAL PROPERTY AREA:	±33,558 SF (±0.77 AC)
PARCEL ID #:	07-26-20-0000-00300-0040
JURISDICTION:	PASCO COUNTY
ADDRESS:	28014 WESLEY CHAPEL BLVD
ZONING:	C-2 (GENERAL COMMERCIAL)
PETITION #:	RZ 2718 (APPROVED 12/18/1984)
FUTURE LAND USE:	MU (MIXED USES)
EXIST. LAND USE:	VACANT GAS STATION (ALL STRUCTURES DEMOLISHED)
PROP. LAND USE:	FAST FOOD RESTAURANT WITH DRIVE-THRU
TOTAL BUILDING AREA:	2,878 SF
MAX. BUILDING HEIGHT:	60'
REQ. SETBACKS:	FRONT (N): 25' REAR (S): 0' SIDE (W & E): 0'
REQ. LANDSCAPE BUFFERS:	FRONT (N): 15' PERIMETER BUFFER BY ROADWAY REAR (S): 10' PERIMETER BUFFER SIDE (W & E): 10' PERIMETER BUFFER
REQ. PARKING:	1 SPACE PER 150 SF OF FLOOR AREA 2,695 SF/150 = 18 SPACES
REQ. BICYCLE PARKING:	0.2 PER PARKING SPACE 0.2 * 25 SPACES = 5 BICYCLE SPACES
PROP. PARKING:	REGULAR = 19 SPACES HANDICAP = 2 SPACES COMPACT = 4 SPACES TOTAL PROPOSED = 25 SPACES
PROJECT AREAS:	
PROPOSED BUILDING:	2,878 SF ~ 8.58% ~ 0.066 AC
EXISTING ASPHALT TO REMAIN:	5,716 SF ~ 17.03% ~ 0.131 AC
EXISTING CONCRETE TO REMAIN:	433 SF ~ 1.29% ~ 0.010 AC
PROPOSED ASPHALT:	13,275 SF ~ 39.57% ~ 0.304 AC
PROPOSED CONC. PAVEMENT & CURB:	1,897 SF ~ 5.65% ~ 0.044 AC
PROPOSED S/W:	817 SF ~ 2.43% ~ 0.019 AC
PROPOSED OPEN SPACE:	8,725 SF ~ 26.00% ~ 0.200 AC
TOTAL SITE AREA:	33,558 SF ~ 100.00% ~ 0.770 AC
PROPOSED IMPERVIOUS AREA:	24,833 SF / 33,558 SF = 74.0%
PROPOSED FAR:	0.08 (3.0 MAX.)

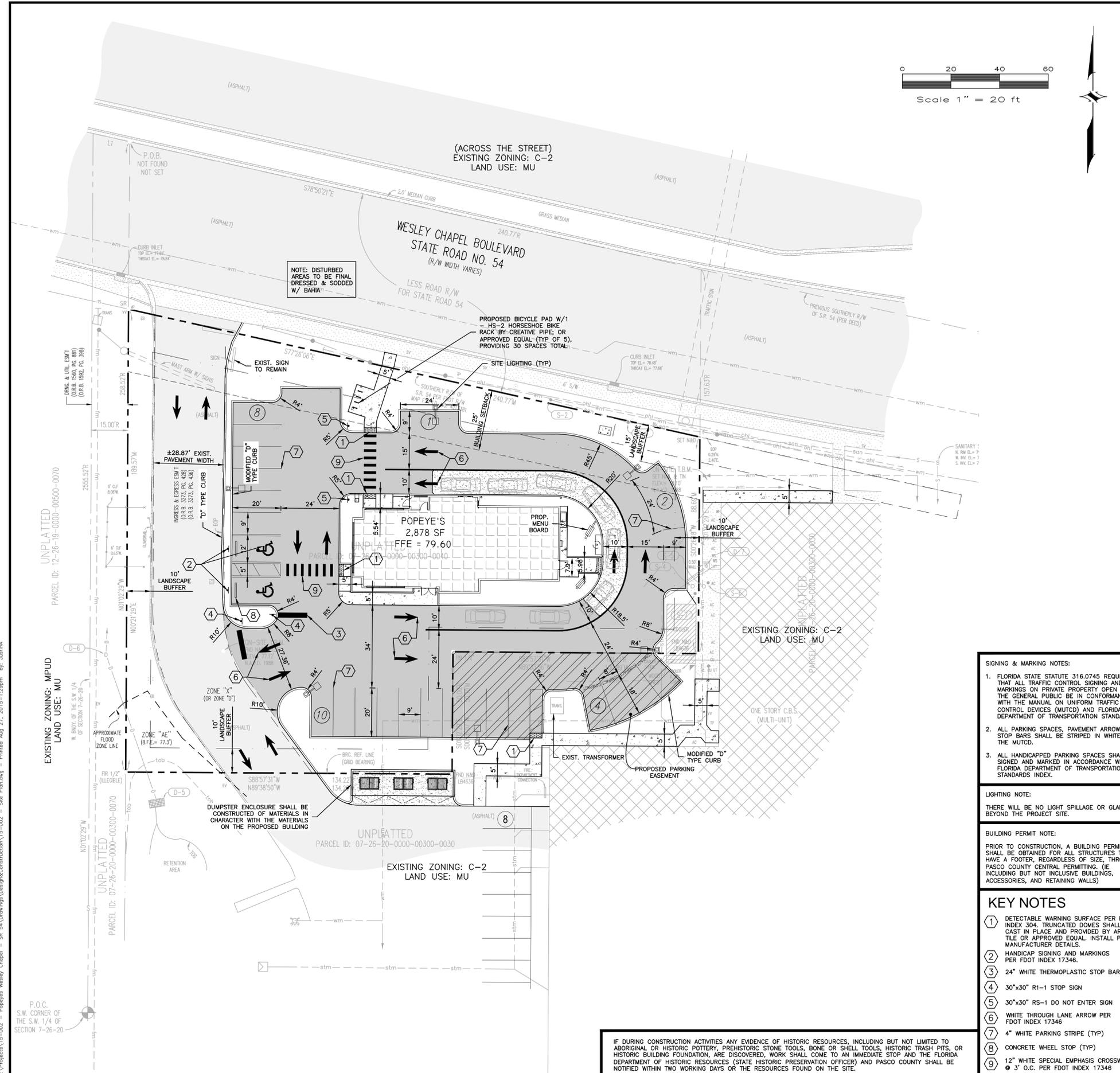
THE PROPERTY SHOWN HEREON APPEARS TO LIE IN FLOOD ZONE "X" AND "AE" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 12101C, PANEL NUMBER 0426, SUFFIX F, REVISED SEPTEMBER 26, 2014 FOR PASCO COUNTY, FLORIDA. BASE FLOOD ELEVATION FOR ZONE "AE" = 77.50 (NAVD 88).

GENERAL NOTES

- THE PROPOSED ACTIVITIES SHALL COMPLY WITH PASCO COUNTY DEVELOPMENT REGULATIONS (LATEST EDITION) INCLUDING THE TREE AND LANDSCAPE CODE, STORM WATER MANAGEMENT REGULATIONS AND FIRE CODES AT THE TIME OF PERMITTING.
- SIDEWALKS TO BE PROVIDED AND BUILT IN ACCORDANCE WITH PASCO COUNTY LAND DEVELOPMENT REGULATIONS (LATEST EDITION). ALL PROPOSED SIDEWALKS SHALL MEET ADA REQUIREMENTS.
- BUFFERING AND SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH PASCO COUNTY LAND DEVELOPMENT CODE.
- MAXIMUM BUILDING HEIGHT SHALL BE AS SHOWN.
- SOLID WASTE COLLECTION SHALL BE BY DUMPSTER PICK-UP AS SHOWN.
- THERE ARE NO WETLANDS OR CONSERVATION AREAS WITHIN THE PROJECT BOUNDARIES.
- ALL BUILDING CONSTRUCTION SHALL CONFORM TO THE 2010 FLORIDA BUILDING CODE.
- ALL EASEMENTS SHALL BE DEDICATED TO THE APPROPRIATE ENTITY AND ALL ROADS SHALL BE PRIVATE.
- CONTRACTOR SHALL UTILIZE THE SERVICES OF A LICENSED FLORIDA SURVEYOR IN ORDER TO STAKE OUT LOCATION AND GRADE OF ALL SITE IMPROVEMENTS BASED ON THE DIGITAL AUTOCAD FILES FOR THIS PROJECT PROVIDED BY ENGINEER.

PASCO COUNTY DEVELOPMENT REVIEW
STANDARD SITE PLAN NOTES

- ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE PASCO COUNTY STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES SPECIFICATIONS, LATEST EDITION.
- ALL ON-SITE WATER AND SEWER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER-DEVELOPER.
- ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED, AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY-APPROVED SITE PLAN. APPROVAL IF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE.
- HANDICAP PARKING SPACES WILL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, OR OTHER APPLICABLE STANDARDS.
- THE ARCHITECT/ENGINEER CERTIFIES THAT THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.
- ALL ON-SITE PARKING SPACES WILL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. PARKING SPACES, DIRECTIONAL ARROWS, AND STOP BARS SHALL BE STRIPED IN WHITE. IT SHALL BE THE OWNER/DEVELOPER'S RESPONSIBILITY TO PROPERLY SIGN AND STRIPE THE SITE IN ACCORDANCE WITH APPLICABLE STANDARDS.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THIS APPROVAL DOES NOT INCLUDE ANY WORK IN COUNTY RIGHT-OF-WAY. ALL RIGHT OF WAY WORK SHALL BE A FUNCTION OF AN APPROVED PASCO COUNTY RIGHT-OF-WAY USE PERMIT.
- ALL CLEAR-SITE AREAS SHALL BE KEPT FREE OF ANY SIGNAGE PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND-A-HALF (3-1/2) FEET IN HEIGHT.
- NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY COUNTY OR STATE RIGHT-OF-WAY WITHOUT ISSUANCE OF APPROPRIATE RIGHT-OF-WAY USE PERMIT.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THE SITE AND ITS SUBSEQUENT BUILDING PERMITS SHALL COMPLY WITH ALL REZONING/MPUD/PUD CONDITIONS.
- ALL STRUCTURES, INCLUDING BUFFER WALLS, RETAINING WALLS, SIGNAGE, ETC. REQUIRE SEPARATE BUILDING PERMITS BY CONTRACTOR/OWNER.



NOTE: DISTURBED AREAS TO BE FINAL DRESSED & SODDED W/ BAHIA

(ACROSS THE STREET)
EXISTING ZONING: C-2
LAND USE: MU

WESLEY CHAPEL BOULEVARD
STATE ROAD NO. 54
(R/W WIDTH VARIES)

PROPOSED BICYCLE PAD W/1
HS-2 HORSESHOE BIKE
RACK BY CREATIVE PIPE OR
APPROVED EQUAL (TYP OF 5),
PROVIDING 30 SPACES TOTAL

POPEYE'S
2,878 SF
FFE = 79.60

EXISTING ZONING: C-2
LAND USE: MU

EXISTING ZONING: C-2
LAND USE: MU

SIGNING & MARKING NOTES:

- FLORIDA STATE STATUTE 316.0745 REQUIRES THAT ALL TRAFFIC CONTROL SIGNING AND MARKINGS ON PRIVATE PROPERTY OPEN TO THE GENERAL PUBLIC BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL PARKING SPACES, PAVEMENT ARROWS & STOP BARS SHALL BE STRIPED IN WHITE PER THE MUTCD.
- ALL HANDICAPPED PARKING SPACES SHALL BE SIGNED AND MARKED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS INDEX.

LIGHTING NOTE:

THERE WILL BE NO LIGHT SPILLAGE OR GLARE BEYOND THE PROJECT SITE.

BUILDING PERMIT NOTE:

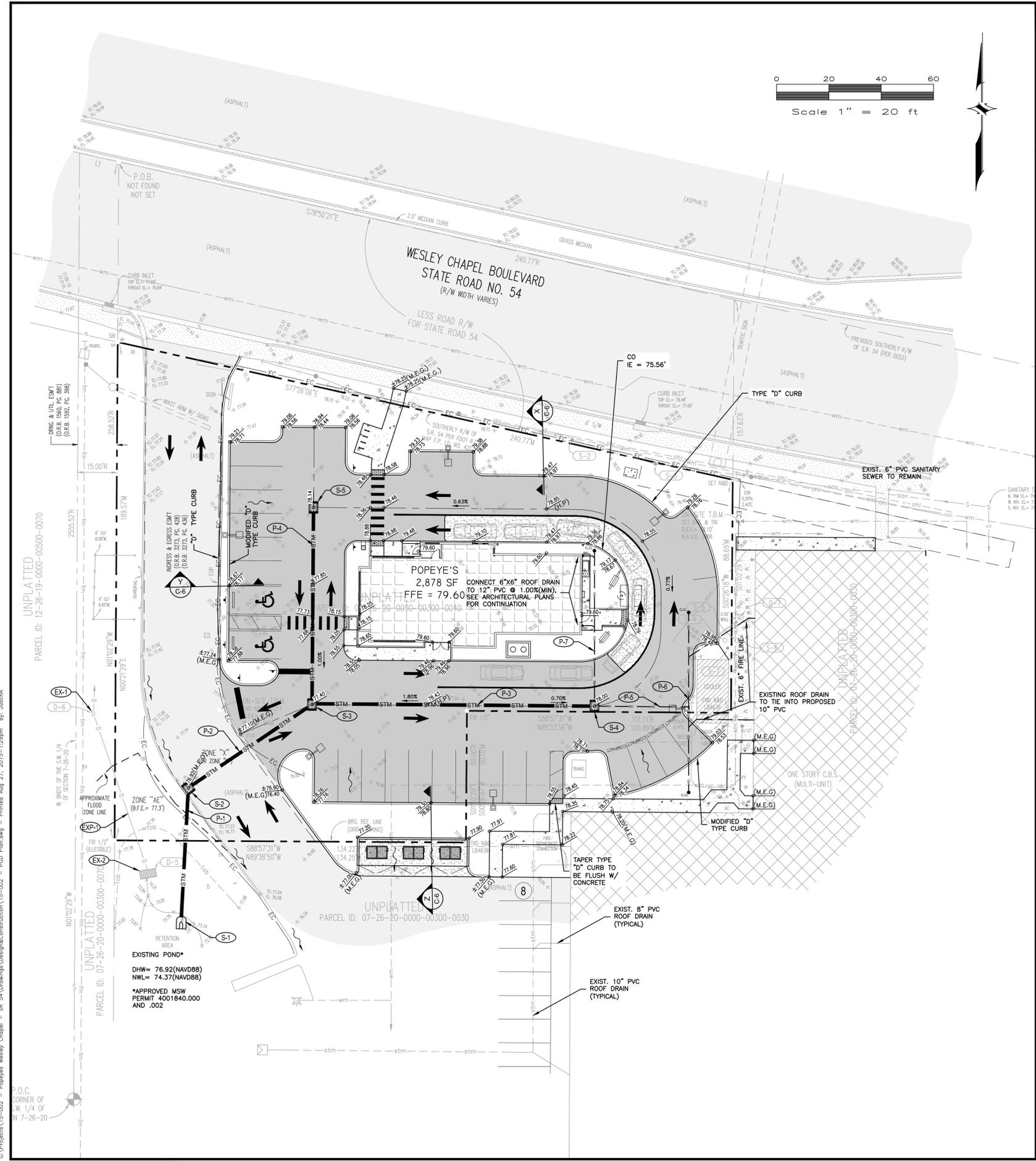
PRIOR TO CONSTRUCTION, A BUILDING PERMIT SHALL BE OBTAINED FOR ALL STRUCTURES THAT HAVE A FOOTER, REGARDLESS OF SIZE, THROUGH PASCO COUNTY CENTRAL PERMITTING. (IE INCLUDING BUT NOT INCLUSIVE BUILDINGS, ACCESSORIES, AND RETAINING WALLS)

KEY NOTES

- DETECTABLE WARNING SURFACE PER FDOT INDEX 304, TRUNCATED DORIES SHALL BE CAST IN PLACE AND PROVIDED BY ARMOR TILE OR APPROVED EQUAL. INSTALL PER MANUFACTURER DETAILS.
- HANDICAP SIGNING AND MARKINGS PER FDOT INDEX 17346.
- 24" WHITE THERMOPLASTIC STOP BAR
- 30"x30" R1-1 STOP SIGN
- 30"x30" RS-1 DO NOT ENTER SIGN
- WHITE THROUGH LANE ARROW PER FDOT INDEX 17346
- 4" WHITE PARKING STRIPE (TYP)
- CONCRETE WHEEL STOP (TYP)
- 12" WHITE SPECIAL EMPHASIS CROSSWALK @ 3" O.C. PER FDOT INDEX 17346

IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATION, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE RESOURCES FOUND ON THE SITE.

G:\Projects\15-002 - Popeyes Wesley Chapel - SR 54 Drawings\Design\Construction\15-002 - Site Plan.dwg - Printed Aug 27, 2015 - 1:23pm by: Justin A



LEGEND

---	PROPERTY LINE	1.00%	PAVEMENT SLOPE	[Pattern]	PROPOSED BUILDING
EC	SILT FENCE	AB4	BORING LOCATION	[Pattern]	4" THK. CONCRETE
RD	PROPOSED ROOF DRAIN	0.00	PROPOSED SPOT GRADE	[Pattern]	6" THK. CONCRETE MIN.
STM	PROPOSED STORM PIPE	A	CROSS SECTION NAME	[Pattern]	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
~>	FLOW ARROW	C-5	CROSS SECTION SHEET LOCATION	[Pattern]	PROPOSED HEAVY DUTY ASPHALT PAVEMENT

- ### GENERAL NOTES
- ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH PASCO COUNTY STANDARDS, AND DOT SPECIFICATIONS, LATEST EDITIONS.
 - GRASS AND MULCH, OR SOLID SOD, ALL AREAS IN EXISTING RIGHT-OF-WAY DISTURBED BY CONSTRUCTION.
 - CONTRACTOR IS TO COORDINATE ALL WORK WITHIN, BUT NOT LIMITED TO PUBLIC RIGHT-OF-WAY WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES AND THE MAKING OF ADJUSTMENTS TO SAME, IF REQUIRED.
 - CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES.
 - ADJUSTING MANHOLE TOPS TO MATCH GRADE AND SLOPE OF THE FINISH PAVING SHALL BE INCLUDED IN THE RESPECTIVE CONTRACT UNIT PRICE FOR MANHOLES, PAYMENT OF WHICH WILL CONSTITUTE FULL COMPENSATION FOR THE CONSTRUCTION AND COMPLETION OF THE MANHOLE, AND NO ADDITIONAL PAYMENT WILL BE ALLOWED OR MADE FOR ADJUSTING MANHOLE TOPS.
 - ROOF DRAINAGE TO BE DIRECTED FROM BUILDINGS TO STORM SYSTEM VIA DOWNSPOUTS.
 - ALL FINISH FLOOR ELEVATIONS (FFE) ARE MINIMUMS.
 - SLOPE PERIMETER GRADE TO MATCH EXISTING GRADE AT 4:1 MAXIMUM.
 - EXCAVATION NOTE: NO EXCAVATION SHALL EXTEND BELOW THE PERMITTED DESIGN DEPTHS/ELEVATIONS SHOWN ON THE DRAWING, UNLESS ADDITIONAL TESTING SUPPORTS OTHERWISE; AND NO LOWER SEMI-CONFINING UNIT CLAYEY SOIL MATERIAL AND/OR NO LIMESTONE MATERIALS SHALL BE EXCAVATED, REGARDLESS IF THESE MATERIALS ARE ENCOUNTERED WITHIN THE PERMITTED EXCAVATION DEPTH/ELEVATIONS. IF ANY LOWER SEMI-CLAYEY SOIL MATERIALS OR LIMESTONE MATERIALS ARE ENCOUNTERED ABOVE THE PERMITTED DEPTH/ELEVATIONS, THEN EXCAVATION OPERATIONS SHALL CEASE IN THE GENERAL AREA.
 - CONTRACTOR SHALL PROVIDE REQUIRED DEWATERING FOR ALL STORMWATER AREAS CONSTRUCTED. CONTRACTOR SHALL PERFORM HORIZONTAL DEWATERING UPON REACHING A CLAY LAYER.
 - ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE. SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1 VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.
 - ALL GRADING OF SIDEWALKS AND PEDESTRIAN WALKWAYS SHALL MEET MINIMUM "ADA" STANDARDS. SIDEWALK CROSS SLOPES AND DRIVEWAY CROSSINGS FOR SIDEWALKS TO BE 2.0% MAX. SLOPE. ALL SIDEWALK RUNNING SLOPES SHALL NOT EXCEED 5% WITHOUT USE OF PROPER RAMPS PER FDOT OR FLORIDA BUILDING CODE. CONTRACTOR SHALL FIELD VERIFY SIDEWALK FORM BOARDS PRIOR TO CONSTRUCTING WALKWAYS.
 - CONTRACTOR SHALL WRAP ALL INLET GRATES WITH FILTER FABRIC UPON INSTALLATION. FABRIC TO BE REMOVED UPON COMPLETION OF BUILDING CONSTRUCTION.
 - CONTRACTOR SHALL OBTAIN ALL CONTRACTOR RELATED PERMITS.
 - EXISTING GRADES ARE BASED ON NAVD 1988.
 - SITE IS LOCATED IN FLOOD ZONES AE & X PER FIRM PANEL NUMBER 12101C 0426 F, DATED 9/26/2014, BFE = 77.30 NAVD.

- ### CONSTRUCTION NOTES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE EXTENTS OF PAVEMENT RESTORATION BASED ON HIS MEANS AND METHODS OF INSTALLING WATER, SEWER AND STORMWATER INFRASTRUCTURE ADJACENT TO OR UNDER EXISTING PAVEMENT AREAS. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING LOCAL MUNICIPALITY AND STATE STANDARDS WHEN RESTORING PAVEMENT AND NOT SOLELY RELY ON CIVIL PLANS.
 - CONTRACTOR MUST VERIFY ALL EXISTING WATER, SEWER AND STORM WATER INFRASTRUCTURE WITHIN THE RIGHT OF WAY PRIOR TO ORDERING STRUCTURES. THE CONTRACTOR SHALL PROVIDE THE ENGINEER VERTICAL AND HORIZONTAL LOCATIONS OF INFRASTRUCTURE IN ORDER TO VERIFY ANY POTENTIAL CONFLICTS PRIOR TO ORDERING STRUCTURES.

- ### PASCO COUNTY NOTES
- ALL FINISH FLOOR ELEVATIONS SHALL BE A MIN. OF 1' ABOVE THE BASE 100 YR FLOOD ELEVATION OR AS REQUIRED BY THE LDC SECTION 701.
 - ALL SODDED SLOPES OVER 4 TO 1, SHALL BE INSTALLED WITH SOD PEGS.
 - ANY OFF SITE DISTURBANCE SHALL BE RESTORED TO THE PRE OR BETTER CONDITION. (LDC 605.3.D), BAHIA SOD AT A MIN. IS REQUIRED.
 - UPON COMPLETION OF THE LAND DEVELOPMENT CONSTRUCTION, A PROFESSIONAL ENGINEER SHALL PROVIDE A CERTIFICATION TO PASCO COUNTY THAT THE PROJECT, INCLUDING EACH PAD AREA, COMPLIES WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL/GEOLOGICAL ENGINEERING REPORT.
 - SHOULD ANY NOTICEABLE SOIL SLUMPING OR SINKHOLE FORMATION BECOME EVIDENT BEFORE OR DURING CONSTRUCTION ACTIVITIES, STOP ALL WORK (EXCEPT FOR MITIGATION ACTIVITIES) IN THE AFFECTED AREA AND REMAIN STOPPED UNTIL THE COUNTY AND SWFWMD APPROVE RESUMING CONSTRUCTION ACTIVITIES.
 - IF THE SLUMPING OR SINKHOLE FORMATION BECOMES EVIDENT BEFORE OR DURING CONSTRUCTION ACTIVITIES, STOP ALL WORK (EXCEPT FOR MITIGATION ACTIVITIES) IN THE AFFECTED AREA AND REMAIN STOPPED UNTIL THE COUNTY AND SWFWMD APPROVE RESUMING CONSTRUCTION ACTIVITIES.
 - TAKE IMMEDIATE MEASURES TO ENSURE NO SURFACE WATER DRAINS INTO THE AFFECTED AREAS.
 - VISUALLY INSPECT THE AFFECTED AREA.
 - EXCAVATE AND BACKFILL OR GROUT AS REQUIRED TO FILL THE AFFECTED AREA AND PREVENT FURTHER SUBSIDENCE.
 - USE SOIL REINFORCEMENT MATERIALS IN THE BACKFILLING OPERATION, WHEN APPROPRIATE.
 - IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA, MAINTAIN A MINIMUM DISTANCE OF TWO FEET FROM THE BOTTOM OF THE RETENTION POND TO THE SURFACE OF THE LIMEROCK OR KARST CONNECTION.
 - IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA AND THE ABOVE METHODS DO NOT STABILIZE THE COLLAPSE, RELOCATE THE RETENTION AREA.
 - DISCHARGE OF STORM-WATER INTO DEPRESSIONS WITH DIRECT OR DEMONSTRATED HYDROLOGIC CONNECTION TO THE FLORIDIAN AQUIFER SHALL BE PROHIBITED.

- ### STORMWATER NOTES
- SYSTEM IS PART OF MSW PERMIT #401840.000 AND .002
 - APPROVED "C" = 0.95 , PROPOSED "C" = 0.72

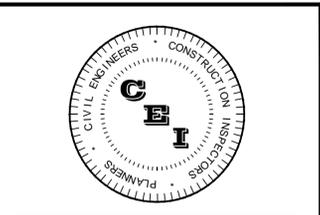
STRUCTURE DATA

(EX-1)	EXIST. STORM MANHOLE EXIST. TOP EL = 77.79 EXIST. BOTTOM EL = 73.63
(EX-2)	EXIST. OUTFALL STRUCTURE EXIST. TOP EL = 78.31 EXIST. INV EL = 73.51 (NW)
(S-1)	MITERED END SECTION INV EL = 73.72
(S-2)	FDOT TYPE "C" INLET GRATE EL = 76.92 INV EL = 73.92 (NE & SW)
(S-3)	FDOT TYPE "C" INLET GRATE EL = 77.40 INV EL = 74.37 (N) INV EL = 74.12 (W) INV EL = 74.12 (SW)
(S-4)	FDOT TYPE "C" INLET GRATE EL = 78.00 INV EL = 74.50 (W) INV EL = 75.00 (N) INV EL = 75.00 (E)
(S-5)	FDOT TYPE "C" INLET GRATE EL = 78.14 INV EL = 74.89 (S)

PIPE DATA

(EXP-1)	63 LF 24" RCP
(P-1)	52 LF 18" RCP @ 0.38%
(P-2)	57 LF 18" RCP @ 0.35%
(P-3)	109 LF 15" RCP @ 0.20%
(P-4)	75 LF 15" RCP @ 0.69%
(P-5)	35 LF 12" ADS ROOF DRAIN @ 1.00% (MIN)
(P-6)	68 LF 10" ADS ROOF DRAIN @ 1.00% (MIN)
(P-7)	56 LF 10" ADS ROOF DRAIN @ 1.00% (MIN)

ALL SITE PREPARATION, GRADING AND MATERIALS PER GEOTECHNICAL REPORT BY --, DATED --



CAMPO
ENGINEERING, INC.

FBRP CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL. 33605
PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE

**POPEYE'S
WESLEY CHAPEL
STATE ROAD 54**

PASCO COUNTY, FLORIDA
CLIENT

W CHAPEL INC C/O RMC
REALTY PROPERTY GROUP
8902 N. DALE MABRY HWY,
SUITE 200
TAMPA, FL 33614

REVISIONS

NO.	DESCRIPTION	DATE

DATE: 06/2015
REVIEWED BY: LDC
DRAWN BY: KLD
DESIGNED BY: MDC

PROJECT NUMBER
15-002

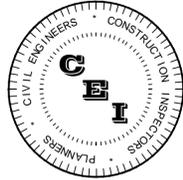
Matthew D. Campo 53988 08/27/2015
NAME SEAL NO. DATE

SHEET TITLE

**PAVING, GRADING
& DRAINAGE PLAN**

SHEET NUMBER
C-5

UNPLATTED PARCEL ID: 12-26-19-0000-00500-0070
 UNPLATTED PARCEL ID: 07-26-20-0000-00300-0070
 UNPLATTED PARCEL ID: 07-26-20-0000-00300-0030
 P.O.C. CORNER OF S.W. 1/4 OF N 7-26-20
 G:\Projects\15-002 - Popeye's Wesley Chapel - SR 54 Drawings\Design\Construction\15-002 - PGD Plan\Drawings - Printed Aug 27, 2015 - 11:29am by: Justin A



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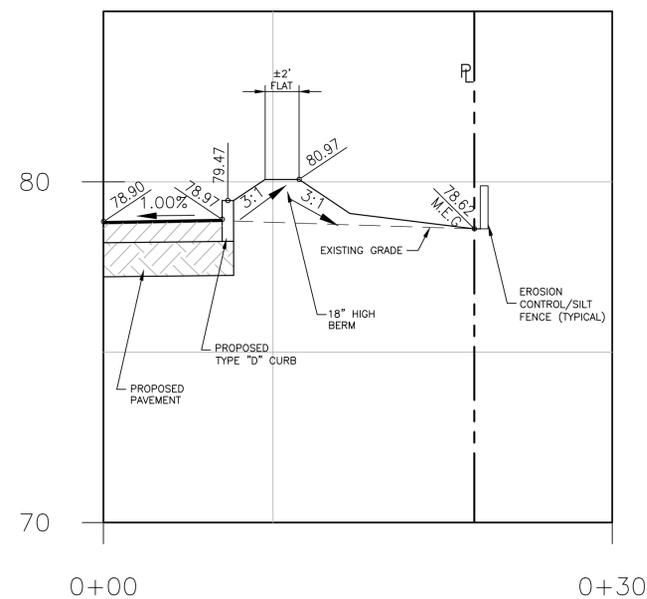
Matthew D. Campo 53988 08/27/2015
NAME SEAL NO. DATE

SHEET TITLE

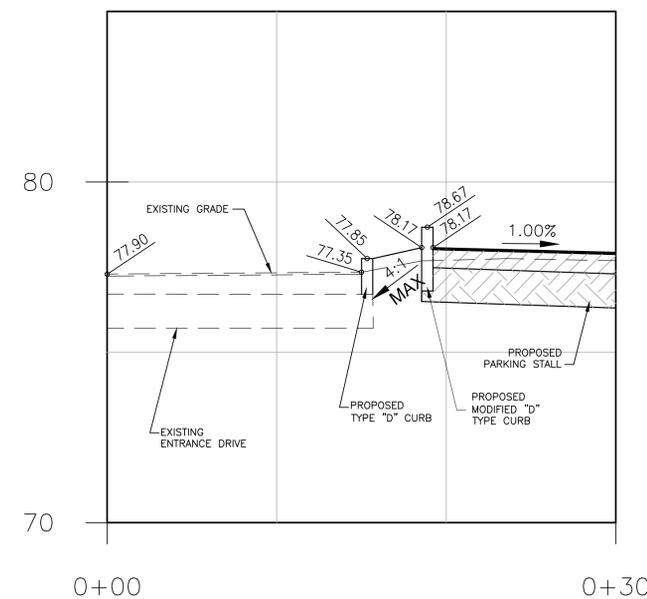
CROSS SECTIONS

SHEET NUMBER

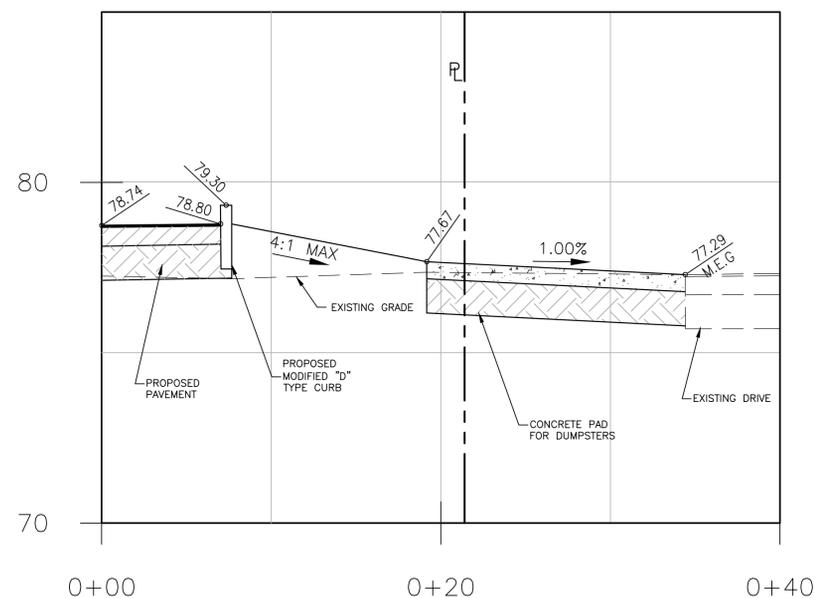
C-6



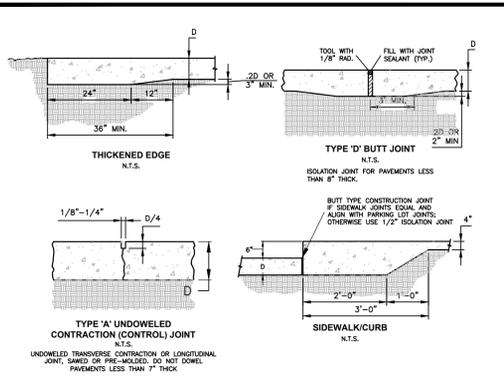
X
C-5
CROSS SECTION
SCALE: HOR 1" = 10'
VER 1" = 5'



Y
C-5
CROSS SECTION
SCALE: HOR 1" = 10'
VER 1" = 5'

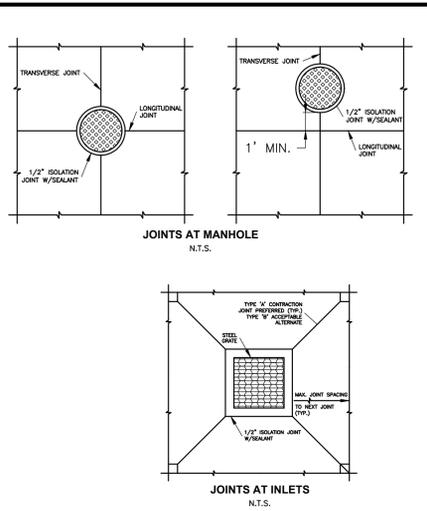


Z
C-5
CROSS SECTION
SCALE: HOR 1" = 10'
VER 1" = 5'



- GENERAL NOTES:**
- USE ACI OR FCMA CERTIFIED FLATWORK FINISHER.
 - USE ACI 330R-01 GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS.
 - USE ACI 308.1-04 STANDARD SPECIFICATION FOR PLAIN CONCRETE PARKING LOTS.
 - ALL CONCRETE USED IN PARKING LOT, UNLESS OTHERWISE INDICATED, SHALL HAVE A COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
 - PREPARE THE SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS FOR RIGID PAVEMENT. SUBGRADE SOIL DENSITY TESTING MUST BE COMPLETED AND VERIFIED BY THE GEOTECHNICAL ENGINEER PRIOR TO CONCRETE PLACEMENT.
 - IMPORTED SOIL USE FOR BACK FILL SHOULD BE FREE OF HEAVY CLAY, SILTS, STONES, PLANT ROOT OR OTHER FOREIGN MATERIAL GREATER THAN 1" IN DIAMETER IN ORDER TO ACHIEVE ADEQUATE COMPACTION AROUND ANY FIXED OBJECT IN GROUND; ALTERNATE WILL BE TO USE FLOWABLE FILL.
 - LAYOUT CONTROL JOINT BY STARTING WITH ANY DRAINAGE INLET WITHIN THE PAVEMENT SECTION AND WORK TOWARD EDGE OF PAVEMENT.
 - KEEP ALL JOINTS CONTINUOUS.
 - CONTROL JOINTS SHALL BE FORMED OR SAVED WITHIN 12 HOURS FROM TIME OF PLACEMENT:
 - SIDEWALK-SPACING SHALL BE SAME AS WIDTH OF PAVEMENT AND LESS THAN 5 FEET IN LENGTH.
 - PAVEMENT-MAXIMUM SPACING SHALL BE 2.5 TIMES THICKNESS IN UNIT OF FEET AND LESS THAN 15 FEET IN LENGTH (E.G. 1.4 INCH SPACING AT 10'10").
 - CURE CONCRETE IMMEDIATELY AFTER FINISHING OPERATION IS COMPLETED BY USING ONE OF THE FOLLOWING METHODS: WATER, PIGMENTED WATER-BASED CURING COMPOUND OR VESICULEN AND BURLAP.
- CURBS:**
- ALL CURBING SHALL BE CONSTRUCTED OF CONCRETE THAT WILL OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI (MIN) AT 28 DAYS.
 - ALL CONCRETE CURBS SHALL BE SPACED WITH A FULL-DEPTH, 1" WIDTH ISOLATION JOINT MATERIAL PRIOR TO PLACEMENT OF ADJACENT CONCRETE PAVEMENT.
 - THERE SHALL BE CONTROL JOINTS, EITHER TOOL SAW-CUT, MATCH PAVEMENT JOINTS, UNLESS OTHERWISE SPECIFIED; JOINTS SHALL BE FORMED WITHIN 12 HOURS OF PLACEMENT.
 - ALL CURB THAT DO NOT TIE INTO OTHER FACILITIES SHALL TRANSITION JOINT TO PAVEMENT GRADE IN 24 INCHES.
 - CONSTRUCTION JOINT SHALL BE TIED WITH A No.4 TIE BAR EXTENDED 6 INCHES INTO EACH CURB SECTION AND SHALL BE SPACED WITH A FULL-DEPTH 2" WIDTH ISOLATION JOINT MATERIAL.

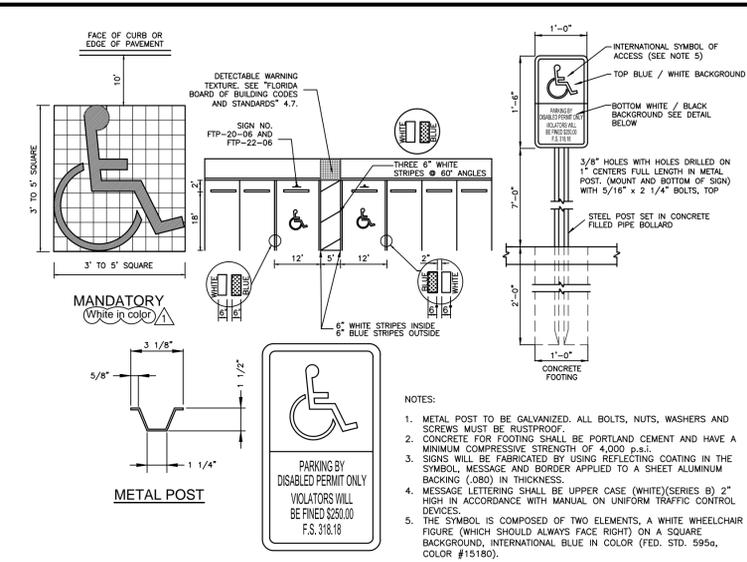
CONCRETE JOINT DETAILS
NTS



RECOMMENDED MAX. JOINT SPACINGS

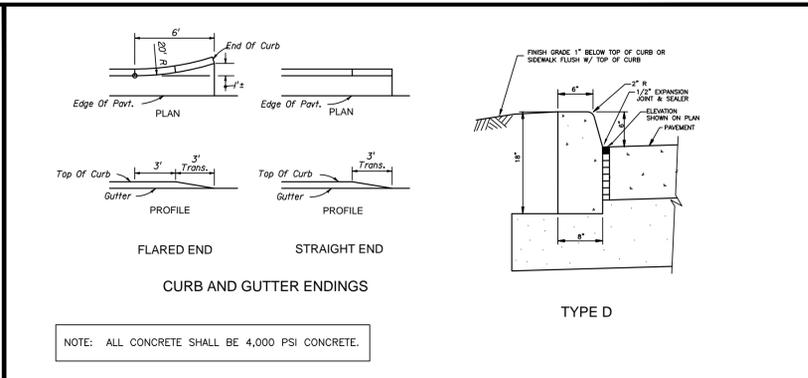
PAVEMENT THICKNESS (INCHES)	RECOMMENDED MAXIMUM JOINT SPACING (FEET)
3.5 (FOR WHITETOPPING ONLY)	6
4.0	10
4.5	10
5.0	12
5.5	12
6.0	15
OVER 6.0	15

NOTE: CONTRACTOR TO SUBMIT A CONCRETE JOINT LAYOUT TO ENGINEER PRIOR TO CONSTRUCTION

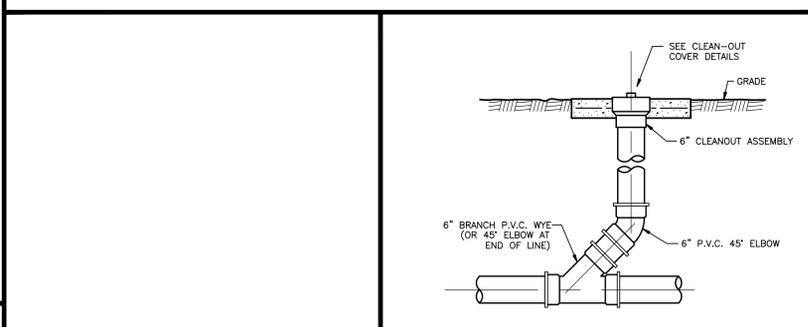


- DETECTABLE WARNING SURFACE NOTES:**
- DETECTABLE WARNING STRIPS, AKA TRUNCATED DOMES, SHOULD BE THERMOPLASTIC DETECTABLE WARNING STRIPS. THESE WARNING SURFACES SHALL ONLY BE PROVIDED BY THE FOLLOWING VENDORS/MANUFACTURERS OR AS APPROVED BY THE ENGINEER:
- IN LINE TRUNCATED DOME EZ TILE SUPPLIED BY PROFESSIONAL PAVEMENT PRODUCTS.
 - TOPMARK SUPPLIED BY FLINT TRADING.
 - VANGUARD TRUNCATED DOME SUPPLIED BY VANGUARD.

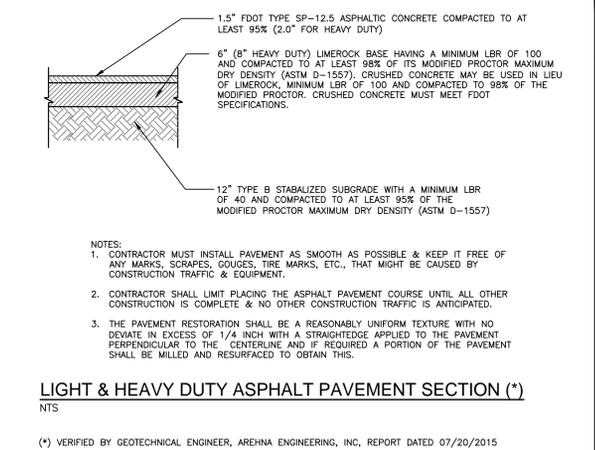
HANDICAP SIGNAGE DETAILS PER FDOT INDEX 17346 & 17355
NTS



CURB & CURB AND GUTTER DETAILS (FDOT INDEX 300)
NTS

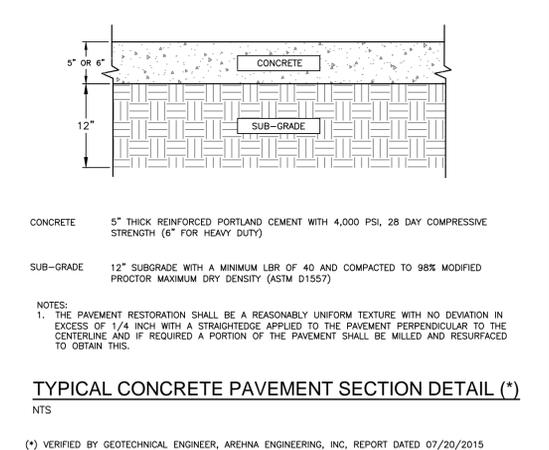


CLEAN-OUT DETAIL
NTS



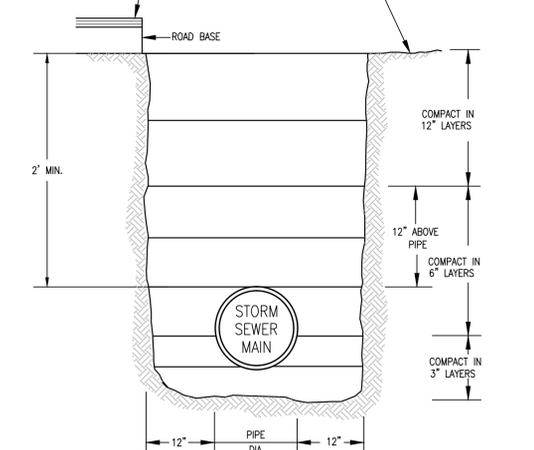
LIGHT & HEAVY DUTY ASPHALT PAVEMENT SECTION (*)
NTS

(*) VERIFIED BY GEOTECHNICAL ENGINEER, AREHNA ENGINEERING, INC, REPORT DATED 07/20/2015



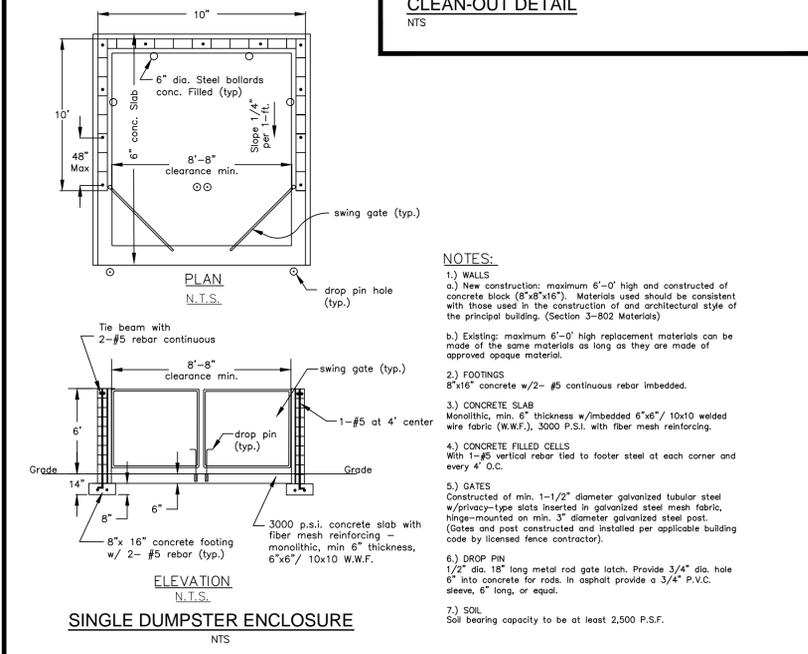
TYPICAL CONCRETE PAVEMENT SECTION DETAIL (*)
NTS

(*) VERIFIED BY GEOTECHNICAL ENGINEER, AREHNA ENGINEERING, INC, REPORT DATED 07/20/2015



TRENCH BACKFILL DETAIL
NTS

- NOTES:**
- TRENCHES LOCATED UNDER PAVEMENT SHALL BE COMPACTED TO 100% OF MAXIMUM DENSITY BY A.A.S.H.T.O. T-99, METHOD C.
 - TRENCHES NOT LOCATED UNDER PAVEMENT SHALL BE COMPACTED TO A FIRMNESS EQUAL TO THAT OF THE SOIL ADJACENT TO THE TRENCH.
 - REPLACEMENT OF PAVED SURFACES SHALL BE MADE IN ACCORDANCE TO APPLICABLE LOCAL REGULATIONS.

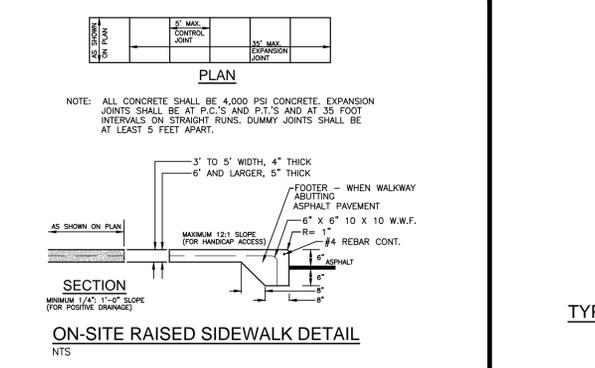


SINGLE DUMPSTER ENCLOSURE
NTS

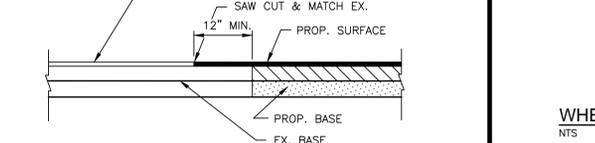
FOR PERMITTING ONLY. FINAL DESIGN BY ARCHITECT

- CONCRETE MASONRY WALL CONSTRUCTION**
- Materials, construction and quantity control of masonry shall be in accordance with Uniform Building Code (UBC), Chapter 24. General conditions and construction requirements shall be applied as specified in UBC, Section 2404 (f), during grouted masonry work.
- All reinforcing steel shall be deformed bars conforming to ASTM A-615, Grade 60. Vertical reinforcement shall be placed in the center of the masonry cell, and shall be held in position at the top and bottom.
 - If a slab dowel does not line-up with a vertical core, it shall not be sloped more than one horizontal in six verticals (1:6).
 - Horizontal wall reinforcement shall be standard truss type DUR-O-WALL (or equivalent) at 16" o.c.
 - Hollow Load-bearing Concrete Masonry Units shall be normal weight conforming to ASTM C-90, with a minimum compressive strength of 1,900 PSI.
 - Mortar shall be Type M or S, in accordance with ASTM C-270. Place all masonry in running bond with 3/8" mortar joints. Provide complete coverage face shell mortar bedding, horizontal and vertical.
 - Course grout shall conform to ASTM C-476, with a maximum aggregate size of 3/8", 8" to 10" slump, and a minimum compressive strength of 2,900 PSI at 28 days.
 - Minimum 3" x 3" clean-out holes (saw-cut) are required at the bottom course of all cells to verify grout placement. Clean-outs shall be sealed after masonry inspection-provided in accordance with ACI 531-4.6, and before grouting.
 - Prior to grouting, the grout space shall be clean, with no mortar projections greater than 1/2", mortar droppings or other foreign material. All cells shall be in vertical alignment, and shall solidly be filled with coarse grout as specified.
 - During placing, grout shall be consolidated with flexible cable vibrator. First grout pour shall be stopped a minimum of 1 - 1/2" below the top of the middle bond beam masonry.

DUMPSTER ENCLOSURE NOTES

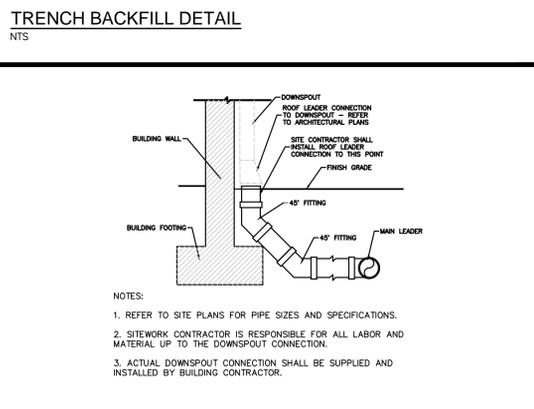


ON-SITE RAISED SIDEWALK DETAIL
NTS



WHEEL STOP DETAIL
NTS

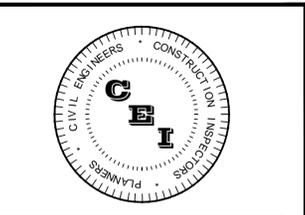
- NOTES:**
- CONCRETE TO BE 4,000 P.S.I.
 - WHEEL STOPS TO BE SECURED TO PAVEMENT WITH TWO 18" NO. #5 BARS.
 - RECYCLED PLASTIC WHEEL STOPS MAY BE USED IN LIEU OF CONCRETE.
 - DIMENSIONS OF WHEEL STOPS MAY DIFFER FROM THE ABOVE SPECIFICATIONS IF APPROVED BY ENGINEER.



ROOF LEADER CONNECTION DETAIL
NTS



TIE-IN OF PROPOSED PAVEMENT TO EXISTING
NTS



CAMPO ENGINEERING, INC.

FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL 33605
PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE

POPEYE'S WESLEY CHAPEL STATE ROAD 54

PASCO COUNTY, FLORIDA
CLIENT

W CHAPEL INC C/O RMC REALTY PROPERTY GROUP
8902 N. DALE MABRY HWY, SUITE 200
TAMPA, FL 33614

REVISIONS

NO.	DESCRIPTION	DATE

DATE: 06/2015

REVIEWED BY: LDC

DRAWN BY: KLD

DESIGNED BY: MDC

PROJECT NUMBER
15-002

Matthew D. Campo 53988 08/27/2015
NAME SEAL NO. DATE

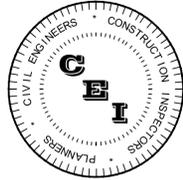
SHEET TITLE

PAVING, GRADING & DRAINAGE DETAILS

SHEET NUMBER

C-7

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CAMPO
ENGINEERING, INC.

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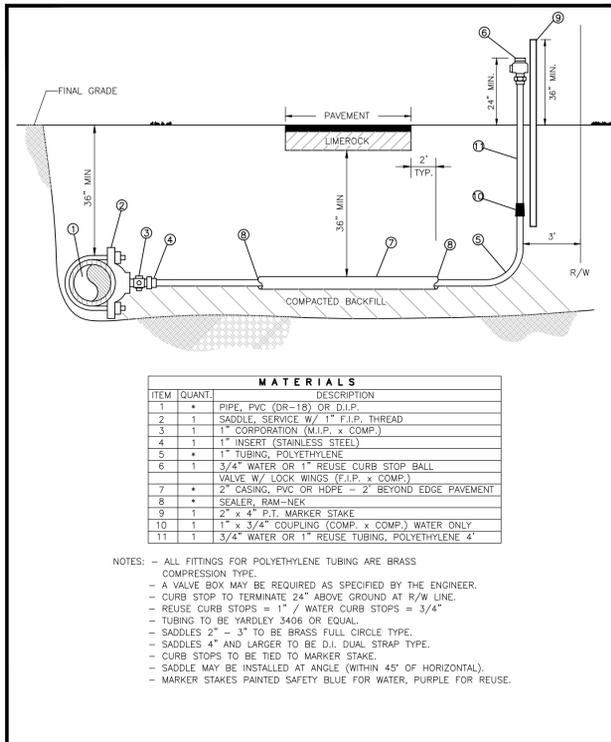
Matthew D. Campo 53988 08/27/2015
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SHEET TITLE

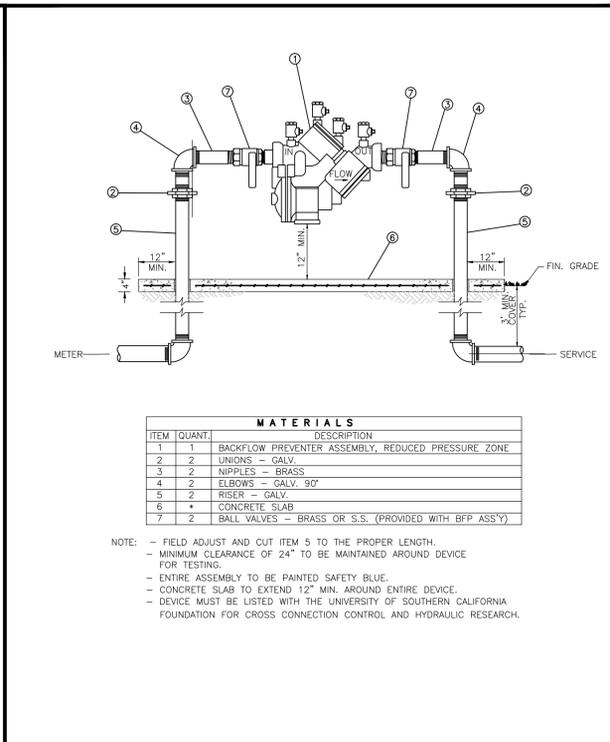
**PASCO COUNTY
UTILITY DETAILS**

SHEET NUMBER

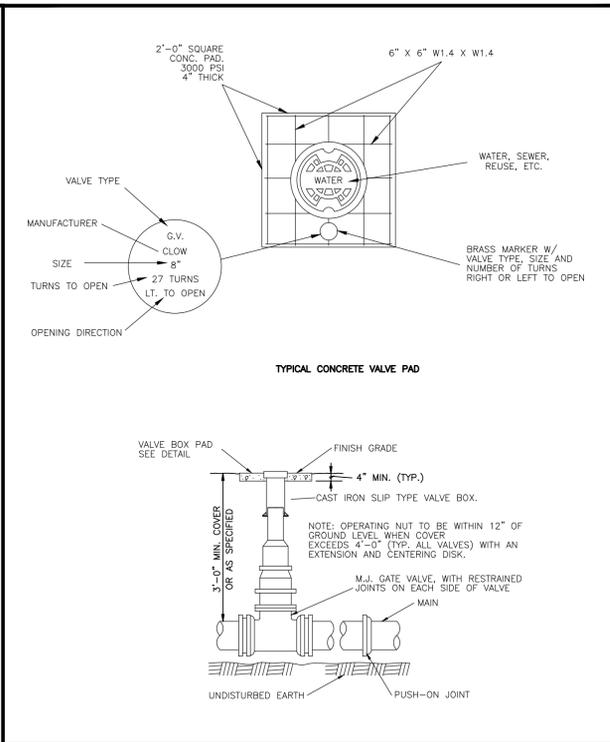
C-9



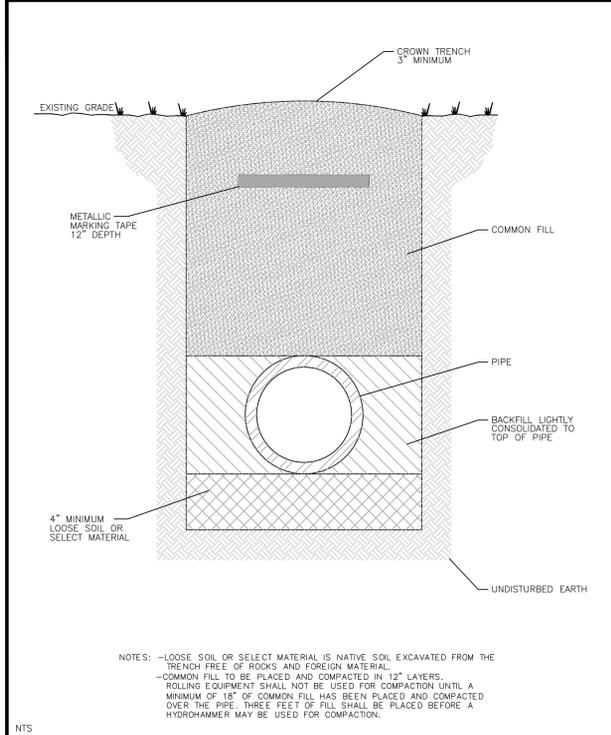
CREATED 02/24/03	SINGLE FAR SIDE WATER SERVICE - 3/4"	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVIS	SINGLE FAR SIDE REUSE SERVICE - 1"	
	POLYETHYLENE TUBING	
	PASCO COUNTY UTILITIES	DETAIL 18



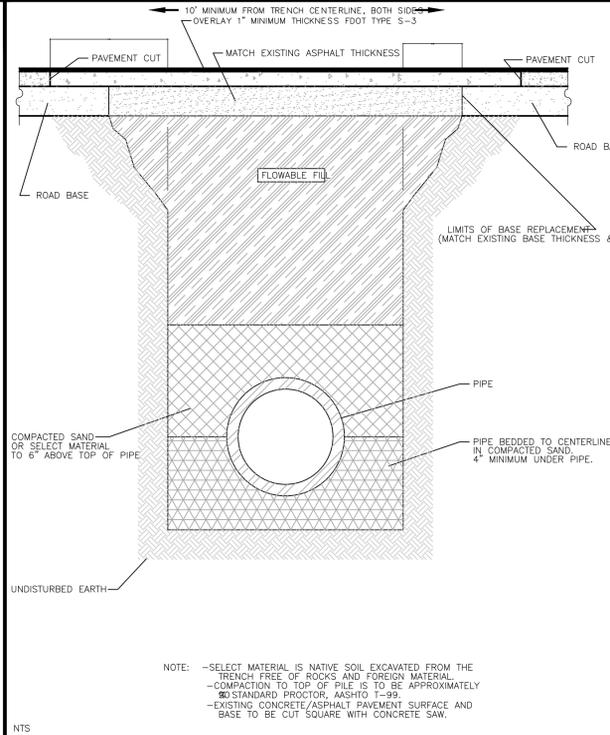
CREATED 02/24/03	REDUCED PRESSURE BACKFLOW PREVENTER	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVIS	(SINGLE SERVICE: 3/4", 1", 1-1/2", 2")	
	PASCO COUNTY UTILITIES	DETAIL 12



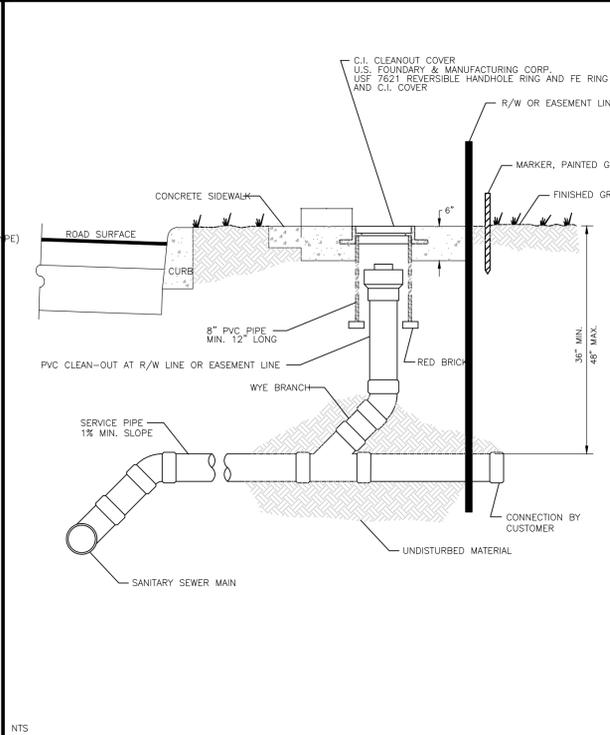
CREATED 02/24/03	VALVE BOX DETAIL	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVIS	SLIP TYPE	
	PASCO COUNTY UTILITIES	DETAIL 27



CREATED 02/24/03	PIPE LAYING CONDITIONS	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVIS	STANDARD UNPAVED AREAS	
	PASCO COUNTY UTILITIES	DETAIL 32

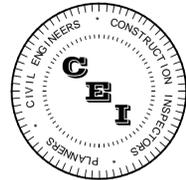


CREATED 03/06/03	PIPE LAYING CONDITIONS	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVIS	FLOWABLE FILL BACKFILL	
	EXISTING PAVED AREAS & ROADWAYS	
	PASCO COUNTY UTILITIES	DETAIL 33



CREATED 02/24/03	SANITARY SEWER - SINGLE WYE CONNECTION	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
REVIS	AND TYPICAL CLEAN-OUT	
	PASCO COUNTY UTILITIES	DETAIL 42

G:\Projects\15-002 - Popeyes Wesley Chapel - SR 54 Drawings\Design\Construction\15-002 - Utility Details.dwg - Printed Aug 27, 2015 - 1:30pm - By: JustinA



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DESIGNED BY: MDC

PROJECT NUMBER

15-002

Matthew D. Campo 53988 08/27/2015
NAME SEAL NO. DATE

SHEET TITLE

PLANTING PLAN

SHEET NUMBER

C-10

LEGEND

	BUILDING		PROPERTY LINE
	4" THK. CONCRETE		SILT FENCE
	6" THK. CONCRETE MIN.		WATER MAIN
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT		SANITARY SEWER MAIN
			ROOF DRAIN

PLANT LIST

Symbol	No.	Scientific Name	Common Name	Size Requirements	Native Florida	Drought Tolerant
UE	2	Ulmus parvifolia "Elmer II"	Alee Elm	Min. 2" caliper 6' height at installation Mature spread of greater than 20 feet	Yes	Yes
QV	2	Quercus virginiana "Slidr"	Cathedral Live Oak	Min. 2" cal. 6' height	Yes	Yes
MG	4	Magnolia grandiflora "DD blanchard"	"DD blanchard" Magnolia	Min. 2" cal., 6' height	Yes	Yes
IC	5	Ilex Cassine	Dahoon Holly	Min. 2" cal., 6' height	Yes	Yes
CC	10	Cercis canadensis	Redbud	Multi-trunk, min. 6' height	Yes	Yes
LL	3	Ligustrum lucidum	Tree Ligustrum	Multi-trunk, min. 6' height	Yes	No
SP	9	Sabal Palmetto	Cabbage Palm w/ boots	10' clear trunk	Yes	Yes

Multiple trunk trees to be a minimum of 3 trunks at 1 inch each; 6' in height at installation
Palms may be substituted for up to 30% of shade trees, 3 palms for 1 shade tree, grouped together, 10' clear trunk

Symbol	No.	Scientific Name	Common Name	Size/Spacing Requirements	Native Florida	Drought Tolerant
VOB	104	Viburnum Obovatum	Water's viburnum	Min. 18" height @ 36" o/c	Yes	Yes
VOD	148	Viburnum Odoratissimum	Sweet viburnum	Min. 18" height @ 36" o/c	No	Yes
IBN	12	Ilex Burfordii "Nana"	Dwarf Burford holly	Min. 18" height @ 36" o/c	Yes	Yes

Spaced for species but no more than 36" on center at installation
Max. 30% of required landscaped area may be grassed

Symbol	No.	Scientific Name	Common Name	Size/Spacing Requirements	Native Florida	Drought Tolerant
NDF	34	Nandina Domestica "Fire Power"	"Fire Power" Nandina	3 gal., Min. 14" height @ 24" o/c	No	Yes
IVB	72	Ilex Vomitoria "Bordeaux"	Ilex Yaupon holly	3 gal., Min. 14" height @ 24" o/c	Yes	Yes

Symbol	No.	Scientific Name	Common Name	Size/Spacing Requirements	Native Florida	Drought Tolerant
TAV	207	Trachelospermum A. "Tricolor"	Dwarf Conf. Jasmine	1 gal., Full in Pot, @ 24" o/c	Yes	Yes
TJA	288	Trachelospermum Jasminoides	Confederate Jasmine	1 gal., Full in Pot, @ 24" o/c	Yes	Yes
TAS	351	Trachelospermum Asiaticum	Dwarf Conf. Jasmine	1 gal., Full in Pot, @ 24" o/c	Yes	Yes

Spaced to present finished appearance & obtain a reasonably complete coverage in one year
Max 30% of required landscaped area may be grassed

Symbol	SF	Scientific Name	Common Name	Size/Spacing Requirements
S.A. SOD	1295	Stenotaphrum secundatum	Argentine Bahia grass	Solid Sod
Bahia	1235	Paspalum notatum "Argentine"	Argentine Bahia grass	Solid Sod
Mulch	TBD	Pine Bark Mini-nuggets		3" Depth

INTERNAL LANDSCAPE AREA REQUIREMENT

Total Vehicle Use Area	=	22,619 SF
Internal Landscape Area Required	=	2,262 SF
Internal Landscape Area Provided	=	2,142 SF (Alternate Standard Required for not meeting Required VUA)

- Notes:
- Landscaped areas on the parking area perimeter or in the internal islands must equal or exceed a minimum of ten (10) percent of the total paved surface area.
 - Each landscaped island shall provided a minimum of one (1) shade tree, shrubs, and groundcover.

INTERNAL LANDSCAPE AREA TREE REQUIREMENT

2,262 SF @ 1 Tree Per 200 SF	=	11 Trees Required
	=	11 Trees Provided

- Notes:
- Landscaped areas of the parking area perimeter or in the internal islands must equal or exceed a minimum of ten (10) percent of the total internal landscape area.
 - One (1) tree must be planted or retained per 200 SF of internal parking area.
 - No parking space may be more than 100 feet from a tree planted in a permeable island, peninsula, or median of an eight-foot minimum width.

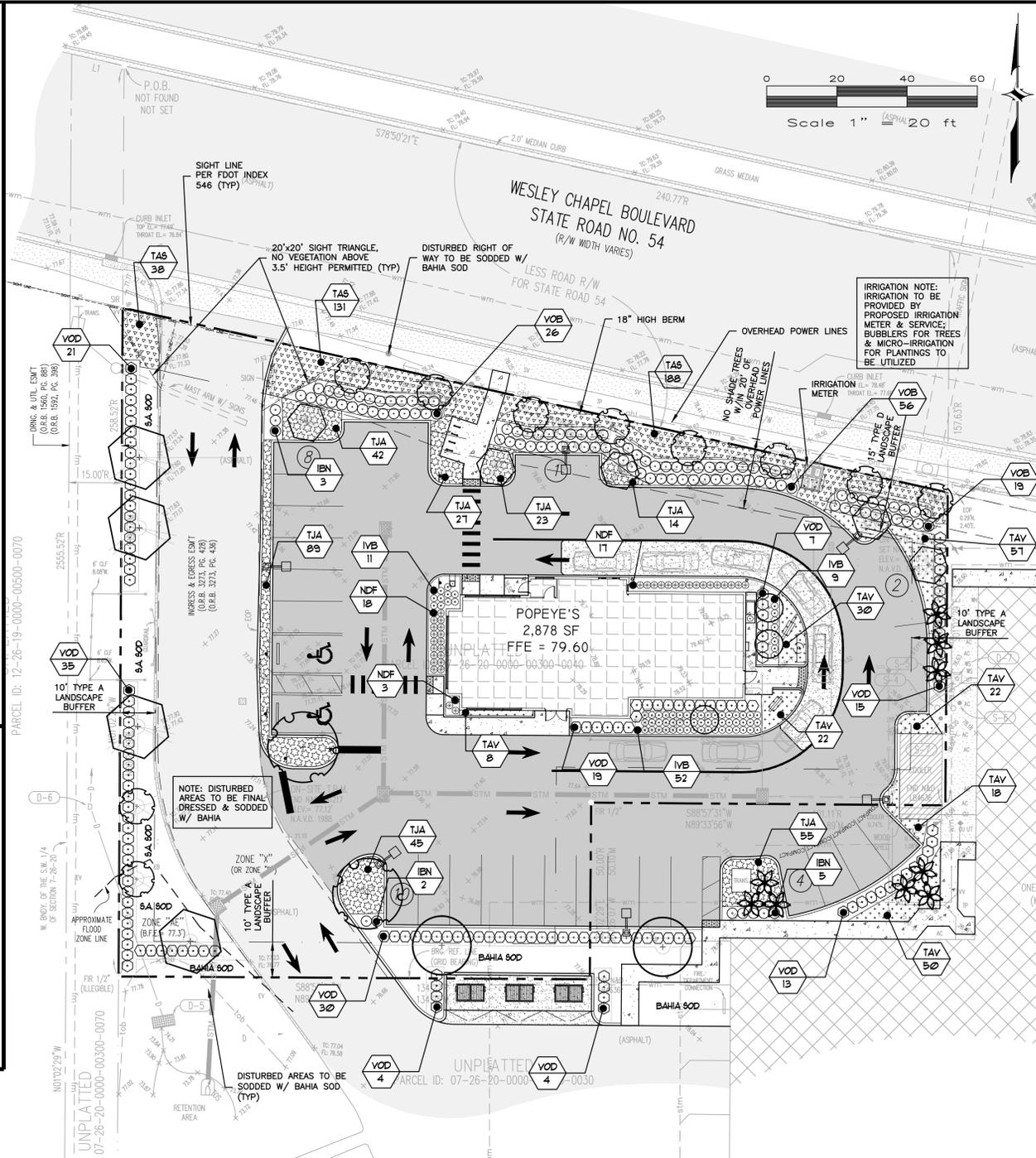
LANDSCAPE BUFFER REQUIREMENT

BUFFER ALONG WEST BOUNDARY TYPE "A" - 10' WIDE MINIMUM.	
1 TREE PER 60 LINEAR FEET WITH CONTINUOUS ROW OF EVERGREEN	
SHRUBS PLANTED AT 18" HEIGHT	
189.57 LINEAR FEET @ 1 TREE PER 60 FEET =	3 TREES REQUIRED
	3 TREES PROVIDED
BUFFER ALONG EAST BOUNDARY TYPE "A" - 10' WIDE MINIMUM.	
1 TREE PER 60 LINEAR FEET WITH CONTINUOUS ROW OF EVERGREEN	
SHRUBS PLANTED AT 18" HEIGHT	
138.79 LINEAR FEET @ 1 TREE PER 60 FEET =	2 TREES REQUIRED
	2 TREES PROVIDED

BUFFER ALONG STATE ROAD 54 TYPE "D" - 15' WIDE	
1 TREE PER 30 LINEAR FEET WITH SHRUBS AT A RATE OF 5 SHRUBS PER TREE & GROUNDCOVER	
BUFFER PLANTS TO BE ATOP 18" EARTHEN BERM WHERE ADJACENT TO VEHICULAR USE AREA	
240.77 LINEAR FEET @ 1 TREE PER 30 FEET =	8 TREES REQUIRED
	8 TREES PROVIDED
8 TREES X 5 SHRUBS PER TREE =	40 SHRUBS REQUIRED
	104 SHRUBS PROVIDED

NOTE: UNDERSTORY TREES PROVIDED DUE TO OVERHEAD POWER LINES

BUFFER ALONG SOUTH BOUNDARY TYPE "A" - 10' WIDE MINIMUM.	
1 TREE PER 60 LINEAR FEET WITH CONTINUOUS ROW OF EVERGREEN	
SHRUBS PLANTED AT 18" HEIGHT	
235.14 LINEAR FEET @ 1 TREE PER 60 FEET =	4 TREES REQUIRED
	4 TREES PROVIDED



NATIVE SHRUB & GROUNDCOVER REQUIREMENT	
Overall Site:	30% of shrubs and groundcover are required to be native
1034	of 1216 shrubs and g.c. are native
	85% Native provided
GRASSED AREA	
Overall Site:	30% Max. of required landscape area to be grass
	24% of landscape area is grass
PALM TREES	
Overall Site:	Palm trees may be substituted for trees up to 30% at 3 Palms/1 Tree
9	of 35 Trees are palms
	26% Palms
DROUGHT TOLERANT REQUIREMENT	
Overall Site:	50% Max. plant material other than trees area allowed to be non-drought tolerant
1216	of 1216 shrubs and g.c. are non-drought tolerant
	100% Non-drought tolerant provided

PERIMETER PLANTING AREA CALCULATIONS	
Total Building Area	= 2,878 SF
10% Perimeter Planting Area	= 287.8 SF
Total Building Perimeter	= 251 LF
50% of Perimeter	= 125.5 LF
BUILDING LANDSCAPING	
Per Code:	
Building perimeter landscape area to be provided	= 287.8 SF
Building perimeter with landscaping provided	= 125.5 LF
Building perimeter landscape area provided	= 1,181 SF
Building perimeter with landscaping	= 177 LF

- Notes:
- Perimeter planting areas must be a minimum of 5' wide to be used to meet this requirement.
 - Perimeter planting areas must be a minimum of 50% of the building perimeter.
 - The planting area should be "ground floor area".
 - Perimeter planting areas must equal a minimum of 10% of the area of the building(s).

NOTE:
PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING THE IRRIGATION AND PLANT MATERIAL IN A FASHION THAT IS SENSITIVE TO THE HEALTH, SAFETY AND WELFARE CONCERNS OF PEDESTRIANS ON THE PUBLIC WALKWAYS SUCH THAT:
A) DRIP TUBE IS PINNED AND COVERED AS SPECIFIED,
B) LIMBS TO BE MAINTAINED CLEAR OF PEDESTRIAN WAYS,
C) SHRUBS/GROUNDCOVERS DO NOT ENCRUCH INTO THE WALKING SURFACE,
D) ALGAE OR WATER DO NOT CAUSE THE WALK SURFACE TO BECOME SLICK.

NOTE:
FINISH GRADE OF LANDSCAPE AREAS SHALL BE 2" BELOW THE FINISH GRADE OF SIDEWALKS AND CURBS.

NOTE:
PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF LANDSCAPING.

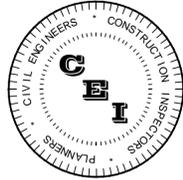
TREE SYMBOL KEY

	Quercus virginiana "SLDN" Cathedral Live Oak
	Ulmus parvifolia "Elmer II" Alee Elm
	Magnolia g. "DD Blanchard" D.D. Blanchard Magnolia
	Ilex Cassine Dahoon Holly
	Sabal palmetto Cabbage Palm
	Cercis canadensis Redbud
	Ligustrum lucidum Tree Ligustrum

PASCO COUNTY NOTES

- WHERE BERMS ARE INSTALLED, DROUGHT TOLERANT GROUND COVER OR SOD, SUCH AS BAHIA, MAY BE USED TO STABILIZE THE BERMS. TREES SHALL BE PLANTED AT THE BASE OF THE BERM. THE HEIGHT OF THE BERM SHALL BE MEASURED AND AVERAGED AT REGULAR INTERVALS ON THE EXTERIOR OF THE BERM. THE FINAL HEIGHT SHALL BE DETERMINED BY AVERAGING THE DIMENSIONS OBTAINED. THE MEASURED INTERVAL DISTANCES SHALL BE TYPICALLY (8) FEET.
- MULCH SHALL BE USED IN CONJUNCTION WITH LIVING PLANT MATERIALS SO AS TO COVER EXPOSED SOIL. MULCH SHALL BE INSTALLED TO A MINIMUM DEPTH OF THREE (3) INCHES. THE MULCH SHOULD NOT BE PLACED DIRECTLY AGAINST THE PLANT STEM OR TREE TRUNK. MULCH SHALL NOT BE REQUIRED FOR ANNUAL BEDS. STONE OR GRAVEL MAY BE USED TO COVER A MAXIMUM OF TWENTY (20) PERCENT OF THE LANDSCAPED AREA.
- A REGISTERED LANDSCAPE ARCHITECT OR OTHER PERSON AS AUTHORIZED BY CHAPTER 481, FLORIDA STATUTES, AS AMENDED, OR OTHER TYPE OF PROFESSIONAL AS APPROVED BY THE COUNTY ADMINISTRATOR OR DESIGNEE, SHALL CONDUCT A FINAL FIELD INSPECTION. A CERTIFICATE OF COMPLIANCE WITH THE REQUIREMENTS OF THIS SECTION SHALL BE PROVIDED TO THE COUNTY AND THE PROPERTY OWNER PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY (CO). IF THE PROPERTY OWNER INSTALLS THE LANDSCAPING AND IRRIGATION, THE OWNER SHALL ACT AS THE CERTIFYING AGENT.
- PRIOR TO THE ISSUANCE OF ANY CO, OR WHERE NO CO IS REQUIRED, PRIOR TO FINAL INSPECTION OR THE USE OF THE LOT, ALL REQUIRED LANDSCAPING SHALL BE INSTALLED AND IN PLACE AS SET OUT IN THE APPROVED LANDSCAPE PLANS. IN CASES WHERE TIMELY INSTALLATION OF LANDSCAPING IS NOT PRACTICABLE DUE TO THE SEASON OR SHORTAGE, AS DETERMINED BY THE COUNTY ADMINISTRATOR OR DESIGNEE, A BOND SATISFACTORY TO THE ENGINEERING SERVICES DEPARTMENT SHALL BE POSTED UNTIL THE PLANTING OCCURS.
- ANY PLANT MATERIALS OF WHATSOEVER TYPE AND KIND REQUIRED BY THESE REGULATIONS SHALL BE REPLACED WITHIN THIRTY (30) DAYS OF THEIR DEMISE AND/OR REMOVAL.
- WHEEL STOPS OR OTHER DESIGN FEATURES, SUCH AS CURBING, SHALL BE USED SO THAT PARKED VEHICLES DO NOT EXTEND MORE THAN TWO (2) FEET INTO ANY LANDSCAPE OR BUFFER AREA NOR REDUCE AN ADJUTING SIDEWALK WIDTH TO LESS THAN FIVE (5) FEET.

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CAMPO
ENGINEERING, INC.

FBRP CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL 33605
PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE

**POPEYE'S
WESLEY CHAPEL
STATE ROAD 54**

PASCO COUNTY, FLORIDA
CLIENT

**W CHAPEL INC C/O RMC
REALTY PROPERTY GROUP
8902 N. DALE MABRY HWY,
SUITE 200
TAMPA, FL 33614**

REVISIONS

NO.	DESCRIPTION	DATE

DATE: 06/2015

REVIEWED BY: LDC

DRAWN BY: KLD

DESIGNED BY: MDC

PROJECT NUMBER

15-002

Matthew D. Campo 53988 08/27/2015
NAME SEAL NO. DATE

SHEET TITLE

PLANTING DETAILS

SHEET NUMBER

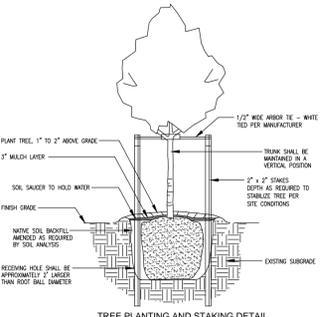
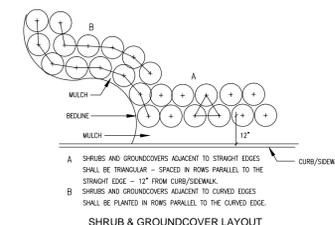
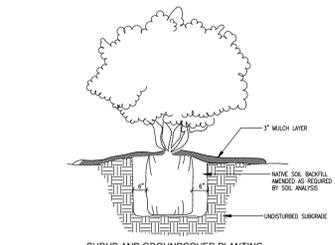
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GENERAL LANDSCAPE NOTES

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES, BEFORE PERFORMING ANY WORK. ANY CONFLICTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR RESOLUTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION AND PROTECTION OF ALL SITE CONDITIONS TO REMAIN FROM DAMAGE DUE TO THIS WORK. IN THE EVENT OF DAMAGE, ALL DAMAGE SHALL BE COMPLETELY REPAIRED TO ITS ORIGINAL CONDITION. ALL COST OF SUCH WORK SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED DAMAGE OR CUTTING OF EXISTING TREES TO REMAIN ON SITE. DAMAGE MAY BE CAUSED BY OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. DAMAGE ALSO INCLUDES THE COMPACTION OF THE ROOT ZONE BY DRIVING OR PARKING INSIDE THE DRIP-LINE OF TREES OR THE SPILLAGE OF DELETERIOUS CHEMICALS, OILS, DIESEL, ETC. WITHIN THE DRIP-LINE OF TREES.
- EXISTING TREES AND PALMS WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION AND SPECIFIED TO REMAIN ARE TO BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS WITH TREE BARRICADES PER PASCO COUNTY REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE AN INTERNATIONAL SOCIETY OF ARBORIST (ISA) CERTIFIED ARBORIST WITH A MINIMUM OF 5 YEARS EXPERIENCE WITH SIMILAR PROJECTS, TO DIRECT APPROPRIATE PRUNING (ROOTS, BRANCHES) AND/OR OTHER TREATMENT NECESSARY TO ENSURE THE HEALTH, VIABILITY AND ATTRACTIVENESS OF TREES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE CERTIFIED ARBORIST'S INSTRUCTIONS.
- THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATER, OVER THE AMOUNT OF WATER SUPPLIED BY THE IRRIGATION SYSTEM, FOR THE ESTABLISHMENT TO ALL NEWLY INSTALLED TREES AND PALMS FOR 90 DAYS, COMMENCING IMMEDIATELY AFTER INSTALLATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST WATERING AMOUNTS AND FREQUENCY TO ENSURE PROPER ESTABLISHMENT OF ALL PLANT MATERIAL.
- PLANTING AREAS SHALL BE FREE OF EXTRANEUS MATERIALS AND CAPABLE OF PERCOLATION PRIOR TO PLANTING AND PREPARED SOIL BACKFILL.
- ALL LANDSCAPE CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF THE PASCO COUNTY LANDSCAPE CODE.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. THE OWNER RESERVES THE RIGHT TO DIRECT THE REMOVAL AND REPLACEMENT OF ANY ITEMS WHICH, IN HIS OPINION, DO NOT MEET INDUSTRY STANDARDS OR PRESENT AN ORDERLY AND WORKMANLIKE APPEARANCE, PROVIDED THAT SUCH ITEMS CAN BE INSTALLED PROPERLY USING STANDARD INDUSTRY PRACTICES.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN HIS FINISHED WORK FROM THE TIME OF INSTALLATION IS COMPLETE TO THE TIME OF FINAL ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A 1-YEAR WARRANTY ON THE INSTALLED PLANT MATERIAL AND A 90-DAY WARRANTY ON SOD.
- PLANTING SOIL SHALL BE FERTILE, NATURAL TOPSOIL, TYPICAL TO THE LOCALITY, OBTAINED FROM WELL DRAINED AREAS. IT SHALL BE WITHOUT ADMIXTURE OF SUBSOIL OR CLAYS AND SHALL BE FREE OF STONES, LUMPS, STICKS, PLANTS, ROOTS, TOXIC SUBSTANCES OR OTHER EXTRANEUS MATTER THAT MAY BE HARMFUL TO PLANT GROWTH OR INTERFERE WITH FUTURE MAINTENANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING OF SOILS AND MAKE THE NECESSARY ADJUSTMENTS OR AMENDMENTS FOR LONG TERM PLANT HEALTH AND VITALITY.
- SOD SHALL BE OF KIND AND PLACED AS SHOWN ON THE PLANS. SOD SHALL BE WELL MATTED WITH GRAY ROOTS. SOD SHALL BE IN 12"x14" RECTANGLES, HAVING A MINIMUM THICKNESS OF 2", AND SHALL BE FRESH, LIVE AND UNINJURED AT TIME OF PLANTING. SOD SHALL BE CERTIFIED AS FREE OF WEEDS AND OTHER GRASSES, HAVING SUFFICIENT SOIL MAT TO ADHERE FIRMLY TO ROOTS FOR HANDLING. SOD SHALL BE PLANTED WITHIN 72 HOURS OF BEING HARVESTED AND ROLLED IMMEDIATELY AFTER INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL STAKING OF TREES AND PALMS BASED ON SITE CONDITIONS, TO PROVIDE FOR THE STABILITY OF THE TREE AND PALM MATERIALS AND TO PROTECT THE HEALTH AND SAFETY OF THE PUBLIC/PROPERTY.

GENERAL IRRIGATION NOTES

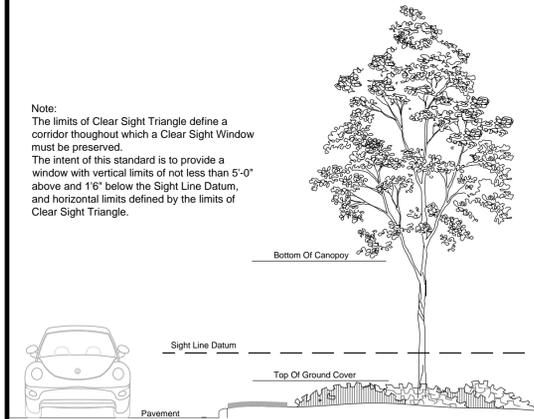
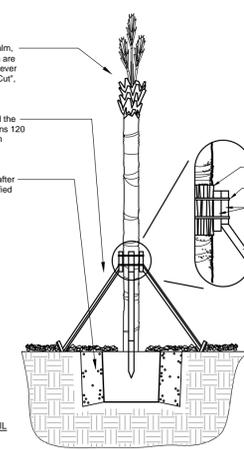
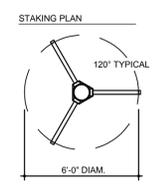
- NO PLANTING SHALL OCCUR UNTIL THE UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS INSTALLED AND FULLY FUNCTIONAL. THE IRRIGATION SYSTEM IS TO SUPPLY 100% COVERAGE TO ALL REQUIRED LANDSCAPE PLANT MATERIAL AND ST. AUGUSTINE SOD.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST WATERING AMOUNTS AND FREQUENCY TO ENSURE PROPER ESTABLISHMENT OF ALL PLANT MATERIAL.
- THE CONTRACTOR SHALL BE FAMILIAR WITH BOTH PROPOSED AND EXISTING SITE CONDITIONS SUCH AS, UTILITIES, PLANT MATERIALS AND ARCHITECTURAL ELEMENTS, ABOVE AND BELOW GROUND, IN ORDER TO AVOID CONFLICTS DURING INSTALLATION.
- THE CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES AND SHRUBS ON SITE THAT MAY OR MAY NOT BE INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL INSTALL THE IRRIGATION SYSTEM IN CONFORMANCE TO ALL APPLICABLE STATE AND REGIONAL REGULATIONS AND CODES.



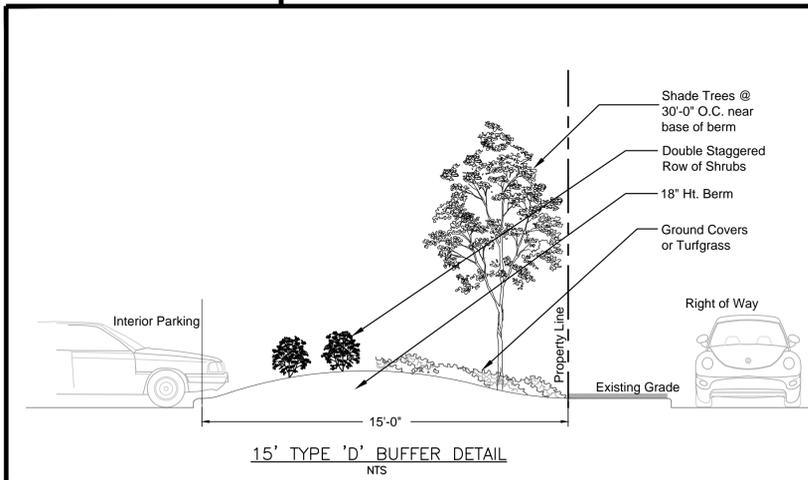
CROWN AND TRUNK
Palm fronds shall be tied up until after planting. Ties shall be removed as follows: Date Palm, one week; Washington Palm, Immediately; Queen Palm, Immediately; Sabal palms which are not "Hurricane Cut" shall remain tied for six months. Remove all dead or broken fronds. Never cut bud. All trunks shall be prepared prior to delivery. Date Palm trunks shall be "Classic Cut". Sabal palms shall be banded or staked as specified.

STAKING AND GUYING
Stake palms utilizing the "no nails" method. Wrap a triple layer of burlap 2'-0" wide around the trunk at approximately 4'-0" above the ground. Strap two short 2x4 nailers at three locations 120 degrees apart to the trunk with packing straps. Drive 2x4 stake 3'-0" into ground 3'-0" from trunk in alignment with nailers. Nail 2x4 braces to nailer and stake.

PLANTING
Plant all palms in pure sand. Raise root ball so that it will be 2" above surrounding grade after setting. Provide watering ring 8" wide and 4" high around planting pit. Cover with 3" specified mulch. Keep mulch 3" away from trunk.



CLEAR SIGHT WINDOW DETAIL
NTS



15' TYPE 'D' BUFFER DETAIL
NTS