

CONSTRUCTION SITE PLAN FOR: WENDY'S



SR 54 & TRINITY BLVD.
(OUTPARCEL TO THE SHOPPES AT TRINITY LAKES)
ADDRESS: 12496 STATE ROAD 54, ODESSA, FL 33556
SECTION 28, TOWNSHIP 26 SOUTH, RANGE 17 EAST
PASCO COUNTY, FLORIDA

Prepared For:

WENDY'S INTERNATIONAL
1145 SANCTUARY PARKWAY, SUITE 225
ALPHARETTA, GA 30009

Ph. (972) 837-5289

CONTACT: KELLY CASEY

Prepared By:



Civil & Environmental Engineers - Planners - Surveyors

31622 U.S. 19 NORTH PALM HARBOR, FLORIDA 34684

Phone: (727)789-5010. Fax: (727)787-4394. Toll Free: 1-800-262-7960

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EB #4096

- STANDARD SITE PLAN NOTES:**
- All utility construction shall comply with the Pasco County Utility Standards for Design and Construction of Water and Wastewater Facilities Specifications, latest edition.
 - All on-site water and sewer facilities shall be owned and maintained by Wendy's.
 - Installation of fuel storage tanks requires review and approval by the Fire Marshall and the issuance of a separate building permit. Approval of the site plan does not constitute approval of the location of the fuel tanks.
 - All proposed signs must be applied for, approved and permitted on an individual basis apart from any ultimately-approved site plan. Approval of this site plan does not constitute approval of any signage.
 - Handicap parking spaces will be properly signed and striped in accordance with Florida Statute 316, the Manual on Uniform Traffic Control Devices, or other applicable standards.
 - The architect/engineer certifies that the site has been designed in accordance with the Americans with Disabilities Act.
 - All on-site parking spaces will be striped and signed in accordance with the Manual on Uniform Traffic Control Devices, latest edition. Parking spaces, directional arrows and stop bars shall be striped in WHITE. It shall be the Owner/Developers' responsibility to properly sign and stripe the site in accordance with applicable standards.
 - The Owner/Developer acknowledges that this approval does not include any work in County right-of-way. All right-of-way work shall be a function of an approved Pasco County right-of-way Use Permit.
 - All clear site areas shall be kept free of any signage, plantings, trees, etc. in excess of three and a half (3 1/2) feet in height.
 - No irrigation system or landscaping shall be installed in any County or State right-of-way without issuance of appropriate Right-of-Way Use Permit.
 - The Owner/Developer acknowledges that the site and its subsequent building permits shall comply with all rezoning/MPUD/PUD conditions.
 - All structures, including buffer walls, retaining walls, signage, etc. require separate building permits.
 - If during construction activities, any evidence of historic resources including, but not limited to, aboriginal or historic pottery, prehistoric stone tools, bone or shell tools, historic trash pits, or historic building foundations are discovered, work shall come to an immediate stop, and Pasco County and the Florida Division of Historical Resources shall be notified within two working days.
 - The subject property is located within the 5 and 10-year Wellhead Protection Area and shall comply with Groundwater Protection Ordinance No. 92-27.
 - If during construction activities any evidence of the presence of State and Federally protected plant and/or animal species is discovered, work shall come to an immediate stop and Pasco County shall be notified within two working days of the plant and/or animal species found on the site.

- STANDARD FIRE PROTECTION NOTES:**
- ALL PROJECTS MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE NO. 46-51.
 - FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.
 - PER THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA-1, 16.4.3.1.3: WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
 - PER NFPA-1, 18.3.4.1: CLEARANCE OF 7-1/2 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4-FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.

PERMITS

PERMIT TYPE	NUMBER	APPROVED
PASCO COUNTY		
SWFWMD		
FDEP NPDES		

NOTE TO CONTRACTOR/OWNER

CONSTRUCTION IS NOT AUTHORIZED UNTIL PLANS HAVE BEEN ISSUED BY LONDON, MOREE & ASSOCIATES, INC. STAMPED "ISSUED FOR CONSTRUCTION". ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET FORTH IN THE PASCO COUNTY LAND DEVELOPMENT, ZONING, AND/OR RELATED ORDINANCES AND SPECIFICATIONS AS APPLICABLE.

TREE BARRICADES & EROSION CONTROL MEASURES NOTE

REQUIRED TREE BARRICADES AND EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. ENCROACHMENT INTO OR FAILURE TO MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS AND/OR PERMIT REVOCATION AS PROVIDED BY THE PASCO COUNTY LAND DEVELOPMENT CODE.

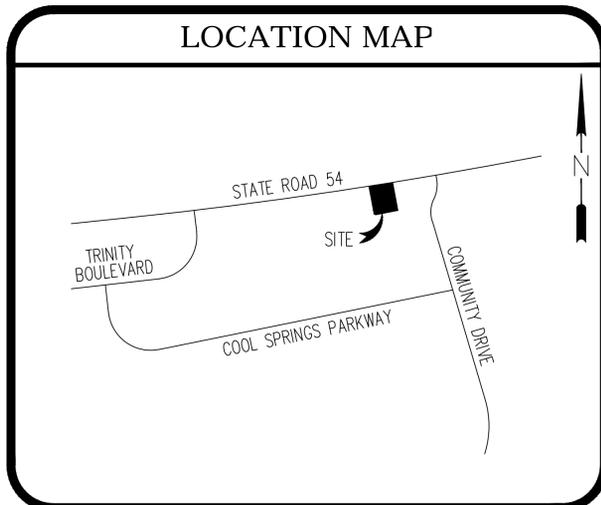
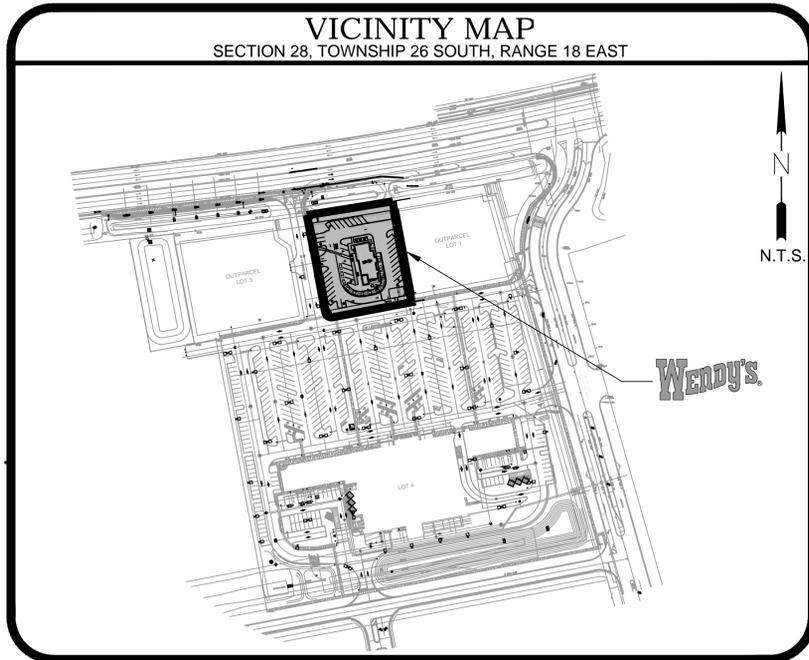
UTILITY WARNING NOTE

ABOVE-GROUND OR UNDER-GROUND UTILITIES MAY BE IN THE AREA OF THIS PROJECT - PROCEED WITH CAUTION - CALL "SUNSHINE STATE ONE CALL" (1-800-432-4770) AND THE UTILITY OWNER(S) BEFORE BEGINNING WORK. PROVIDE OWNER WITH CODE NUMBER OF PROJECT.

DATUM NOTE:

NOTE: ALL ELEVATIONS ARE IN NAVD 1988 DATUM. REFER TO SURVEY.

AUGUST 1, 2015
JOB# 300-49



LEGAL DESCRIPTION

OUTPARCEL LOT 2, SHOPPES AT TRINITY LAKES, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 71, PAGES 49 THROUGH 51, INCLUSIVE, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.
SITE CONTAINS 48,500 SQUARE FEET OR 1.11 ACRES, MORE OR LESS.

FLORIDA GREENBOOK NOTE:
THESE PLANS ARE IN SUBSTANTIAL CONFORMANCE WITH THE 2011 "Manual of Uniform Minimum Standards for Design, Construction and Maintenance for Streets and Highways" STATE OF FLORIDA, WHICH IS ALSO COMMONLY REFERRED TO AS THE "FLORIDA GREENBOOK".

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PLAN INDEX

- COVER SHEET
- SITE PLAN
- PAVING, GRADING, DRAINAGE PLAN
- UTILITY PLAN
- DETAILS
- DETAILS
- SWPP PLAN
- LANDSCAPE PLAN (BY TERRA TECTONICS)
- SURVEY (BY SHIMP)

SITE DATA

PARCEL ID #: 28-26-17-0010-00000-0020

ZONING: MPUD
LAND USE: ROR
MASTER PLAN CONSTRUCTION PLAN APPROVAL: LRG14-029, 3-16-2015
PROPERTY AREA: 48,500 SF (1.11 ACRES)
EXISTING USE: VACANT
PROPOSED USE: WENDY'S RESTAURANT

MAX. ALLOWABLE BUILDING HEIGHT: 35 FT
PROPOSED BUILDING HEIGHT: 24'-3" FT (1-STORY)

PROPOSED BUILDING AREA: 3,490 SF (INCLUDES 297 SF COOLER/FREEZER AREA)
PROPOSED OUTDOOR SEATING AREA: 259 SF

PROPOSED TOTAL IMPERVIOUS AREA: 32,034 (66%)
PROPOSED TOTAL OPEN SPACE: 16,466 SF (34%)

MAX. ALLOWABLE F.A.R. = 0.12
PROPOSED F.A.R.: [(3,490 SF + 259 SF) / 48,500] / 1.11 AC. = 0.07

REQUIRED BUILDING SETBACKS: FRONT - 25', SIDES - 0', REAR - 0'
MUST MEET REQUIRED 10' LANDSCAPE BUFFER AT SIDES & REAR

METHOD OF FIRE PROTECTION SHALL BE BY THE NEW FIRE HYDRANT
IT IS ANTICIPATED ONLY A MINOR AMOUNT OF FILL WILL BE BROUGHT ON-SITE.

PARKING REQUIREMENTS:

1 SPACE PER 150 SF OF GROSS FLOOR AREA
25 SPACES REQUIRED (3,749 / 150) (OUTDOOR SEATING INCLUDED IN CALCULATION)
37 SPACES PROVIDED, INCLUDES 2 HANDICAP
BIKE SPACES REQUIRED: 0.02 SPACES PER PARKING SPACE = 1
BIKE SPACES PROVIDED: 4

UTILITIES:

WATER & SEWER - PASCO COUNTY UTILITIES (727) 847-8145
ELECTRIC - DUKE ENERGY (727) 372-5114
TELEPHONE - VERIZON (813) 627-8361

DRAINAGE CALCULATIONS:

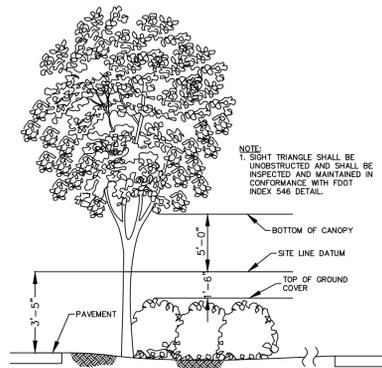
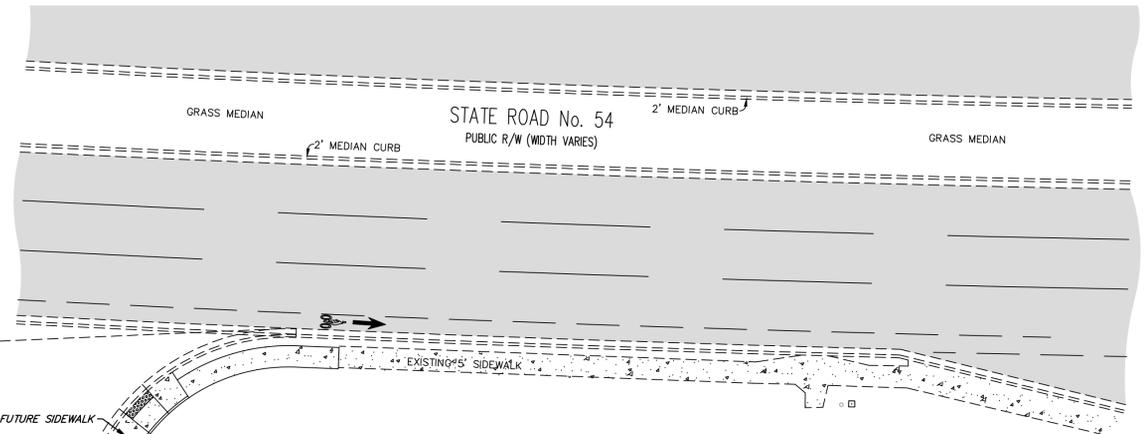
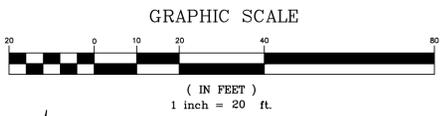
THE APPROVED SWFWMD PLANS FOR THE SHOPPES AT TRINITY LAKES (PERMIT # 43002364-181) ALLOWS A MAXIMUM IMPERVIOUS AREA OF 85% FOR THIS OUTPARCEL. THE PROPOSED IMPERVIOUS AREA IS 66%, THEREFORE THE PARCEL IS IN CONFORMANCE WITH THE MASTER PLANS DRAINAGE DESIGN.

FLOOD ZONE:

THE DESCRIBED PROPERTY IS LOCATED IN ZONE X (OR ZONE D), IN ACCORDANCE WITH THE FIRM MAP OF PASCO COUNTY, COMMUNITY NUMBER 120230 (MAP NUMBER 12101C-0380-F), MAP DATED SEPTEMBER 26, 2014.

REVISIONS

REVISION DATE	COMMENTS
8-26-15	REVISED PER SEMBLER COMMENTS



SIGHT VISIBILITY WINDOW DETAIL
N.T.S.

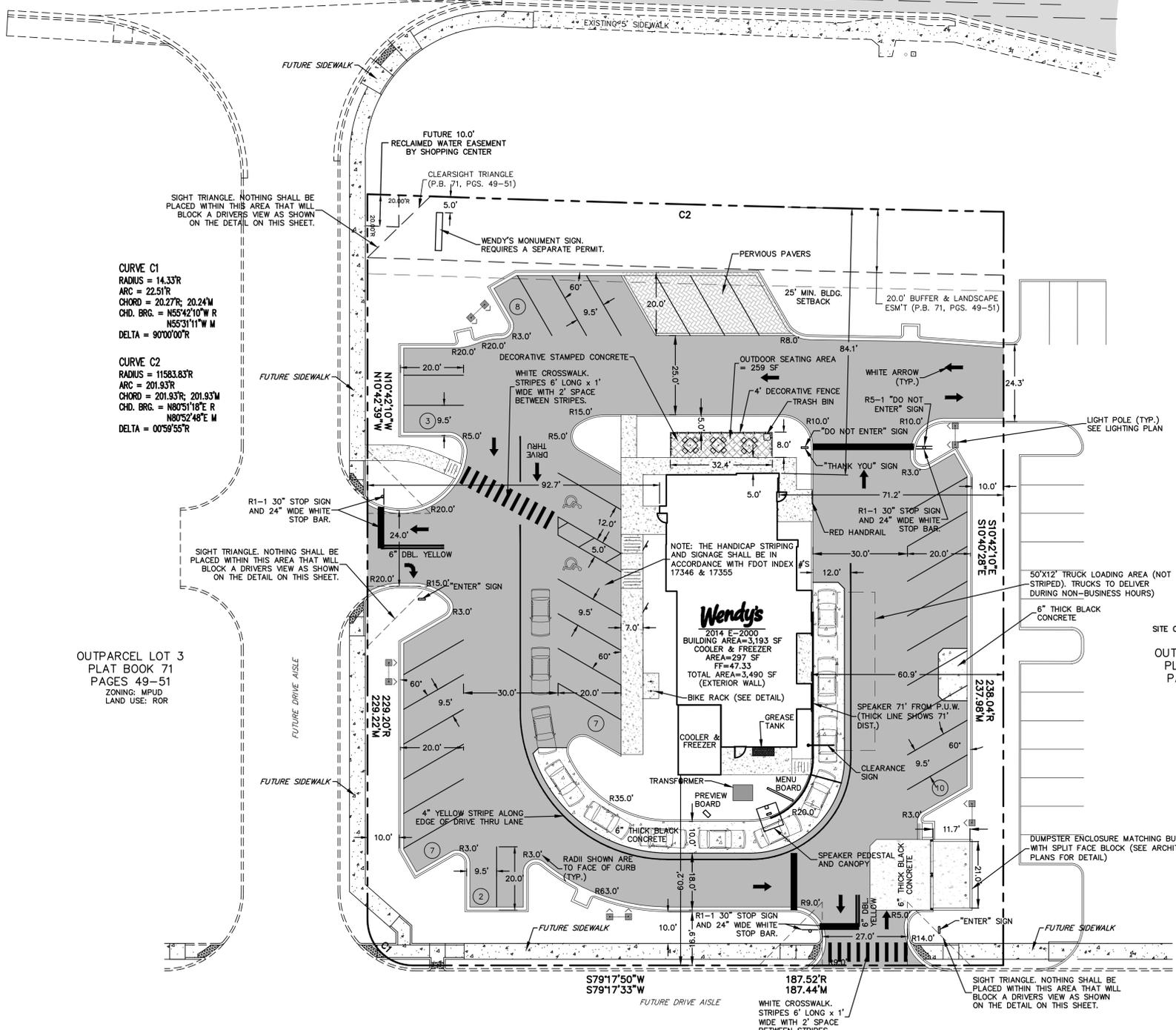
PARKING AREA NOTE:

THE FOLLOWING DESCRIBES HOW LDC 1102.4.G IS BEING MET:
1. IT IS REQUIRED THAT A MINIMUM OF 10% OF THE PARKING AREA SHALL BE PERVIOUS. 10% OF THE 37 SPACES IS 3.7 SPACES. SINCE 4 IS GREATER THAN THE 3.7, THIS REQUIREMENT IS MET.

NOTICE TO OWNER AND CONTRACTOR

NOTE: ALL INFRASTRUCTURE THAT IS LABELED "FUTURE" HAS BEEN OBTAINED FROM THE COUNTY APPROVED "THE SHOPPES AT TRINITY LAKES" CONSTRUCTION PLANS PROVIDED BY CAMPO ENGINEERING DATED 2-26-2015. THIS INFRASTRUCTURE WILL BE CONSTRUCTED DURING THE CONSTRUCTION OF THE SHOPPING CENTER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL INFRASTRUCTURE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES WITH THIS PLAN IS TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION.

NOTE: THE PROJECT WILL BE SURVEYED ONCE THE INFRASTRUCTURE SERVING WENDY'S HAS BEEN CONSTRUCTED. THE CONTRACTOR AND OWNER SHALL COORDINATE WITH THE ENGINEER WHO WILL DOUBLE CHECK THIS PLAN WITH THE FUTURE SURVEY.



CURVE C1
RADIUS = 14.33'R
ARC = 22.51'R
CHORD = 20.27'R; 20.24'M
CHD. BRG. = N55°42'10"W R
DELTA = 90°00'00"R

CURVE C2
RADIUS = 11583.83'R
ARC = 201.93'R
CHORD = 201.93'R; 201.93'M
CHD. BRG. = N80°51'18"E R
DELTA = 00°59'55"R

OUTPARCEL LOT 3
PLAT BOOK 71
PAGES 49-51
ZONING: MPUD
LAND USE: ROR

OUTPARCEL LOT 1
PLAT BOOK 71
PAGES 49-51
ZONING: MPUD
LAND USE: ROR

SHOPPING CENTER LOT 4
PLAT BOOK 71
PAGES 49-51
ZONING: MPUD
LAND USE: ROR

REVISED PER SEMBLER COMMENTS	8-26-15
DESIGN	ELM
SCALE	1"=20'
DATE	08-01-2015
JOB NO.	300-49
CHECKED	JDC
DESIGNER	ELM
TITLE	ELM
DATE	08-01-2015
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SCALE	1"=20'
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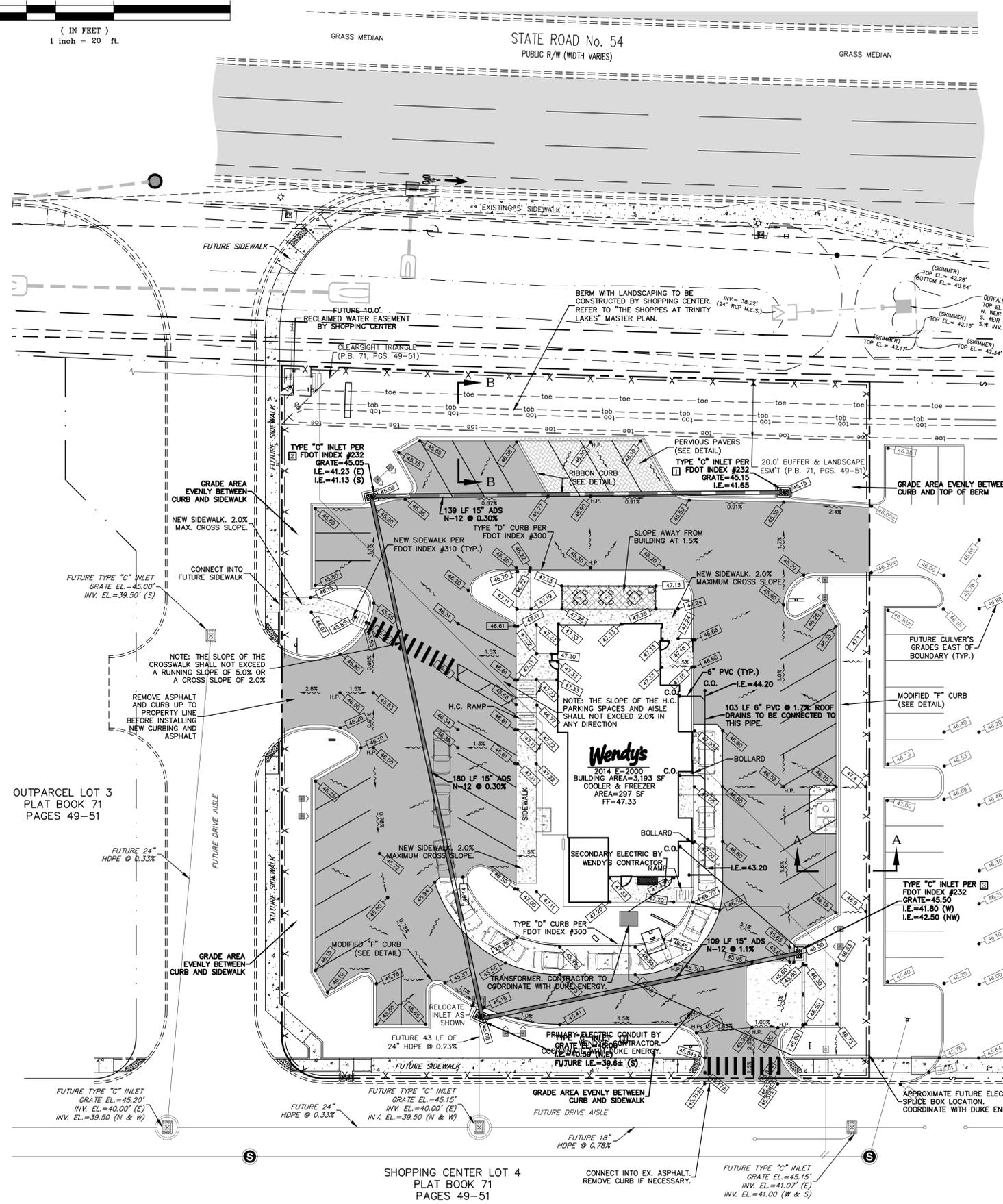
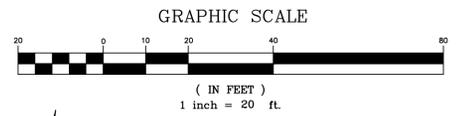
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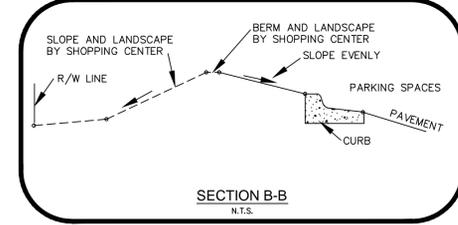
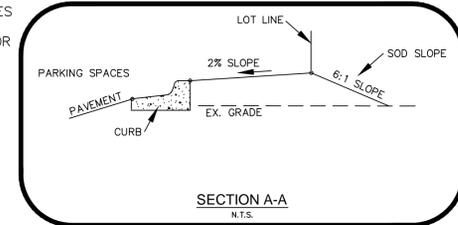
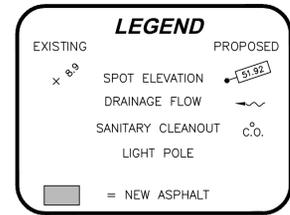
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SITE PLAN



NOTES:

1. PRIOR TO THE START OF THE CLEARING AND GRUBBING, OR ANY SOIL DISTURBANCE, CONTACT PASCO COUNTY STORMWATER MANAGEMENT AT 727-834-3611 FOR A SOIL EROSION AND SEDIMENT CONTROL PRE-INSPECTION MEETING.
2. THE OWNER AND CONTRACTOR SHALL REFER TO THE FUTURE SITE SPECIFIC GEOTECHNICAL REPORT FOR THIS PROJECT THAT WILL BE PREPARED BY UNIVERSAL ENGINEERING SCIENCES. THIS WILL BE PREPARED AFTER THE SHOPPING CENTER HAS FILLED THE WENDY'S OUTPARCEL. THE CONTACT INFORMATION FOR THE GEOTECHNICAL ENGINEER IS:
SURENDRA SAGI, M.S., P.E.
UNIVERSAL ENGINEERING SCIENCES
9802 PALM RIVER ROAD
TAMPA, FL 33619
PHONE: 813-740-8506
3. FOR ADDITIONAL REFERENCE, A GEOTECHNICAL REPORT FOR THE SHOPPES AT TRINITY LAKES WAS PREPARED BY DRIGGERS ENGINEERING SERVICES INCORPORATED, DATED JULY 22, 2014. THIS REPORT INCLUDED A BORING FOR THE WENDY'S OUTPARCEL. A COPY OF THIS REPORT IS AVAILABLE ON SWFMD'S WEBSITE. IF ASSISTANCE IS NEEDED IN OBTAINING, PLEASE CONTACT ENGINEER.

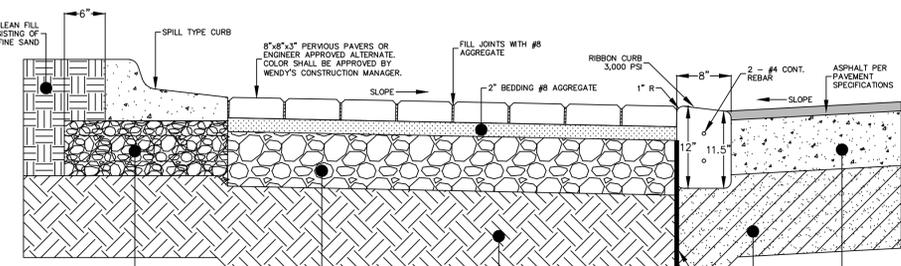


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PERVIOUS PAVER DETAIL
N.T.S.

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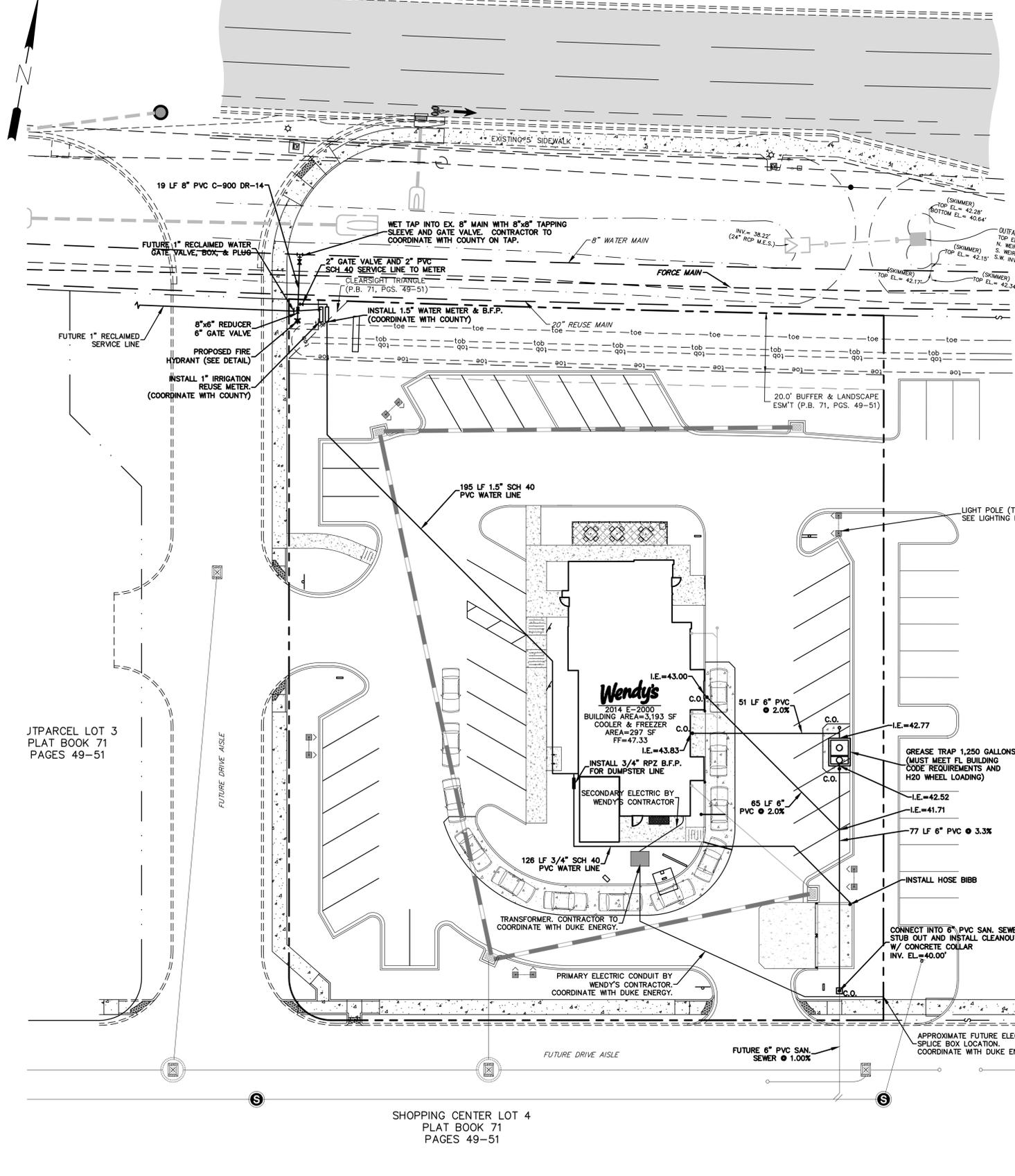
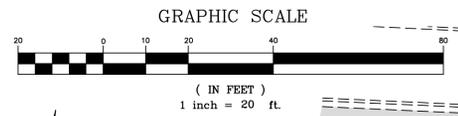
REVISIONS
 Scale: 1"=20'
 Design: ELM
 Drawn: JDC
 Checked: ELM
 Date: 08-01-2015
 Job No.: 300-49
 Title: PAVING, GRADING & DRAINAGE PLAN

NOTICE TO CONTRACTOR/OWNER
 CONSTRUCTION IS NOT AUTHORIZED UNTIL PLANS HAVE BEEN ISSUED BY LONDON, MOREE & ASSOCIATES, INC. STAMPED FOR CONSTRUCTION.

SHEET
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 OF 7

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PAVING, GRADING & DRAINAGE PLAN



PASCO COUNTY UTILITY NOTES:

- ALL UTILITY SYSTEM-DESIGN MATERIALS AND WORKMANSHIP SHALL COMPLY WITH "STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER, AND RECLAIMED WATER FACILITIES SPECIFICATIONS", LATEST EDITION.
- CONNECTIONS INTO EXISTING COUNTY OWNED SYSTEM SHALL BE VIA WET TAP. WET TAPS SHALL BE PERFORMED BY PASCO COUNTY UTILITIES SERVICES BRANCH AT THE DEVELOPER'S EXPENSE. EXCAVATION, BACKFILL, AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MATERIAL FOR WET TAPS LARGER THAN 2" SHALL BE PROVIDED AND INSTALLED BY THE PROJECT CONTRACTOR.
- THE PASCO COUNTY UTILITIES SERVICES BRANCH SHALL NOT OWN OR MAINTAIN ON-SITE WATERLINES, SEWER LINES, OR FACILITIES, UNLESS OTHERWISE APPROVED BY THE UTILITIES SERVICES BRANCH.
- PER NFPA-1, 16.4.3.1.3: WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
- FIRE PROTECTION SHALL MEET THE REQUIREMENTS OF THE PASCO COUNTY CODE OF ORDINANCES, CHAPTER 46, FIRE PREVENTION AND PROTECTION, AND PLANS SHALL COMPLY WITH REFERENCED REQUIREMENTS.
- ALL PROJECTS MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE NO. 46-51.
- FIRE HYDRANTS MUST BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.
- FIRE HYDRANTS SHALL BE FLOW-TESTED AND COLOR-CODED BASED ON FLOW RESULTS.
- PER NFPA-1, 18.3.4.1: CLEARANCES OF 7 1/2 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4 FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.
- IN CONSIDERATION OF PASCO COUNTY'S AGREEMENT TO PROVIDED POTABLE WATER AND/OR RECLAIMED WATER TO THE SUBJECT PROPERTY, DEVELOPER/OWNER, AND ITS SUCCESSORS AND ASSIGNS, AGREE TO THE FOLLOWING
 - IN THE EVENT OF PRODUCTION FAILURE OF SHORTFALL BY TAMPA BAY WATER, AS SET FORTH IN SECTION 3.19 OF THE INTERLOCAL AGREEMENT CREATING TAMPA BAY WATER, DEVELOPER/OWNER SHALL TRANSFER TO PASCO COUNTY ANY AND ALL WATER USE PERMITS OR WATER USE RIGHTS THE DEVELOPER/OWNER MAY HAVE TO USE OR CONSUME SURFACE OR GROUND WATER WITHIN PASCO COUNTY.
 - PRIOR TO DEVELOPER/OWNER SELLING WATER OR WATER USE PERMITS OR WATER USE RIGHTS, DEVELOPER/OWNER SHALL NOTIFY PASCO COUNTY, AND PASCO COUNTY SHALL HAVE A RIGHT OF FIRST REFUSAL TO PURCHASE SUCH WATER OR WATER USE PERMITS OR WATER USE RIGHTS.

NOTICE TO OWNER AND CONTRACTOR

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PASCO COUNTY UTILITIES DATA SHEET FOR SIZING WATER METERS

Fixture	at 35 psi	No. of Fixtures	Fixture Value
Bathub	8	x	=
Bedpan washer	10	x	=
Combination Sink & Tray	3	x	=
Dental Unit	1	x	=
Dental Lavatory	2	x	=
Drinking Fountain - Cooler	1	x	=
Drinking Fountain - Public	2	x	=
Kitchen Sink - 1/2" connection	3	x	= 6
- 3/4" connection	7	x	=
Lavatory - 3/8" connection	2	x	=
- 1/2" connection	4	x	= 16
Laundry Tray - 1/2" connection	3	x	=
- 3/4" connection	7	x	=
Shower head (shower only)	4	x	=
Service Sink - 1/2" connection	3	x	= 3
- 3/4" connection	7	x	=
Urinal - Pedestal Flush Valve	10	x	= 10
- Wall Flush Valve	10	x	=
- Trough (2 Ft. Unit)	2	x	= 4
Wash Sink (each set of faucets)	4	x	= 4
Water Closet - Flush Valve	10	x	= 30
- Tank Type	3	x	=
Dishwasher - 1/2" connection	5	x	=
- 3/4" connection	10	x	=
- 1" connection	25	x	=
Washing Machine - 1/2" connection	5	x	=
- 3/4" connection	10	x	=
- 1" connection	25	x	=
Hose connection - 1/2"	6	x	=
- 3/4"	10	x	= 20
Hose (50 Ft.) - 1/2"	6	x	=
- 3/4"	9	x	=
- 1"	12	x	=
Combined Fixture Value Total			= 89
Customer Peak demand from Curves			= 49 gpm
Enter Line Pressure and Pressure Factor			
Customer Peak demand from Curves X Pressure factor			= gpm

PASCO COUNTY UTILITIES DATA SHEET FOR SIZING WATER METERS

Customer: Wendy's International, Inc. Date: 08/01/15
 Address: 1165 Sanctuary Parkway, Suite 300, Alpharetta, GA 30009
 Type of Occupancy: Wendy's Restaurant
 Property Identification No. 28-26-17-0010-00000-0020

Additional Equipment Peak Usage (gpm)	
1. N/A	=
2.	=
3.	=
4.	=
5.	=
6.	=
7.	=
8.	=
9.	=
10.	=

Total of Additional Units = 0 gpm
 Irrigation Largest Zone or Combination of Zones = 0 gpm
TOTAL OF CUSTOMER USAGE, EQUIPMENT & IRRIGATION = 49 gpm

JTPARCEL LOT 3
PLAT BOOK 71
PAGES 49-51

SHOPPING CENTER LOT 4
PLAT BOOK 71
PAGES 49-51

SITE OF FUTURE CULVER'S
OUTPARCEL LOT 1
PLAT BOOK 71
PAGES 49-51

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REVISED PER SEMBLER COMMENTS
8-26-15

REVISIONS

Design:	ELM	Scale:	1"=20'
Drawn:	JDC	Date:	08-01-2015
Checked:	ELM	Job No.:	300-49
		Tel. Free:	1-800-282-7900
		Web:	WWW.LMAENR.COM

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Civil & Environmental Engineers - Planners - Surveyors
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Tel. Free: 1-800-282-7900, WWW.LMAENR.COM

UTILITY PLAN

CONSTRUCTION TECHNICAL SPECIFICATIONS

- All construction shall conform to the minimum standards set down in the Pasco County land development code, zoning, and/or related ordinances as applicable.
- Prior to construction commencement, the Contractor shall obtain from the Engineer and/or Developer copies of all pertinent permits and approvals related to this project. It is the contractor's responsibility to properly post all permits on-site and to assure all construction activities are in compliance with the conditions of all permits and approvals.
- All utility construction shall conform to the minimum standards set forth by Pasco County.

CONSTRUCTION NOTES

- All elevations are based on NAVD 88 datum. The contractor shall obtain a copy of the survey to verify this datum and also for determining Benchmark locations and elevations.
- All existing information as provided by George A. Shimp, II & Associates, Inc.
- Any discrepancies between the engineering plans, architectural plans, or Pasco County Codes shall be brought to the engineer's attention prior to construction.
- All practicable and necessary effort shall be taken during construction to control and prevent erosion and transport of sediment to surface drains and to lakes and to conform with permit conditions.
- Plans are not valid for construction unless signed and sealed by a Professional Engineer Registered in Florida.
- Required tree barricades must remain intact throughout construction. Encroachment into or failure to maintain tree barricades will result in enforcement action which may include citations and/or permit revocation.
- Silt fence to be installed around all areas of proposed construction. (FDOT Index No. 102 Type III)
- The contractor shall adhere to the Minimum Testing Frequency requirements of the agencies having jurisdiction over the project.
- The contractor shall coordinate with the Geotechnical Engineer for any testing that may be required including, but not limited to, materials testing, asphalt, base and sub-base testing, concrete testing, building pad testing, and utility trench testing. Copies of these tests shall be given to the Engineer for review. A final Signed and Sealed report containing all testing shall be given to the Engineer after all testing has been completed.
- The contractor shall coordinate with the agencies/inspectors having jurisdiction over the project to determine what inspections will be required throughout the project. The contractor shall coordinate required inspections with the Developer and Engineer.
- The contractor shall saw cut the existing edge of pavement prior to the removal of any curb or pavement and also prior to pavement tie-in.
- Special care is to be taken so trees remain unharmed during construction.
- Contractor shall furnish Landon, Moree & Associates, Inc. with one complete set of As-Built plans signed and sealed by a surveyor upon completion of construction.
- Safe pedestrian traffic is to be maintained at all times.
- No stockpiling of material in roadway or on sidewalk. All dirt and debris shall be removed from job site daily. Roads and sidewalk to be swept daily as part of daily clean up.
- All subsurface construction shall comply with the "Trench Safety Act". It shall be the Contractor's responsibility to insure that all construction is in compliance with the Occupational Safety and Health Administration (OSHA) Regulations.
- The soil and sediment control devices shall be installed prior to construction, maintained throughout construction, and until the site is permanently stabilized.
- All sodded slopes over 4:1, shall be installed with sod pegs.
- Contractors shall test slopes steeper than 4:1 for stability. If it is determined that slope will need to be stabilized beyond sod secured with pegs, the contractor shall submit a stabilization plan utilizing geoweb or equivalent submitted to engineer for approval. Material shall be installed per manufacturer's guidelines.
- All sidewalks to be a minimum 3000 psi concrete and 4" thick except at driveway crossings where they shall be 6" reinforced w/ 6"x6" No. 10 w.w.f. Place expansion joints where 4" and 6" concrete abut.
- Minimum pavement slope shall be 0.5%. Any areas of ponding shall be repaired at the Contractor's expense.
- Disturbed area within the right-of-way will be compacted to 100% of maximum density and sodded. Type of sod used to restore the right-of-way shall be coordinated with the right-of-way owner.
- Signs, pavement markings and barricades shall be accordance with the US Dept. of Transportation's "Manual on Uniform Traffic Control Devices" and the Florida Dept. of Transportation's Roadways and Traffic Design Standards" Indexes 600 through 670 (latest edition).
- All right-of-way installations shall comply with the State of Florida Utilities Accommodations Guide.
- The location & elevation of existing utilities are approximate as shown and it is the contractor's responsibility to determine the exact location and elevation of the utilities prior to construction in their vicinity. Prior to construction, Engineer shall be notified of any discrepancies in utility elevations or locations. Deviations from the approved plan without the Engineer's approval will be subject to relocation at the Contractor's expense.
- The Contractor shall be responsible for verifying the location of all utilities whether or not they are indicated on these plans and shall notify all utility owners a minimum of 48 hours in advance of construction commencement.
- All underground utilities must be installed before base & surface course are constructed.
- All pipe lengths are plus or minus and are measured to center of structures.
- Conflicts between water, storm and underdrain systems to be resolved by adjusting water lines as necessary.
- The contractor shall use extreme caution when connecting proposed storm sewer, sanitary sewer and water mains to existing mains or structures. Any damages caused shall be the contractor's responsibility.
- Property owner shall maintain water and/or sewer lines or facilities on-site.
- The contractor shall remove all abandoned utility lines, pipes, structures and other subterranean objects to a minimum depth of four (4) feet below grade, or as otherwise directed by the engineer.
- All drainage structures must be constructed per Florida Department of Transportation Road Design Standards. All drainage structures must have a minimum interior floor space area of 10 square feet (except underdrain inspection boxes).
- All backfill over any pipe (storm sewer, water line, sanitary sewer) that is to be installed under roadways or within the embankment, etc. of the roadway is to be compacted per Florida Department of Transportation Specifications.
- All waterlines 4" and larger shall be AWWA C-900, DR 18. All waterlines less than 4" shall be ASTM D2241-05, SDR 21. Water lines shall be blue in color.
- All sanitary sewer manhole rim elevations to match asphalt pavement.
- Contractor to verify the elevation of existing pavement and structures before beginning any construction activity. Notify Engineer of any discrepancies in elevation.
- All sanitary sewer mains, laterals and force mains shall have a minimum of 36 inches of cover.
- All gravity sanitary sewer pipe shall be PVC sewer pipe conforming to ASTM D3034 SDR-26. PVC sewer pipe conforming to ASTM D3034 SDR-35 may be used only where specifically called for in the plans. Sanitary sewer pipe shall be green in color.
- All sanitary sewer force mains 4" and larger shall be AWWA C-900, DR 18. All force mains less than 4" shall be ASTM D2241-05, SDR 21. Sanitary sewer force mains shall be green in color.
- Points of connection for the sanitary sewer lines are to be coordinated with the building plumbing plans. Sanitary service connection locations shown on these plans are approximate.
- If dewatering is conducted during construction, the contractor is responsible for the design, installation, operation, and subsequent removal of dewatering systems and their safety and conformity with local codes and regulations.

STORMWATER POLLUTION PREVENTION NOTES

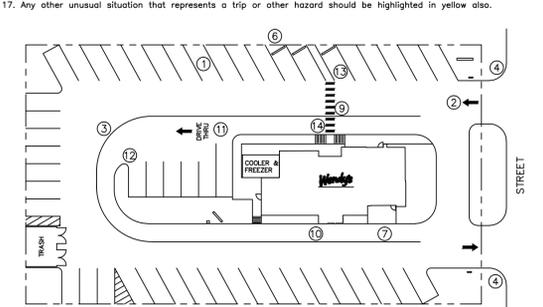
- The contractor shall at a minimum implement the stormwater pollution prevention measures as shown in this plan set. These measures may include, but not limited to, the construction of retention/detention ponds, control structures, tree barricades, and silt fences.
- In addition to the measures shown in this plan set, the contractor shall take all necessary and practical measures in order to reduce erosion and sedimentation to both on-site and off-site surface waters, lakes, and wetlands. These measures may include, but not limited to, hay bales of stormwater inlets, floating turbidity barriers, hay bale dikes, stabilization of steep grades with sodding or seeding/mulching, site entrance/exit control stabilization with gravel, temporary sediment basins and berms.
- In addition to the measures shown in this plan set, the contractor shall take all necessary and practical measures in order to reduce airborne transportation of sediments. These measures may include, but not limited to, site watering and additional silt fence installation.
- The contractor shall at a minimum inspect the above referenced measures at least once a week or within 24 hours after 0.25 inches of rainfall. An inspection report shall be completed for each inspection. Any permit violation shall be noted and corrective measures taken shall be noted. This report shall be provided to Landon, Moree & Assoc., Inc. after construction completion.
- The cost of implementing the above measures are to be included within the contractors contract with the developer.

MISCELLANEOUS NOTES

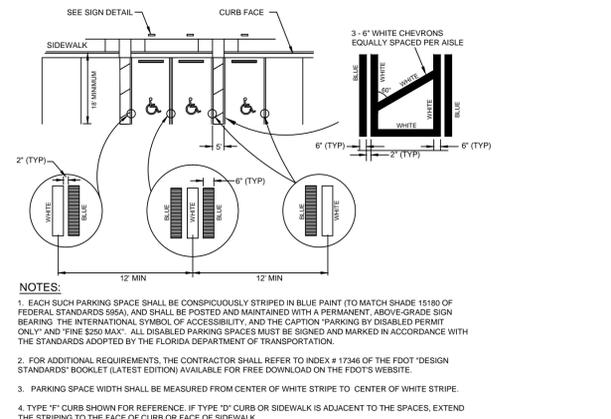
- Remove all vegetation refuse or existing structures in confines of building construction and paving area prior to commencement of work.
- Excavate as required to provide sufficient working room for the laying of foundation walls, excavation for all footings to be down to undisturbed earth with a minimum depth as shown on drawings unless otherwise governed by local codes.
- In the event that a rock is encountered in the foundation excavation, and if this rock must be removed by dynamite or compressor, the owner will reimburse the contractor for the predetermined cost of these operations.
- Backfilling of walls in interior areas where concrete slab will bear on grade shall be grits or bank run gravel, well compacted, brought to a subgrade of 8" below finish floor line.
- Backfilling of exterior foundation walls shall be clean gravel well compacted, brought to a subgrade of 8" below finish sidewalk paving.
- Backfilling over utilities running under paved areas shall be of grids. Remainder of site shall be graded to assure drainage of surface water from building.
- Remove excess soils from the site.
- Grades not otherwise indicated on the plans shall be uniform levels or slopes between points where elevations are given. Abrupt changes in slopes shall be well-rounded. The contractor is responsible for positive site drainage.
- Soils test shall be performed by Universal Engineering Sciences to ensure soil meets 3,000 psf design strength. Contractor shall notify Wendy's immediately if excavation on any part of the site reveals fill or ground water.
- Site fill should be non organic soils compacted in 6" lifts to a minimum 98% standard proctor density.
- All paving shall be installed in areas as indicated on site plan. Pavement design shall meet soil conditions, Wendy's construction engineer requirements, and details on site plan.
- Refer to Wendy's construction building plans for additional construction information.
- All utility and electric lines will be located to adequately serve the light poles as necessary.
- Refer to additional plans for signage, lighting, and landscaping by others.
- All sidewalks to be a minimum 3500 psi concrete and 4" thick, refer to Wendy's specifications.
- No stockpiling of material in roadway or on sidewalk; all dirt and debris will be removed from job site daily. Roads and sidewalk to be swept daily as part of daily clean-up.
- Contractor to provide weep holes in face of curbing where necessary to prevent trapped water in landscape areas.
- Contractor to provide 2" conduit to building from phone company point of service.
- The finished grade in landscape areas shall be 2" below the top of curb. The landscaper to backfill for sod/planting.

SAFETY AND HAZARD IDENTIFICATION FOR PARKING LOT AND SIDEWALK

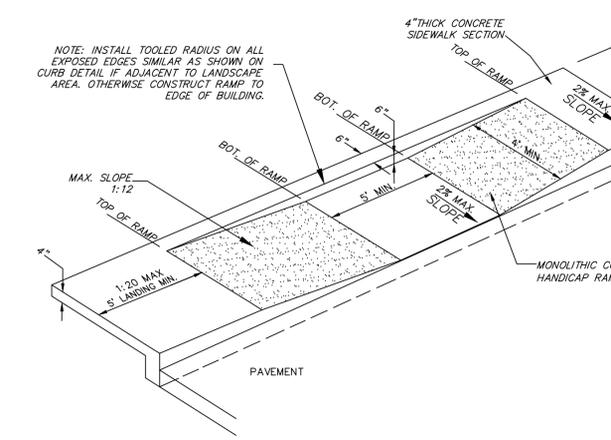
- Florida State Statute 316.0745 requires that all traffic control signing and markings on private property open to the general public be in conformance with the Manual on Uniform Traffic Control Devices and Florida Department of Transportation Standards. Therefore the contractor shall be required to conform with these standards. All hazards should be identified in "Safety" yellow paint. CAUTION: To avoid possible slip hazards, do not paint the recommended 2" lines wider than 2". The following areas should be properly identified:
- Vehicle parking area identified with the appropriate marking as required by local municipal codes. Color-white.
 - Direction traffic flow arrows painted on the lot should identify the route of travel into and out of the parking lot from all public or private access roads. Color-white.
 - Outline the outside of the pick-up window traffic lane with a four inch solid stripe. Color-yellow.
 - All curbs that extend from the parking lot entrance to any public or private roadway should be painted. Color-yellow. Purpose - to direct both driver and pedestrian attention to the existence of the curb so as to avoid vehicular damage or pedestrian trip & falls (step over hazard). Recommend top and side of curb be painted where line contact might be anticipated, and a 2" strip on top and 2" strip on side edge of any 'step over' point where foot traffic would be anticipated.
 - Speed bumps should be identified with striping. It is not necessary to paint the entire area. Color-yellow.
 - Parking stops or blocks located next to the building or in the middle of the parking lot should be painted on top. Color-yellow.
 - Sidewalk curbing directly in the travel path of the building entrances or exits should be identified with a two inch stripe on the top edge of the curb for a length of three feet. Purpose - to direct pedestrian attention to the existence of the curb so as to avoid pedestrian trips & falls (step over hazard).
 - If site conditions warrant, crosswalks across the drive-thru lane for entrances/exits which are perpendicular to the drive-thru traffic pattern should be identified with striping. Color-white.
 - All posts, poles and their supports or guide wires that may be exposed to vehicle traffic should be painted at least 36 inches in height from the base. Color-yellow. Purpose - To direct attention to existence of objects that may be struck by the vehicle when pulling in, backing in, or a vehicle door swinging open.
 - Stencils "Drive Thru" lane behind directional arrow. Color-white.
 - Any curb that represents a possible hazard to vehicles should be identified by painting a two (2) inch line on the top and side of the curb. Color-yellow. Door exiting directly to Drive Thru lane should have a 42" guard rail Red.
 - Handicap parking spaces should be signed and marked in accordance with the Florida Department of Transportation standards.
 - Handicap sidewalk ramps should have the outside curbing that is changing in elevation identified with a two (2) inch line painted on the top and side edge of curb for the first three (3) feet of inch line starting from the lower surface level. Color-yellow.
 - Posts to protect gas or other utility service (and building) should be painted yellow - matching other hazard yellow.
 - Post to protect dumpster area should be painted yellow, matching other hazard yellow.
 - Any other unusual situation that represents a trip or other hazard should be highlighted in yellow also.



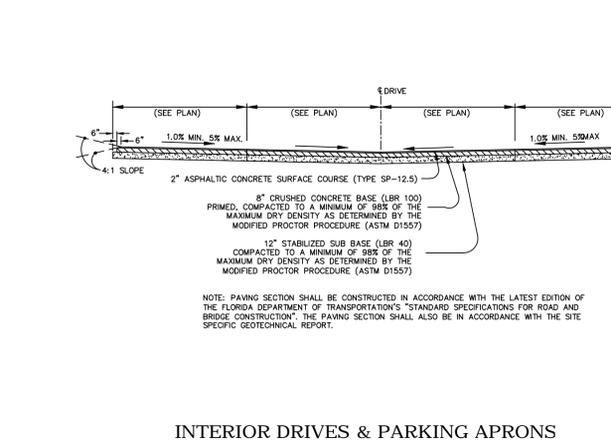
CONCRETE CURB AND GUTTER DETAILS
N.T.S.



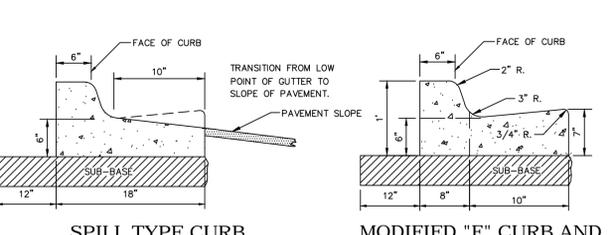
HANDICAPPED PARKING SIGN
N.T.S.



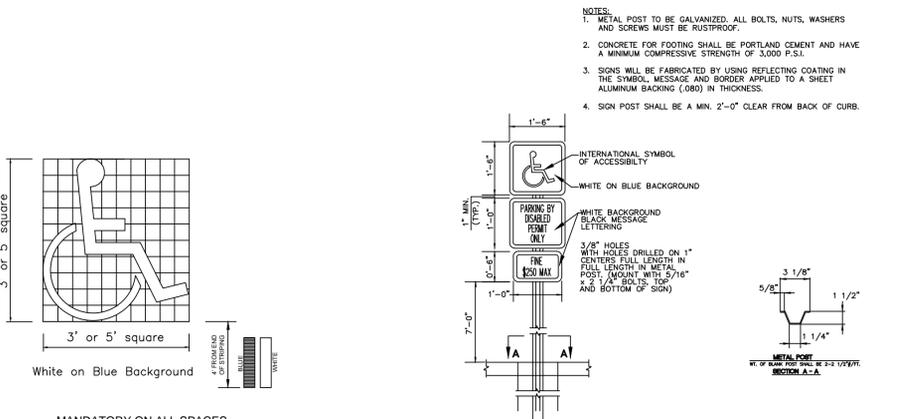
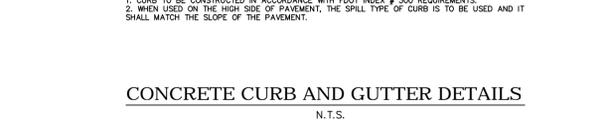
INTERIOR DRIVES & PARKING APRONS
N.T.S.



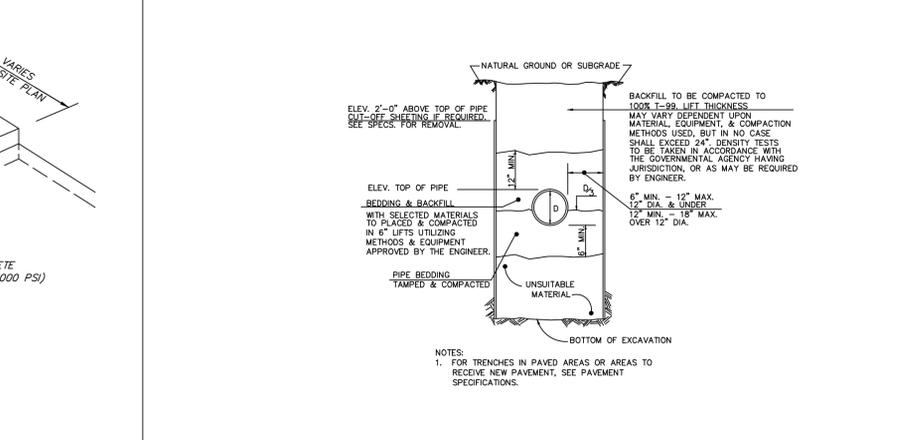
FDOT TYPE D
N.T.S.



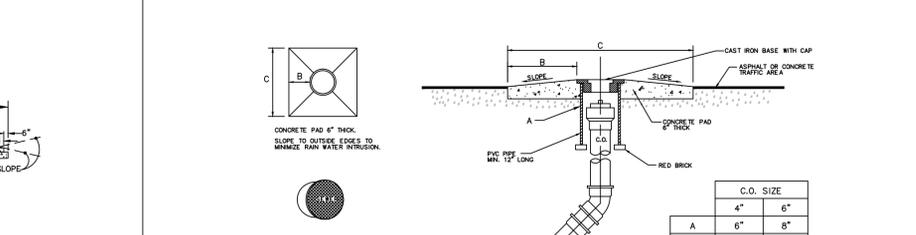
CONCRETE CURB AND GUTTER DETAILS
N.T.S.



CLEANOUT DETAIL
N.T.S.



DIRECTIONAL ARROW DETAIL
N.T.S.



DETAILS

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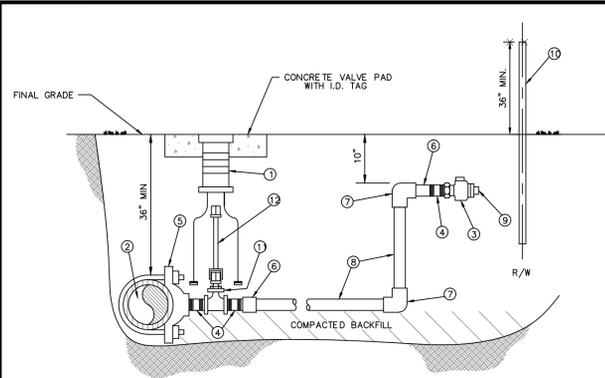
NOTICE TO CONTRACTOR/OWNER
CONSTRUCTION IS NOT AUTHORIZED UNTIL PLANS HAVE BEEN ISSUED BY LANDON, MOREE & ASSOCIATES, INC. STAMPED/ISSUED FOR CONSTRUCTION

Scale: N/A
Design: ELM
Drawn: JDC
Checked: ELM
Date: 08-01-2015
Job No.: 300-49
Web: WWW.LMAENGR.COM

WENDY'S
12496 STATE ROAD 54, ODESSA, FL 33556
WENDY'S INTERNATIONAL, INC.
1165 SANCTUARY PARKWAY, SUITE 300
ALPHARETTA, GA 30009

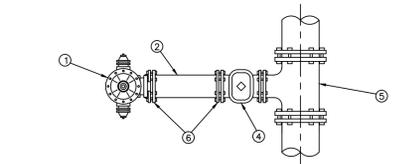
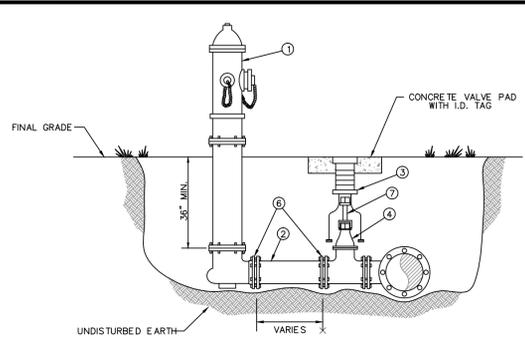
LLMA
Landon, Moree & Associates, Inc.
Civil & Environmental Engineers - Planners - Surveyors
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Toll Free: 1-800-209-7800, WWW.LMAENGR.COM

DETAILS
5
OF 7



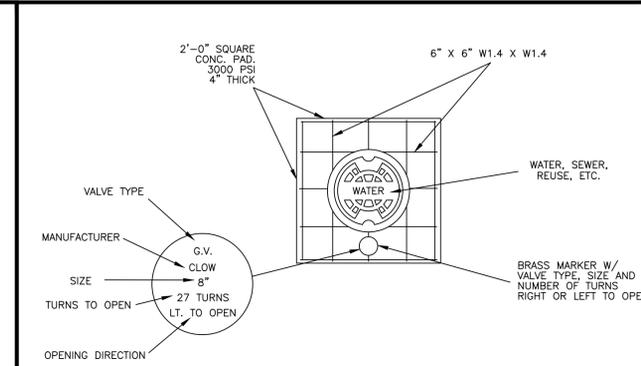
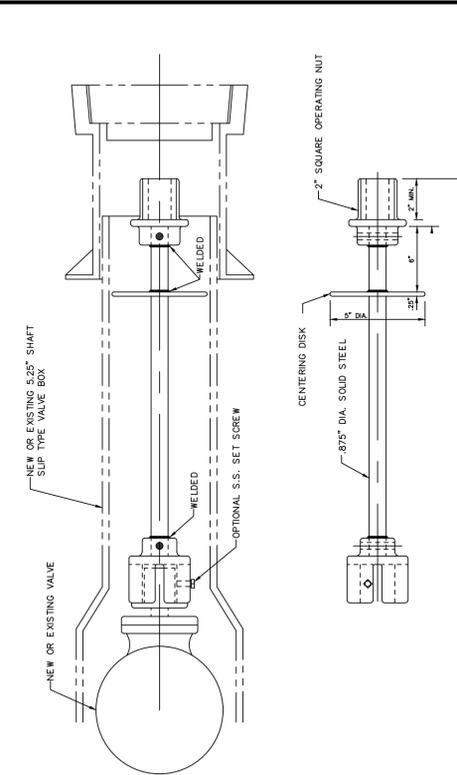
ITEM	QUANT.	DESCRIPTION
1	1	BOX, VALVE CAST IRON SLIP TYPE
2	*	4" & LARGER PIPE, PVC (DR-18) OR D.I.P. (CLASS 50)
3	2	1 1/2" 2" CURB STOP BALL VALVE W/ LOCK WINGS (FIP x FIP OR FIP x CTS)
4	3	1 1/2" 2" NIPPLE, BRASS OR STAINLESS STEEL
5	1	1 1/2" 2" SADDLE, SERVICE (I.P. THREADS)
6	2	1 1/2" 2" ADAPTER (PVC SCH 40 / SLIP x FPT OR BRASS MIP x CTS)
7	2	1 1/2" 2" 90° ELBOW (SLIP x SLIP) SCH 40 (NOT REQUIRED FOR HDPE)
8	*	1 1/2" 2" PIPE, PVC (SCH 40) OR HDPE (3408) - LENGTH VARIES
9	1	1 1/2" 2" PLUG, THREADED (W/ TEFLOON TAPE)
10	1	2" x 4" P.T. MARKER STAKE
11	1	2" GATE VALVE, IRON BODY W/ SQUARE NUT
12	1	VALVE EXTENSION ROD, AS REQUIRED (3' MAX. BELOW GRADE)

NOTE: - A VALVE BOX SHALL BE REQUIRED ON ALL GATE VALVES.
 - SERVICE SADDLES SHALL BE INSTALLED ON ALL TAPS TO P.V.C. (DR-18) WATER MAINS.
 - 2" GATE VALVE TO BE RESILIENT WEDGE IRON BODY TYPE WITH 2" OPERATING UNIT.
 - SADDLES 4" AND LARGER TO BE DUCTILE IRON DUAL STRAP TYPE.
 - 1 1/2" BRASS REDUCER BUSHING REQUIRED WITH ITEM NO. 11 FOR 1 1/2" SERVICE.
 - MARKER STAKES PAINTED SAFETY BLUE FOR WATER, PURPLE FOR REUSE.
 - 4" DIAMETER CASING REQUIRED FOR ROAD CROSSINGS

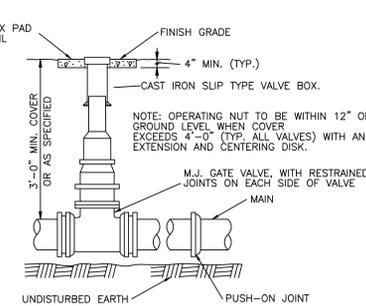


ITEM	QUANT.	DESCRIPTION
1	1	HYDRANT FIRE (5 1/4" VALVE MIN.), PAINTED YELLOW
2	*	6" PIPE, P.V.C. (DR-18)
3	1	BOX, VALVE SLIP TYPE
4	1	6" VALVE, GATE, M.J. RESILIENT WEDGE
5	1	TEE, ANCHORING, M.J.
6	*	6" RESTRAINER GLAND (MEGALUG)
7	*	VALVE EXTENSION ROD, AS NECESSARY (3' MAX. BELOW GRADE)

NOTE: ALL VALVE BOXES SHALL INCLUDE CONCRETE PAD W/ 1.5" TAG



TYPICAL CONCRETE VALVE PAD



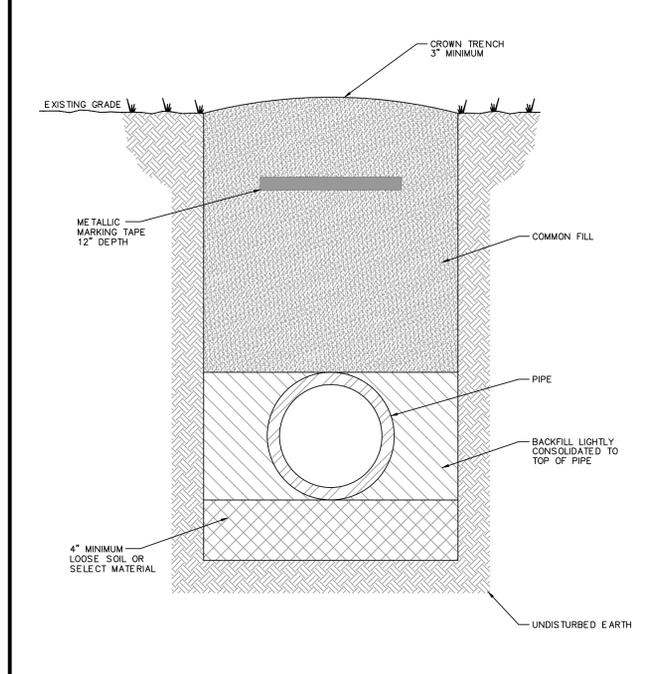
VALVE BOX DETAIL SLIP TYPE

CREATED 02/24/03
 REVISÉ _____
 WATER AND REUSE LATERAL SERVICE
 1 1/2" OR 2"
 SERVICE LATERAL PVC (SCHEDULE 40)
 PASCO COUNTY UTILITIES
 PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
 DETAIL 21

CREATED 02/24/03
 REVISÉ _____
 FIRE HYDRANT
 PERPENDICULAR TO THE MAIN
 PASCO COUNTY UTILITIES
 PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
 DETAIL 27

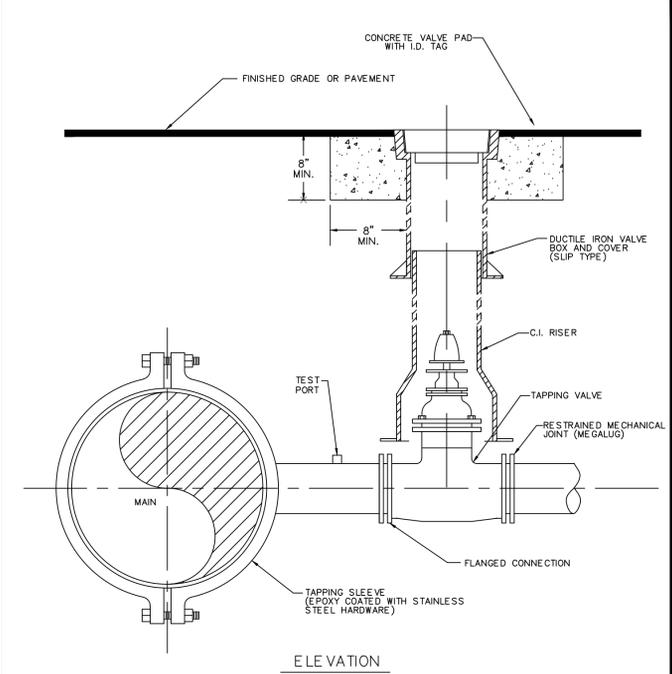
CREATED 02/24/03
 REVISÉ _____
 VALVE EXTENSION RODS
 PASCO COUNTY UTILITIES
 PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
 DETAIL 29

CREATED 02/24/03
 REVISÉ _____
 VALVE BOX DETAIL
 SLIP TYPE
 PASCO COUNTY UTILITIES
 PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
 DETAIL 30



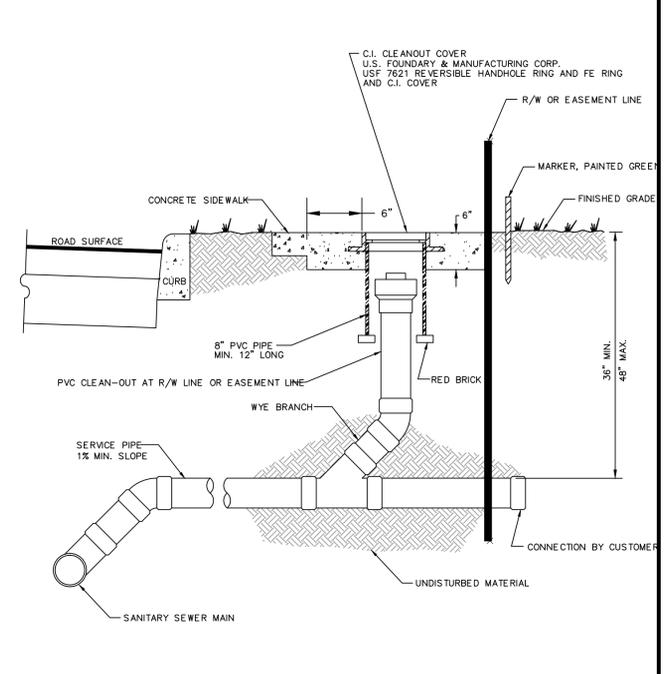
NOTES: -LOOSE SOIL OR SELECT MATERIAL IS NATIVE SOIL EXCAVATED FROM THE TRENCH FREE OF ROCKS AND FOREIGN MATERIAL.
 -COMMON FILL TO BE PLACED AND COMPACTED IN 12" LAYERS.
 -ROLLING EQUIPMENT SHALL NOT BE USED FOR COMPACTION UNTIL A MINIMUM OF 18" OF COMMON FILL HAS BEEN PLACED AND COMPACTED OVER THE PIPE. THREE FEET OF FILL SHALL BE PLACED BEFORE A HYDROHAMMER MAY BE USED FOR COMPACTION.

CREATED 02/24/03
 REVISÉ _____
 PIPE LAYING CONDITIONS
 STANDARD UNPAVED AREAS
 PASCO COUNTY UTILITIES
 PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
 DETAIL 35



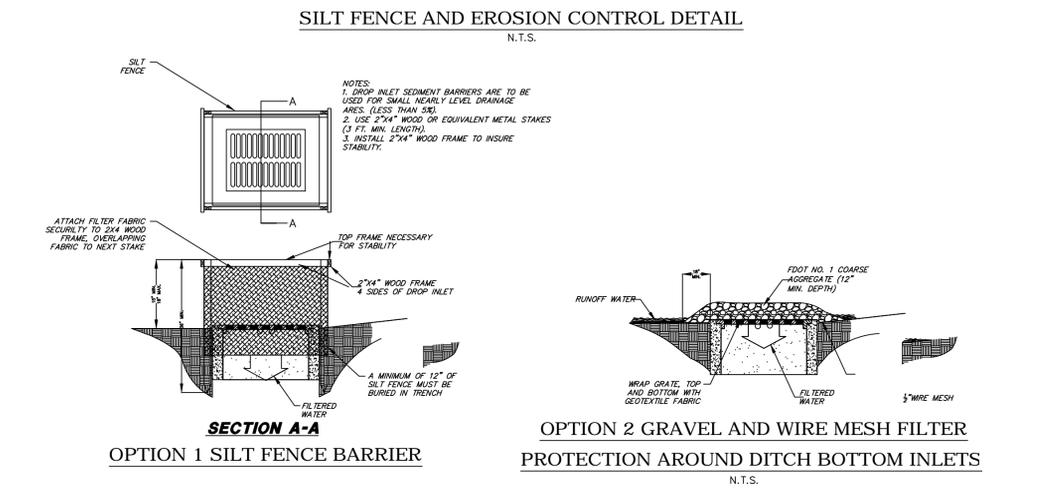
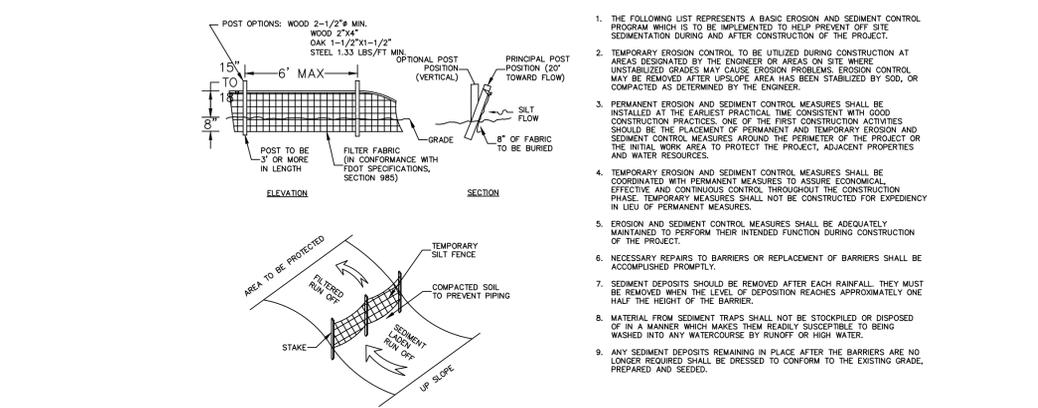
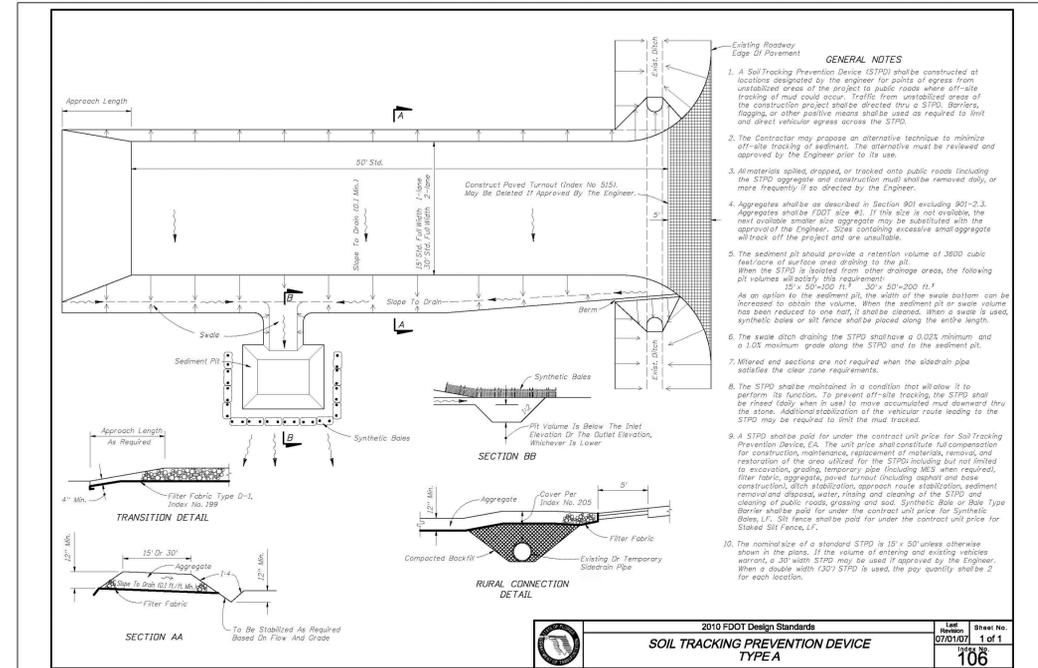
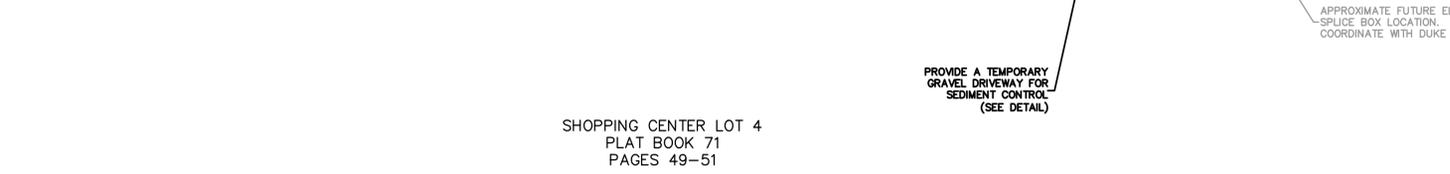
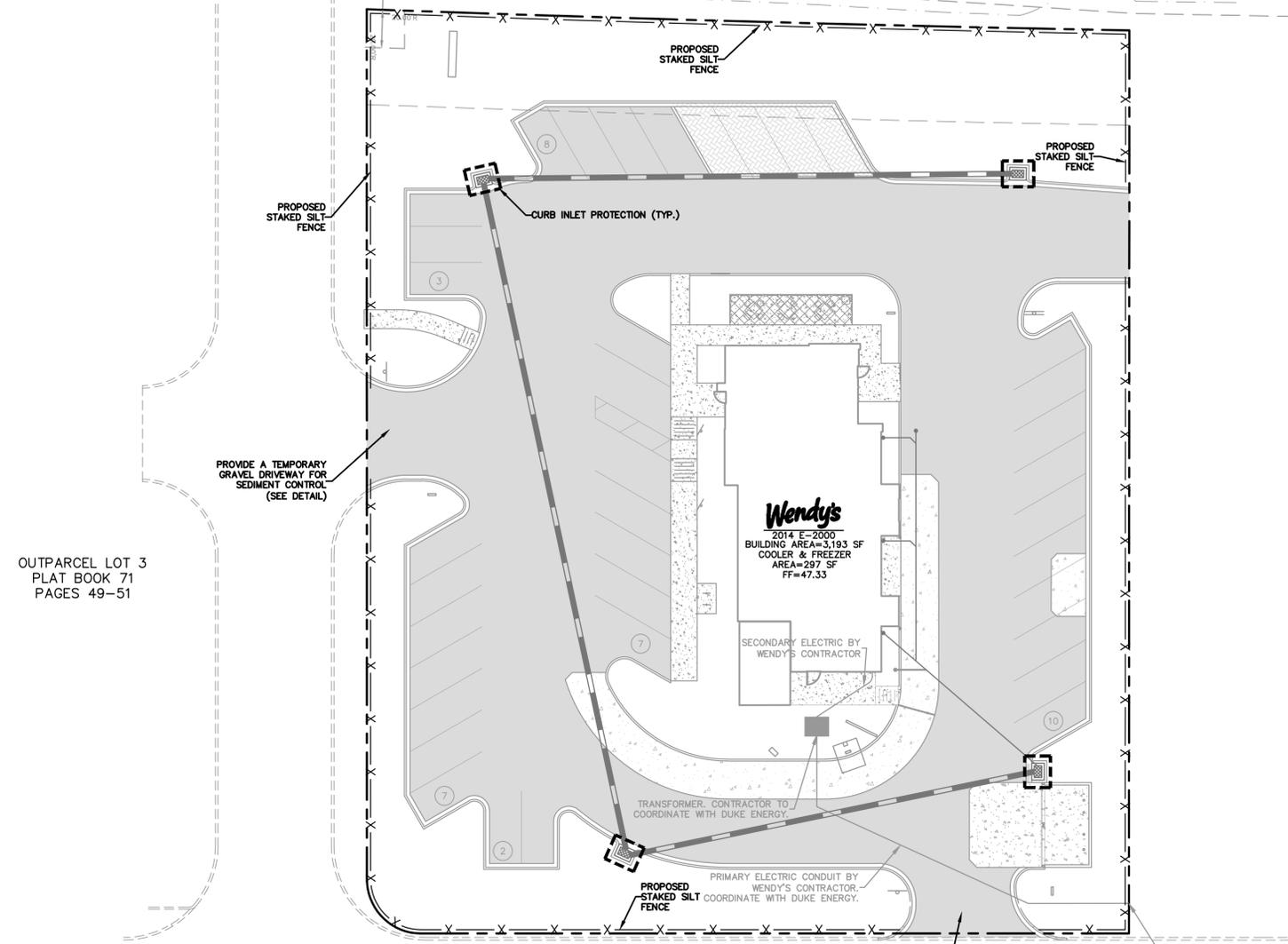
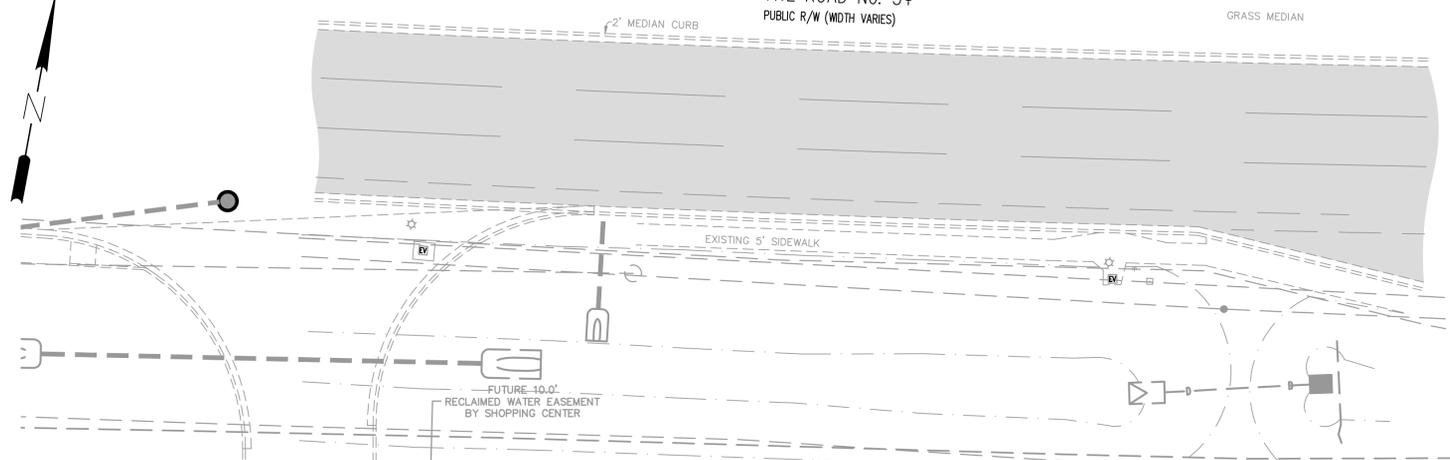
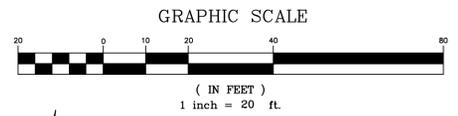
NOTES: - SADDLE CONNECTION WILL BE TESTED TO 150 PSI PRIOR TO TAPPING MAIN.
 - MECHANICAL JOINTS/UNDERGROUND PIPING SHALL BE RESTRAINED AS SPECIFIED BY COUNTY/ENGINEER.
 - VALVE EXTENSION ROD SHALL BE UTILIZED, AS NECESSARY, SO THAT VALVE OPERATING NUT IS A MAXIMUM OF 3' BELOW GRADE.

CREATED 02/24/03
 REVISÉ _____
 WATER, REUSE, AND FORCE MAIN
 TAPPING DETAIL W/ VALVE LOCATION
 PASCO COUNTY UTILITIES
 PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
 DETAIL 37



CREATED 02/24/03
 REVISÉ _____
 SANITARY SEWER - SINGLE WYE CONNECTION
 AND TYPICAL CLEAN-OUT
 PASCO COUNTY UTILITIES
 PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.
 DETAIL 45

WENDY'S
 12496 STATE ROAD 54, ODESSA, FL 33556
 WENDY'S INTERNATIONAL, INC.
 1165 SANCTUARY PARKWAY, SUITE 300
 ALPHARETTA, GA 30009
 EB #4086
 LMA
 Landon, Moree & Associates, Inc.
 Civil & Environmental Engineers - Planners - Surveyors
 31022 U.S. 10 NORTH PALM HARBOR, FLORIDA 34094
 Phone: (727)787-5010, Fax: (727)787-4394
 Toll Free: 1-800-205-7900, WWW.LMAENGR.COM
 NOTICE TO CONTRACTOR/OWNER
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 LANDON, MOREE & ASSOCIATES, INC. STAMPED/ISSUED FOR CONSTRUCTION
 R E S I O N S
 Scale: N/A
 Date: 08-01-2015
 Job No.: 300-49
 Design: ELM
 Drawn: JDC
 Checked: ELM
 Title: 1165 SANCTUARY PARKWAY
 Web: WWW.LMAENGR.COM
 6
 OF 7



STORMWATER POLLUTION PREVENTION NOTES

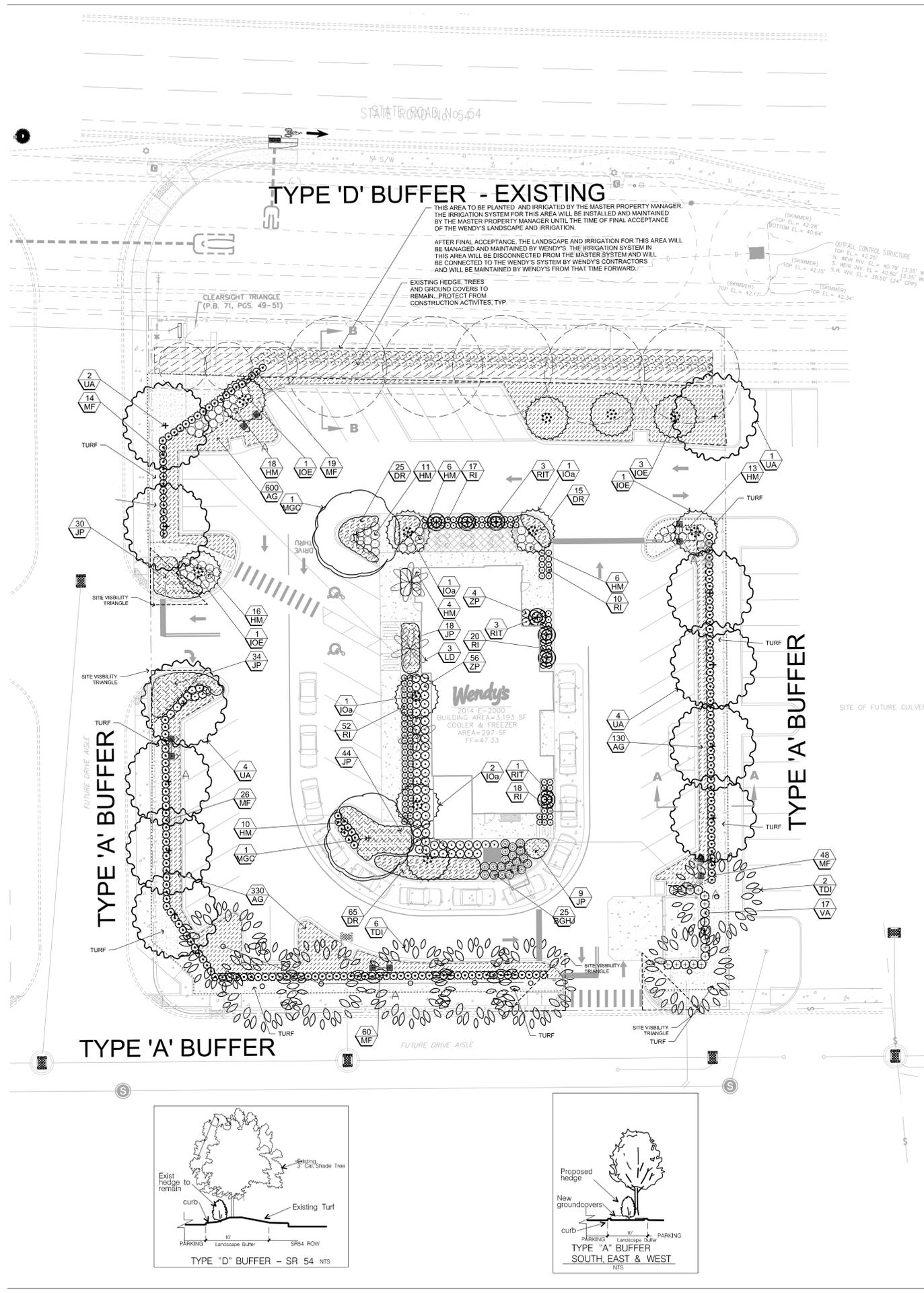
- The contractor shall at a minimum implement the stormwater pollution prevention measures as shown in this plan set. These measures may include, but not limited to, the construction of retention/detention ponds, control structures, tree barricades, and silt fences.
- In addition to the measures shown in this plan set, the contractor shall take all necessary and practical measures in order to reduce erosion and sedimentation to both on-site and off-site surface waters, lakes, and wetlands. These measures may include, but not limited to, hay bales at stormwater inlets, floating turbidity barriers, hay bale dikes, stabilization of steep grades with seeding or sod, site entrance/exist control stabilization with gravel, temporary sediment basins and berms.
- In addition to the measures shown in this plan set, the contractor shall take all necessary and practical measures in order to reduce airborne transportation of sediments. These measures may include, but not limited to, site watering and additional silt fence installation.
- The contractor shall at a minimum inspect the above referenced measures at least once a week or within 24 hours after 0.25 inches of rainfall. An inspection report shall be completed for each inspection. Any permit violation shall be noted and corrective measures taken shall be noted. This report shall be given to Landon, Moree & Assoc., Inc. after construction completion.
- The cost of implementing the above measures are to be included within the contractors contract with the developer.
- All practicable and necessary effort shall be taken during construction to control and prevent erosion and transport of sediment to surface drains and to lakes and also to conform with permit conditions.
- Silt fence to be installed around all areas of proposed construction. (FDOT Index No. 102 Type III)
- The soil and sediment control devices shall be installed prior to construction, maintained throughout construction, and until the site is permanently stabilized.

SWPP PLAN

REVISIONS	DATE	BY	DESCRIPTION

Scale: 1"=20'
 Date: 08-01-2015
 Job No.: 300-49
 Design: ELM
 Drawn: JDC
 Checked: ELM
 Title: 12496 STATE ROAD 54, ODESSA, FL 33556
 WENDY'S INTERNATIONAL, INC.
 1165 SANCTUARY PARKWAY, SUITE 300
 ALPHARETTA, GA 30009

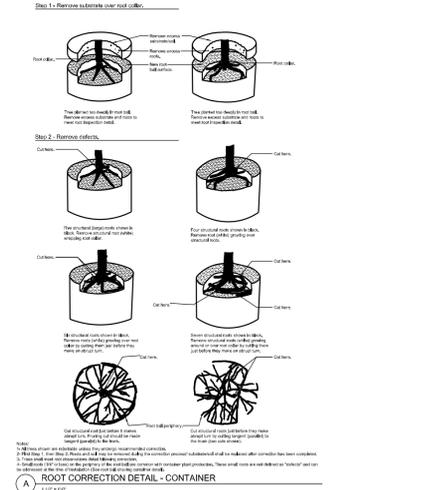
EB #4096
LMA
 Landon, Moree & Associates, Inc.
 Civil & Environmental Engineers - Planners - Surveyors
 31622 U.S. 19 NORTH PALM HARBOR, FLORIDA 34684
 Toll Free: 1-800-982-7900, WWW.LMANSR.COM



LANDSCAPE PLANT SCHEDULE

All plant materials shall be Florida Number #1 - as per the Florida Nursery Grades and Standards

Symbol	Quantity	Botanical Name	Common Name	Specification	NATIVE	DROUGHT
IOE	6	ILEX altissima 'Agatston'	Agatston Holly	4 1/2 gallon container, 6' h x 4' spr 1.5'	Y	
IOa	5	ILEX opaca 'Oak Leaf'	Oak Leaf Holly	4 1/2 gallon container, 6' h x 4' spr 1.5'	Y	
TDI	8	TAXODIUM distichum	Autumn Gold Bald Cypress	10-12" h x 6-7" spr, 3" cal. measures 6"	Y	Y
UA	11	YAMUS alata	Winged Elm	10-12" h x 6-7" spr, 3" cal. measures 6"	Y	Y
MGC	2	MAGNOLIA grandifolia 'Miss Chief'	Miss Chief Magnolia	10-12" h x 6-7" spr, 3" cal. measures 6"	Y	Y
LD	3	LIVISTONA chinensis	Ribbon Palm	12" c/bottom of matching 16" trunks minimum diameter	N	Y
29 Total trees planted on site						
SHRUB	17	RAAPHIDOLEPIS indica	India Hawthorne Tree	4 1/2 x 3' h spread, standards 15	N	Y
VA	17	VIBURNUM awabaki	Awabaki Viburnum	3 gal 14" h x 14" spr, full	N	Y
MF	107	MICANTHES fragrans	Simpson spurge	24" h x 18" spr, 3 gal 30" o.c.	Y	Y
ZP	60	ZAMIA punctata	Coontie	2 1/4" x 24" spr, 3 gal, 30" o.c.	Y	Y
Groundcover / Vines						
BGH	25	BOUGAINVILLEA spp	Dwarf Bougainvillea	14" h x 12" spr, 3 gal 30" o.c.	N	Y
IP	135	JUNIPERUS parsonii	Parsons Juniper	30" h x 18" spr, 3 gal 30" o.c.	N	Y
RI	17	RAAPHIDOLEPIS indica	India Hawthorne	14" h x 18" spr, 3 gal 30" o.c.	N	Y
HM	88	HAMELIS macrantha	Dwarf Hamamelis	14" h x 18" spr, 3 gal 30" o.c.	N	Y
DR	105	ROSA spp 'DRIFT'	Drift Rose	1 gallon 8" h x 12" spread	N	Y
AG	100	AGROSTIS distachna	Perennial Paniclegrass		N	Y
177 TOTAL SHRUBS & GROUNDCOVERS ON SITE						
10.8% OF NATIVE SHRUBS AND GROUNDCOVERS						
SOIL						
Turf	5750	EMPIRE Zoysia				
Total Site Irrigation:						
SF +/-	5750	Turf Irrigation				
SF +/-	9993	Shrub Irrigation				
Miscellaneous Plant Materials and Site Work:						
BM	3	2 in Emerald Hedge				
BM	2	1 in Emerald Hedge				
BM	1	1 in Emerald Hedge				



Pasco County - Landscape Ordinance Calculation sheet

Terra Technics design group international, inc. 727-441-4504
WENDYS-SR54 TRINITY

Category	Area	Requirement	Value	% of Requirement
SITE AREA CALCULATIONS:				
Total Gross Site Area	46,000			
Proposed Building Area	3,400	4.60%		
Permitted area, excluding ROOF & incompatible land usage	32,600			
Open Space	13,400			
Vehicle Usage Area (VUA)	24,000			
Required Insect Coverage (10% of VUA)	2,400	13.96%		
Insect Coverage provided	3,400			
Type 'A' Buffer	666			
Type 'D' Buffer	299			
Native Landscaping:				
Required	2,400			
Provided	3,400	11.3%		
10' h protected trees	4			
Existing Trees to Remain at Interior and at North & South	0			
Trees to be Transplanted within Insect	0			
12 Total Protected trees				
Building Perimeter Landscaping:				
Required	3,400			
Provided	3,400	100%		
Required Landscaping Area	3,400			
Provided	3,400	100%		
Required Landscaping Area	2,200			
Provided	3,400	155%		
Perimeter Landscaping:				
Required	3			
3 Type 'A' Buffer	1			
1 Type 'D' Buffer	2			
Provided	3	100%		
3 Type 'A' Buffer	1			
1 Type 'D' Buffer	2			
Existing Trees	0			
Trees to be Transplanted within Perimeter	0			
24 Total Protected trees				

Pasco County Landscaping Standard Notes (Pasco LDC 905.2)

Maintenance Responsibility. The County is not responsible for maintenance of any landscaping approved through a County maintenance agreement. (LDC 905.2-C.1.a)

Clear-Sight Triangles. Where a driveway/necessity intersects a road right-of-way or where two (2) rights-of-way intersect, vegetation, shrubs, and non-vegetative visual screens shall not be located so as to interfere with the clear-sight triangle as defined in the Code or the Florida Department of Transportation. Minimum Uniform Standards must meet or exceed those listed, which are more restrictive. (LDC 905.2-C.1.b)

Sustainable Practices. Landscaping shall be installed so that landscaping materials meet the long-term maintenance plan. Installed trees shall be grouped in zones according to water requirements, and light requirements. Plant groupings based on water requirements are drought tolerant, and needs. (LDC 905.2-C.1.c)

Diversity. A maximum of 50 percent of the plant materials used, other than trees, may be non-drought tolerant. A minimum of 30 percent of the plant materials, other than trees and turfgrass, used to fulfill requirements of the subsection shall be native Florida species, suitable for growth in the county. (LDC 905.2-C.1.d)

Quality. No one plant species of shrubs or ground cover plants, excluding turfgrass, shall cover more than 25 percent coverage of the overall landscape area. (LDC 905.2-C.1.e)

Quality. All plant materials shall be Florida No. 1 grade per "Grades and Standards for Nursery Plants" Florida Department of Agriculture and Consumer Services (FDACS), which is incorporated herein by reference. (LDC 905.2-C.2.a)

Anchor Assessments. Trees shall not be planted within any easement so as to interfere with the use easement, nor shall any present or planned overhead utility, nor any rights-of-way without County approval through the associated review process. (LDC 905.2-C.3)

Match shall be used in conjunction with living plant materials so as to cover exposed soil. Match shall be installed to a minimum depth of three (3) inches. The match should not be placed directly against the plant stem or tree trunk. Match shall not be required for annual beds. Stone or gravel may be used over a maximum of 20 percent of the landscaped area. (LDC 905.2-C.3.b)

Quality Practices. All landscaping shall be installed in accordance with new standards and practices of Florida Nursery, Growers, and Landscapers Association and the Florida Chapter of the International Society of Horticulture. (LDC 905.2-C.3.c)

All portions of a lot upon which development has commenced, but not continued for a period of 30 days shall be planted with a grass species or ground cover to prevent erosion and encourage soil stabilization. The grass shall remain in place until all construction activity is completed within 45 days. (LDC 905.2-C.4)

All required landscaping shall be maintained in a healthy condition in perpetuity in accordance with Code. (LDC 905.2-E.2)

Ongoing maintenance to prevent the establishment of prohibited exotic species is required. (LDC 905.2-E.4)

TREE PROTECTION NOTES

THE PROTECTION OF EXISTING TREES ON THE CONSTRUCTION SITE IS NECESSARY:
- TO PROTECT ALL THE ABOVE GROUND PORTIONS OF THE TREE FROM MECHANICAL DAMAGE
- TO PROTECT SOIL NEAR TREE FROM COMPACTION AND PREVENT ROOT DAMAGE

PROTECTIVE BARRIERS AND OTHER MEASURES TO PREVENT DAMAGE OF EXISTING TREES ARE REQUIRED IF TREES ARE 4" DBH (TRUNK DIAMETER MEASURED AT 4 1/2 FEET FROM THE GROUND) OR GREATER.
TREES 4" DBH AND GREATER THAT ARE LOCATED WITHIN 10' OF THE LOT UNDER CONSTRUCTION SHALL ALSO BE PROTECTED BY A BARRIAGE.

WHEN TO PROTECT
ALL PROTECTIVE BARRIERS SHALL BE IN PLACE AND INSPECTED PRIOR TO ANY SITE CLEARING OR DEMOLITION AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED AND HEAVY EQUIPMENT IS OUT OF AREA.

NO STORAGE, FILL
NO EXCESS SOIL OR ADDITIONAL FILL, BUILDING MATERIALS, DEBRIS, OR LITTER SHALL BE PLACED WITHIN PROTECTIVE BARRIERS.

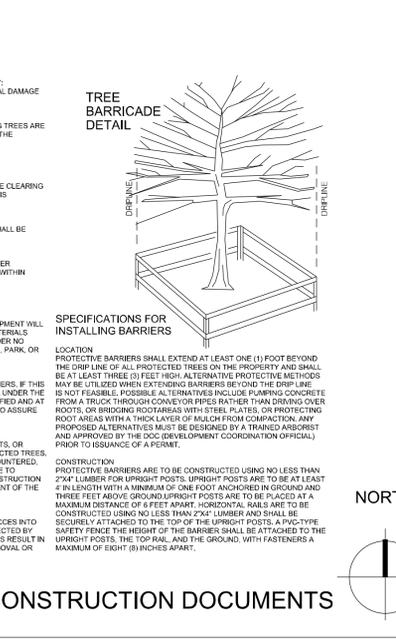
NO ATTACHMENTS
SIGNS, BUILDING PERMITS, WIRES (OTHER THAN PROTECTIVE GUY WIRES), OR OTHER ATTACHMENTS OF ANY KIND SHALL NOT BE ATTACHED TO ANY TREES OR SHRUBS WITHIN PROTECTIVE BARRIERS.

DEMOLITION/EXCAVATION
ANY DEMOLITION OR EXCAVATION WITHIN THE PROTECTIVE BARRIERS SHALL BE ACCOMPLISHED BY HAND OPERATED EQUIPMENT.
ONCE ALL MATERIAL HAS BEEN SUCCESSFULLY DE-COLORED BY HAND, HEAVY EQUIPMENT WILL BE ALLOWED ONE ENTRY INTO THE BARRIERS IN ORDER TO PUSH DEMOLITION MATERIALS BEYOND THE BARRIERS. AFTER WHICH THE BARRIERS MUST BE REINSTALLED. UNDER NO CIRCUMSTANCES SHALL TRACTORS OR HEAVY MACHINERY BE ALLOWED TO WORK, PARK, OR LOCATE WITHIN BARRIER AREAS.

UNDERGROUND UTILITIES
ALL UNDERGROUND UTILITIES SHALL BE ROUTED OUTSIDE THE PROTECTIVE BARRIERS. IF THE RESULTS IN UNREASONABLE HARDSHIP, A SOIL AUGER SHALL BE USED TO TUNNEL UNDER THE ROOT ZONE. THE DDC DEVELOPMENT COORDINATION OFFICIAL SHALL BE NOTIFIED PRIOR TO HIS/HER OPTION MAY REQUIRE A STAFF MEMBER PRESENT DURING THIS PROCEDURE TO ASSURE ADHERENCE TO ALL REQUIREMENTS.

INSTALLATION OF FENCES, POSTS, WALLS
INSTALLATION OF STRUCTURES SUCH AS PROTECTIVE BARRIAGES, FENCES, POSTS, OR WALLS SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES. FOOTERS FOR WALLS SHALL END AT THE POINT WHERE LARGER ROOTS ARE ENCOUNTERED, AND THE ROOTS SHALL BE BRIDGED. POST HOLES AND TRENCHES LOCATED CLOSE TO PROTECTED TREES SHALL BE ADJUSTED TO AVOID DAMAGE TO MAJOR ROOTS. DESTRUCTION OR DISREGARD OF PROTECTIVE BARRIAGES MAY REQUIRE THE FULL REPLACEMENT OF THE PROTECTED TREE.

TEMPORARY REMOVAL OF BARRIERS
PROTECTIVE BARRIERS MAY BE TEMPORARILY REMOVED ONLY IF REASONABLE ACCESS INTO THE SITE IS OBSERVED. REMOVAL OF BARRIERS MUST BE APPROVED AND INSPECTED BY THE CITY'S ARBORIST BEFORE CARRIED OUT. SHOULD REMOVAL OF THE BARRIERS RESULT IN STRESS OR DAMAGE OF THE TREE, AS DETERMINED BY THE CITY'S ARBORIST, REMOVAL OR REPLACEMENT OF THE TREE MAY BE REQUIRED.



UTILITIES NOTE:

ALL UTILITIES TO REMAIN IN PLACE EXCEPT AS INDICATED ON THE DRAWINGS. CONTACT "ONE CALL" AT 1-800-432-4770 AT LEAST 48 HOURS PRIOR TO EXCAVATION FOR VERIFICATION OF EXISTING UTILITY LOCATIONS. NOT ALL UTILITIES ARE MEMBERS OF THE "ONE CALL" SYSTEM; THEREFORE, DIRECT CONTACT WITH THE UTILITY COMPANY MAY BE REQUIRED.

MULCH NOTE:

A LAYER OF MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES SHALL BE PROVIDED IN PLANT BEDS AND AROUND INDIVIDUAL TREES IN TURFGRASS AREAS.

TREE PROTECTION NOTE:

1. PROTECTIVE BARRIERS AND THE USE OF OTHER MEASURES TO PREVENT TREE DAMAGE (PESTICIDE APPLICATIONS, ROOT PRUNING, INTENSIVE MULCHING, ETC. TO REDUCE SOIL COMPACTION) WILL BE REQUIRED AS NECESSARY.

2. SITE CLEARING AND TREE REMOVAL ARE NOT TO OCCUR PRIOR TO APPROVAL AND INSPECTION OF PROTECTIVE BARRIAGES, OR BEFORE THE PROJECT'S BUILDING PERMITS HAVE BEEN ISSUED.

3. ALL UTILITIES SHALL BE ROUTED AROUND PROTECTED AREAS AND EXISTING TREE DRIPLINES. NO TRENCHES SHALL BE DUG UNDER DRIPLINES OR IN PROTECTED AREAS. PLANTING INSTALLED UNDER DRIPLINES SHALL BE HAND DUG AND ROUTED AROUND ROOTS GREATER THAN 1". DO NOT CUT ANY ROOTS GREATER THAN 1".

4. ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE PRUNED BY AN ISA-CERTIFIED ARBORIST. IN ACCORDANCE WITH THE INTERNATIONAL ARBORIST ASSOCIATION (ISA) PRUNING STANDARDS, AND ANSI 300 PRUNING STANDARDS.

5. ALL EXOTIC INVASIVE SPECIES AS DETERMINED BY THE STATE OF FLORIDA, I.E., BRAZILIAN PEPPER (SHINTUS TERIBINTHIFOLIA), PUNK TREES (MALEUICA LUCADENDRON) AND CHINESE TALLOW (SAPIUM SEBIFERUM) MUST BE REMOVED AS A CONDITION OF SITE DEVELOPMENT. WHERE NECESSARY DUE TO THEIR PROXIMITY TO PROTECTED PLANT MATERIAL, HAND REMOVAL WILL BE REQUIRED. SHOULD THIS REMOVAL BE TO A DEGREE THAT A POTENTIAL FOR EROSION IS CREATED, THE AREA MUST BE RESTABILIZED WITH SUITABLE MATERIAL AND SOILED. FOR SUBDIVISION PROPERTIES, INVASIVE PLANT REMOVAL SHALL NOT BE REQUIRED ON A LOT UNLESS THE LOT DEVELOPMENT IS PROPOSED AS PART OF THE INFRASTRUCTURE DEVELOPMENT. SEE WETLAND RESTORATION PLAN.

6. NATIVE PINES UNDERGO STRESS DURING CONSTRUCTION, MAKING THEM SUSCEPTIBLE TO PINE BARK BEETLES. THE APPLICATION OF AN APPROVED INSECTICIDE SHALL BE APPLIED ONE WEEK PRIOR TO CONSTRUCTION ACTIVITY TO ALL PINE TREES TO REMAIN WITHIN 25 FEET OF CONSTRUCTION. CONTRACTOR TO EMPLOY SERVICES OF FLORIDA LICENSED, BONDED AND INSURED PESTICIDE APPLICATION COMPANY WHO WILL FOLLOW APPROVED AND ESTABLISHED TECHNIQUES AND METHODS IN ACCORDANCE WITH STATE AND LOCAL ORDINANCES.

7. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, OR CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE COUNTY.

LANDSCAPE ARCHITECTS
LAND PLANNERS
URBAN DESIGNERS

1188 Kapp Drive
Clearwater, FL 33765
FL Reg. Lic. #254
727-441-4504 ph.

LANDSCAPE CONSTRUCTION DOCUMENTS

WENDY'S RESTAURANT

SR54-TRINITY, FLORIDA

JONATHAN H. TONER FL 0001123

Date: JULY 31, 2015
Scale: 1"=20'
Revision:
No. Date: Description:
1) SEPT 3, 2015 REV LIGHT POLES

Job No. 15-794

Drawn by: jt Checked by: JT

Sheet

L1

Of 3 Sheets



12500 STATE ROAD No. 54
SECTION 28, TOWNSHIP 26 SOUTH, RANGE 17 EAST
ODESSA, PASCO COUNTY, FLORIDA

LEGAL DESCRIPTION

PARCEL 1 (FEE SIMPLE)

A PORTION OF SECTION 28, TOWNSHIP 26 SOUTH, RANGE 17 EAST, OF PASCO COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID SECTION 28, AND RUN ALONG THE SOUTH LINE OF SAID SECTION 28, NORTH 89°28'45" WEST, A DISTANCE OF 1973.42 FEET TO A POINT ON THE EASTERLY BOUNDARY LINE OF PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, AS RECORDED IN PLAT BOOK 68, PAGES 83 THROUGH 98, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; THENCE RUN ALONG THE EASTERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, NORTH 15°54'24" WEST, A DISTANCE OF 445.85 FEET TO THE NORTHEAST CORNER OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, ALSO BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF COMMUNITY DRIVE AS RECORDED IN OFFICIAL RECORD BOOK 5891, PAGE 975 AND OFFICIAL RECORD BOOK 4250, PAGE 973, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; THENCE RUN ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID COMMUNITY DRIVE, NORTH 15°54'24" WEST, A DISTANCE OF 640.46 FEET; THENCE LEAVING THE WESTERLY RIGHT-OF-WAY LINE OF SAID COMMUNITY DRIVE, RUN SOUTH 79°17'50" WEST, A DISTANCE OF 283.22 FEET TO THE POINT OF BEGINNING; THENCE RUN SOUTH 79°17'50" WEST, A DISTANCE OF 187.52 FEET TO A POINT OF CURVATURE OF A CURVE TO THE RIGHT; THENCE RUN 22.51 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 14.33 FEET, A CENTRAL ANGLE OF 90°00'00", AND A CHORD OF 20.27 FEET WHICH BEARS NORTH 55°42'10" WEST; THENCE RUN SOUTH 10°42'10" WEST, A DISTANCE OF 229.20 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF NEW STATE ROAD 54 AS RECORDED IN OFFICIAL RECORD BOOK 5919, PAGE 1336, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; SAID POINT ALSO BEING A POINT OF CURVATURE OF A CURVE TO THE LEFT; THENCE RUN ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID NEW STATE 54, A DISTANCE OF 201.93 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT, BEING NON-TANGENT WITH THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 11583.83 FEET, A CENTRAL ANGLE OF 0°05'59"56", AND A CHORD OF 201.83 FEET WHICH BEARS NORTH 80°51'18" EAST; THENCE LEAVING THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID NEW STATE ROAD 54, RUN SOUTH 10°42'10" EAST, A DISTANCE OF 238.04 FEET TO THE POINT OF BEGINNING.

ALSO NOW KNOWN AS:

OUTPARCEL LOT 2, SHoppes AT TRINITY LAKES, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 71, PAGES 49 THROUGH 51, INCLUSIVE, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

SITE CONTAINS 48,500 SQUARE FEET OR 1.11 ACRES, MORE OR LESS.

PARCEL 2 (EASEMENT)

TOGETHER WITH EASEMENTS FOR THE PURPOSES DESCRIBED AND SET FORTH IN THE DECLARATION OF RESTRICTIONS, COVENANTS AND CONDITIONS AND GRANT OF EASEMENTS FOR THE SHoppes AT TRINITY LAKES SHOPPING CENTER RECORDED IN OFFICIAL RECORDS BOOK _____, PAGE _____, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

AND

TOGETHER WITH EASEMENTS FOR THE PURPOSES DESCRIBED AND SET FORTH IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR TRINITY LAKES COMMERCE PARK RECORDED IN OFFICIAL RECORDS BOOK _____, PAGE _____, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

FLOOD ZONE

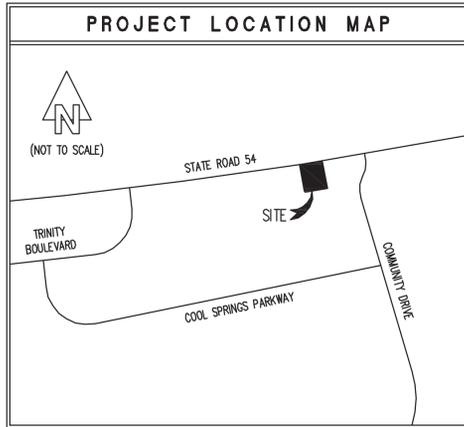
THE ABOVE DESCRIBED PROPERTY IS LOCATED IN ZONE X (OR ZONE D), IN ACCORDANCE WITH THE FIRM MAP OF PASCO COUNTY, COMMUNITY NUMBER 120230 (MAP NUMBER 12101C-0380-F), MAP DATED SEPTEMBER 26, 2014.

CERTIFICATION

TO: WENDY'S INTERNATIONAL, LLC, BAKER HOSTETLER LLP & FIDELITY NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT HAS BEEN COMPILED FROM A SURVEY ACTUALLY MADE ON THE GROUND UNDER MY SUPERVISION; THAT IT IS CORRECT AND COMPLIES WITH THE REQUIREMENTS PROVIDED BY WENDY'S INTERNATIONAL, LLC, THAT IT MEETS MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYS IN THE STATE OF FLORIDA CHAPTER 54-17 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES; AND THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 7(A), 8, 9, 11(A), 13, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 8, 2015.

GEORGE A. SHIMP II REGISTRATION NO. 6137 DATE



NOTES CORRESPONDING TO SCHEDULE B, SECTION II

FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT, COMMITMENT ORDER NUMBER 5093094, DATED MAY 22, 2015 (REVISED JUNE 4, 2015)

- 5.) THE EASEMENT, AS RECORDED IN O.R. BOOK 24, PAGE 476, AS AFFECTED BY O.R. BOOK 192, PAGE 211, O.R. BOOK 977, PAGE 479 AND O.R. BOOK 4182, PAGE 1058, AFFECTS THE SITE. SAID EASEMENT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
6.) THE AGREEMENT, AS RECORDED IN O.R. BOOK 992, PAGE 1488, AFFECTS THE SITE (DOES NOT CONTAIN ANY PLOTTABLE SURVEY MATTERS).
7.) THE NOTICE OF ADOPTION OF DEVELOPMENT ORDER, AS RECORDED IN O.R. BOOK 1799, PAGE 337, AS AFFECTED BY O.R. BOOK 1879, PAGE 1425, O.R. BOOK 3086, PAGE 1246, O.R. BOOK 3318, PAGE 1974, O.R. BOOK 3657, PAGE 105, O.R. BOOK 3669, PAGE 753, O.R. BOOK 3761, PAGE 1190, O.R. BOOK 8488, PAGE 1138 AND O.R. BOOK 8785, PAGE 558, AFFECTS THE SITE (DOES NOT CONTAIN ANY PLOTTABLE SURVEY MATTERS).
8.) THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS, AS RECORDED IN O.R. BOOK 3158, PAGE 870, AS AFFECTED BY O.R. BOOK 3246, PAGE 392, O.R. BOOK 3413, PAGE 59, O.R. BOOK 3653, PAGE 633, O.R. BOOK 3779, PAGE 1758, O.R. BOOK 3884, PAGE 148, O.R. BOOK 3960, PAGE 860, O.R. BOOK 3998, PAGE 1248, O.R. BOOK 4071, PAGE 590, O.R. BOOK 4087, PAGE 1541, O.R. BOOK 4161, PAGE 1128, O.R. BOOK 4247, PAGE 731, O.R. BOOK 4331, PAGE 1976, O.R. BOOK 4400, PAGE 1322, O.R. BOOK 4465, PAGE 1951, O.R. BOOK 4568, PAGE 1599, O.R. BOOK 4695, PAGE 1769, O.R. BOOK 4788, PAGE 139, O.R. BOOK 5044, PAGE 1152, O.R. BOOK 5319, PAGE 1825, O.R. BOOK 5369, PAGE 1439, O.R. BOOK 5703, PAGE 291, O.R. BOOK 5774, PAGE 726, O.R. BOOK 6045, PAGE 1056, O.R. BOOK 6225, PAGE 94, O.R. BOOK 6439, PAGE 212, O.R. BOOK 6966, PAGE 246, O.R. BOOK 8165, PAGE 1984, O.R. BOOK 8364, PAGE 1298 AND O.R. BOOK 8381, PAGE 1637, AFFECTS THE SITE (DOES NOT CONTAIN ANY PLOTTABLE SURVEY MATTERS).
9.) THE EASEMENT AGREEMENT, AS RECORDED IN O.R. BOOK 3884, PAGE 195, DOES NOT AFFECT THE SITE.
10.) THE DRAINAGE EASEMENT, AS RECORDED IN O.R. BOOK 3960, PAGE 870, DOES NOT AFFECT THE SITE.
11.) THE AGREEMENT, AS RECORDED IN O.R. BOOK 4311, PAGE 1830, AFFECTS THE SITE (DOES NOT CONTAIN ANY PLOTTABLE SURVEY MATTERS).
12.) THE AGREEMENT, AS RECORDED IN O.R. BOOK 4677, PAGE 311, AFFECTS THE SITE (DOES NOT CONTAIN ANY PLOTTABLE SURVEY MATTERS).
13.) THE EASEMENT AGREEMENT, AS RECORDED IN O.R. BOOK 4873, PAGE 835, AS AFFECTED BY O.R. BOOK 5503, PAGE 1366, DOES NOT AFFECT THE SITE.
14.) THE STIPULATED ORDER OF TAKING AND FINAL JUDGMENT, AS RECORDED IN O.R. BOOK 5492, PAGE 1283, DOES NOT AFFECT THE SITE.
15.) THE UTILITY EASEMENT, AS RECORDED IN O.R. BOOK 8524, PAGE 1270, DOES NOT AFFECT THE SITE.
16.) THE EASEMENT AGREEMENT, AS RECORDED IN O.R. BOOK 8937, PAGE 2193, DOES NOT AFFECT THE SITE.
20.) THE UTILITY EASEMENT, AS RECORDED IN O.R. BOOK 9194, PAGE 3376, DOES NOT AFFECT THE SITE.

SURVEY ABBREVIATIONS

- A = ARC LENGTH
AL = ALUMINUM FENCE
ALUM = ALUMINUM
ASPH = ASPHALT
BFL = BASE FLOOD ELEVATION
BLDG = BUILDING
BLV = BLOCK
BM = BENCH MARK
BNDY = BOUNDARY
BSP = BURNING
BWF = BARBED WIRE FENCE
C = CALCULATED
CB = CHORD BEARING
CBS = CONCRETE BLOCK STRUCTURE
CHD = CHORD
CL = CENTERLINE
CL = CHAIN LINK FENCE
CLOS = CLOSURE
COL = COLUMN
CONC = CONCRETE
CO = COUNTY ROAD
CFC = CONCRETE SLAB
CON = CONCRETE
COV = COVERED AREA
D = DEED
DOT = DEPARTMENT OF TRANSPORTATION
BRNG = BRANAGE
DTR = DRAINAGE
EL OR ELEV = ELEVATION
EOP = EDGE OF PAVEMENT
EOW = EDGE OF WATER
ESENT = EASEMENT
FSM = FORM CONCRETE MONUMENT
FES = FLAMES END SECTION
FF = FOUND FIRM PIPE
FL = FOUND LINE
FLD = FIELD
FND = FOUND
FOP = FOUND OPEN PIPE
FPS = FORMS FORM CORR
FRP = FOUND PIPED PIPE
FRM = FRAME
GAL = GALVAN
GLS = GLASS ENCLOSURE
HND = HDG WIRE FENCE
HNL = HDG WATER LINE
INV = INVERT
LB = LAND SURVEYING BUSINESS
LFC = LOWEST FLOOR ELEV
LSE = LOWEST HORIZONTAL SUPPORTING NUMBER
LSS = LAND SURVEYOR
M = MEASURED
MAD = MANDATORY
MES = MERGED END SECTION
MFL = MANHOLE
MHW = MEAN HIGH WATER LINE
MEL = MEAN SEA LEVEL
MNL = NAIL AND DISK
MNS = NAIL AND TIE BAR
MVD = NATIONAL GEODETIC VERTICAL DATUM
ND = NUMBER
O/A = ORIGINAL
O/W = ORIGINAL WISHS
OR = ORIGINAL RECORDS
O/S = OFFSET
P = PLAT
PFB = PLAT BOOK
PC = POINT OF CURVE
PCC = POINT OF COMPOUND CURVE
PCP = PERMANENT CONTROL POINT
PG = PAGE
PK = PAVEMENT KILON
PL = PROPERTY LINE
PFB = POINT OF BEGINNING
POL = POINT OF COMMENCEMENT
POL = POINT ON LINE
PPL = POWER POLE
PRC = POINT OF REVERSE CURVATURE
PRM = PERMANENT REFERENCE MONUMENT
PROP = PROPERTY
PRP = PROFESSIONAL SURVEYOR & MAPPER
PT = POINT OF TANGENCY
PNT = POINT
RAB = RANGES
RCD = RECORD
RES = RESIDENCE
RLL = RADIAL LINE
RLS = REGISTERED LAND SURVEYOR
RSD = ROAD
RNG = RANGE
RNG = RAIL ROAD SPINE
RPT = RIGHT-OF-WAY
SCM = SET CONCRETE MONUMENT
SD = SCHEDULED ENCLOSURE
SEC = SECTION
SET MAD = SET NAIL AND DISK LEV 1834
SM = SET TOTAL FROM ROD LEV 1834
SQ = SQUARE
SP = SPIT PALE FENCE
SR = STATE ROAD
ST = STAKE
SUBV = SUBDIVISION
SW = SWIMWAY
TB = TIE BAR
TBM = TEMPORARY BENCH MARK
TR = TOP CORNER
TOS = TOP OF BANK
TOS = TOP OF SLOPE
TRANS = TRANSPIRANT
TRP = TRANSPIRANT
TYP = TYPICAL
UL = UNDERGROUND
UTL = UTILITY
WB = WOOD
WF = WOOD FENCE
WIS = WOOD FRAME STRUCTURE
WSP = WOODSPIT BENCH MARK
WTF = WITNESS
WFS = WIRE FENCE
WV = WATER VALE

GENERAL NOTES

- 1.) THIS SURVEY HAS BEEN EXCLUSIVELY PREPARED FOR THE NAMED ENTITIES (THE "CERTIFIED PARTIES") SHOWN HEREON AND IS NOT TRANSFERABLE. NO OTHER PERSON OR ENTITY IS ENTITLED TO RELY UPON AND/OR RE-USE THIS SURVEY FOR ANY PURPOSE WITHOUT THE EXPRESSED, WRITTEN CONSENT OF GEORGE A. SHIMP II & ASSOCIATES, INC. (THE "SURVEY FIRM") AND THE CERTIFYING PROFESSIONAL SURVEYOR AND MAPPER (THE "SIGNING SURVEYOR"), HEREINAFTER COLLECTIVELY REFERRED TO AS "THE SURVEYOR". NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THE CERTIFIED PARTIES SHOWN ON THIS SURVEY.
2.) UNAUTHORIZED COPIES AND/OR REPRODUCTIONS VIA ANY MEDIUM OF THIS SURVEY OR ANY PORTIONS THEREOF ARE EXPRESSLY PROHIBITED WITHOUT THE SURVEYOR'S EXPRESSED, WRITTEN CONSENT.
3.) THE WORD "CERTIFY" AS SHOWN AND USED HEREON, MEANS AN EXPRESSION OF THE SURVEYOR'S OPINION REGARDING THE FACTS OF THE SURVEY BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT THUS CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY, EITHER EXPRESSED OR IMPLIED.
4.) THIS SURVEY SHALL BE VALID FOR ONE (1) YEAR FROM THE DATE OF FIELD SURVEY SHOWN HEREON.
5.) THIS PROPERTY WAS SURVEYED BASED ON THE PROPERTY'S LEGAL DESCRIPTION, AS SHOWN HEREON, WHICH UNLESS OTHERWISE STATED, WAS PROVIDED TO THE SURVEYOR BY THE CLIENT, OR CLIENT'S DESIGNATED AGENT.
6.) THIS SURVEY WAS PREPARED WITH THE BENEFIT OF FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT, COMMITMENT ORDER NUMBER 5093094, DATED MAY 22, 2015 (REVISED JUNE 4, 2015).
7.) THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER MATTERS OF RECORD.
8.) BASIS OF BEARINGS: MEASURED BEARINGS ARE IN REFERENCE TO FLORIDA STATE PLANE COORDINATE GRID NORTH, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 READJUSTMENT), AS ESTABLISHED BY THE NATIONAL GEODETIC SURVEY.
9.) THERE ARE NO VISIBLE ENCROACHMENTS, EXCEPT AS SHOWN HEREON.
10.) THIS SURVEY SHOWS VISIBLE ABOVE GROUND FEATURES, NO UNDERGROUND FEATURES, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, STRUCTURES, INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS SHOWN HEREON.
11.) ALL BUILDING TIES, PROPERTY MARKER LOCATIONS AND OTHER SITE IMPROVEMENT LOCATIONS SHOWN HEREON ARE MEASURED PERPENDICULAR TO ADJACENT BOUNDARY LINES, UNLESS OTHERWISE STATED.
12.) THE FLOOD ZONE DETERMINATION IS BASED ON THE FLOOD INSURANCE RATE MAP, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND DOES NOT IMPLY THAT THE PROPERTY WILL OR WILL NOT BE FREE FROM FLOODING AND DAMAGE. LARGER FLOODS THAN THOSE PRECIPITATED ON SAID MAP MAY OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THE FLOOD INSURANCE RATE MAP "S FOR INSURANCE PURPOSES ONLY" AND ANY DAMAGES THAT MAY RESULT FROM RELIANCE ON THIS FLOOD ZONE DETERMINATION SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR. THE FLOOD ZONE LINES (IF ANY) SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON A SCALED INTERPRETATION FROM THE FLOOD INSURANCE RATE MAP AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
13.) A DIG TICKET WAS SUBMITTED WITH SUNSHINE STATE ONE CALL OF FLORIDA ON MAY 6, 2015. TICKET I.D. NUMBER 126501127. THE UNDERGROUND UTILITIES, IF ANY, SHOWN HEREON ARE BASED ON ANY SUBSEQUENT FIELD MARKINGS OR DELINEATIONS PERFORMED BY THE AFFECTED UTILITY PROVIDERS, AND WERE LOCATED BY A FIELD SURVEY AND ONLY LOCATED AS SHOWN HEREON. ONLY THE UNDERGROUND UTILITIES WHICH WERE VISIBLE FROM GROUND LEVEL TO THE SURVEYOR ON THE ACTUAL DAY OF THE FIELD SURVEY WERE LOCATED AND ANY UNDERGROUND UTILITIES NOT FIELD MARKED OR DELINEATED ON THE GROUND ARE NOT SHOWN HEREON. NO EXCAVATIONS OR SUBSURFACE WORK EFFORTS OF ANY KIND WERE PERFORMED BY GEORGE A. SHIMP II & ASSOCIATES, INC. TO VERIFY THE EXISTENCE OF ANY UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.
14.) BECAUSE OF THE POSSIBILITY OF MOVEMENT OF THE MONUMENTATION FROM ITS ORIGINAL PLACEMENT BY PERSONS OTHER THAN THE SURVEYOR, IT IS RECOMMENDED THAT PRIOR TO ANY NEW IMPROVEMENTS ON THE PROPERTY THAT THE POSITION OF THE MONUMENTATION BE VERIFIED.
15.) FENCES AND WALLS (IF ANY) SHOWN ALONG THE BOUNDARIES OF THIS SURVEY ARE ENLARGED FOR CLARITY AND OWNERSHIP IS NOT DETERMINED. THE TIES AT THE PROPERTY CORNERS OR AT SPECIFICALLY DESIGNATED POINTS ARE BASED UPON FIELD LOCATIONS. FENCES AND WALLS ALONG OTHER PROPERTY BOUNDARIES MEANDER AND ARE APPROXIMATE. PRIOR TO THE RECONSTRUCTION OF ANY FENCES OR WALLS, IT WOULD BE PRUDENT TO HAVE THE BOUNDARY LINE STAKED.
16.) THE PRINTED DIMENSIONS SHOWN ON THIS SURVEY SUPERSEDE ANY SCALED DIMENSIONS. THERE MAY BE ITEMS DRAWN OUT OF SCALE TO GRAPHICALLY SHOW THEIR LOCATION.
17.) THIS SURVEY IS A REPRESENTATION OF EXISTING FIELD CONDITIONS AT THE TIME OF THE FIELD SURVEY AND UNLESS OTHERWISE SHOWN, IS BASED ON EXISTING SURVEY MONUMENTATION AS FOUND IN THE FIELD.
18.) THE ACCURACY OF THIS SURVEY, AS OBTAINED BY FIELD-MEASURED CONTROL MEASUREMENTS AND CALCULATIONS, MEETS OR EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY REQUIREMENT AS SPECIFIED IN THE MINIMUM TECHNICAL STANDARDS (54-17, FLORIDA ADMINISTRATIVE CODE).
19.) THIS SURVEY IS BEING CERTIFIED ACCORDING TO THE LAST DATE OF FIELD SURVEY AND NOT THE SIGNATURE DATE (IF ANY).
20.) THIS SURVEY SHALL NOT BE FILED FOR PUBLIC RECORDS WITHOUT THE KNOWLEDGE AND THE EXPRESSED, WRITTEN CONSENT OF THE SURVEYOR.
21.) UNLESS OTHERWISE SHOWN, THE DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE BASED ON THE DEFINITION OF A FOOT AS ADOPTED BY THE UNITED STATES BUREAU OF STANDARDS AND REFER TO THE HORIZONTAL PLANE.
22.) TREES BY NATURE ARE IRREGULAR IN SHAPE AND SIZE AND EVERY EFFORT IS MADE TO ACCURATELY LOCATE THEM. THE TREE SIZE IS DETERMINED AT CHEST HEIGHT DIAMETER AND THE TREE LOCATION IS CENTER OF THE TREE TRUNK. ANY TREE LOCATIONS THAT ARE CRITICAL TO DESIGN SHOULD BE FIELD VERIFIED. EVERY EFFORT HAS BEEN MADE TO PROPERLY IDENTIFY THE TREES SHOWN HEREON. HOWEVER, TREE IDENTIFICATION IS OUTSIDE THE AREA OF EXPERTISE OF A PROFESSIONAL SURVEYOR AND MAPPER; THEREFORE, THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR IDENTIFICATION OF TREE SPECIES. ALL TREE TYPES SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY AND ANY TREE SPECIES THAT ARE CRITICAL SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
23.) THIS SURVEY SHALL NOT BE USED WITH A SURVEY AFFIDAVIT. AN INCORRECT SURVEY AFFIDAVIT CAN INCREASE THE OWNER/BUYER'S LIABILITY, DECREASE THEIR LEGAL RIGHTS AND PROTECTIONS WHICH ARE AFFORDED BY A CURRENT SURVEY AND MAY RESULT IN COSTLY LITIGATION AS WELL. AN INCORRECT SURVEY AFFIDAVIT CAN BE THE RESULT OF CHANGES MADE TO THE PROPERTY SINCE THE DATE OF THE LAST SURVEY, WHICH MAY INCLUDE IMPROVEMENTS MADE BY THE OWNER, ADJACENT OWNERS OR UTILITY COMPANIES OR CHANGES IN THE SURVEY BOUNDARY MONUMENTATION. USE OF THIS SURVEY BY A LENDING INSTITUTION OR TITLE COMPANY IN CONJUNCTION WITH A SURVEY AFFIDAVIT IS STRICTLY PROHIBITED AND SHALL RENDER THIS SURVEY NULL AND VOID.
24.) THE ZONING AND SETBACK INFORMATION SHOWN HEREON IS BASED ON INFORMATION AVAILABLE DURING THE PREPARATION OF THIS SURVEY AND MAY BE SUBJECT TO FLEETIBLE DEVELOPMENT STANDARDS AND ORDINANCES. THIS INFORMATION SHOULD BE VERIFIED WITH THE GOVERNING AUTHORITY PRIOR TO ANY DETERMINATIONS OR DESIGN.
25.) BENCH MARK: THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) AS ESTABLISHED FROM N.G.S. CONTINUOUSLY OPERATING REFERENCE STATIONS (C.O.R.S.) "ZEPHYRUS CORRS APP", "BARTON CORRS APP" AND "BROOKSVILLE CORRS APP" USING THE ONLINE POSITIONING USER SERVICE (O.P.U.S.) ON MAY 14, 2015. TO CONVERT ELEVATIONS TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. 1929), ADD 0.84 FEET.
26.) LOTS 1, 2, 3 & 4 OF THE SHoppes AT TRINITY LAKES ARE ALL CURRENTLY PORTIONS OF PARCEL NUMBER 29-26-17-0000-00300-0110 AND THE OWNER OF SAID PARCEL IS SHoppes AT TRINITY LAKES, LLC.
27.) THE LAND SHOWN ON THIS SURVEY IS THE SAME AS THAT DESCRIBED IN THE FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT, ORDER NUMBER 5093094 WITH AN EFFECTIVE DATE OF MAY 22, 2015, LAST REVISED JUNE 4, 2015.

ALTA/ACSM LAND TITLE SURVEY (STORE # 11611) - SHEET 1 OF 2

Table with columns: DATE, REVISION MADE, JOB NUMBER, DRAWING FILE. Includes revision history and a table with 4 columns: DATE, REVISION MADE, JOB NUMBER, DRAWING FILE.

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING DESCRIBED IN THE STATE OF FLORIDA RULE 54-17, S.A.C. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.

GEORGE A. SHIMP II, PROFESSIONAL SURVEYOR & MAPPER No. 6137

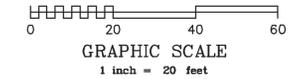
JOB NUMBER: 150133 DATE SURVEYED: 5-8-2015
DRAWING FILE: 150133.DWG DATE DRAWN: 5-15-2015
LAST REVISION: 7-1-2015 X REFERENCE: N/A

Logo for GEORGE A. SHIMP II AND ASSOCIATES, INCORPORATED. LAND SURVEYORS LAND PLANNERS. 3801 SOUTHWEST BOULEVARD, SUITE B PALM HARBOR, FLORIDA 34683. PHONE (727) 784-5496 FAX (727) 786-1266

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12500 STATE ROAD No. 54
SECTION 28, TOWNSHIP 26 SOUTH, RANGE 17 EAST
ODESSA, PASCO COUNTY, FLORIDA



PARKING SPACE TABLE	
	EXISTING
STANDARD	0
HANDICAPPED	0
TOTAL	0

ZONING and SETBACK NOTES

ZONED: MPUD (MASTER PLANNED UNIT DEVELOPMENT)

NOTE: THE ABOVE DATA WAS OBTAINED FROM THE PASCO COUNTY PLANNING AND DEVELOPMENT DEPARTMENT CONTACTED AT 727-847-8193.

LEGEND

- - ELECTRIC VAULT
- + 5.00 - ELEVATION
- - GRATE INLET
- ⊗ - LIGHT POLE
- ⊕ - WATERED END SECTION
- - POWER POLE
- - SIGN
- - TOP OF BANK
- - - - OVERHEAD WIRES
- - U.G. STORM SEWER LINE
- 2" CURB & GUTTER
- 07▲ - MAPLE
- 07△ - OAK

CURVE C1
RADIUS = 14.33'R
ARC = 22.51'R
CHORD = 20.27'R; 20.24'M
CHD. BRG. = N55°42'10"W R
NS5°11'11"W M
DELTA = 90°00'00"

CURVE C2
RADIUS = 11583.83'R
ARC = 201.93'R
CHORD = 201.93'R; 201.93'M
CHD. BRG. = N80°51'16"E R
N80°52'48"E M
DELTA = 00°59'55"

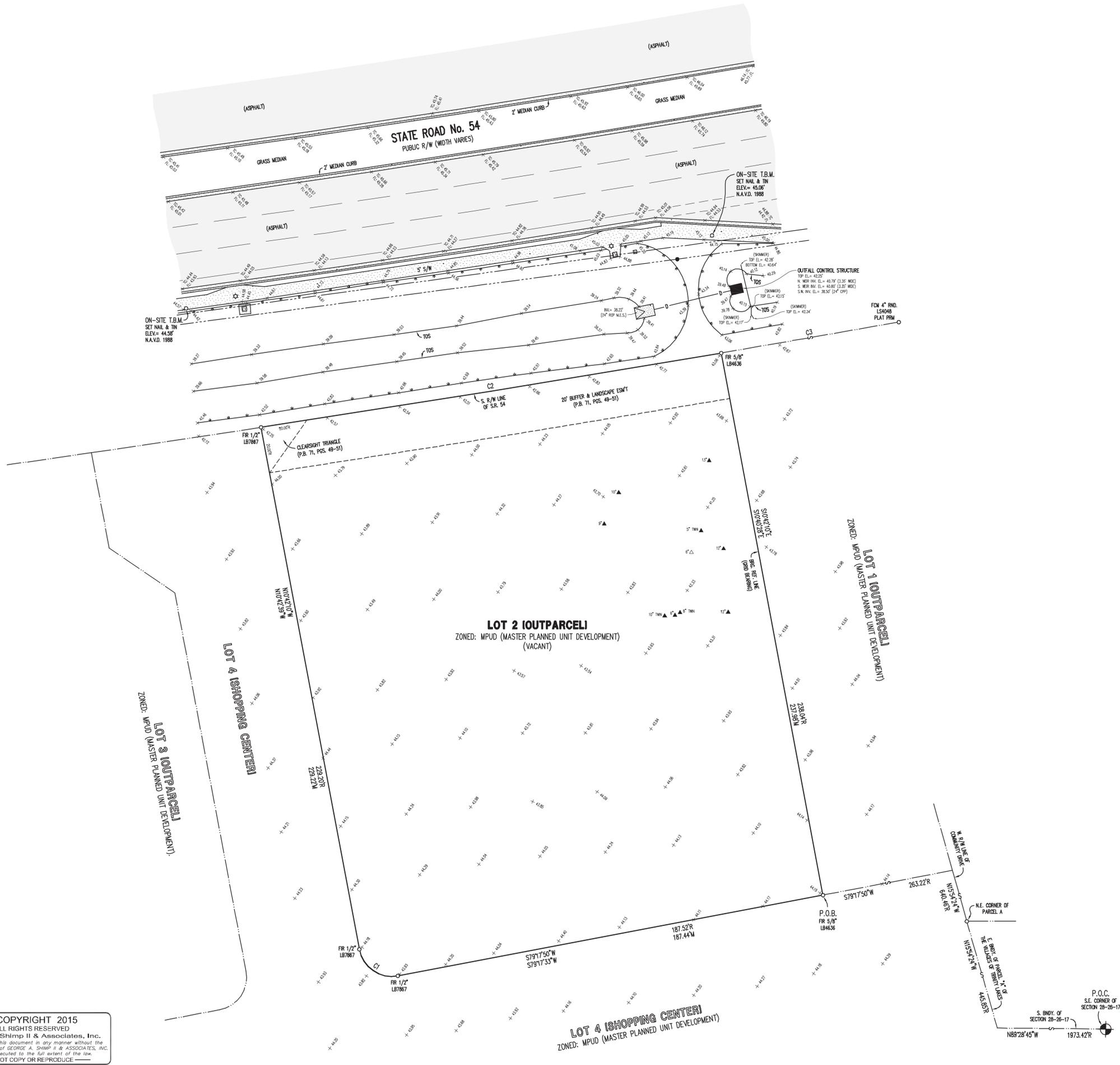
CURVE C3
RADIUS = 11583.83'R
ARC = 241.74'R
CHORD = 241.73'R; 241.61'M
CHD. BRG. = S79°45'28"W R
S79°45'37"W M

ALTA/ACSM LAND TITLE SURVEY (STORE # 11611) - SHEET 2 OF 2

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING DESCRIBED IN THE STATE OF FLORIDA RULE 59-17, F.A.C. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.

JOB NUMBER: 150133 DATE SURVEYED: 5-8-2015
DRAWING FILE: 150133.DWG DATE DRAWN: 5-15-2015
LAST REVISION: 7-1-2015 X REFERENCE: N/A

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