



PASCO COUNTY, FLORIDA

“Bringing Opportunities Home”

West Pasco Government Center
Planning & Development Department
8731 Citizens Drive, Suite 230
New Port Richey, FL 34654
Telephone: (727) 847-8132 Ext 7478
Fax: (727) 847-8901
czatorski@pascocountyfl.net

Memorandum No. PDD15-1510

August 4, 2015

Mr. Lee W. Huston
A Civil Design Group, LLC
12529 Spring Hill Drive
Spring Hill, FL 34609
leeh@acivildesign.com

RE: BB's Roadhouse – Preliminary/Construction/Stormwater Plan with Alternative Standard

Dear Huston:

Please be advised that the above referenced submittal was received on July 31, 2015 and has been reviewed and approved by this office for compliance with the codes and requirements of the Pasco County Land Development Code and the applicable provisions of the Comprehensive Plan. The substantial modification allows for the following, as outlined in the attached cover-letter dated December 2014, and subsequent correspondence:

1. Conversion of the existing 4,640 square foot auto sales office to a 4,653 square foot billiards hall with alcoholic beverage service (CU14-11 approved 3/25/14).
2. Installation of Type A ten-foot buffers on the west and south sides, a Type A five-foot buffer on the east side, and a Type D ten foot buffer with berm on the north side of the property. A reduction of the eastern buffer is allowed with an approved alternative standard since the space between the building and the property line precludes installation of the full ten foot width.
3. Installation of building landscaping a minimum of five-foot wide around 50 percent of the building perimeter.
4. Installation of an outside seating area, currently consisting of ten picnic tables.
5. Removal of pavement, resurfacing, and restriping of the existing parking lot to accommodate 22 parking spaces and landscaping.
6. Installation of 58 stabilized grass parking spaces on parcel number 04-24-17-0000-00200-0060 which has in place a five-year, renewable leasing

agreement between the developer of BB's Roadhouse and its property owner for the spaces (Signed and notarized 10/30/14). The parking spaces total 80 including three handicapped accessible spaces.

7. Installation or repair of lighting for the off-site parking area. Such lighting will be installed in a manner that does not leave the site to disturb motorists or off-site property owners.
8. Installation of a directional sign at the off-site parking to direct patrons to the establishment.
9. Upgrade water lines/fixtures as directed by Pasco County Utilities.
10. Removal of all barbed wire on the site.
11. Redirection of existing on-site outdoor lighting to downward to ensure light glare does not leave the site to disturb motorists or off-site property owners.

Please be advised, approval of the non-substantial modification is subject to the following conditions:

1. The owner/developer acknowledges that any provisions of Pasco County ordinances and any rezoning conditions of approval not specifically waived shall be in full force and effect, including all impact fee ordinances.
2. The owner/developer is hereby notified that any additional revisions shall be submitted to the Planning and Development Department for review and approval.
3. The owner/developer acknowledges that approval of the Utilities Service Connection Application is required prior to the start of any activities to construct water or wastewater as applicable.
4. The owner/developer acknowledges that they or the project contractor will notify the Stormwater Management Division at least two working days prior to commencing any construction activities, including but not limited to, clearing, digging, ditching, grading, grubbing, trenching or installing erosion or sediment controls.
5. The owner/developer acknowledges that all handicapped parking spaces shall be signed and marked in accordance with Florida Department of Transportation standards index.
6. The owner/developer acknowledges that all traffic control signing and markings on private property opened to the general public shall be in conformance with the Manual on Uniform Traffic Control Devices and Florida Department of Transportation standards.
7. The owner/developer acknowledges that all parking spaces, pavement arrows and stop bars shall be striped in white per the Manual on Uniform Traffic Control Devices.
8. **The owner/developer is hereby notified that no activity shall commence on-site until the completed notarized acknowledgement portion of this document is received by the Planning and Development Department.**

9. The owner's/developer's acceptance of the above conditions constitutes a notice of authorization to perform all related work as allowed by Section 300, Development Review Procedures, of the Land Development Code, but **shall not** include the structure, septic tanks, signs, construction within County/State right-of-way, and all other construction activities requiring separate governmental permits. Should the owner/developer object to any condition of approval as stated herein, a written notice of appeal shall be submitted within 30 days of this decision in accordance with Section 407.1, Appeals, of the Pasco County Land Development Code. The owner/developer may contact this office for information regarding corresponding application and fee requirements.
10. Any person failing to implement or carry out developments in accordance with all applicable requirements, conditions, or approved plans shall be subject to penalties as stated in the Development Review Procedures.
11. By issuance of this permit, Pasco County, its employees, and representatives, assume no responsibility and/or liability in regard to the design, construction, or performance of the permitted facilities.

Please have the attached Developer's Acknowledgment signed, notarized and returned to the Planning and Development Department in a timely manner.

Should you have any questions, please do not hesitate to contact our office at the above address or telephone number.

Sincerely,

Cindy A. Zatorski

Cindy Zatorski
Senior Development Review Technician

Pamela S. Shaw

Pamela Shaw
Planner I

CC: MR. ANDREW TOCCO
12426 COUNTY LINE ROAD
HUDSON, FL 34667
BBSROADHOUSE@YAHOO.COM

ENGINEERING INSPECTIONS, UTILITIES, TRAFFIC OPERATIONS, CENTRAL PERMITTING,
STORMWATER MANAGEMENT

Attachment: BB's Roadhouse Substantial Modification (Narrative)

BBs Roadhouse
Preliminary/Construction Site Plan Substantial Modification
Memorandum No. PDD15-1510

OWNER/DEVELOPER'S ACKNOWLEDGMENT:

The owner/developer acknowledges that he/she has read, understood, and accepted the above-listed conditions of approval.

Date

Signature

Print Name

Title

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____
(date), by _____ (name
of corporation acknowledging) a _____
(State or place of incorporation) corporation, on behalf of the corporation. He/she is personally
known to me or who has produced _____ (type of
identification) as identification.

Seal:

NOTARY



Mailing Address
PO Box 795
Aripeka, FL 34679

Street Address:
12529 Spring Hill Drive
Spring Hill, FL 34609
Phone: 352-683-9566
Fax: 352-683-9567
EB# 27060

- Civil Commercial Site Design
- Subdivision Design
- Drainage Design
- Transportation Engineering
- Utility Engineering
- Roadway Engineering
- Commercial and Residential Structural Design
- Building Engineering

NARRATIVE

BB's Roadhouse
ACDG Project No. 140023
July 31, 2015

Existing:

The existing site consists of a 4,653 SF Automotive garage with related parking facility. The existing building is served by Pasco County Utilities Department for potable water service. Sanitary Sewer is provided by an onsite septic system.

Proposed:

The proposed site will consist on converting the existing building into a billiards establishment. The proposed conversion will be considered a change of use and a substantial deviation. The proposed billiards hall will not have live music. The following is a list of proposed site revisions:

Onsite/Offsite Parking:

The proposed project and parking requirements are calculated as follows:
4,653 SF billiard halls calculated at 1 space per 75 SF:

$4653/75 = 62$ spaces required

Outdoor seating:

**10 picnic tables at 75 SF = 750 SF

$750/75 = 10$ spaces required

Total Required = 72

80 spaces provided including 3 handicapped spaces

** Outdoor seating will not be used when Billiard Hall is open for tournaments



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- Commercial and Residential Structural Design
- Building Engineering

The proposed site plan yields 22 paved parking spaces. As staff has suggested in a pre-application meeting the owner has obtained a lease for 58 additional offsite parking spaces. The offsite 58 share (grassed) parking spaces will always be available for use. The owner will provide a sign with directions/cautions to BB's Roadhouse from the offsite parking. The proposed route is indicated on the overall site plan, sheet #2 of the construction plans.

On occasion the offsite parking may be used by employees. Employees would take the designated route to the building.

Landscape Buffer:

The modified site will require updated landscape buffers. In order to provide these buffers the owner will remove same existing asphalt on-site. The proposed buffers are listed on the site plan. The proposed buffer along the eastern property line cannot be met without removing substantial asphalt that would require removal of a drive aisle. Therefore, the owner has requested an alternative standards approval for a reduced buffer width.

Water Service:

The existing building is served by Pasco County Utilities Department with a 3/4" meter. The proposed increase in fixtures will likely require an increase in meter size.

Sanitary Sewer:

The existing building is served by an on-site septic system. The owner currently has a permit issued by the Health Department to increase the capacity of the system.

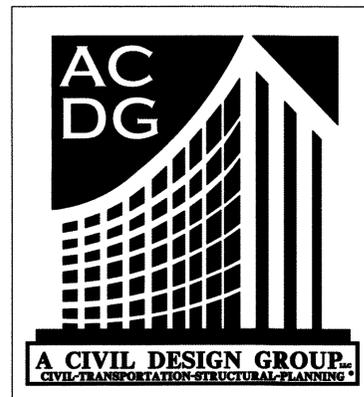
SUBSTANTIAL MODIFICATION TO PRELIMINARY SITE/ CONSTRUCTION/STORMWATER MANAGEMENT PLAN

AND REPORT FOR

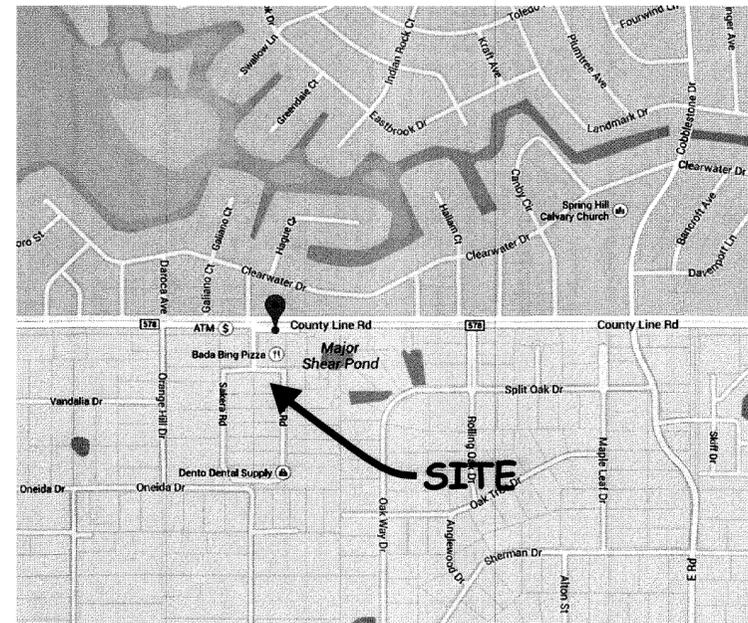
BB'S ROADHOUSE 12426 COUNTY LINE ROAD HUDSON, FLORIDA

PID 04-24-17-0000-00200-0050

APPROVED B.C.C.
D.R.C.
P.D.D.
AMENDMENT
Pasco County
By: Cindy Zatorski
Date: August 4, 2015
PDD#: PDD15-1510
File#: SML15-005
For Substantial Compliance With
The Applicable Provisions of Pasco County
Land Development Regulations
And Their Intent



1



VICINITY MAP
NO SCALE

SECTION: 04, TWP. 24S, RANGE: 17E

INDEX

- SHEET 1 OF 7 = COVER SHEET
- SHEET 2 OF 7 = OVERALL SITE PLAN
- SHEET 3 OF 7 = EXISTING/DEMO PLAN
- SHEET 4 OF 7 = SITE PLAN
- SHEET 5 OF 7 = UTILITY PLAN
- SHEET 6 OF 7 = LANDSCAPE PLAN
- SHEET 7 OF 7 = DETAILS

PROPERTY OWNER

ANDREW & PENNY L. TOCCO
PO BOX 615
ARIPEKA, FLORIDA 34679

SURVEYOR

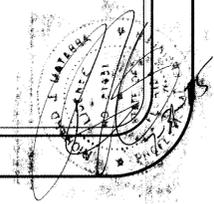
CORNERSTONE SURVEYING AND LAND PLANNING
PROFESSIONAL SURVEYORS AND MAPPER
KENNETH A. LANDSEADEL LB 4686
16644 SAGUARO LANE
SPRING HILL, FL 34610
(727) 846-1041

ENGINEER:

A CIVIL DESIGN GROUP, LLC
12529 SPRING HILL DRIVE
SPRING HILL, FL 34609
www.acivildesign.com
TEL: (352) 683-9566
FAX: (352) 683-9567
EB #27060

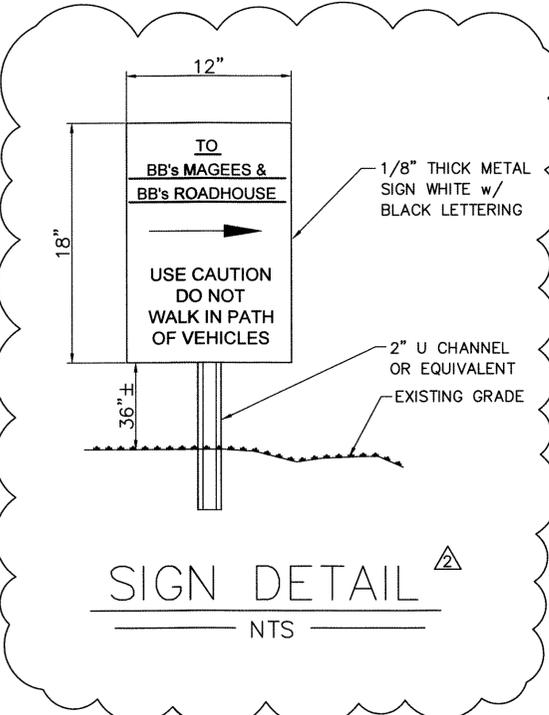
APPROVED BY:

Richard J. Matassa, P.E.
P.E. #51431
ACDG PROJECT #140023

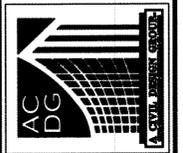




NOTE:
LIGHTING WILL BE PROVIDED FOR OFFSITE
PARKING AREA WHEN IN USE. THERE WILL BE NO
LIGHT SPILLAGE OR GLARE BEYOND THE PROJECT
SITE. ALL LIGHTS SHALL BE FULL CUT-OFF AND
DIRECTED STRAIGHT DOWNWARD.



NO.	DATE	DESCRIPTION	REV. BY	DATE
1	06/09/15	AS NOTED	Q.S.	06/09/15
2	06/09/15	REVISED FOR COUNTY COMMENTS DATED 06/09/15	Q.S.	06/09/15
3	06/09/15	REVISED FOR COUNTY COMMENTS DATED 06/09/15	Q.S.	06/09/15
4	06/09/15	REVISED FOR COUNTY COMMENTS DATED 06/09/15	Q.S.	06/09/15



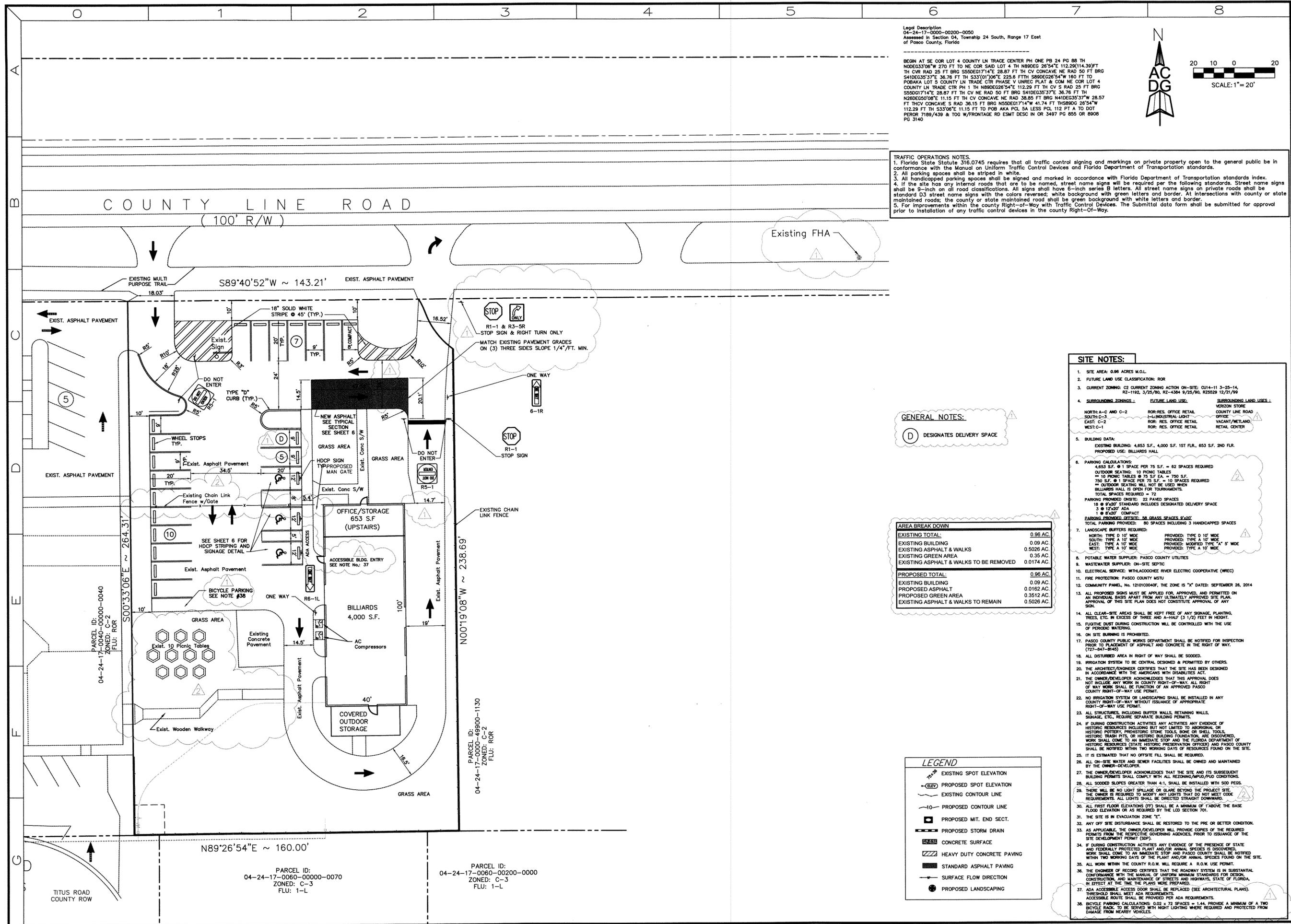
A CIVIL DESIGN GROUP, L.L.C.
CIVIL ENGINEERS & PLANNERS
12529 Spring Hill Drive Spring Hill, FL, 34609
Phone - (352) 883-9566
www.ACivilDesign.com
Registration # EB-27060

BB'S ROAD HOUSE
12426 COUNTY LINE ROAD
OVERALL SITE PLAN

DATE: Jul 31, 2015	SCALE: AS NOTED	DATE: 11/24/14	SEC: 04	TWP: 24	RANGE: 17 E	JOB NUMBER: 140023
PREPARED AND APPROVED: [Signature] DATE: [Blank]						

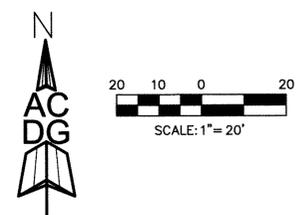
Sheet No. **2** OF **7**

This plan shall not be used as a construction document, unless stamped "APPROVED FOR CONSTRUCTION".
User Name: g07g Plot Date: Jul 31, 2015 - 12:59pm Drawing Name: C:\Users\WAMAGESE\OneDrive\Work\Projects\RoadHouse\RoadHouse_27060\140023.rvt



Legal Description
 04-24-17-0000-0000-0050
 Assessed in Section 04, Township 24 South, Range 17 East
 of Pasco County, Florida

BEGIN AT SE COR LOT 4 COUNTY LN TRACE CENTER PH ONE PB 24 PG 88 TH
 N00E33°06'W 270 FT TO NE COR SAID LOT 4 TH N89DEG 26'54"E 112.29(114.39)FT
 TH CVR RAD 25 FT BRG S55DEG17'14"E 28.87 FT TH CV CONCAVE NE RAD 50 FT BRG
 S41DEG35'37"E 36.78 FT TH S33°01'00"E 225.6 FT TH S80DEG26'54"W 160 FT TO
 POB/KA LOT 5 COUNTY LN TRADE CTR PHASE V UNREG PLAT & COM NE COR LOT 4
 COUNTY LN TRADE CTR PH 1 TH N89DEG26'54"E 112.29 FT TH CV S RAD 25 FT BRG
 S50DEG17'14"E 28.87 FT TH CV NE RAD 50 FT BRG S41DEG35'37"E 36.78 FT TH
 N25DEG00'00"E 11.15 FT TH CV CONCAVE NE RAD 38.85 FT BRG N41DEG33'37"W 28.57
 FT THCV CONCAVE S RAD 36.15 FT BRG N55DEG17'14"W 41.74 FT THS89DEG 26'54"W
 112.29 FT TH S33°06'E 11.15 FT TO POB AKA PCL 5A LESS PCL 112 PT A TO DOT
 PEROR 7189/439 & TOG W/FRONTAGE RD ESMT DESC IN OK 3497 PG 855 OR 8908
 PG 3140



TRAFFIC OPERATIONS NOTES:
 1. Florida State Statute 316.0745 requires that all traffic control signing and markings on private property open to the general public be in conformance with the Manual on Uniform Traffic Control Devices and Florida Department of Transportation standards.
 2. All parking spaces shall be striped in white.
 3. All handicapped parking spaces shall be signed and marked in accordance with Florida Department of Transportation standards index.
 4. If the site has any internal roads that are to be named, street name signs will be required per the following standards. Street name signs shall be 9-inch on all road classifications. All signs shall have 6-inch series B letters. All street name signs on private roads shall be standard D3 street name signs with the colors reversed; white background with green letters and border. At intersections with county or state maintained roads, the county or state maintained road shall be green background with white letters and border.
 5. For improvements within the county Right-of-Way with Traffic Control Devices, the Submittal data form shall be submitted for approval prior to installation of any traffic control devices in the county Right-of-Way.

GENERAL NOTES:
 (D) DESIGNATES DELIVERY SPACE

AREA BREAK DOWN	
EXISTING TOTAL:	0.98 AC.
EXISTING BUILDING	0.09 AC.
EXISTING ASPHALT & WALKS	0.5028 AC.
EXISTING GREEN AREA	0.35 AC.
EXISTING ASPHALT & WALKS TO BE REMOVED	0.0174 AC.
PROPOSED TOTAL:	0.98 AC.
EXISTING BUILDING	0.09 AC.
PROPOSED ASPHALT	0.0162 AC.
PROPOSED GREEN AREA	0.3512 AC.
EXISTING ASPHALT & WALKS TO REMAIN	0.5026 AC.

SITE NOTES:

- SITE AREA: 0.98 ACRES M.O.L.
- FUTURE LAND USE CLASSIFICATION: ROR
- CURRENT ZONING: C2 CURRENT ZONING ACTION ON-SITE: CU14-11 3-25-14, RZ-1192, 3/25/80, RZ-4364 9/25/80, RZ5229 12/21/89
- SURROUNDING ZONINGS: FUTURE LAND USE: SURROUNDING LAND USES:
 NORTH A-C AND C-2: ROR, RES. OFFICE RETAIL, VERIZON STORE
 SOUTH C-3: I-INDUSTRIAL LIGHT, OFFICE
 EAST: C-2: ROR, RES. OFFICE RETAIL, VACANT/METLAND
 WEST: C-1: ROR, RES. OFFICE RETAIL, RETAIL CENTER
- BUILDING DATA:
 EXISTING BUILDING: 4,653 S.F., 4,000 S.F. 1ST FLR., 653 S.F. 2ND FLR.
 PROPOSED USE: BILLIARDS HALL
- PARKING CALCULATIONS:
 4,653 S.F. @ 1 SPACE PER 75 S.F. = 62 SPACES REQUIRED
 OUTDOOR SEATING: 10 PICNIC TABLES
 ** 10 PICNIC TABLES @ 75 S.F. EA. = 750 S.F.
 750 S.F. @ 1 SPACE PER 75 S.F. = 10 SPACES REQUIRED
 ** OUTDOOR SEATING WILL NOT BE USED WHEN
 BILLIARDS HALL IS OPEN FOR TOURNAMENTS.
 TOTAL SPACES REQUIRED = 72
 PARKING PROVIDED ON-SITE: 22 PAVED SPACES
 18 @ 5'x20' STANDARD INCLUDES DESIGNATED DELIVERY SPACE
 3 @ 12'x20' ADA
 1 @ 8'x20' COMPACT
 PARKING PROVIDED OFF-SITE: 50 GRASS SPACES @ 5'x20'
 TOTAL PARKING PROVIDED: 80 SPACES INCLUDING 3 HANDICAPPED SPACES
- LANDSCAPE BUFFERS REQUIRED:
 NORTH: TYPE D 10' WIDE PROVIDED: TYPE D 10' WIDE
 SOUTH: TYPE A 10' WIDE PROVIDED: TYPE A 10' WIDE
 EAST: TYPE A 10' WIDE PROVIDED: MODIFIED TYPE "A" 5' WIDE
 WEST: TYPE A 10' WIDE PROVIDED: TYPE A 10' WIDE
- POTABLE WATER SUPPLIER: PASCO COUNTY UTILITIES
- WASTEWATER SUPPLIER: ON-SITE SEPTIC
- ELECTRICAL SERVICE: WITHLACOCHEE RIVER ELECTRIC COOPERATIVE (WREC)
- FIRE PROTECTION: PASCO COUNTY MSTU
- COMMUNITY PANEL, No. 12101C0040F, THE ZONE IS "X" DATED: SEPTEMBER 26, 2014
- ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED, AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY APPROVED SITE PLAN. APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGN.
- ALL CLEAR-SITE AREAS SHALL BE KEPT FREE OF ANY SIGNAGE, PLANTING, TREES, ETC. IN EXCESS OF THREE AND A-HALF (3 1/2) FEET IN HEIGHT.
- FLUTUOUS DUST DURING CONSTRUCTION WILL BE CONTROLLED WITH THE USE OF PERIODIC WATERING.
- ON SITE BURNING IS PROHIBITED.
- PASCO COUNTY PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED FOR INSPECTION PRIOR TO PLACEMENT OF ASPHALT AND CONCRETE IN THE RIGHT OF WAY. (727-847-8848)
- ALL DISTURBED AREA IN RIGHT OF WAY SHALL BE SOODED.
- IRRIGATION SYSTEM TO BE CENTRAL DESIGNED & PERMITTED BY OTHERS.
- THE ARCHITECT/ENGINEER CERTIFIES THAT THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THIS APPROVAL DOES NOT INCLUDE ANY WORK IN COUNTY RIGHT-OF-WAY. ALL RIGHT OF WAY WORK SHALL BE FUNCTION OF AN APPROVED PASCO COUNTY RIGHT-OF-WAY USE PERMIT.
- NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY COUNTY RIGHT-OF-WAY WITHOUT ISSUANCE OF APPROPRIATE RIGHT-OF-WAY USE PERMIT.
- ALL STRUCTURES, INCLUDING BUFFER WALLS, RETAINING WALLS, SIGNAGE, ETC., REQUIRE SEPARATE BUILDING PERMITS.
- IF DURING CONSTRUCTION ACTIVITIES ANY ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES INCLUDING BUT NOT LIMITED TO AGRICULTURAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATION, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF RESOURCES FOUND ON THE SITE.
- IT IS ESTIMATED THAT NO OFFSITE FILL SHALL BE REQUIRED.
- ALL ON-SITE WATER AND SEWER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER/DEVELOPER.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THE SITE AND ITS SUBSEQUENT BUILDING PERMITS SHALL COMPLY WITH ALL REZONING/MPUD/PUD CONDITIONS.
- ALL SOODED SLOPES GREATER THAN 4:1, SHALL BE INSTALLED WITH SOD PEGS.
- THERE WILL BE NO LIGHT SPILLAGE OR GLARE BEYOND THE PROJECT SITE. THE OWNER IS REQUIRED TO MODIFY ANY LIGHTS THAT DO NOT MEET CODE REQUIREMENTS. ALL LIGHTS SHALL BE DIRECTED STRAIGHT DOWNWARD.
- ALL FIRST FLOOR ELEVATIONS (FF) SHALL BE A MINIMUM OF 1' ABOVE THE BASE FLOOD ELEVATION OR AS REQUIRED BY THE LID SECTION "01".
- THE SITE IS IN EVACUATION ZONE "E".
- ANY OFF SITE DISTURBANCE SHALL BE RESTORED TO THE PRE OR BETTER CONDITION.
- AS APPLICABLE, THE OWNER/DEVELOPER WILL PROVIDE COPIES OF THE REQUIRED PERMITS FROM THE RESPECTIVE GOVERNING AGENCIES, PRIOR TO ISSUANCE OF THE SITE DEVELOPMENT PERMIT (SDP).
- IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.
- ALL WORK WITHIN THE COUNTY R.O.W. WILL REQUIRE A R.O.W. USE PERMIT.
- THE ENGINEER OF RECORD CERTIFIES THAT THE ROADWAY SYSTEM IS IN SUBSTANTIAL CONFORMANCE WITH THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE OF STREETS AND HIGHWAYS, STATE OF FLORIDA, IN EFFECT AT THE TIME THE PLANS WERE PREPARED.
- ADA ACCESSIBLE ACCESS DOOR SHALL BE REPLACED (SEE ARCHITECTURAL PLANS). THRESHOLD SHALL MEET ADA REQUIREMENTS.
- BICYCLE PARKING CALCULATIONS: 0.02 @ 72 SPACES = 1.44. PROVIDE A MINIMUM OF A TWO BICYCLE RACK, TO BE SERVED WITH NIGHT LIGHTING WHERE REQUIRED AND PROTECTED FROM DAMAGE FROM NEARBY VEHICLES.

LEGEND

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED MIT. END SECT.
- PROPOSED STORM DRAIN
- CONCRETE SURFACE
- HEAVY DUTY CONCRETE PAVING
- STANDARD ASPHALT PAVING
- SURFACE FLOW DIRECTION
- PROPOSED LANDSCAPING

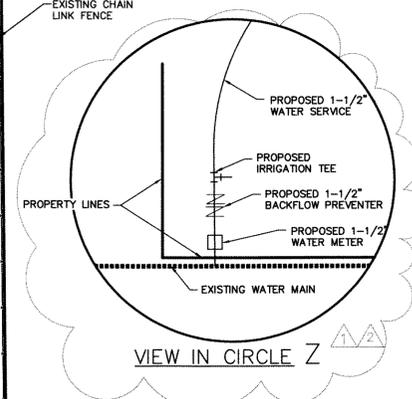
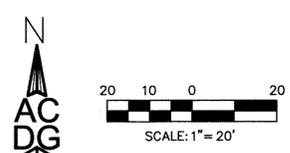
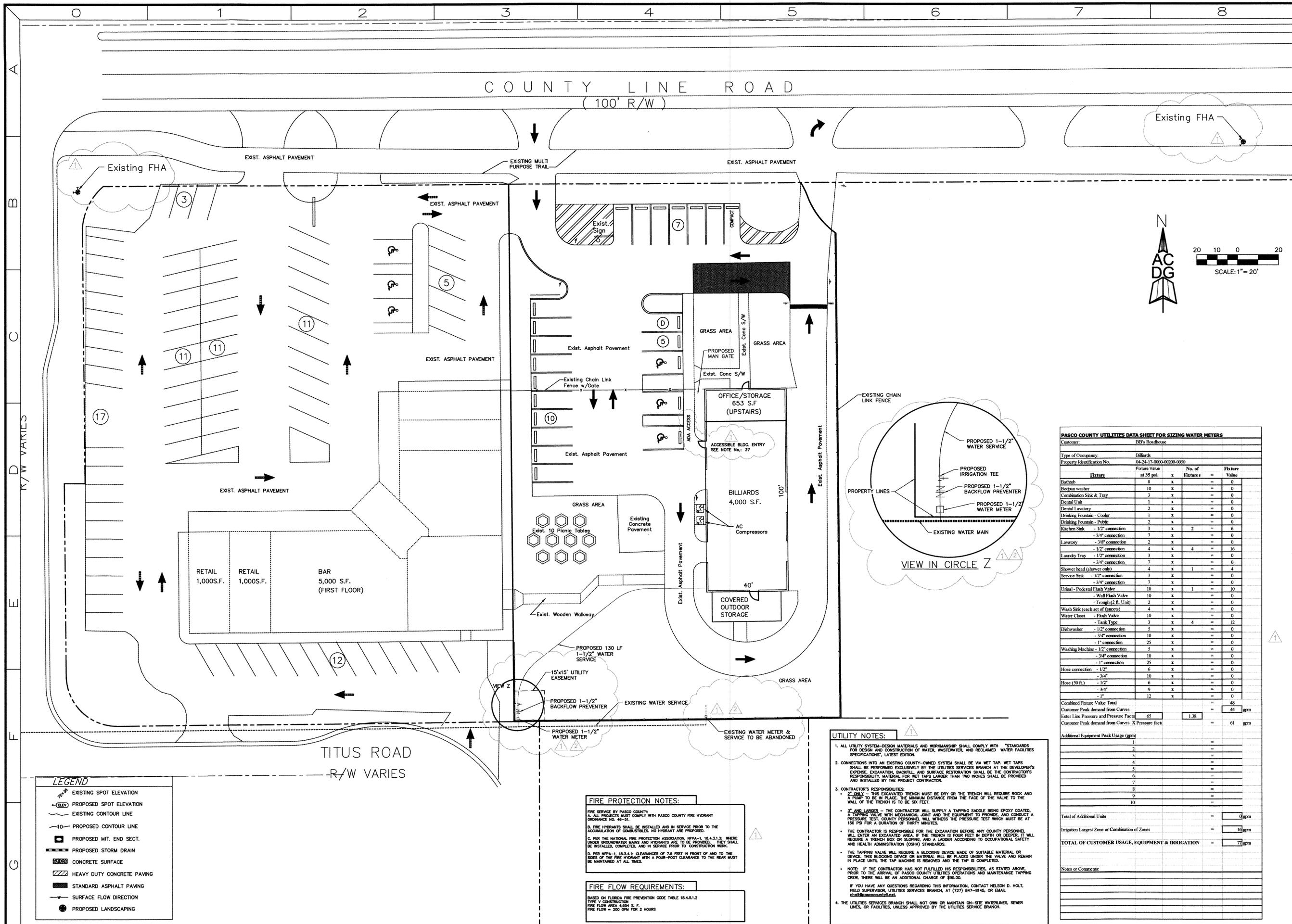
AC DG
 A CIVIL DESIGN GROUP, L.L.C.
 CIVIL ENGINEERS & PLANNERS
 12529 Spring Hill Drive Spring Hill, FL, 34609
 Phone - (352) 883-9566
 WWW.ACivilDesign.com
 Registration # EB-27060

BB'S ROAD HOUSE
 12426 COUNTY LINE ROAD
 SITE PLAN

DATE: JUL 31, 2015
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 11/24/14
 SEC: 04
 TWT: 24
 RANGE: 17 E
 JOB NUMBER: 140023

4 OF 7 SHEETS

This plan shall not be used as a construction document, unless stamped "APPROVED FOR CONSTRUCTION".



PASCO COUNTY UTILITIES DATA SHEET FOR SIZING WATER METERS

Customer: BB's Roadhouse

Type of Occupancy: Billiards
 Property Identification No. 04-24-17-0000-00200-0050

Fixture	Fixture Value at 35 psi	No. of Fixtures	Value
Bathtub	8	x	= 0
Bedpan washer	10	x	= 0
Combination Sink & Tray	3	x	= 0
Dental Unit	1	x	= 0
Dental Lavatory	2	x	= 0
Drinking Fountain - Cooler	1	x	= 0
Drinking Fountain - Public	2	x	= 0
Kitchen Sink - 1/2" connection	3	x	= 6
- 3/4" connection	7	x	= 0
Lavatory - 3/8" connection	2	x	= 0
- 1/2" connection	4	x	= 16
Laundry Tray - 1/2" connection	3	x	= 0
- 3/4" connection	7	x	= 0
Shower head (shower only)	4	x	= 4
Service Sink - 1/2" connection	3	x	= 0
- 3/4" connection	7	x	= 0
Urinal - Pedestal Flush Valve	10	x	= 10
- Wall Flush Valve	10	x	= 0
- Trough (2 ft. Unit)	2	x	= 0
Wash Sink (each set of faucets)	4	x	= 0
Water Closet - Flush Valve	10	x	= 0
- Tank Type	3	x	= 12
Dishwasher - 1/2" connection	5	x	= 0
- 3/4" connection	10	x	= 0
- 1" connection	25	x	= 0
Hose connection - 1/2"	6	x	= 0
- 3/4"	9	x	= 0
- 1"	12	x	= 0
Combined Fixture Value Total			= 48
Customer Peak demand from Curves			= 44 gpm
Enter Line Pressure and Pressure Factor	65	1.38	
Customer Peak demand from Curves X Pressure fact.			= 61 gpm
Additional Equipment Peak Usage (gpm)			
1			= 0
2			= 0
3			= 0
4			= 0
5			= 0
6			= 0
7			= 0
8			= 0
9			= 0
10			= 0
Total of Additional Units			= 0 gpm
Irrigation Largest Zone or Combination of Zones			= 10 gpm
TOTAL OF CUSTOMER USAGE, EQUIPMENT & IRRIGATION			= 77 gpm

Notes or Comments:

- UTILITY NOTES:**
- ALL UTILITY SYSTEM-DESIGN MATERIALS AND WORKMANSHIP SHALL COMPLY WITH "STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER, AND RECLAIMED WATER FACILITIES SPECIFICATIONS", LATEST EDITION.
 - CONNECTIONS INTO AN EXISTING COUNTY-OWNED SYSTEM SHALL BE VIA NET TAP. NET TAPS SHALL BE PERFORMED EXCLUSIVELY BY THE UTILITIES SERVICES BRANCH AT THE DEVELOPER'S EXPENSE. EXCAVATION, BACKFILL, AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MATERIAL FOR NET TAPS LARGER THAN TWO INCHES SHALL BE PROVIDED AND INSTALLED BY THE PROJECT CONTRACTOR.
 - CONTRACTOR'S RESPONSIBILITIES:
 - "2" ONLY - THE EXCAVATED TRENCH MUST BE DRY ON THE TRENCH WILL REQUIRE ROCK AND A FLOW TO BE IN PLACE. THE MINIMUM DISTANCE FROM THE FACE OF THE VALVE TO THE WALL OF THE TRENCH IS TO BE SIX FEET.
 - "2" AND LARGER - THE CONTRACTOR WILL SUPPLY A TAPPING SADDLE BEING EPOXY COATED. A TAPPING VALVE WITH MECHANICAL JOINT AND THE EQUIPMENT TO PROVIDE, AND CONDUCT A PRESSURE TEST. COUNTY PERSONNEL WILL WITNESS THE PRESSURE TEST WHICH MUST BE AT 150 PSI FOR A DURATION OF THIRTY MINUTES.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION BEFORE ANY COUNTY PERSONNEL WILL ENTER AN EXCAVATED AREA. IF THE TRENCH IS FOUR FEET IN DEPTH OR DEEPER, IT WILL REQUIRE A TRENCH BOX OR SHIELDING AND A LADDER ACCORDING TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
 - THE TAPPING VALVE WILL REQUIRE A BLOTTING DEVICE MADE OF SUITABLE MATERIAL OR DEVICE. THIS BLOTTING DEVICE OR MATERIAL WILL BE PLACED UNDER THE VALVE AND REMAIN IN PLACE UNTIL THE TAP MACHINE IS REMOVED AND THE TAP IS COMPLETED.
 - NOTE: IF THE CONTRACTOR HAS NOT FULFILLED HIS RESPONSIBILITIES, AS STATED ABOVE, PRIOR TO THE ARRIVAL OF PASCO COUNTY UTILITIES OPERATIONS AND MAINTENANCE TAPPING CREW, THERE WILL BE AN ADDITIONAL CHARGE OF \$85.00.
 - IF YOU HAVE ANY QUESTIONS REGARDING THIS INFORMATION, CONTACT NELSON D. HOLT, FIELD SUPERVISOR, UTILITIES SERVICES BRANCH, AT (727) 847-8145, OR EMAIL: ndholt@pascocountyfl.net.
 - THE UTILITIES SERVICES BRANCH SHALL NOT OWN OR MAINTAIN ON-SITE WATERLINES, SEWER LINES, OR FACILITIES, UNLESS APPROVED BY THE UTILITIES SERVICE BRANCH.

FIRE PROTECTION NOTES:

FIRE SERVICE BY PASCO COUNTY:
 A. ALL PROJECTS MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE NO. 46-51.
 B. FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES. NO HYDRANT ARE PROPOSED.
 C. FOR THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA-1, 16.4.3.1.3, WHERE UNDER GROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
 D. FOR NFPA-1, 16.3.4.1, CLEARANCES OF 7.5 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A FOUR-FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.

FIRE FLOW REQUIREMENTS:

BASED ON FLORIDA FIRE PREVENTION CODE TABLE 18.4.5.1.2
 TYPE V CONSTRUCTION
 FIRE FLOW AREA 4,000 S.F.
 FIRE FLOW = 200 GPM FOR 2 HOURS

- LEGEND**
- EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - PROPOSED MIT. END SECT.
 - PROPOSED STORM DRAIN
 - CONCRETE SURFACE
 - HEAVY DUTY CONCRETE PAVING
 - STANDARD ASPHALT PAVING
 - SURFACE FLOW DIRECTION
 - PROPOSED LANDSCAPING

AC DG
 A CIVIL DESIGN GROUP

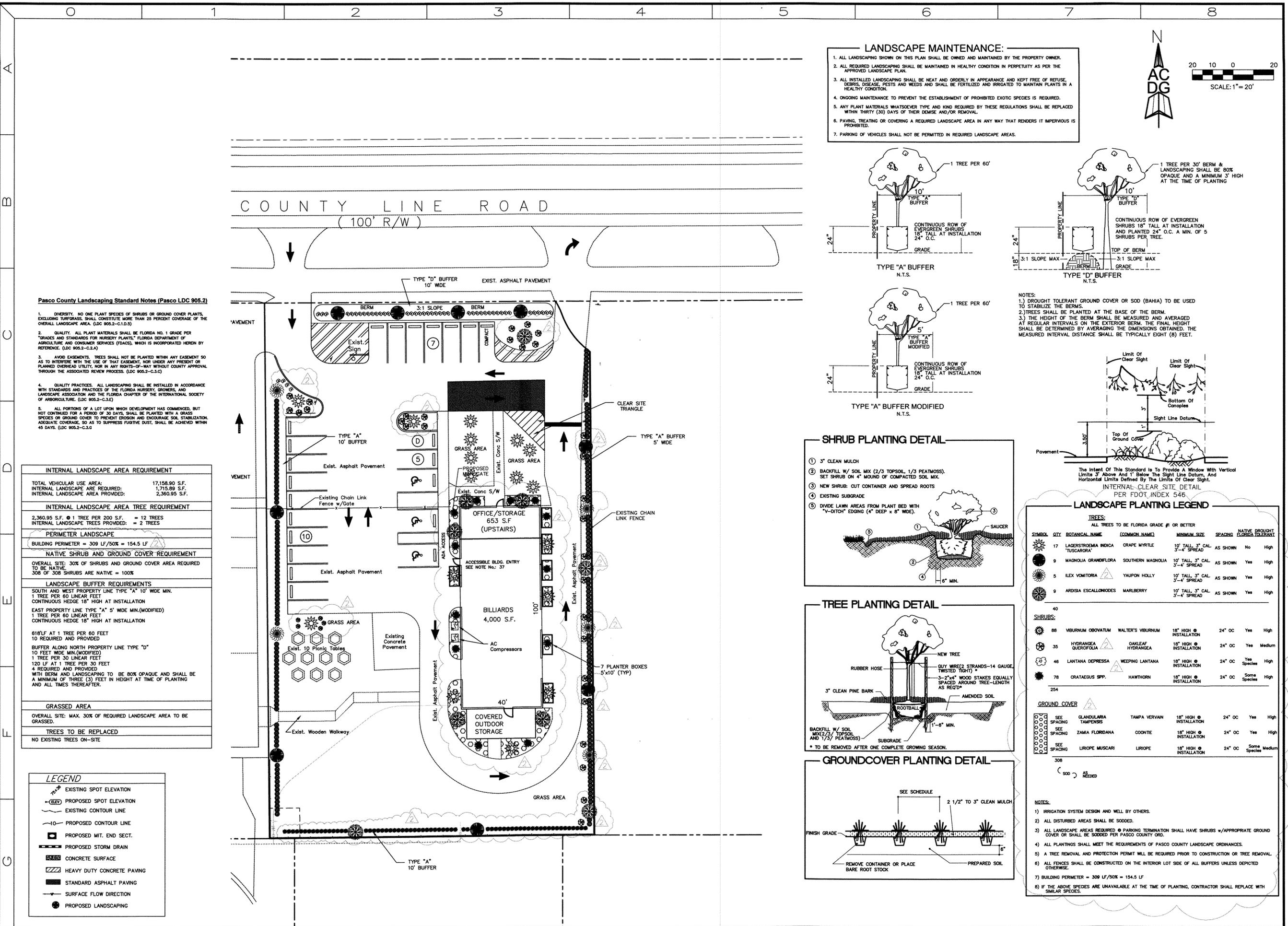
A CIVIL DESIGN GROUP, L.L.C.
 CIVIL ENGINEERS & PLANNERS
 12529 Spring Hill Drive Spring Hill, FL, 34609
 Phone - (352) 683-9566
 WWW.ACivilDesign.com
 Registration # EB-27060

BB'S ROAD HOUSE
12426 COUNTY LINE ROAD
UTILITY PLAN

Jul 31, 2015
 LEE/GJS
 AS DATED
 DATE: 31/24/15
 SEC: 04
 TWP: 24
 RANGE: 17 E
 JOB NUMBER: 140023
 DRAWING NUMBER: 140023E.gp

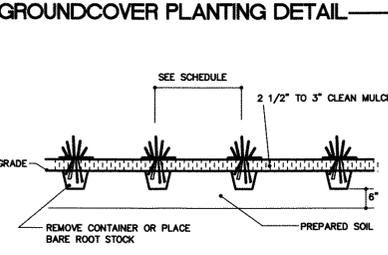
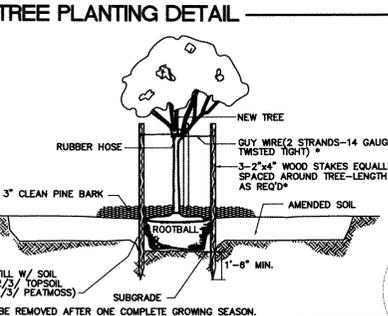
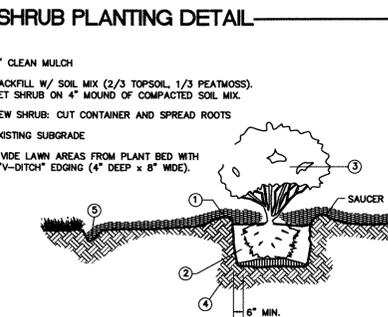
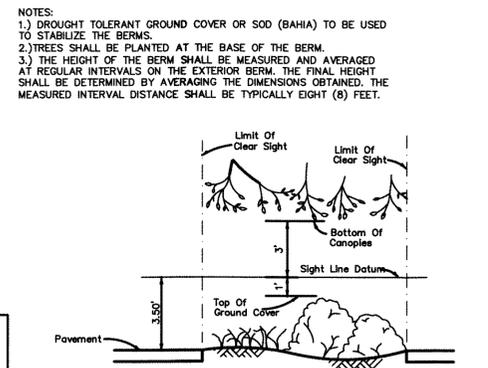
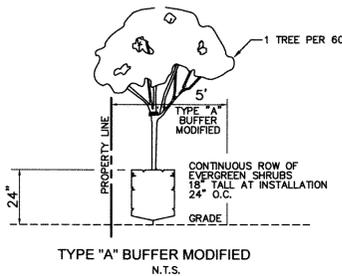
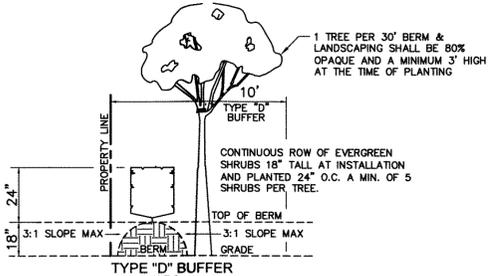
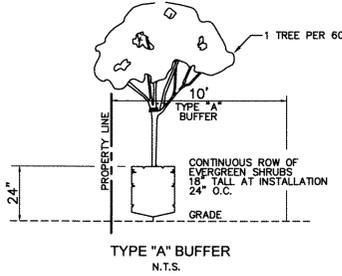
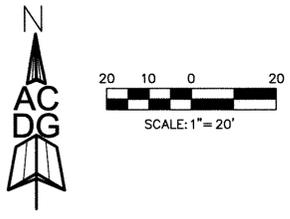
Sheet No. 5 of 7

This plan shall not be used as a construction document, unless stamped "APPROVED FOR CONSTRUCTION".



LANDSCAPE MAINTENANCE:

1. ALL LANDSCAPING SHOWN ON THIS PLAN SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER.
2. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN HEALTHY CONDITION IN PERPETUITY AS PER THE APPROVED LANDSCAPE PLAN.
3. ALL INSTALLED LANDSCAPING SHALL BE NEAT AND ORDERLY IN APPEARANCE AND KEPT FREE OF REFUSE, DEBRIS, DISEASE, PESTS AND WEEDS AND SHALL BE FERTILIZED AND IRRIGATED TO MAINTAIN PLANTS IN A HEALTHY CONDITION.
4. ONGOING MAINTENANCE TO PREVENT THE ESTABLISHMENT OF PROHIBITED EXOTIC SPECIES IS REQUIRED.
5. ANY PLANT MATERIALS WHATSOEVER TYPE AND KIND REQUIRED BY THESE REGULATIONS SHALL BE REPLACED WITHIN THIRTY (30) DAYS OF THEIR DEMISE AND/OR REMOVAL.
6. PAVING, TREATING OR COVERING A REQUIRED LANDSCAPE AREA IN ANY WAY THAT RENDERERS IT IMPEROUS IS PROHIBITED.
7. PARKING OF VEHICLES SHALL NOT BE PERMITTED IN REQUIRED LANDSCAPE AREAS.



Pasco County Landscaping Standard Notes (Pasco LDC 905.2)

1. DIVERSITY. NO ONE PLANT SPECIES OF SHRUBS OR GROUND COVER PLANTS, EXCLUDING TURFOGRASS, SHALL CONSTITUTE MORE THAN 25 PERCENT COVERAGE OF THE OVERALL LANDSCAPE AREA. (LDC 905.2-C.1.D.5)
2. QUALITY. ALL PLANT MATERIALS SHALL BE FLORIDA NO. 1 GRADE PER "GRADES AND STANDARDS FOR NURSERY PLANTS" FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES (FDACS), WHICH IS INCORPORATED HERIN BY REFERENCE. (LDC 905.2-C.2.A)
3. AVOID EASEMENTS. TREES SHALL NOT BE PLANTED WITHIN ANY EASEMENT SO AS TO INTERFERE WITH THE USE OF THAT EASEMENT, NOR UNDER ANY PRESENT OR PLANNED OVERHEAD UTILITY, NOR IN ANY RIGHTS-OF-WAY WITHOUT COUNTY APPROVAL THROUGH THE ASSOCIATED REVIEW PROCESS. (LDC 905.2-C.3.C)
4. QUALITY PRACTICES. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH STANDARDS AND PRACTICES OF THE FLORIDA NURSERY, GROWERS, AND LANDSCAPE ASSOCIATION AND THE FLORIDA CHAPTER OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE. (LDC 905.2-C.3.E)
5. ALL PORTIONS OF A LOT UPON WHICH DEVELOPMENT HAS COMMENCED, BUT NOT CONTINUED FOR A PERIOD OF 30 DAYS, SHALL BE PLANTED WITH GRASS SPECIES OR GROUND COVER TO PREVENT EROSION AND ENCOURAGE SOIL STABILIZATION. ADEQUATE COVERAGE, SO AS TO SUPPRESS FUGITIVE DUST, SHALL BE ACHIEVED WITHIN 45 DAYS. (LDC 905.2-C.3.G)

INTERNAL LANDSCAPE AREA REQUIREMENT	
TOTAL VEHICULAR USE AREA:	17,158.90 S.F.
INTERNAL LANDSCAPE ARE REQUIRED:	1,715.89 S.F.
INTERNAL LANDSCAPE AREA PROVIDED:	2,360.95 S.F.
INTERNAL LANDSCAPE AREA TREE REQUIREMENT	
2,360.95 S.F. @ 1 TREE PER 200 S.F. =	12 TREES
INTERNAL LANDSCAPE TREES PROVIDED:	= 2 TREES
PERIMETER LANDSCAPE	
BUILDING PERIMETER = 309 LF/50% =	154.5 LF
NATIVE SHRUB AND GROUND COVER REQUIREMENT	
OVERALL SITE: 30% OF SHRUBS AND GROUND COVER AREA REQUIRED TO BE NATIVE	
30% OF 308 SHRUBS ARE NATIVE =	100%
LANDSCAPE BUFFER REQUIREMENTS	
SOUTH AND WEST PROPERTY LINE TYPE "A" 10' WIDE MIN.	
1 TREE PER 60 LINEAR FEET	
CONTINUOUS HEDGE 18" HIGH AT INSTALLATION	
EAST PROPERTY LINE TYPE "A" 5' WIDE MIN.(MODIFIED)	
1 TREE PER 60 LINEAR FEET	
CONTINUOUS HEDGE 18" HIGH AT INSTALLATION	
610 LF AT 1 TREE PER 60 FEET	10 REQUIRED AND PROVIDED
BUFFER ALONG NORTH PROPERTY LINE TYPE "D" 10 FEET WIDE MIN.(MODIFIED)	
1 TREE PER 30 LINEAR FEET	
120 LF AT 1 TREE PER 30 FEET	4 REQUIRED AND PROVIDED
WITH BERM AND LANDSCAPING TO BE 80% OPAQUE AND SHALL BE A MINIMUM OF THREE (3) FEET IN HEIGHT AT TIME OF PLANTING AND ALL TIMES THEREAFTER.	
GRASSSED AREA	
OVERALL SITE: MAX. 30% OF REQUIRED LANDSCAPE AREA TO BE GRASSED.	
TREES TO BE REPLACED	
NO EXISTING TREES ON-SITE	

LEGEND

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED MIT. END SECT.
- PROPOSED STORM DRAIN
- CONCRETE SURFACE
- HEAVY DUTY CONCRETE PAVING
- STANDARD ASPHALT PAVING
- SURFACE FLOW DIRECTION
- PROPOSED LANDSCAPING

LANDSCAPE PLANTING LEGEND

ALL TREES TO BE FLORIDA GRADE #1 OR BETTER

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	SPACING	NATIVE	DROUGHT FLORIDA TOLERANT
17		LAGERSTROEMIA INDICA	GRAPE MYRTLE	18" TALL, 3" CAL. 3'-4" SPREAD	AS SHOWN	No	High
9		MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	18" TALL, 3" CAL. 3'-4" SPREAD	AS SHOWN	Yes	High
5		ILEX VOMITORIA	YALPON HOLLY	18" TALL, 3" CAL. 3'-4" SPREAD	AS SHOWN	Yes	High
9		ARDISIA ESCALLONOIDES	MARLBERRY	18" TALL, 3" CAL. 3'-4" SPREAD	AS SHOWN	Yes	High
SHRUBS:							
88		VIBURNUM OBOVATUM	WALTER'S VIBURNUM	18" HIGH @ INSTALLATION	24" OC	Yes	High
35		HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	18" HIGH @ INSTALLATION	24" OC	Yes	Medium
46		LANTANA DEPRESSA	WEeping LANTANA	18" HIGH @ INSTALLATION	24" OC	Yes	High
78		CRATAEGUS SPP.	HAWTHORN	18" HIGH @ INSTALLATION	24" OC	Some	High
GROUND COVER							
SEE SPACING		GLANDULARIA TAMPENSIS	TAMPA VERVAIN	18" HIGH @ INSTALLATION	24" OC	Yes	High
SEE SPACING		ZAMIA FLORIDANA	COONTE	18" HIGH @ INSTALLATION	24" OC	Yes	High
SEE SPACING		LIRIOPE MUSCARI	LIRIOPE	18" HIGH @ INSTALLATION	24" OC	Some	Medium

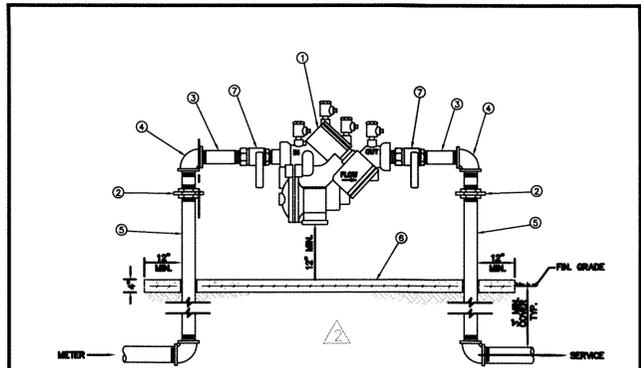
NOTES:

- 1) IRRIGATION SYSTEM DESIGN AND WELL BY OTHERS.
- 2) ALL DISTURBED AREAS SHALL BE SOODED.
- 3) ALL LANDSCAPE AREAS REQUIRED @ PARKING TERMINATION SHALL HAVE SHRUBS w/APPROPRIATE GROUND COVER OR SHALL BE SOODED PER PASCO COUNTY ORD.
- 4) ALL PLANTINGS SHALL MEET THE REQUIREMENTS OF PASCO COUNTY ORDINANCES.
- 5) A TREE REMOVAL AND PROTECTION PERMIT WILL BE REQUIRED PRIOR TO CONSTRUCTION OR TREE REMOVAL.
- 6) ALL FENCES SHALL BE CONSTRUCTED ON THE INTERIOR LOT SIDE OF ALL BUFFERS UNLESS DEPICTED OTHERWISE.
- 7) BUILDING PERIMETER = 309 LF/50% = 154.5 LF
- 8) IF THE ABOVE SPECIES ARE UNAVAILABLE AT THE TIME OF PLANTING, CONTRACTOR SHALL REPLACE WITH SIMILAR SPECIES.

AC DG
A CIVIL DESIGN GROUP, L.L.C.
CIVIL ENGINEERS & PLANNERS
12529 Spring Hill Drive Spring Hill, FL, 34809
Phone - (352) 683-9566
WWW.ACIVILDESIGN.COM
Registration # EB-27060

BB'S ROAD HOUSE
12426 COUNTY LINE ROAD
LANDSCAPE PLAN

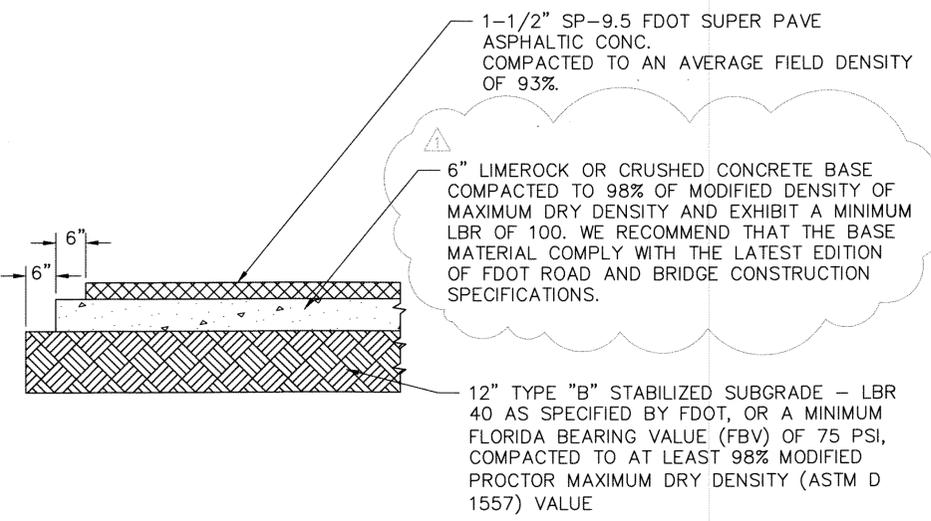
DATE: Jul 31, 2015
DRAWN BY: LEE/CJS
CHECKED BY: AS
DATE: 11/24/14
SCALE: 1" = 20'
SHEET NO: 6 OF 7



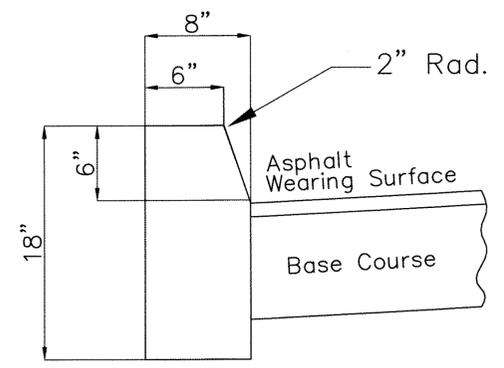
ITEM	QUANT.	DESCRIPTION
1	1	BACKFLOW PREVENTER ASSEMBLY, REDUCED PRESSURE ZONE
2	2	UNIONS - GALV.
3	2	WELDS - BRASS
4	2	ELBOWS - GALV. 90°
5	2	RESER - GALV.
6	2	CONCRETE SLAB
7	2	BALL VALVES - BRASS OR S.S. (PROVIDED WITH RPP ASSTY)

NOTE: - FIELD ADJUST AND CUT ITEM 5 TO THE PROPER LENGTH.
- MINIMUM CLEARANCE OF 24" TO BE MAINTAINED AROUND DEVICE FOR TESTING.
- ENTIRE ASSEMBLY TO BE PAINTED SAFETY BLUE.
- CONCRETE SLAB TO EXTEND 12" MIN. AROUND ENTIRE DEVICE.
- DEVICE MUST BE LISTED WITH THE UNIVERSITY OF CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH.

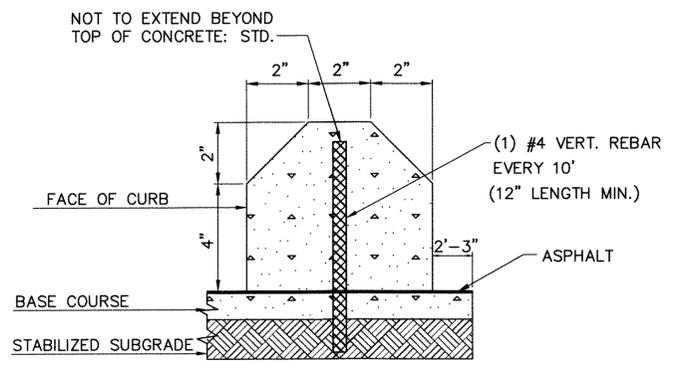
CREATED	02/24/03	REDUCED PRESSURE BACKFLOW PREVENTER (SINGLE SERVICE: 3/4", 1", 1-1/2", 2")	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCL APPROVAL.
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 12



TYPICAL PAVING SECTION
N.T.S.

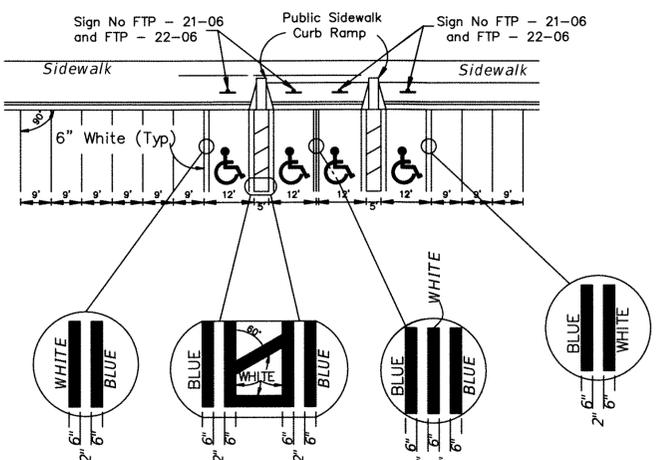


TYPE "D" CONC. CURB
N.T.S.



CENTER OF WHEEL STOP WILL BE LOCATED THIRTY INCHES (30") FROM EDGE OF PAVEMENT

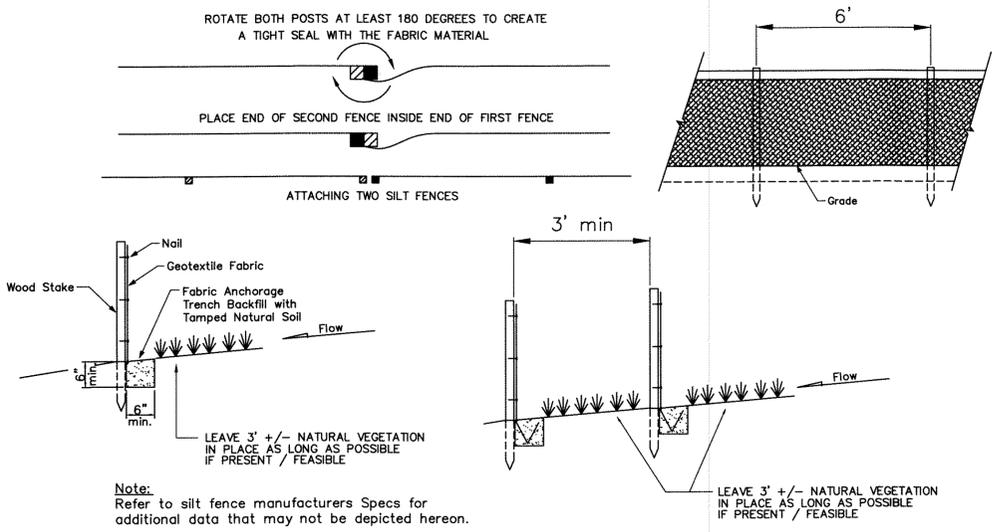
WHEEL STOP DETAIL
N.T.S.



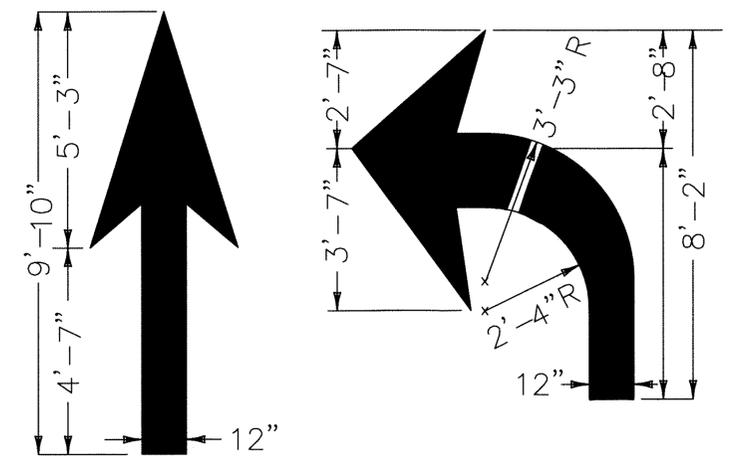
- NOTES:
- Dimensions are to the centerline of markings
 - An Access Aisle is required for each accessible space when angle parking is used
 - Criteria for pavement markings only, not public sidewalk curb ramp locations. For ramp locations refer to plans.
 - Blue pavement markings shall be tinted to match shade 15180 of Federal Standards 595a.
 - The FTA-22-06 panel shall be mounted below the FTP-21-06 sign.

PAVEMENT MARKINGS FOR PUBLIC SIDEWALK CURB RAMP IN REST AREAS

REFERENCE FDOT SPECIAL MARKING AREA INDEX NO.17346

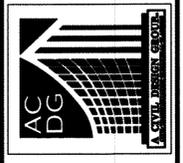


SILT FENCE INSTALLATION DETAIL
N.T.S.



ARROW DETAILS
N.T.S.

NO.	DATE	DESCRIPTION	REV. BY	DATE
1	06/29/15	REVISED PER COUNTY COMMENTS DATED 06/18/15	G.S.	06/29/15
2	07/01/15	REVISED PER COUNTY COMMENTS DATED 1/29/15 & 3/7/15	G.S.	07/01/15

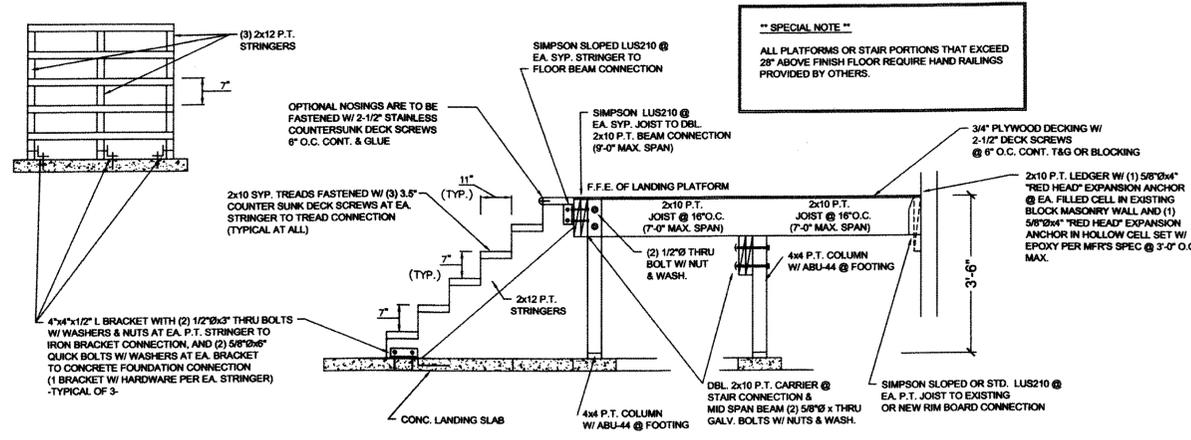


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Registration # EB-27060

BB'S ROAD HOUSE
12426 COUNTY LINE ROAD
DETAILS

DATE	Jul 31, 2015
DESIGNED BY	LEE/JS
CHECKED BY	AS NOTED
DATE	11/24/14
SCALE	04
TITLE	24
DATE	17 E
APPROVED	140023
DATE	140023

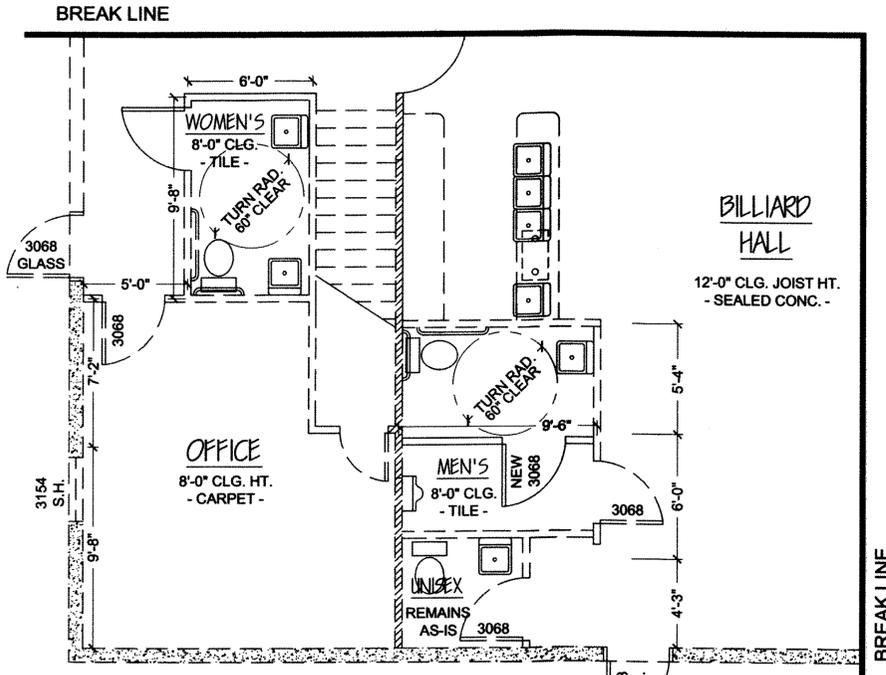
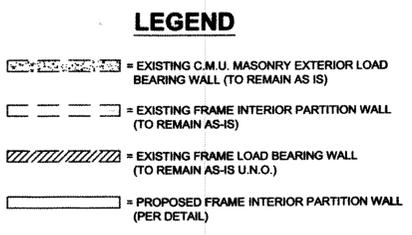
REVISED PER COUNTY COMMENTS 9-4-14
REVISED PER PLBG. COMMENTS 5-15-15



STAIR STRINGER / DECK SECTION DETAIL

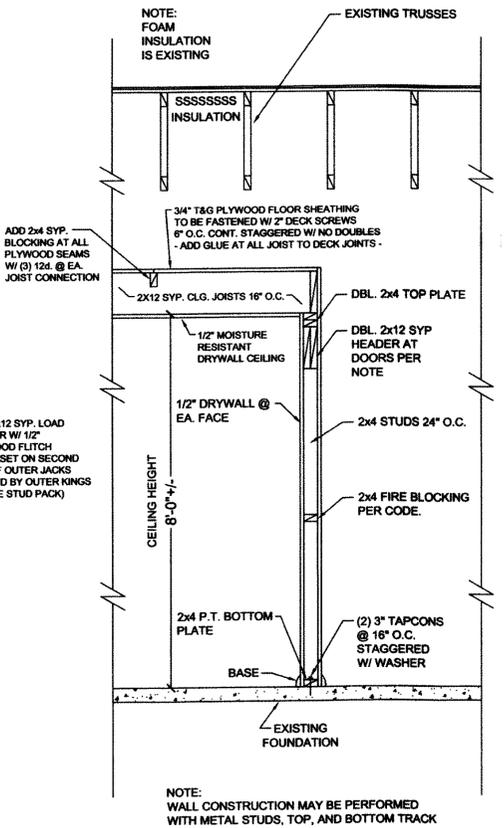
1/2" = 1'-0"

ACCESSIBILITY NOTES:
THESE BATHROOMS ARE TO BE MODIFIED PER PLAN AND ADHERE TO THE PROVIDED DETAILS
BUILDING TO RE-USE EXISTING HOT WATER SERVICE
ALL PLUMBING BELOW LAV. TO BE PADDED AND HEAT SHIELDED
BATHROOM DOOR HARDWARE TO BE TRIP LEVER TYPE WITH DOOR RETRACTORS
SLIP RESISTANT FLOORING AND WATER RESISTANT WALL FINISHES REQUIRED



PROPOSED REST ROOM LAYOUT

1/4" = 1'-0"

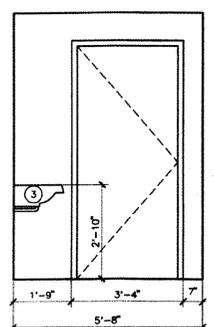


PROPOSED PARTITION SECTION

N.T.S.

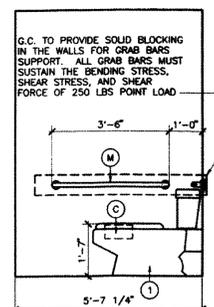
FRAMING NOTES:

1. ALL STUD TO PLATE CONNECTIONS TO BE (2) 16d. FULL SET
2. ALL JOIST ARE TO BE 2" BEARING W/ (4) 16d. FULL SET AT RIM BOARD CONNECTION, ALL JOISTS TO HAVE (1) MIN. 16d. TOE NAIL
3. CONT. 2x12 RIM BOARD TO HAVE (2) MIN. 16d. TOE NAIL TO TOP PLT. BETWEEN EA. JOIST @ 16" O.C. CONT. AT PARALLEL END RUNS
4. HEADERS TO BE DBL. 2x12 W/ 1/2" PLYWOOD FLITCH PLATE NAILED W/ (4) 8d. 8" O.C. STAGGERED (ADD GLUE AT EA. LAM.)
5. TRIPLE STUD PACKS AT HEADERS W/ (1) INNER JACK SET TO SASH PLATE W/ BLOCKS ABV., (1) OUTER JACKS SET TO HEADER BOTTOM, & (1) KING TO BOTTOM OF DBL. TOP PLATE.
6. CARPENTER TO VERIFY ROUGH OPENING DIMENSIONS FOR DOORS PRIOR TO CONSTRUCTION



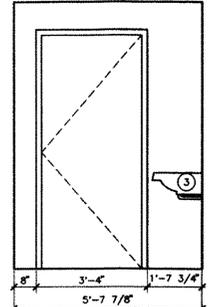
A Elevation

SCALE: 1/2" = 1'-0"



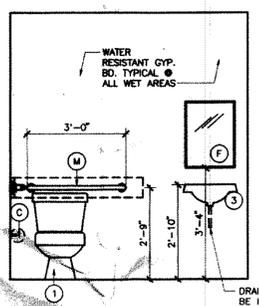
C Elevation

SCALE: 1/2" = 1'-0"



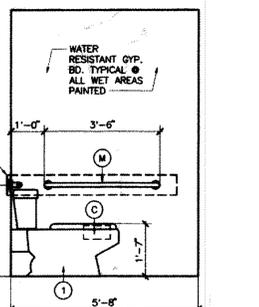
E Elevation

SCALE: 1/2" = 1'-0"



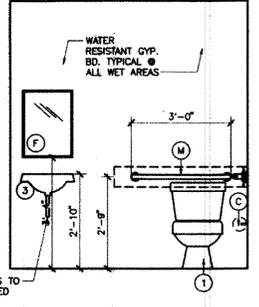
B Elevation

SCALE: 1/2" = 1'-0"



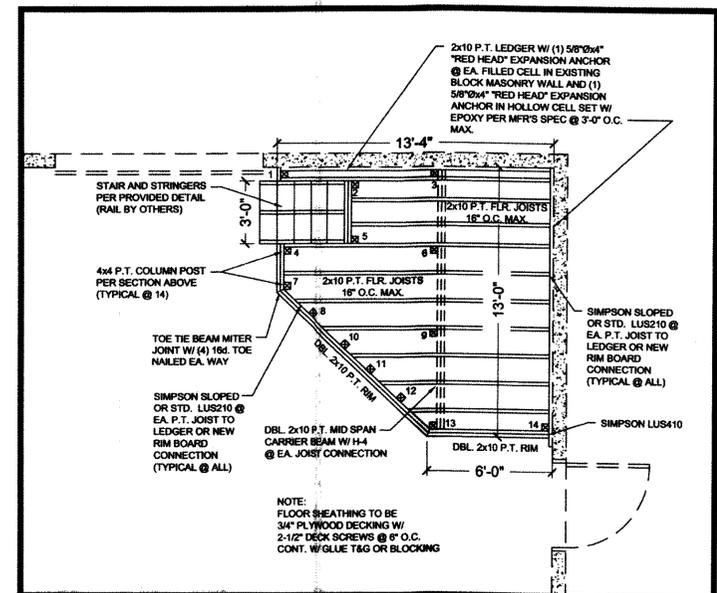
D Elevation

SCALE: 1/2" = 1'-0"



F Elevation

SCALE: 1/2" = 1'-0"



JUDGE'S STAND FLOOR FRAMING PLAN

1/4" = 1'-0"

Drafting Board Designs
Custom Building Plans
Drafting Services
B.E. Waters, Owner.
6335 Massachusetts Ave. Ste. 4
New Port Richey, FL 34653
Phone: (727) 845-8133

Jim Tippens, P.E. - 1217
2492 GULF BREEZE CIR.
PALM HARBOR, FLORIDA 34683
FLORIDA REG. ENG. 1217
FLORIDA REG. LAND SURVEYOR 448
FLORIDA ENVIRONMENTAL HEALTH INSPECTOR 1289
FLORIDA SPECIAL INSPECTOR 086

DATE: 8-5-14

BB'S ROADHOUSE FOR MR. TOCCO
LOCATION: 12426 COUNTY LINE RD.
HUDSON, FLA. 34667

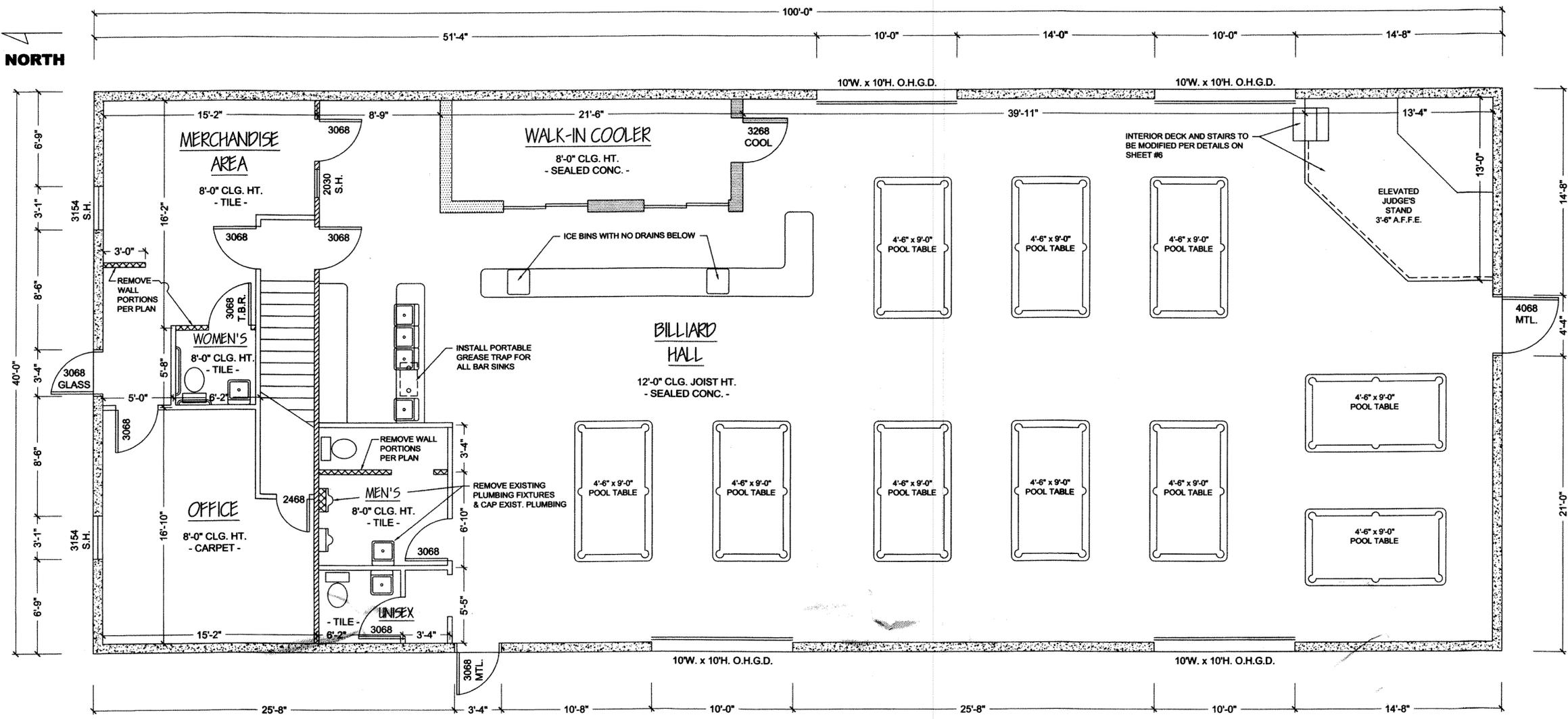
DETAIL SHEET

Jim Tippens, P.E.
2492 GULF BREEZE CIR.
PALM HARBOR, FLORIDA 34683
PHONE: (727) 845-8133

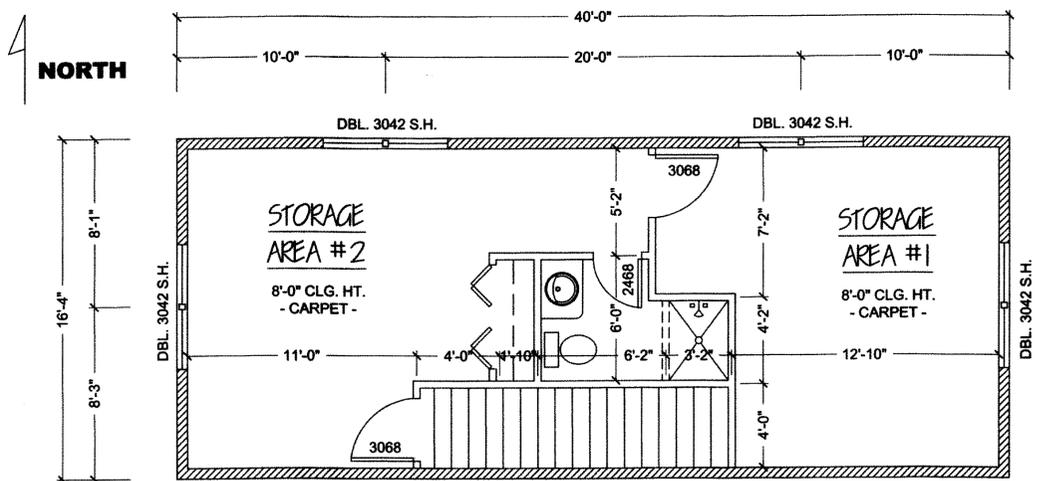
ENGINEER

REG. NO. 12217 DATE: 8/4/14

REVISED PER COUNTY COMMENTS 9-4-14
REVISED PER COUNTY COMMENTS 5-15-15



FIRST FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"

PROJECT NOTES:

- /// AS-BUILT NOTE /// THESE DRAWINGS ARE PRODUCED AS "AS-BUILT" DRAWINGS PORTRAYING EXISTING FIELD CONDITIONS WITH THE ADDITION OF A MODIFICATION TO AN EXISTING ELEVATED DECK & PAIR OF RESTROOMS
- 1. ALL DIMENSIONS DRAWN TO FACE OF MASONRY, OR CENTERLINE OF FRAME WALLS OR THEIR TERMINATION
- 2. MASONRY WALLS DRAWN AT 8 INCHES AND FRAME PARTITIONS AT 4 & 6 INCHES RESPECTIVELY
- 3. AS-BUILT DIMENSIONS MAY VARY, ANY DISCREPANCIES OF 2" OR GREATER ARE TO BE REPORTED TO ENGINEER OF RECORD.
- 4. **NO** KITCHEN EQUIPMENT IS PROPOSED PER THIS PLAN.
- 5. SEE SHT. #6 (DETAIL SHEET) FOR PROPOSED FLOOR PLAN AT RESTROOM AREA MODIFIED PER ACCESSIBILITY CODE

DEMOLITION NOTES:

- 1. DO NOT REMOVE ANY PORTION OF EXTERIOR WALL ENVELOPE PER THIS PLAN
- 2. EXISTING INTERIOR PARTITIONS ARE TO BE REMOVED PER THIS DEMOLITION PLAN ONLY
- 3. REMOVE EXISTING CEILING, JOISTS, AND DECKING AT MEN & WOMENS ROOM (SHORE & BRACE)
- 4. CAP ALL UTILITIES PRIOR TO DEMOLITION

LEGEND

- = EXISTING C.M.U. MASONRY EXTERIOR LOAD BEARING WALL (TO REMAIN AS-IS)
- = EXISTING FRAME INTERIOR PARTITION WALL (TO REMAIN AS-IS)
- = EXISTING FRAME LOAD BEARING WALL (TO REMAIN AS-IS)
- = EXISTING FRAME INTERIOR PARTITION WALL (TO BE REMOVED)
- = EXISTING ALUMINUM CLAD FOAM CORE COOLER WALL (TO REMAIN AS-IS)

SQUARE FOOTAGE	
FIRST FLOOR AREA	4,000
SECOND FLR. AREA	653
TOTAL	4,653

4032
3'-2" OVERALL OPENING HEIGHT
4'-0" OVERALL OPENING WIDTH

WINDOW / DOOR NOTE:

ANYWHERE A PORTION OF WALL HAS AN OPENING, THE OPENING IS LISTED FIRST BY WIDTH, THEN BY HEIGHT. EXAMPLE:

Jim Tippens, P.E.
2492 GULF BREEZE CIR.
PALM HARBOR, FLORIDA 34683
PHONE: (727) 845-8133

ENGINEER

REG. NO. 12217

DATE: 5/19/15

Drafting Board Designs
Custom Building Plans
Drafting Services
B.E. Waters, Owner.
6335 Macquarrie Ave. Ste. 4
New Port Richey, FL 34653
Phone/Fax (727) 845-8133

Jim Tippens, P.E. - 12217
PALM HARBOR, FLORIDA 34683
MIAI/DADE INSPECTOR 188
LAWYER (TRM, BAR)
FLORIDA REG. ENG. 12217
FLORIDA REG. LAND SURVEYOR 1448
FLORIDA ENVIRONMENTAL HEALTH INSPECTOR 1389
FLORIDA SPECIAL INSPECTOR 1869

BB'S ROADHOUSE FOR MR. TOCCO
LOCATION: 12426 COUNTY LINE RD.
HUDSON, FLA. 34667

FLOOR PLAN

BBs Roadhouse
Preliminary/Construction Site Plan Substantial Modification
Memorandum No. PDD15-1510

OWNER/DEVELOPER'S ACKNOWLEDGMENT:

The owner/developer acknowledges that he/she has read, understood, and accepted the above-listed conditions of approval.

10/1/15
Date

[Signature]
Signature

SCOTT A. DEWEY
Print Name

AGENT
Title

STATE OF FLORIDA
COUNTY OF Hernando

The foregoing instrument was acknowledged before me this October 1st 2015
(date), by Scott A. Dewey (name
of corporation acknowledging) a Authorized Agent
(State or place of incorporation) corporation, on behalf of the corporation. He/she is personally
known to me or who has produced _____ (type of
identification) as identification.

Seal:

[Signature]
NOTARY

