



# PASCO COUNTY, FLORIDA

***"Bringing Opportunities Home"***

West Pasco Government Center  
Planning & Development Department  
8731 Citizens Drive, Suite 230  
New Port Richey, FL 34654  
Telephone: (727) 847-2411  
Fax: (727) 847-8901  
[tsnyder@pscocoountyfl.net](mailto:tsnyder@pscocoountyfl.net)

August 20, 2015  
PDD15-1561

Mr. Gary Boucher, P.E.  
Ozona Engineering, Inc.  
P.O. Box 432  
Ozona, FL 34660  
[gboucher@ozonamail.com](mailto:gboucher@ozonamail.com)

RE: Center Plaza (SML15-031)  
Parcel ID # 18-26-16-0060-00F00-00A0  
Landscape Only

Dear Mr. Boucher:

Please be advised that the above referenced submittal was received on April 13, 2015. This submittal is based on Pasco County Land Development Code Section 905.2.A - Redevelopment Landscaping. The dollar value of the work to be done per the recent building permit submitted exceeds 25% of the depreciated value of the building; therefore, the site must be brought up to current landscaping codes, requiring landscaping as follows:

A Type D buffer along the west property line abutting U.S. Highway 19; a Type A buffer along the north and the southwest property lines; a Type B buffer along the south and east property lines; all vehicular use landscaping including the installation of landscaped islands; and building perimeter landscaping. An alternative standard has been applied for and approved to reduce the amount of building perimeter landscaping due to existing site constraints and, instead, include additional plantings elsewhere on site as well as enlarging two of the vehicular use islands to create more landscape area.

This landscape plan was prepared by Ozona Engineering, Inc., dated March 3, 2015, with final revisions received on August 11, 2015. Staff has reviewed this plan for compliance with the codes and requirements of Pasco County and approves the plan with the following conditions:

1. The applicant shall complete and have notarized the attached "Developer's Acknowledgment" portion prior to commencement of any work.
2. The applicant shall provide the applicable landscape plantings as required pursuant to the LDC, These plantings shall be as indicated on the approved Landscaping Site Plan.

*"Pasco County—Florida's premier county."*

3. The applicant/developer or project contractor shall notify the Project Management Division at least five working days prior to commencing any activity on the site.
4. A Registered Landscape Architect or other person as authorized by Chapter 481, Florida Statutes, as amended or other type of professional as approved by the County Administrator or designee shall conduct a final field inspection. A Certificate of Compliance shall be provided to the County prior to issuance of the Certificate of Completion.
5. The applicant acknowledges, in accordance with the LDC, Section 905.2, Landscaping and Buffering, wooden fences are not allowed as a visual screen in any of the buffer areas. However, as this project is a retro-fit and there is an existing wooden fence along portions of the east property line, this fence will be allowed to remain with the understanding that any portions thereof which are in any sort of disrepair will be replaced. Additionally, any portions of existing 4' fence will be replaced with an opaque 6' fence, and any existing 6' chain link fence will be slatted.
6. The applicant shall arrange for final site inspection by the Project Management Division prior to the issuance of any Building Permits. The inspection shall include all improvements required by the Landscape Plan approval.

The Planning and Development Department's approval of this Landscape Plan constitutes a finding by the Planning and Development Department that the plan as conditioned, is consistent with those Goals, Objectives and Policies of the Comprehensive Plan and those provisions of the Land Development Code that are applicable.

Please have the attached Developer's Acknowledgement signed, notarized and returned to our office.

Should you have any questions, please do not hesitate to contact our office at the above address or telephone number.

Sincerely,

*Tammy Snyder*

Tammy Snyder  
Senior Development Review Technician

*Pamela Shaw*

Pamela Shaw  
Planner I

cc: Center Plaza Holdings, LLC  
29 N. Pinellas Ave.  
Tarpon Springs, FL 34689  
[m.dris@drislaw.com](mailto:m.dris@drislaw.com)

DEVELOPER'S ACKNOWLEDGMENT:

The developer acknowledges that it has read, understood, and accepted the above-listed conditions of approval.

\_\_\_\_\_

Date

\_\_\_\_\_

Signature

\_\_\_\_\_

Print Name

\_\_\_\_\_

Title

STATE OF FLORIDA  
COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_\_ (date), by  
\_\_\_\_\_ (name of corporation  
acknowledging) a \_\_\_\_\_ (State or place of  
incorporation) corporation, on behalf of the corporation. He/she is personally known to me or who has  
produced \_\_\_\_\_ (type of identification) as identification.

Seal:

\_\_\_\_\_

NOTARY

**LEGAL DESCRIPTION**

TRACT "A", GROVE PARK, AS SHOWN ON THE PLAT RECORDED IN PLAT BOOK 6, PAGE 137, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

AND

A PORTION OF SECTION 18, TOWNSHIP 26 SOUTH, RANGE 16 EAST, PASCO COUNTY, FLORIDA, BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 18, TOWNSHIP 26 SOUTH, RANGE 16 EAST, PASCO COUNTY, FLORIDA; THENCE RUN S89°24'23"W, A DISTANCE OF 1321.00 FEET; THENCE RUN N00°21'23"E, A DISTANCE OF 611 FEET FOR A POINT OF BEGINNING; THENCE N68°55'44"W, A DISTANCE OF 128.92 FEET TO THE EASTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY 19; THENCE RUN ALONG SAID RIGHT OF WAY LINE N24°03'23"E, A DISTANCE OF 300 FEET; THENCE RUN S00°21'23"W, A DISTANCE OF 320.3 FEET TO THE POINT OF BEGINNING; LESS AND EXCEPT ADDITIONAL ROAD RIGHT OF WAY ACQUIRED BY PASCO COUNTY AND THE STATE OF FLORIDA IN LAW CASE NO. 1601 STYLED STATE ROAD DEPARTMENT OF FLORIDA AND PASCO COUNTY, PETITIONERS VS AIMEE DINGUS, ET AL, DEFENDANTS.

LESS AND EXCEPT ADDITIONAL ROAD RIGHT OF WAY FOR U.S. HIGHWAY NO. 19 (STATE ROAD NO. 55) AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP SECTION NO. 14030-2151.

**SURVEYOR INFO**

GEORGE A. SHIMP II AND ASSOCIATES, INC.  
3301 DESOTO BLVD. SUITE D  
PALM HARBOR, FL 34683  
(727) 784-5496  
INFO@SHIMPSURVEYING.COM

**FLOOD ZONE INFORMATION**

THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE X, IN ACCORDANCE WITH THE FIRM MAP OF PASCO COUNTY, COMMUNITY NUMBER 120230 (MAP NUMBER 12101C0351F), MAP DATED SEPTEMBER 26, 2014.

**BREAKDOWN OF REVISIONS**

| Revision Number | Date     | Description of Revision  | Affected Pages         |
|-----------------|----------|--|------------------------|
| 1               | 05/28/15 | Revisions per first round of Pasco County Comments   | ALL                    |
| 2               | 07/02/15 | Revisions per second round of Pasco County Comments  | C3.1, C4.1, CL11, CL12 |
| 3               | 08/11/15 | Revisions per Pasco:<br>Enlarge 2 islands in front of building, add trees.<br>Add shrubs at southwest area.<br>Misc. planting specification adjustments. | C1.1, C3.1, CL1.1      |

**NOTE TO CONTRACTOR**

THIS SET OF PLANS IS COMPRISED OF SEVERAL SHEETS THAT REFER TO EACH OTHER FOR VARIOUS DESIGN DATA AND DESCRIPTIVE PURPOSES. NO SHEET SHALL STAND ALONE. FOR BIDDING, CONSTRUCTION AND COORDINATION PURPOSES, ALL PAGES WITHIN THIS SET OF PLANS SHALL BE PRESENTED TOGETHER, NOT IN PART. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE SET OF PLANS TO ALL THOSE CONDUCTING WORK ON THIS PROJECT. INCOMPLETE PLAN PACKAGES MAY BE CONSIDERED INVALID BY THE ENGINEER OF RECORD.

**SECTION 18, TOWNSHIP 26 S., RANGE 16 E**

**PASCO COUNTY, FLORIDA**

**CONSTRUCTION PLANS**

**SITE INFORMATION**

PARCEL ID #:  
18-26-16-0060-00F00-00A0  
PROPERTY ADDRESS:  
4106 US HIGHWAY 19  
NEW PORT RICHEY FL 34652-5947



**LOCATION MAP**  
NTS



**AERIAL PHOTOGRAPH**  
NTS

**SITE DATA**

|                          | BEFORE DEVELOPMENT |             |          | AFTER DEVELOPMENT |             |          | MINIMUM OR MAXIMUM REQUIRED |             |          | NOTES |
|--------------------------|--------------------|-------------|----------|-------------------|-------------|----------|-----------------------------|-------------|----------|-------|
|                          | ZONING             | C2          |          | C2                |             |          |                             |             |          |       |
| LAND USE                 | ROR                |             |          | ROR               |             |          |                             |             |          |       |
| FACILITY USE             | RETAIL CENTER      |             |          | RETAIL CENTER     |             |          |                             |             |          |       |
| LOT AREA                 | 109,362 sf         | 2.51 Ac MOL | 100.0%   | 109,362 sf        | 2.51 Ac MOL | 100.0%   | 15,000 sf                   | 0.34 Ac MOL | 100.0%   |       |
| BUILDING COVERAGE        | 19,236 sf          | 0.44 Ac MOL | 17.6%    | 19,236 sf         | 0.44 Ac MOL | 17.6%    | 54,681 sf                   | 1.26 Ac MOL | 50.0%    |       |
| TOTAL NUMBER OF STORIES  | 1                  |             |          | 1                 |             |          | 2                           |             |          |       |
| GROSS FLOOR AREA         | 19,236 sf          |             | 0.18 FAR | 19,236 sf         |             | 0.18 FAR | 82,022 sf                   |             | 0.75 FAR |       |
| PAVED VEHICULAR USE AREA | 60,400 sf          | 1.39 Ac MOL | 55.2%    | 45,415 sf         | 1.04 Ac MOL | 41.5%    |                             |             |          |       |
| OTHER IMPERVIOUS AREA    | 3,300 sf           | 0.08 Ac MOL | 3.0%     | 8,000 sf          | 0.18 Ac MOL | 7.3%     |                             |             |          |       |
| IMPERVIOUS SURFACE RATIO | 82,936 sf          | 1.90 Ac MOL | 75.8%    | 72,651 sf         | 1.67 Ac MOL | 66.4%    | 82,022 sf                   | 1.88 Ac MOL | 75.0%    |       |
| OPEN SPACE               | 26,426 sf          | 0.61 Ac MOL | 24.2%    | 36,711 sf         | 0.84 Ac MOL | 33.6%    | 27,341 sf                   | 0.63 Ac MOL | 25.0%    |       |
| INTERIOR LANDSCAPING     | 0 sf               | 0.00 Ac MOL | 0.0%     | 5,046 sf          | 0.12 Ac MOL | 11.1%    | 4,542 sf                    | 0.10 Ac MOL | 10.0%    |       |
| BUILDING SETBACKS        | FRONT              | 92.7 ft     | W        | 92.7 ft           | W           |          | 25.0 ft                     | W           |          |       |
|                          | SIDE/FRONT         | 9.4 ft      | N        | 9.4 ft            | N           |          | 25.0 ft                     | N           |          |       |
|                          | SIDE               | 73.7 ft     | S        | 73.7 ft           | S           |          | 30.0 ft                     | S           |          |       |
|                          | REAR               | 10.2 ft     | E        | 10.2 ft           | E           |          | 30.0 ft                     | E           |          |       |
| PERIMETER LANDSCAPING    | FRONT              | 0.0 ft      | W        | 10.0 ft           | W           |          | 10.0 ft                     | W           |          |       |
|                          | SIDE               | 0.0 ft      | N        | 10.0 ft           | N           |          | 10.0 ft                     | N           |          |       |
|                          | SIDE               | 16.0 ft     | S        | 10.0 ft           | S           |          | 10.0 ft                     | S           |          |       |
|                          | REAR               | 10.2 ft     | E        | 25.0 ft           | E           |          | 10.0 ft                     | E           |          |       |
| BUILDING HEIGHT          | < 25 FT            |             |          | NO CHANGE         |             | 60.0 ft  |                             |             |          |       |

PARKING REQUIRED:  
RETAIL: 1 PER 300 SF  
PARKING CALCULATIONS  
19,236 SF / 300 SF = 64 MINIMUM PARKING REQUIRED

PARKING PROVIDED:  
TOTAL = 105  
INCLUDING 5 HANDICAP PARKING

BICYCLE PARKING @ 0.02 PER PROVIDED AUTOMOBILE PARKING: 105 X 0.02 = 2.1

**PROJECT INFORMATION**

PROPERTY OWNER/DEVELOPER:

CENTER PLAZA HOLDINGS LLC  
29 N PINELLAS AVE  
TARPOON SPRINGS FL 34689-3435  
(727) 786-5600  
E-MAIL: M.DRIS@DRISLAW.COM

DESCRIPTION OF WORK:

REMOVE EXISTING PAVEMENT CREATING NEW LANDSCAPE AREAS.  
RESTRIPE EXISTING PAVEMENT FOR PARKING.  
PLANT NEW LANDSCAPING.  
IMPROVEMENTS TO BUILDING FACADE PER ARCHITECTURAL PLANS. (NONE CALLED OUT ON THIS PLAN.)

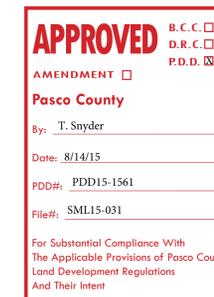
NO NEW BUILDING SQUARE FOOTAGE IS PROPOSED.

**UTILITY PROVIDERS:**

**WATER:** PASCO COUNTY UTILITIES (813) 847-8145  
**SEWER:** INDIVIDUAL PRIVATE DISPOSAL SYSTEM.  
**ELECTRICAL SERVICE:** DUKE ENERGY - FLORIDA REGION 4121 ST. LAWRENCE DR, NEW PORT RICHEY, FL 34653 CONTACT: ROB CRAWFORD (727) 599-4605  
**CABLE:** BRIGHT HOUSE NETWORKS, LLC 10555 MOON LAKE ROAD NEW PORT RICHEY, FL 34654 CONTACT: SANDRA JEFFERS PHONE: (813) 856-3278  
**TELEPHONE:** VERIZON 1280 EAST CLEVELAND STREET CLEARWATER, FL 33755 CONTACT: LINDA HUGHES PHONE:(727) 562-1136

**CIVIL SITE INDEX**

- C1.1 CIVIL SITE INFORMATION
- C1.2 CIVIL NOTES AND PROCEDURES
- C2.1 SITE DEMOLITION PLAN
- C3.1 SITE LAYOUT AND GEOMETRY PLAN
- C3.2 SIGNAGE AND MARKING PLAN
- C4.1 GRADING AND DRAINAGE PLAN
- C5.1 UTILITIES SITE PLAN
- C6.1 SITE DETAILS
- C6.2 SITE DETAILS
- CL0.1 LANDSCAPE CODE CALCULATION PLAN
- CL1.1 LANDSCAPE CODE PLAN
- CL1.2 LANDSCAPE CODE DETAILS



REVISIONS

| DATE     | BY  | REVISIONS  |
|----------|-----|--|
| 05/28/15 | AVF | PER PASCO COUNTY COMMENTS AND FURTHER DESIGN AVF |
| 07/02/15 | AVF | PER PASCO COUNTY COMMENTS AVF                    |
| 08/08/15 | AVF | PER PASCO COUNTY COMMENTS AVF                    |

HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF FLORIDA. MY SIGNATURE AND SEAL ARE HEREON AFFIXED BY MY HAND AND SEAL.

Gary A. Baucher, P.E. #20885  
gbaucher@ozonainc.com

**Ozona Engineering, Inc.**  
P.O. Box 432  
Ozona, Florida 34660-432  
Phone: (727) 785-3939 Fax: (727) 785-3434  
www.ozonainc.com

**CENTER PLAZA**  
NEQ US HIGHWAY 19 AND SR 54  
PASCO COUNTY, FLORIDA

PROJECT #:-  
ORIG. DATE: 03/03/15  
DRAWN BY: AVF  
SCALE: AS SHOWN

SHEET #:  
**C1.1**

**CIVIL SITE INFORMATION**

SCALE: NONE

### EROSION CONTROL NOTES:

- Sediment trapping measures: sediment basins and traps, perimeter berms, filter fences, berms, sediment barriers, vegetative buffers, hay bales and other measures intended to trap sediment and/or prevent the transport of sediment into adjacent properties, existing water bodies or public drainage systems must be installed, constructed or (in the case of vegetative buffers) protected from disturbance, as a first step in the land alteration process. Such systems shall be fully operative and inspected by the project engineer before any other disturbance to the site begins.
- Protection of existing storm sewer systems: during construction, all storm sewer inlets in the vicinity of the project shall be protected by sediment traps such as secured hay bales, sod, stone, etc. Which shall be maintained and modified as required as construction progresses. Such systems shall be fully operative and inspected by the project engineer before any other disturbance to the site begins.
- Sedimentation basin: the contractor will be required to prohibit discharge of silt through the outfall structure during construction of any retention area and will be required to clean out the retention area before installing any subdrain pipe. Permanent retention areas must be totally cleaned out and operating per design at final inspection and at the end of the warranty period.
- Swales ditches and channels: all swales ditches and channels leading from the site shall be sodded within three (3) days of excavation. All other interior swales, etc. Including detention areas will be sodded prior to issuance of certificate of occupancy.
- All sod shall be installed green side up, unless otherwise approved in writing by all applicable jurisdictions and the engineer of record.
- Protection and stabilization of soil stockpiles: fill material stockpiles shall be protected at all times by on-site drainage controls, which prevent erosion of the stockpiled material. Control of dust from such stockpiles may be required, depending upon their location and the expected length of time the stockpiles will be present. In no case shall an unstabilized stockpile remain after thirty (30) calendar days.
- Maintenance: all erosion and siltation control devices shall be checked regularly, especially after each rainfall and will be cleaned out and/or repaired as required.

### CONSTRUCTION IN RIGHT OF WAY GENERAL NOTES

- Compaction for pipe backfill shall comply with AASHTO T-99 (100%).
- All proposed work must comply with all applicable FDOT Indexes
- All right-of-way installations shall comply with the State of Florida Utilities Accommodations Guide.
- All construction shall be in compliance with local county and/or city development ordinances and minimum testing frequency requirements.
- Signs and barricades shall be per the FDOT Manual of Safe Practices; reference FDOT Indexes 600 through 650 and 17349 per Roadway and Traffic Design Standards, latest edition.
- A "Maintenance of Traffic Plan" shall be submitted prior to the commencement of right of way construction whenever one or more of the following conditions apply:
  - A street is closed to thru traffic for periods exceeding 15 minutes
  - One physical lane supports two-way traffic movement
  - Traffic lane(s) normally designed to handle movement in one direction are being rechanneled to accommodate an opposing movement.
- Sidewalks are to be reconstructed within three (3) days after removal and safe pedestrian traffic is to be maintained at all times. When existing sidewalk is removed, it is to be removed to the nearest expansion joint.
- Place expansion joints where 4" and 6" sidewalks about.
- Saw-cut existing edge of pavement prior to removal of curb.
- Disturbed area within the right-of-way shall be compacted to 100% of maximum density, restore to original conditions and sod.

### GENERAL CONSTRUCTION NOTES AND SPECIFICATIONS:

- All design and construction of the project shall conform to all local jurisdictional standards, specifications, land development, zoning and/or related ordinances.
- The contractor shall notify all utility companies at least 48 hours prior to the commencement of construction (unless specified otherwise).
- Contractor shall "Call Sunshine" 1-800-432-9770 a minimum of 2 days and a maximum of 5 days prior to the commencement of construction.
- All underground utilities must be installed before base and surfaces are placed.
- Locations of existing utilities are based upon surveys, jurisdictional atlas maps, as-built construction drawings and/or field observation. Locations are therefore considered approximate. Contractor shall conform to the design intent of the plans. Any required changes or adjustments must be approved by the project engineer prior to execution of work.
- It is the responsibility of the contractor to use whatever means necessary to control and prevent erosion and to control the movement of sediment to open surface drains, catch basins, water-bodies and retention ponds. See erosion and siltation control notes for additional information.
- All pipe lengths are plus or minus. Pipe measurements are center to center of structures or fittings.
- Existing pavement shall be saw-cut where new pavement is to be added or existing pavement is to be eliminated.
- Contractor is solely responsible for construction safety. Special precautions may be required in the vicinity of power lines and other utilities. Special precautions may be required for site access.
- Contractor shall restore all areas disturbed by their operation to their original or better condition.
- Contractor shall verify the location and elevation of all utility connection points prior to the start of construction and shall immediately notify the engineer and owner of any discrepancies that may be found.
- Adjustments of existing inlets, junction boxes, manhole tops, water valves, water meters, etc. shall be included in the contractor's bid. No claim shall be made against the owner or the engineer for these adjustments, if required.
- All backfill over any pipe (storm sewer, sanitary sewer, waterlines, etc.) That is installed under roadways or within the embankment of the roadway, shall be compacted in accordance with F. D. O. T. Standard Specifications, Section 125-8-3, latest edition.
- The contractor is responsible for testing all sanitary sewer and water mains in accordance with current standards of the local jurisdiction. Contractor shall notify the local jurisdiction and the owner or his / her authorized representative at least 48 hours in advance of performing tests. (Some jurisdictions may require more notice.)
- The contractor shall provide certified record drawings (as-builts), signed and sealed by a professional land surveyor. The record drawings shall depict final grades for retention basins, control structures and inlets with top and invert elevations, slot and baffle dimensioning and criteria. Locations of all utilities including sanitary sewer and water piping as well as any pertinent private utilities shall be provided. The contractor shall provide two copies of the certified record drawings to the project engineer. These drawings shall be sufficient in detail in order to be accepted by agencies having jurisdiction.
- Site clearing and stripping upon initial site preparation shall consist of clearing the vegetation with their root system and then stripping the surface topsoil.
- After stripping the site, the exposed near surface soil beneath the construction area located at least 6" below grade shall be compacted to densities equivalent to 95% of modified proctor, maximum dry density (ASTM D-1557).
- All sodding, seeding and mulching shall include watering and fertilization. The contractor shall be responsible for maintaining these areas up to and including the initial mowing.
- The contractor performing trench excavation, in excess of five feet (5') in depth, shall comply with the occupational safety and health administration's (OSHA) Trench Excavation Safety Standards, 29 C.F.R., S. 1926.650, Subpart P, including all subsequent revisions or updates to the standards as adopted by the department of labor and employment security (DLES).
- Contractor shall coordinate the points of connections of the utilities with all corresponding subcontractors. Site contractor shall construct the underground infrastructures (i.e. sanitary sewer, storm sewer, water lines, fire lines, etc.) To 5' outside of the buildings. The plumbing contractor shall connect and meet the invert elevations of these utilities. Any utility work performed within 5' of the building shall be the responsibility of the plumbing contractor. All work shall comply with all applicable federal, state and local codes, ordinances and requirements. (Local jurisdictions may have different requirements to features such as the fire line.)
- All work shall be performed and completed in a workmanlike manner in complete satisfaction of the owner, architect and the project engineer in full accord with the best recognized trade practices and procedures.
- Deviations to these plans and specifications without consent of the engineer may be cause for the work to be unacceptable. Any deviations must have written approval from the project engineer.
- All necessary permits and licenses shall be obtained and paid for by the contractor.
- Signs, buffer walls, fences and construction trailers are subject to separate submittals and permitting.

### STANDARD DETAILS, SPECIFICATIONS AND TYPICAL CONCEPTS

- Standard details, as provided by local jurisdictions for utilities, rights-of-way, etc., are provided as required by the local governing agencies. The engineer of record does not claim himself to be the author or otherwise creator of the jurisdictional details. They are provided as a standard reference or a requirement.
- Items for construction that are to be built per typical standards such as local utilities, right-of-way, etc. shall be built specifically per those standards. The details and notes in this regard provided on the plan are for reference purposes. It is the contractor's responsibility to obtain typical standard details and specifications for such work from the governing municipalities where the work is located and/or referenced. Any jurisdictional details provided herein may not stand alone and may require additional references to published standards. It is also recommended that the contractor coordinate all work with the local inspector(s) to assure proper specifications and practices are used relative to actual field conditions.
- All items called out with an FDOT reference are from the latest edition of the Florida Department of Transportation Design Standards. Some details are provided within the plans, however it is the contractor's responsibility to reference these standards for specific requirements.
- All items called out with a reference to a city or county highway standard are from the latest edition of that standard. Some details are provided within the plans, however it is the contractor's responsibility to reference the relevant standards for specific requirements.
- All items called out with a reference to Handicap Code or ADA standards require a reference to the latest edition of the Accessibility Code or Americans with Disabilities Act. Some details are provided within the plans, however it is the contractor's responsibility to reference this manual for specific requirements.
- All items called out with a reference to LDC (Land Development Code) or other relative source are from the city or county governing manual dictating minimum standards for all work hereon. Some details are provided within the plans, however it is the contractor's responsibility to reference the published standards for specific requirements.
- It is the contractor's responsibility to coordinate final construction with the associated inspectors of that work to guarantee final construction will be acceptable regardless of what the approved plans call out, reference or design.

### SURVEYS AND AS-BUILTS:

- The contractor commissioned to do the site work is responsible for providing as-built surveys during the course of the project and at the end of the job.
- As-Built Surveys shall include but not be limited to the following:
  - Sanitary Sewer
  - Water (Domestic, Fire and Reclaim)
  - Stormwater Infrastructure
  - Grading
  - Building Tie-in and Finish Floor Elevation
- All surveys shall be conducted and provided in the following manner:
  - Sanitary Sewer:  
The sanitary sewer as-builts shall be provided to the engineer of record prior to any further construction above the underground utilities. The sewer as-builts shall include but not be limited to the following data:
    - Manhole locations, top elevations, inverts, etc.
    - Pipe run sizes, types and lengths
    - Lift station top, inflow inverts and outflow invert
  - Water:  
All water utility as-builts shall be provided to the engineer of record prior to any further construction above underground utilities. The water as-builts shall include but not be limited to the following data:
    - Meter & Backflow preventer locations and sizes
    - Pipe run sizes, types and lengths
    - Locations and types of fittings such as tees, gate valves, etc.
  - Stormwater Infrastructure:  
All underground stormwater as-builts shall be provided to the engineer of record prior to any further construction above the underground element. The stormwater infrastructure as-builts shall contain but not be limited to the following data:
    - Inlet, junction box or end section type and location including top elevations and all inverts
    - Pipe run sizes, types and lengths
    - Pond top of bank, bottom, water elevation, geometry, littoral shelf elevation, etc.
    - Control structure top and invert elevations.
    - Weir invert, width, shape and baffle dimensions.
  - Grading:  
All pertinent grading such as floodplain mitigation areas, wetland work, paving, etc. shall be provided. The grading as-builts shall include but not be limited to the following data:
    - Grades at high points and low points along pavement, swales and other flow lines.
    - Grades at immediate perimeter of building(s).
    - Grades at top and toe of slope of areas exceeding 5:1 slope.
    - Grades at wetland buffer areas.
    - Grades at perimeter of site.
    - Grades at all handicap ramps and handicap parking.
  - Building Tie-In and Finish Floor:  
All buildings shall be located on the survey. The as-builts shall include but not be limited to the following data:
    - Dimension of all corners of buildings to each other and to the surrounding property lines. The dimensions shall be perpendicular to the property line.
    - Finish floor elevation(s) of the buildings.
- All surveys shall be conducted by a licensed surveyor. No as-built information shall be provided to the engineer of record in any other form unless specifically approved by the engineer of record.
- All surveys shall be provided to the engineer of record signed and sealed with a digital copy in CAD form.
- Surveys may require specific criteria per local jurisdictional requirements. Contractor/surveyor shall coordinate such requirements with the local jurisdictions to assure all needed data is provided and is in the proper format.

**SHOP DRAWINGS NOTE:**  
CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ITEMS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:  
DRAINAGE STRUCTURES  
DRAINAGE PIPES  
WATER PIPES AND FITTINGS  
VALVES AND RELATED ITEMS  
SANITARY SEWER MANHOLES  
SANITARY SEWER PIPES, FITTINGS, ETC.  
PAVEMENT SPECIFICATIONS  
HANDRAILS AND GUARDRAILS  
FENCES, GATES AND RELATED HARDWARE  
ALL SHOP DRAWINGS MUST BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD PRIOR TO PURCHASE AND INSTALLATION OF THESE ITEMS.

ADDITIONALLY, SPECIFIC ITEMS CONTAINED WITHIN THE DETAIL PAGES HAVE BEEN FLAGGED INSTRUCTING THE CONTRACTOR TO PROVIDE A SHOP DRAWING. (SHOP DRAWINGS SHALL NOT BE LIMITED TO THE DESIGNATED ITEMS.)

SYMBOL FOR SHOP DRAWING REQUIREMENT:



### CONTRACTOR PROCEDURE NOTES:

- New Water Mains:  
After completion of installation of new water mains, pressure testing shall be performed in accordance with the local jurisdiction water system standards and specifications, sampling of new water mains shall conform with county public health unit requirements and results forwarded to the engineer. Under no circumstances shall a new water system be placed into service until the certification by the engineer has been completed and a release from county public health unit and/or the Florida Dept. of Environmental Regulation (or other applicable local authority) has been issued.
- Tree Barricades And Erosion Control Measures:  
Required tree barricades and erosion control measures must remain intact throughout the project duration. Encroachment into or failure to maintain these barricades will result in enforcement action, which may include citations and/or permit revocations.
- Runoff Management:  
All retention areas, storm sewer piping, storm sewer structures, etc. Must be in place as part of the first phase of construction. It is the responsibility of the contractor to accommodate positive drainage throughout construction to avoid flooding of the adjacent properties. Any flooding that may occur due to this work will be the sole responsibility of the contractor.
- Public Utility Connections:  
Any new public utilities to be constructed within the right of way as part of the project must be inspected and accepted by the local jurisdiction prior to private connection from the project.
- Electronically Stored Data:  
The use of electronically stored data (i.e. CAD files) whether transmitted via disk, direct modem, e-mail, digitization, etc. is intended for informational purposes only. This information is not to be used for construction. Contractor must utilize signed and sealed documents for construction.

### COORDINATION BETWEEN SITEWORK AND BUILDINGS:

- Most projects have transitional construction items that include, but are not limited to the following:
  - Roof leader connections and locations
  - Drainage sleeves under walks
  - Necessity of a stem wall at grade transitions at the building(s)
  - Connection of the fire line into the building from the main
  - Transformer pads
  - Inverts of sanitary sewer piping at the building edge
  - Handicap ramps, walks, etc. leading to the entryways of a building
  - Protective pipe bollards
  - Dumpster enclosures attached to or near buildings
  - Loading areas with specific criteria
- During the bidding process, it shall be the sitework contractor's responsibility to either bid on or acknowledge transitional construction items. The bid shall include a specific description of each item. In cases where the sitework contractor does not provide any particular transitional item, he/she must acknowledge each item in writing attached to their bid.
- Some buildings have specific criteria for sitework adjacent to the buildings. In cases where there is a discrepancy between design items within the site plan and design items within the building plans, the contractor(s) must notify both the engineer of record and the building architect prior to conducting any work related to that item.
- Dumpster enclosures in general may be referenced both on the site plan and on the building plans. If the enclosure is referenced on the site plan, it is only to meet the permit requirements for the site plan. Contractor shall refer to the building plans for additional information as the architectural design of the dumpster enclosure is more specific for purposes of finish, gate design, footings, wind load requirements, etc.

### CONTRACTOR RESPONSIBILITIES:

- It is the contractor's responsibility to perform a site visit accompanied by the architect and the owner(s) of the entire project area including building(s) and site immediately upon occupying the work area.
- Provide photographic and written correspondence detailing any areas that are not in first class condition that is proposed to remain.
- Existing surfaces and materials that are unbroken, non-cracked, non-rusting, without chips, without splinters, of texture matching its surroundings, with new appearing finishes and operating as originally designed or intended to operate which will remain in their present condition at the conclusion of the project shall remain in such condition at the conclusion of the project. Any damage or alteration to such materials must be repaired, replaced or refinished to the owner's / architect's satisfaction at the expense of the contractor.
- The contractor will be responsible for providing the owner with a complete project in first class condition meeting industry wide standards in quality, performance and workmanship throughout the entire project area including buildings and sitework (regardless of whether or not an area is specifically identified within the drawings and specifications)-unless a particular area has been described in the aforementioned photographs and written details describing pre-construction repair or damage.
- Existing buildings, utilities, landscaping, etc. designed to remain must be protected throughout the project duration. Any area of the buildings, utilities, etc. that become damaged must be repaired or replaced to the full satisfaction of the owner / architect at no additional cost.
- The owner, architect, engineer, surveyor and their agents assume no responsibility for their preparation, completeness nor accurateness of the locations of existing utilities above or below ground. The contractor should only use this information as a guide to the suspected location and type of these utilities including but not limited to water supply, storm sewer, electrical power, irrigation lines, fiber optic cables, fire alarm system cables, control wiring systems, sanitary sewer, gas, reclaimed water, television cables, telephone line, security wiring, site underground mechanical systems, etc.
- It is the contractor's responsibility to determine the specific location of underground services by careful hand excavation only. Alternative excavation procedures must be approved by the project engineer and the owner prior to beginning the work.
- Contractor shall replace or repair, per specifications, any and all damaged underground services at no additional cost to the owner.

| REVISIONS | DATE     | BY   | DESCRIPTION |
|-----------|----------|--|-------------|
|           | 05/28/15 | PER PASCO COUNTY COMMENTS AND FURTHER DESIGN | AVF         |
|           | 07/02/15 | PER PASCO COUNTY COMMENTS                    | AVF         |
|           | 08/06/15 | PER PASCO COUNTY COMMENTS                    | AVF         |

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF FLORIDA. BY MY HAND AND SEAL.

Gary A. Baucher, P.E. #2085

STATE CERT. OF AUTH. #000902

# Ozona

## Engineering, Inc.

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Ozona, Florida 34860-432  
Phone: (727) 785-3939 Fax: (727) 785-4434  
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PROJECT #:

PROJECT #:

# CENTER PLAZA

NEQ US HIGHWAY 19 AND SR 54  
PASCO COUNTY, FLORIDA

ORIG. DATE: 03/03/15  
DRAWN BY: AVF  
SCALE: AS SHOWN

SHEET #:

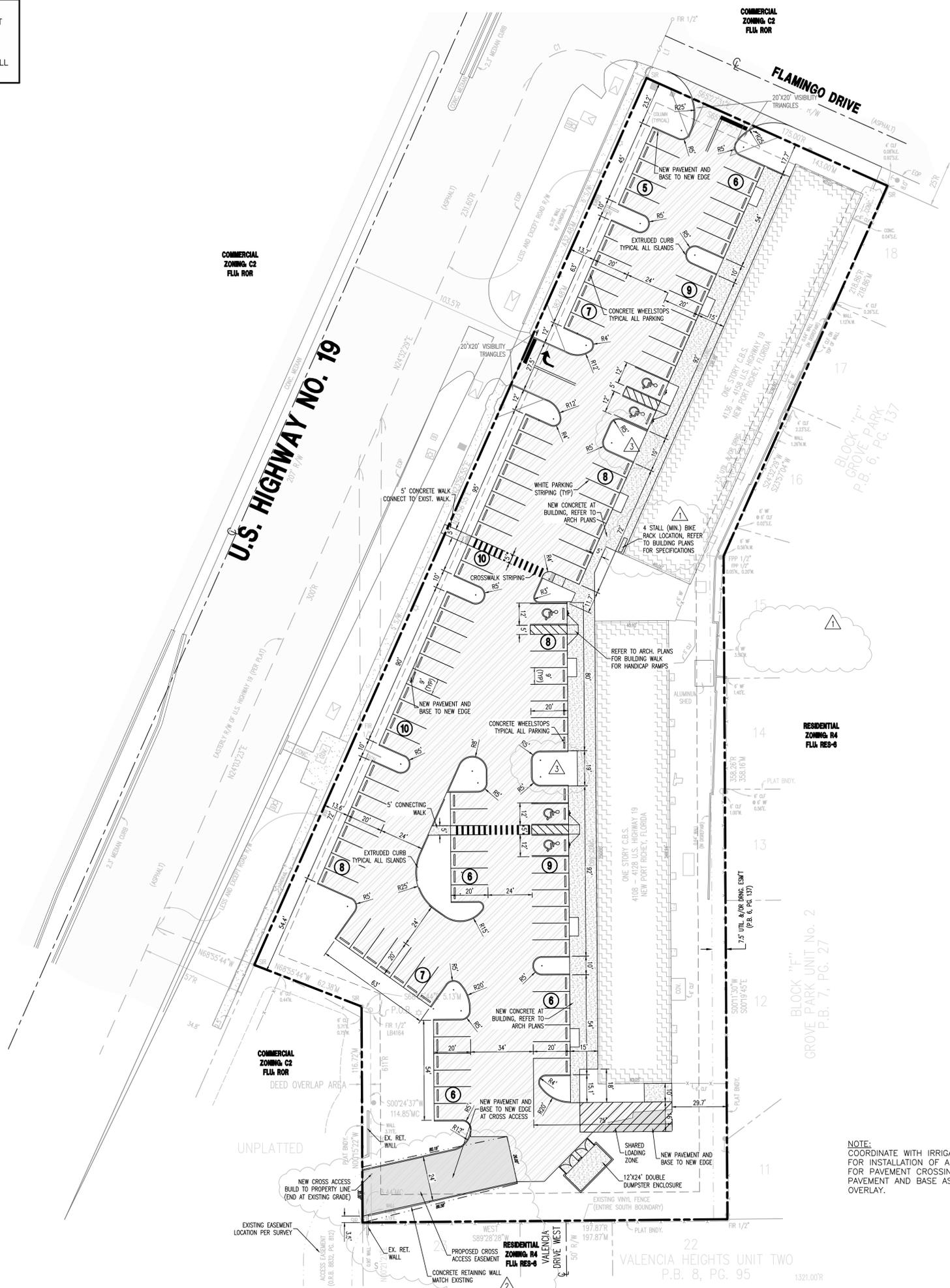
# C1.2

## CIVIL NOTES AND PROCEDURES

SCALE: NONE



**NOTE:**  
THIS PLAN IS PART OF AN OVERALL SET OF PLANS. THIS SHEET IS CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL OTHER DRAWINGS IN THE SET OF PLANS ON THE JOB SITE OR FOR BIDDING PURPOSES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE SET OF PLANS TO ALL THOSE CONDUCTING WORK ON THIS PROJECT.



**PASCO COUNTY DEVELOPMENT REVIEW - STANDARD SITE PLAN NOTES**

1. All utility construction shall comply with the Pasco County Standards for Design and Construction of Water and Wastewater Facilities Specifications, latest edition.
2. All on-site water and sewer facilities shall be owned and maintained by the owner-developer.
3. Installation of fuel storage tanks requires review and approval by the Fire Marshal and the issuance of a separate building permit. Approval of the site plan does not constitute approval of the location of the fuel tanks.
4. All proposed signs must be applied for, approved, and permitted on an individual basis apart from any ultimately approved site plan. Approval of this site plan does not constitute approval of any signage.
5. Handicap parking spaces will be properly signed and striped in accordance with Florida Statute 316, the Manual on Uniform Traffic Control Devices, or other applicable standards.
6. The architect/engineer certifies that the site has been designed in accordance with the Americans with Disabilities Act.
7. All on-site parking spaces will be striped and signed in accordance with the Manual on Uniform Traffic Control Devices, latest edition. Parking spaces, directional arrows, and stop bars shall be striped in WHITE. It shall be the owner/developer's responsibility to properly sign and stripe in accordance with applicable standards.
8. The owner/developer acknowledges that this approval does not include any work in the County right-of-way. All right-of-way work shall be a function of an approved Pasco Right-of-Way Use Permit.
9. All clear-site areas shall be kept free of any signage plantings, trees, etc. in excess of three-and-a-half (3-1/2) feet in height.
10. No irrigation system or landscaping shall be installed in any County or State right-of-way without issuance of appropriate Right-of-Way Use Permit.
11. The owner/developer acknowledges that the site and its subsequent building permits shall comply with all rezoning/MPUD/PUD conditions.
12. All structures, including buffer walls, retaining walls, signage, etc. require building permits.

**CURB NOTE:**  
THE INTENT IS TO PROVIDE EXTRUDED CURB ATOP EXISTING PAVEMENT AT LANDSCAPE ISLANDS ONLY. TERMINAL ENDS OF PARKING STALLS SHALL HAVE A WHEELSTOP ONLY (NO CURB). WHERE CURB IS TO BE INSTALLED ALONG DRAINAGE PATTERNS, PATTERNS SHALL NOT BE BLOCKED. PROVIDE NOTCHED OPENING(S) IN CURB AND GRADE BEHIND CURBS TO PREVENT DRAINAGE FROM BEING BLOCKED. ALL DRAINAGE PATHS SHALL REMAIN.

**HANDICAP ACCESSIBLE AREAS NOTE:**  
ALL PROPOSED HANDICAP PARKING SPACES AND ROUTES ARE PROPOSED ON EXISTING PAVEMENT. CONTRACTOR SHALL VERIFY THE FOLLOWING:  
1. HANDICAP STALLS SHALL NOT EXCEED 2% SLOPE IN EITHER DIRECTION.  
2. GORE AREAS BETWEEN HANDICAP STALLS SHALL NOT EXCEED 2% SLOPE IN EITHER DIRECTION.  
3. RAMPS WITHOUT RAILS SHALL NOT EXCEED 6" RISE AND 1:12 SLOPE.  
4. H.C. RAMPS THAT EXCEED 6" RISE SHALL HAVE RAILS.  
5. GENERAL OPEN RUNS ALONG HANDICAP ROUTES SHALL NOT EXCEED 5% SLOPE.  
6. FOR ALL RAMPS AT WALK ALONG BUILDING, REFER TO ARCHITECTURAL PLANS.  
ALL PROPOSED HANDICAP ROUTES SHALL MEET ADA AND LOCAL REQUIREMENTS. IN THE EVENT EXISTING GRADING CANNOT ACCOMMODATE THESE REQUIREMENTS, NOTIFY THE PROJECT ENGINEER AND PROJECT ARCHITECT ACCORDINGLY.

**LIGHTING NOTE:**  
There will be no light spillage or glare beyond the project site or shield light away from adjoining residential premises and Right-of-ways.

**Traffic Standards Note (As Required By Pasco County):**  
The plan is in substantial conformance with the Manual of Uniform Minimum Standards for Design, Construction, and Maintenance of Streets and Highways, State of Florida, in effect at the time the plans were prepared. [As applied to parking lots on private property.]

**NOTE:**  
COORDINATE WITH IRRIGATION CONTRACTOR FOR INSTALLATION OF ANY NEEDED SLEEVES FOR PAVEMENT CROSSINGS. REPAIR PAVEMENT AND BASE AS REQUIRED BEFORE OVERLAY.

**PAVEMENT LEGEND**

- STANDARD ON-SITE ASPHALT PAVEMENT
- HEAVY DUTY ON-SITE ASPHALT PAVEMENT
- RIGHT-OF-WAY ASPHALT PAVEMENT
- PAVEMENT PATCH, REPAIR OR OVERLAY
- TURF-BLOCK PAVEMENT
- GRAVEL SURFACE
- CONCRETE SURFACE OR WALK

**CURB LEGEND**

- CURB AND GUTTER
- VERTICAL CURB OR EXTRUDED CURB (CALLED OUT ON THE PLAN)
- CURB WALL OR GRAVITY WALL

**SURFACE UTILITY LEGEND**

- FIRE HYDRANT - REFER TO UTILITY PLAN
- FIRE DEPT. CONNECTION - REFER TO UTILITY PLAN
- WATER METER - REFER TO UTILITY PLAN
- SITE LIGHTS - REFER TO UTILITY PLANS AND ARCHITECTURAL PLANS
- CATCH BASIN - REFER TO GRADING PLAN
- CURB INLETS - REFER TO GRADING PLAN
- MITERED OR FLARED END SECTION - REFER TO GRADING PLAN
- MANHOLE - REFER TO UTILITY PLAN

REFER TO OTHER PLANS FOR LEGENDS RELATIVE TO WORK CALLED OUT ON THOSE PLANS

**REVISIONS**

| NO. | DATE     | BY  | DESCRIPTION                                  |
|-----|----------|-----|--|
| 01  | 05/28/15 | AVF | PER PASCO COUNTY COMMENTS AND FURTHER DESIGN |
| 02  | 07/02/15 | AVF | PER PASCO COUNTY COMMENTS                    |
| 03  | 08/06/15 | AVF | PER PASCO COUNTY COMMENTS                    |

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF FLORIDA. REGISTERED PROFESSIONAL ENGINEER No. 12000 BY MY HAND AND SEAL.

Gary A. Boucher, P.E. #2885

STATE CERT. OF AUTH. #00660422

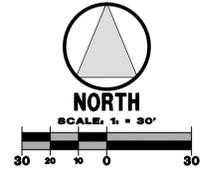
**Ozona Engineering, Inc.**  
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Ozona, Florida 34660-432  
Phone: (727) 785-3939 Fax: (727) 785-3434  
www.ozonawebllc.com goucher@ozonamail.com

**CENTER PLAZA**  
NEQ US HIGHWAY 19 AND SR 54  
PASCO COUNTY, FLORIDA

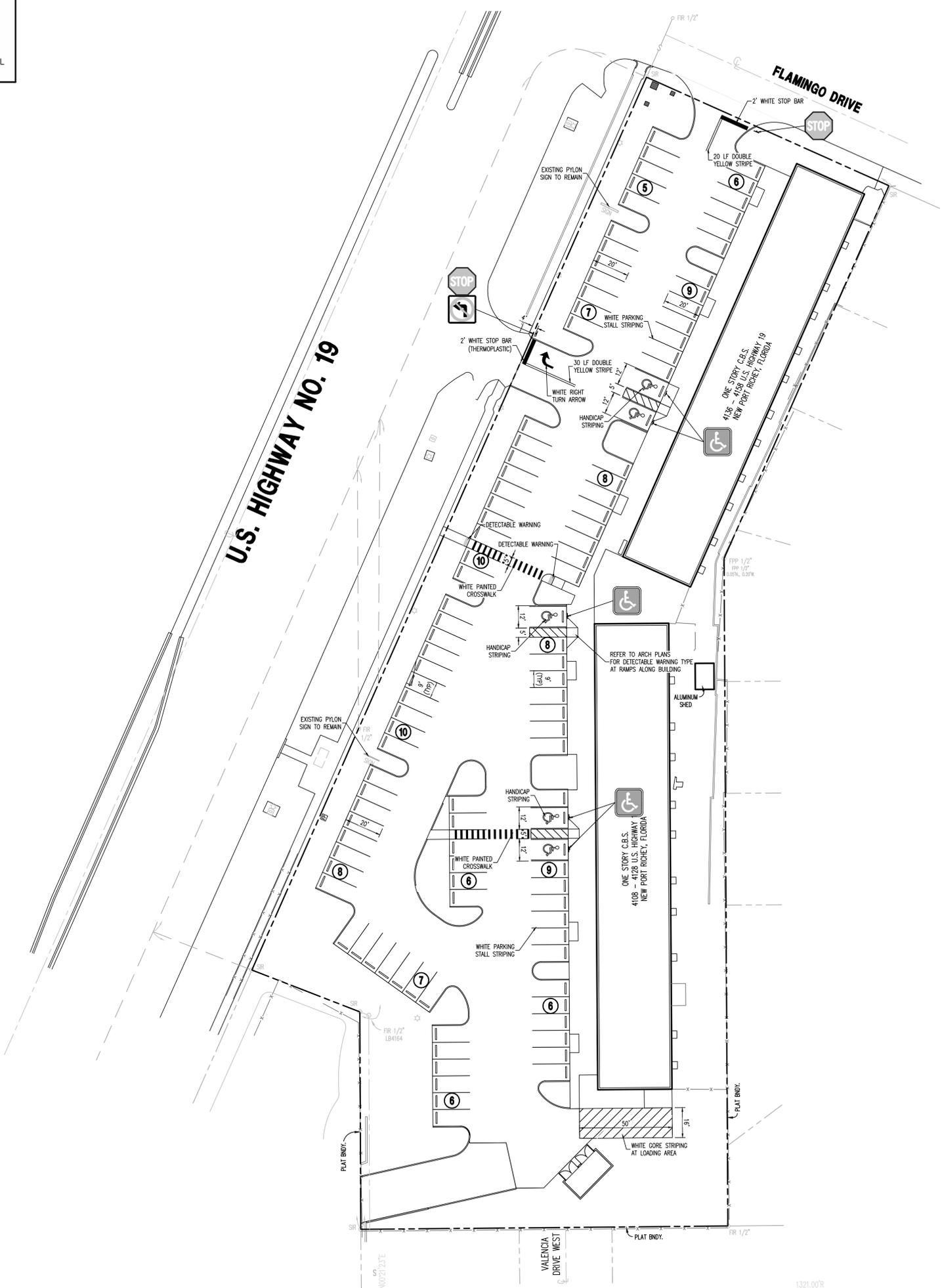
PROJECT #:  
ORIG. DATE: 03/03/15  
DRAWN BY: AVF  
SCALE: AS SHOWN

SHEET #:  
**C3.1**

**SITE LAYOUT AND GEOMETRY PLAN**  
SCALE: 1"=30'



**NOTE:**  
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**NOTES:**  
1. FLORIDA STATE STATUTE 316.0745 REQUIRES THAT ALL TRAFFIC CONTROL SIGNING AND MARKINGS ON PRIVATE PROPERTY OPENED TO THE GENERAL PUBLIC BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.  
2. ALL PARKING SPACES, PAVEMENT ARROWS, STOP BARS AND SIGNS SHALL BE IDENTIFIED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.  
3. ALL HANDICAPPED PARKING SPACES SHALL BE SIGNED AND MARKED

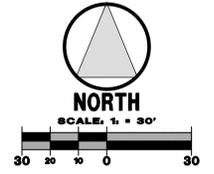
**Traffic Standards Note (As Required By Pasco County):**  
The plan is in substantial conformance with the Manual of Uniform Minimum Standards for Design, Construction, and Maintenance of Streets and Highways, State of Florida, in effect at the time the plans were prepared. [As applied to parking lots on private property.]

**STRIPING LEGEND**

|  |  |
|--|--|
|  | STANDARD PARKING STALL DIMENSIONED FROM CENTER OF STRIPE TO CENTER OF STRIPE       |
|  | DIRECTIONAL ARROWS   |
|  | HANDICAP PARKING MARKER  |
|  | PARKING QUANTITY DESIGNATION ON THE PLAN - COUNTED PER PARKING ROW BETWEEN ISLANDS |
|  | 2' WHITE STOP BAR WITH DOUBLE YELLOW STRIPE  |
|  | TRAFFIC SIGN AND POST  |
|  | 5' WIDE PEDESTRIAN CROSSWALK W/ 12" STRIPES AT 36" ON CENTER                       |
| ALL STRIPING RELATIVE TO HANDICAP FACILITIES SHALL BE PER ADA CODE             |  |
| REFER TO RIGHT-OF-WAY DETAILS FOR ANY STRIPING AND MARKING IN THE RIGHT-OF-WAY |  |

**SIGN LEGEND**

|   |   |
|---|---|
|   | HANDICAP PARKING SIGN (REFER TO DETAIL) |
|   | STOP SIGN: R1-1                         |
|   | DO NOT ENTER SIGN: R5-1                 |
|   | NO RIGHT TURN SIGN: R3-1                |
|   | NO LEFT TURN SIGN: R3-2                 |
| ALL TRAFFIC CONTROL SIGNAGE SHALL BE PER MUTCD STANDARDS          |   |
| REFER TO RIGHT-OF-WAY DETAILS FOR ANY SIGNAGE IN THE RIGHT-OF-WAY |   |



**△ SIGNAGE AND MARKING PLAN**  
SCALE: 1"=30'

**REVISIONS**

| NO.      | DATE | BY  | DESCRIPTION                                  |
|----------|------|-----|--|
| 05/28/15 | AVF  | AVF | PER PASCO COUNTY COMMENTS AND FURTHER DESIGN |
| 07/02/15 | AVF  | AVF | PER PASCO COUNTY COMMENTS                    |
| 08/06/15 | AVF  | AVF | PER PASCO COUNTY COMMENTS                    |

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF FLORIDA. MY LICENSE NO. IS 12345. BY MY HAND AND SEAL, Gary A. Boucher, P.E. #2885

STATE CERT. OF AUTH. #0066622

**Ozona Engineering, Inc.**  
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Ozona, Florida 34660-432  
Phone: (727) 785-3939 Fax: (727) 785-3434  
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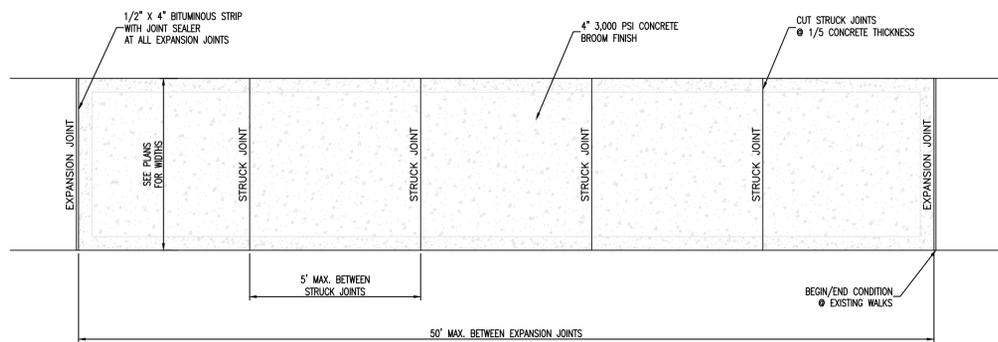
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**CENTER PLAZA**  
NEQ US HIGHWAY 19 AND SR 54  
PASCO COUNTY, FLORIDA

PROJECT #:-  
ORIG. DATE: 03/03/15  
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**C3.2**



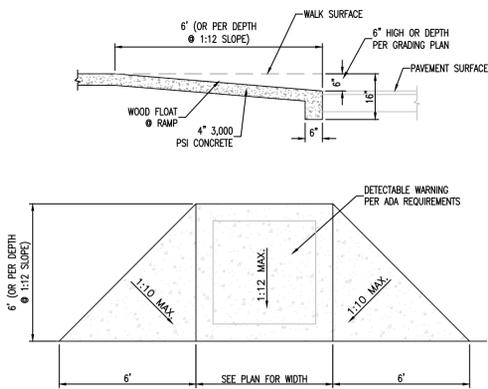




- NOTES:
1. SIDEWALKS SHALL HAVE TOOLED EDGES.
  2. CONSTRUCTION JOINTS SHALL BE LOCATED AT STRUCK JOINTS OR EXPANSION JOINTS ONLY.
  3. THIS DETAIL IS FOR ON-SITE CONDITIONS ONLY. DO NOT USE FOR RIGHT-OF-WAY CONSTRUCTION.
  4. REFER TO FOOT INDEX #310 AND CORRESPONDING SPECIFICATIONS FOR SIDEWALKS WITHIN THE RIGHT OF WAY.

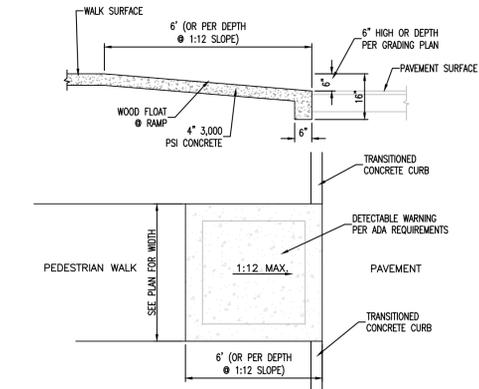
### SIDEWALK DETAIL

NTS



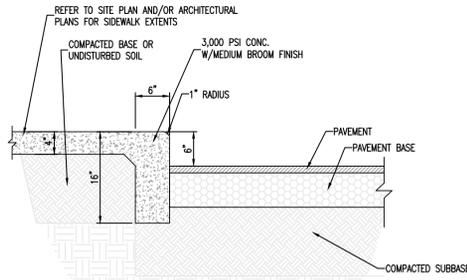
### FLARED HANDICAP RAMP DETAIL

NTS



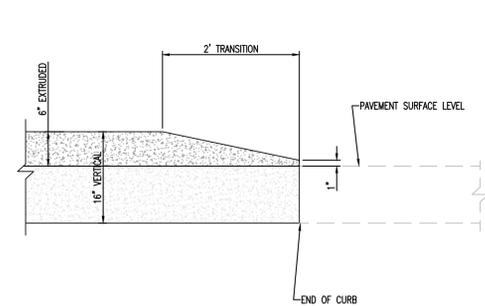
### END HANDICAP RAMP DETAIL

NTS



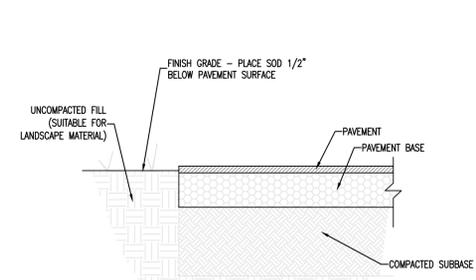
### SIDEWALK CURB DETAIL (MONOLITHIC)

NTS



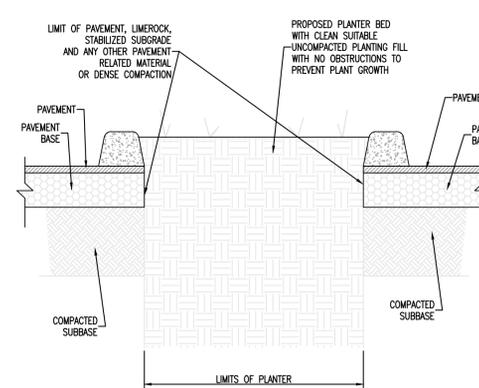
### CURB TRANSITION DETAIL

NTS



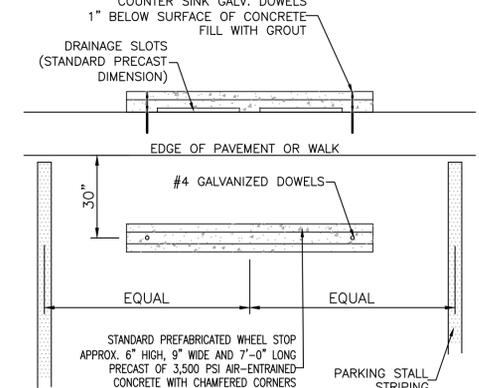
### PLACEMENT OF SOD AT PAVEMENT

NTS



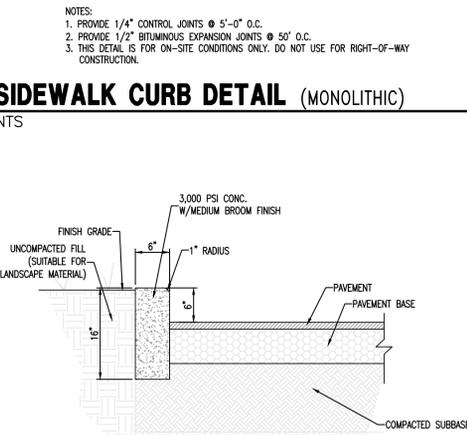
### CURB PLACEMENT AT PLANTER DETAIL

NTS



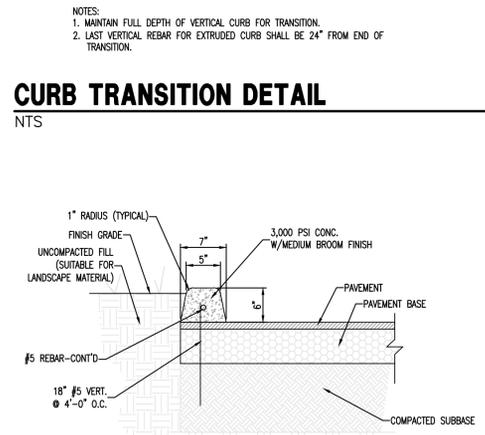
### WHEELSTOP DETAIL

NTS



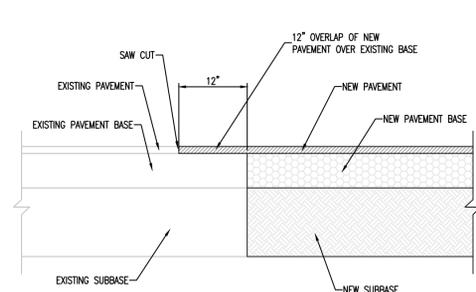
### VERTICAL CURB DETAIL

NTS



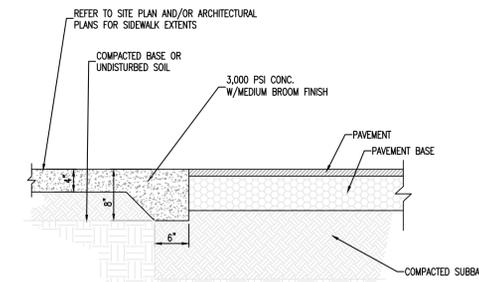
### EXTRUDED CURB DETAIL

NTS



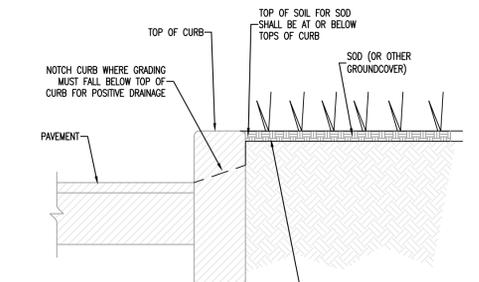
### PAVEMENT TRANSITION DETAIL

NTS



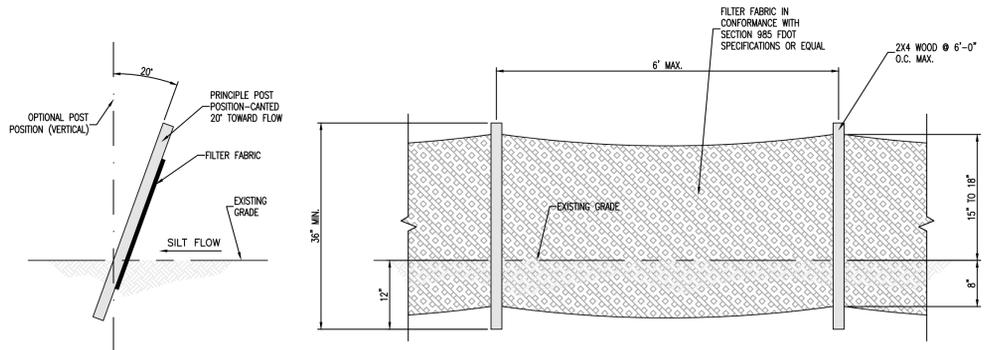
### FLUSH SIDEWALK DETAIL

NTS



### GRADING AT CURBS

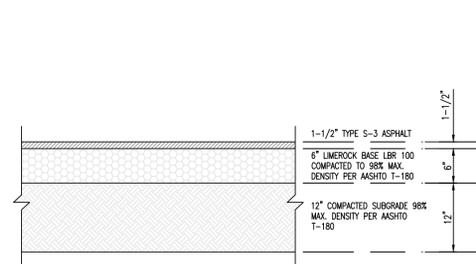
NTS



NOTE:  
SILT FENCE SHALL NOT BE TRENCHED IN WHERE ADJACENT TO TREES DESIGNATED TO REMAIN. THE SILT FENCE MUST BE SECURED THROUGH THE PLACEMENT OF FILL OVER THE LOWER LIP OF THE BARRICADE IN THESE AREAS.

### 1 TYPE III SILT FENCE DETAIL

NTS



- NOTES:
1. REFER TO GRADING PLAN FOR PAVEMENT SLOPES.
  2. SUBSTITUTIONS OF BASE MATERIAL MUST BE APPROVED BY THE ENGINEER.

### STANDARD PAVEMENT DETAIL

NTS

| REVISIONS | DATE | BY  | DESCRIPTION                                  |
|-----------|------|-----|--|
| 05/28/15  | AVF  | AVF | PER PASCO COUNTY COMMENTS AND FURTHER DESIGN |
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| 08/09/15  | AVF  | AVF | PER PASCO COUNTY COMMENTS                    |

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Gary A. Baucher, P.E. #2885

STATE CERT. OF AUTH. #00069021

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**CENTER PLAZA**  
NEQ US HIGHWAY 19 AND SR 54  
PASCO COUNTY, FLORIDA

### ON-SITE PAVEMENT AND CURB NOTES AND SPECIFICATIONS

1. ALL PAVEMENT AND CURB DETAILS CONTAINED ON THIS PAGE ARE FOR ON-SITE PRIVATE VEHICULAR USE AREAS ONLY.
2. ALL PAVEMENT AND CURB WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PER THE LOCAL JURISDICTIONAL DETAILS AND SPECIFICATIONS OF THAT RIGHT OF WAY.
3. REFER TO OTHER DETAIL PAGES OR REFERENCE MATERIALS CALLED OUT ON THE PLAN CONTAINING STANDARD DETAILS FOR RIGHT OF WAY WORK.

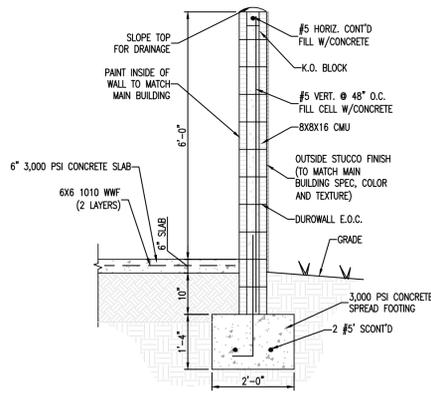
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ORIG. DATE: 03/03/15  
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SCALE: AS SHOWN

SHEET #:  
**C6.1**

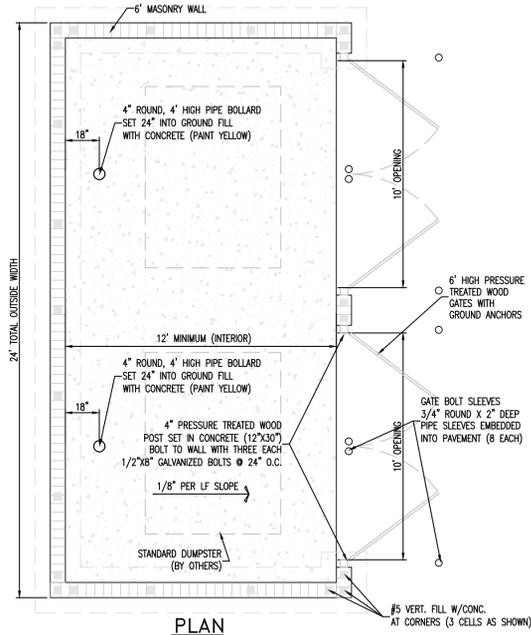
**SD** = SHOP DRAWING REQUIRED REFER TO STANDARD NOTES FOR CONDITIONS

**SITE DETAILS**  
SCALE: NONE

- NOTES:
- GATE HARDWARE SHALL BE HEAVY DUTY AND SUITABLE FOR THE PURPOSE OF THIS TYPE OF USE.
  - REFER TO GRADING PLAN FOR ACTUAL SPOT ELEVATIONS AND RESULTANT SLOPES OF THE CONCRETE PAD.
  - THE CONTRACTOR MUST VERIFY THAT THE ARCHITECT DESIGNING THE RELATIVE BUILDING FOR THIS PROJECT HAS OR HAS NOT PROVIDED ADDITIONAL DETAIL OR REPLACEMENT DETAIL FOR THIS ENCLOSURE. IN THE EVENT HE OR SHE HAS, THE CONTRACTOR MUST COORDINATE WITH THE ENGINEER OF RECORD TO VERIFY THAT ALL PROVIDED INFORMATION IS PROPER AND UP TO DATE.



SECTION THRU WALL

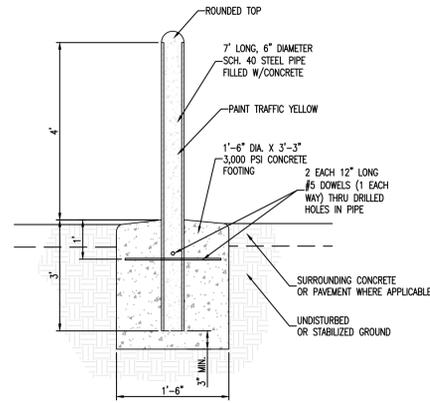


PLAN

NOTE: THIS IS A STANDARD DETAIL. REFER TO ARCHITECTURAL PLANS FOR SPECIFIC DESIGN OF DUMPSTER ENCLOSURES.

**MASONRY DUMPSTER ENCLOSURE (DOUBLE)**

NTS



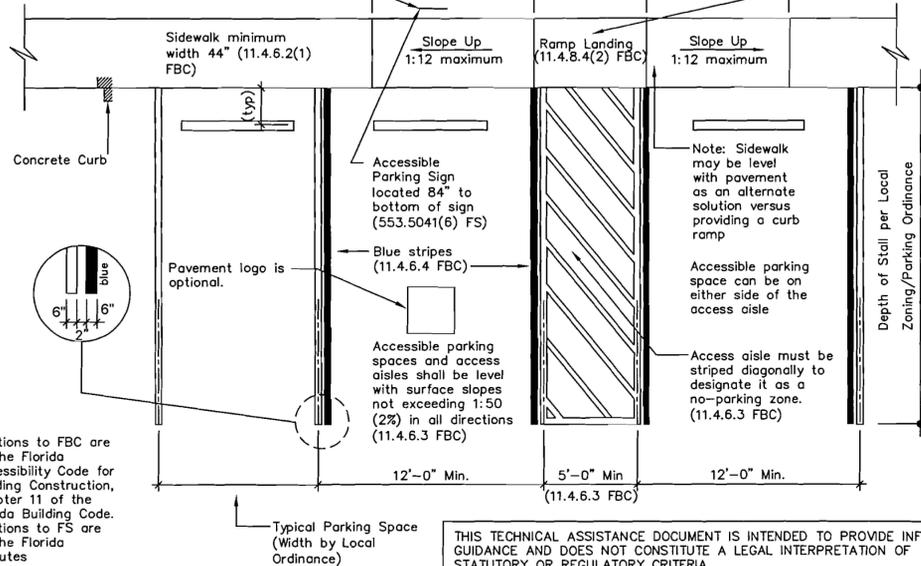
**PIPE BOLLARD DETAIL**

NTS

All spaces must be located on an accessible route no less than 44" wide so that users will not be compelled to walk or wheel behind parked vehicles. (11.4.6.2(1) FBC) [See 553.5041(5)(g)(1) FS relating to existing parking areas]

Signage to bear the international symbol of accessibility per 11.4.30.7 FBC and the caption "Parking by Disabled Permit Only". Signs erected after 10/01/96 must indicate the penalty for illegal use of the space (11.4.6.4 FBC)

A curb ramp may be provided per 11.4.7.5 and figure 12 FBC



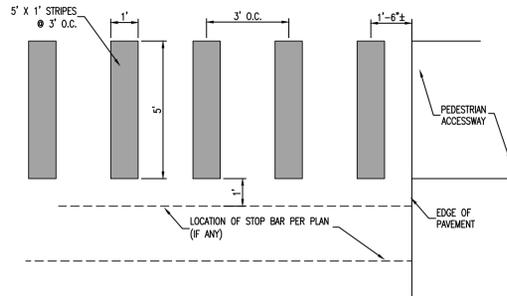
THIS TECHNICAL ASSISTANCE DOCUMENT IS INTENDED TO PROVIDE INFORMAL GUIDANCE AND DOES NOT CONSTITUTE A LEGAL INTERPRETATION OF STATUTORY OR REGULATORY CRITERIA

Recommended Accessible Parking Space(s) Design for Single Line Requirements

N.T.S.

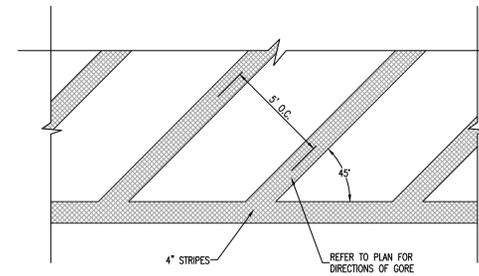
**ON-SITE PEDESTRIAN CROSSWALK**

NTS



**ON-SITE GORE STRIPING**

NTS

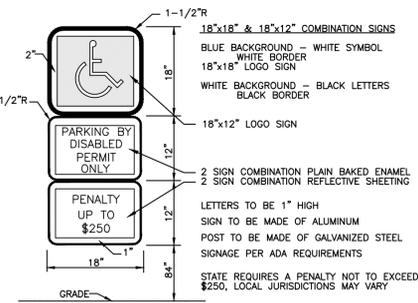


**ON-SITE STRIPING AND MARKING NOTES AND SPECIFICATIONS**

- ALL STRIPING DEPICTIONS CONTAINED ON THIS PAGE ARE FOR ON-SITE INTERIOR PARKING LOT (PRIVATE PROPERTY) STRIPING ONLY. ANY STRIPING DEPICTED ON THE PLAN LOCATED AT FDOT (OR OTHER LOCAL JURISDICTIONAL) ACCESS POINTS (WITHIN PROPERTY BOUNDARIES OR NOT) SHALL BE STRIPED ACCORDING TO THEIR RESPECTIVE JURISDICTIONAL STANDARDS.
- ON-SITE PAINT SPECIFICATIONS : FEDERAL SPECIFICATION FS-IT-P-1952D (OR EQUAL). REFER TO OTHER DETAILS AND SPECIFICATIONS FOR PAINT RELATIVE TO RIGHT-OF-WAY PERMITTED WORK.
- ALL TRAFFIC CONTROL SIGNS SHALL BE PER MUTCD STANDARDS. CUSTOM-BUILT TRAFFIC CONTROL SIGNS ARE PROHIBITED. (NO WOODEN SIGNS, ETC.)
- MEANS OF ATTACHMENT OF THE SIGNS TO THEIR POSTS SHALL BE PER MANUFACTURERS' SPECIFICATIONS.
- REFER TO OTHER SPECIFICATIONS AND/OR DETAILS FOR WORK RELATIVE TO THE PUBLIC RIGHT-OF-WAY.

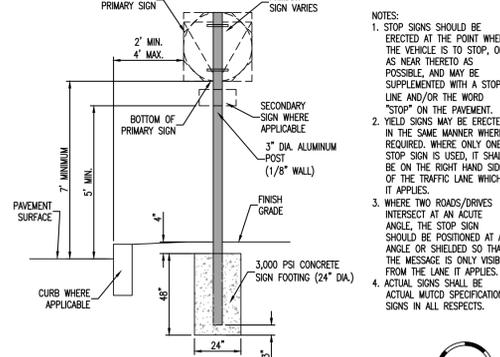
**ON-SITE GENERAL DETAILS NOTES AND SPECIFICATIONS**

- ALL GENERAL DETAILS CONTAINED ON THIS PAGE ARE FOR ON-SITE AREAS ONLY.
- ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PER THE LOCAL JURISDICTIONAL DETAILS AND SPECIFICATIONS OF THAT RIGHT OF WAY.
- REFER TO OTHER DETAIL PAGES OR REFERENCE MATERIALS CALLED OUT ON THE PLAN CONTAINING STANDARD DETAILS FOR RIGHT OF WAY WORK.



**HANDICAP PARKING SIGN DETAIL**

NTS



**TYPICAL TRAFFIC CONTROL SIGN MOUNTING DETAIL**

NTS

SD = SHOP DRAWING REQUIRED REFER TO STANDARD NOTES FOR CONDITIONS

**SITE DETAILS**

SCALE: NONE

| REVISIONS | DATE | BY  | DESCRIPTION                                  |
|-----------|------|-----|--|
| 05/28/15  | AVF  | AVF | PER PASCO COUNTY COMMENTS AND FURTHER DESIGN |
| 07/02/15  | AVF  | AVF | PER PASCO COUNTY COMMENTS                    |
| 08/09/15  | AVF  | AVF | PER PASCO COUNTY COMMENTS                    |

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF FLORIDA. MY SEAL IS BY MY HAND AND SEAL.

**Ozona Engineering, Inc.**  
 P.O. Box 432  
 Ozona, Florida 34660-432  
 Phone: (727) 785-3939 Fax: (727) 785-3434  
 www.ozonae.com gbaucher@ozonae.com

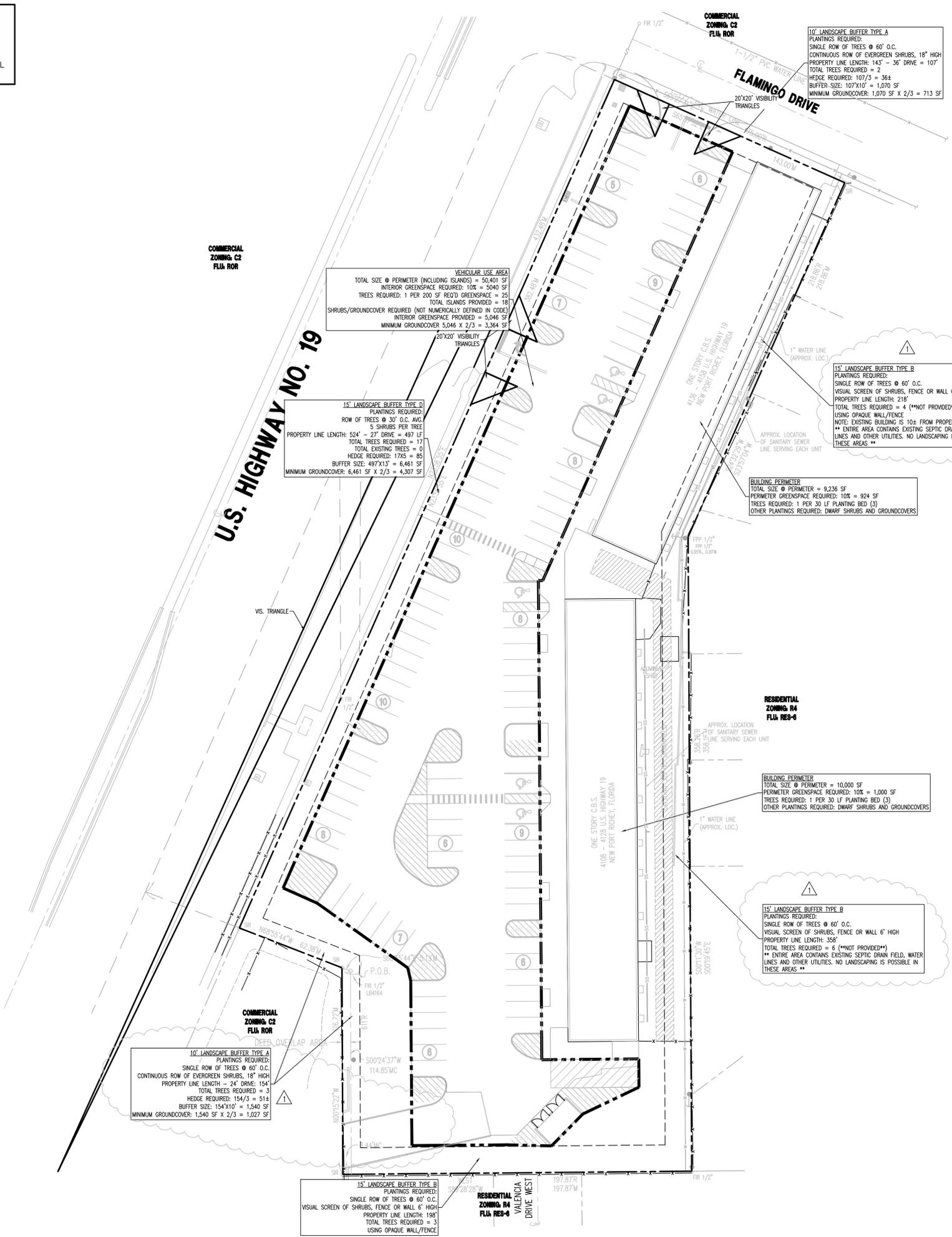
**CENTER PLAZA**  
 NEQ US HIGHWAY 19 AND SR 54  
 PASCO COUNTY, FLORIDA

PROJECT #:  
 ORIG. DATE: 03/03/15  
 DRAWN BY: AVF  
 SCALE: AS SHOWN

SHEET #:

**C6.2**

**NOTE:**  
THIS PLAN IS PART OF AN OVERALL SET OF PLANS. THIS SHEET IS CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL OTHER DRAWINGS IN THE SET OF PLANS ON THE JOB SITE OR FOR BIDDING PURPOSES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE SET OF PLANS TO ALL THOSE CONDUCTING WORK ON THIS PROJECT.



**TOTAL NEW PLANTINGS REQUIRED PER CODE:**

**NORTH PROPERTY LINE:**  
TREES = 2  
SHRUBS = 36  
GROUND COVER PLANTINGS = 713 SF  
SODDED AREA = 357 SF

**WEST PROPERTY LINE AT STREET:**  
TREES = 17  
SHRUBS = 85  
GROUND COVER PLANTINGS = 4,307 SF  
SODDED AREA = 2,154 SF

**SOUTH/WEST PROPERTY LINES:**  
TREES = 3  
SHRUBS = 51  
GROUND COVER PLANTINGS = 1,027 SF  
SODDED AREA = 513 SF

**EAST PROPERTY LINE:**  
TREES = 0  
SHRUBS = 0 (OPAQUE FENCE/WALL)  
GROUND COVER PLANTINGS = 0

**SOUTH PROPERTY LINE:**  
TREES = 3  
SHRUBS = 0  
SHRUBS = 0 (OPAQUE FENCE/WALL)  
GROUND COVER PLANTINGS = 0

**INTERIOR LANDSCAPING:**  
TREES = 25  
SHRUBS = 125 (ASSUMING 5 PER REQUIRED TREE)  
GROUND COVER PLANTINGS = 3,354 SF

**BUILDING PERIMETER:**  
TREES = 6  
SHRUBS = 30 (@ 5 PER TREE)  
GROUND COVER = 480 SF (ASSUMED)

**TOTAL NEW TREES REQUIRED = 56 (8 SPECIES)**  
**TOTAL NEW SHRUBS REQUIRED = 327**  
**TOTAL NEW GROUND COVER REQUIRED = 9,881 SF**

**REVISIONS**

| NO.      | DATE | BY  | DESCRIPTION                                  |
|----------|------|-----|--|
| 05/28/15 |      | AVF | PER PASCO COUNTY COMMENTS AND FURTHER DESIGN |
| 07/02/15 |      | AVF | PER PASCO COUNTY COMMENTS                    |
| 08/06/15 |      | AVF | PER PASCO COUNTY COMMENTS                    |

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF FLORIDA. MY LICENSE NO. IS 15000. I AM NOT PROVIDING ANY DESIGN OR CONSTRUCTION BY MY HAND AND SEAL.

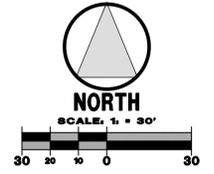
STATE CERT. OF AUTH. #0066562

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PROJECT: # -  
ORIG. DATE: 03/03/15  
DRAWN BY: AVF  
SCALE: AS SHOWN

**CENTER PLAZA**  
NEQ US HIGHWAY 19 AND SR 54  
PASCO COUNTY, FLORIDA

SHEET #:  
**CLO.1**



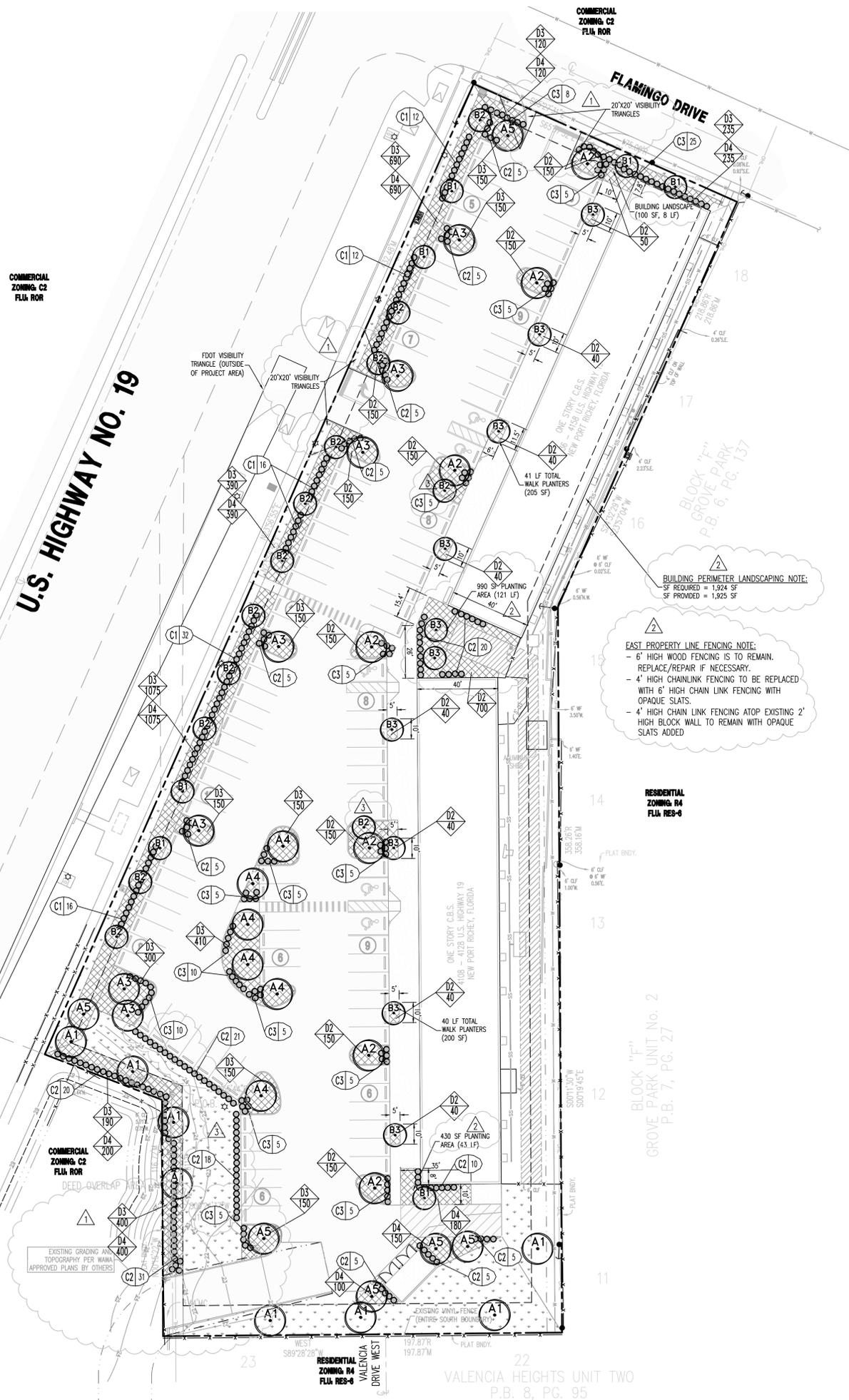
**LANDSCAPE CALCULATION PLAN**  
SCALE: 1"=30'

**NOTE:**  
THIS PLAN IS PART OF AN OVERALL SET OF PLANS. THIS SHEET IS CONSIDERED INVALID UNLESS ACCOMPANIED BY ALL OTHER DRAWINGS IN THE SET OF PLANS ON THE JOB SITE OR FOR BIDDING PURPOSES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE SET OF PLANS TO ALL THOSE CONDUCTING WORK ON THIS PROJECT.

**IRRIGATION NOTES:**  
1. SHALLOW WELLS, OPEN SURFACE WATER BODIES OR RECLAIMED WATER MUST BE USED AS A SOURCE OF IRRIGATION WATER. THE DISTRIBUTION SYSTEM FOR IRRIGATION SHALL NOT BE CONNECTED TO COUNTY OR MUNICIPAL WATER SOURCES, UNLESS IT CAN BE DEMONSTRATED THAT THESE SOURCES ARE NOT AVAILABLE.  
2. IRRIGATION SYSTEMS MUST UTILIZE LOW VOLUME DESIGN SUCH AS LOW TRAJECTORY HEADS OR SOAKER HOSES TO PROVIDE DIRECT APPLICATION AND LOW EVAPORATION. SYSTEMS THAT OVER SPRAY AREAS THAT DO NOT REQUIRE IRRIGATION, SUCH AS PAVED AREAS WILL NOT BE ACCEPTABLE. HIGH IRRIGATION NEED AREAS MUST NOT OVERSPRAY LOW NEED AREAS.  
3. HIGH WATER DEMAND LANDSCAPE AREAS SUCH AS TURF MUST BE SERVED BY A SEPERATE IRRIGATION ZONE THAN LOW WATER NEED AREAS, SUCH AS PLANTER BEDS, OR MULCHED AREAS WITH TREES. IN NO CASE SHALL ANY PLANTED VEGETATION AREA BE MORE THAN 50' FROM A WATER SUPPLY HOSE BIB.  
4. IRRIGATION SYSTEMS MUST BE OPERATED BY AN IRRIGATION CONTROLLER CAPABLE OF DIFFERENTIATING BETWEEN THE SCHEDULES OF HIGH AND LOW WATER DEMAND AREAS. CONTROLLERS MUST HAVE MULTIPLE CYCLE START CAPACITY AND A FLEXIBLE CALENDAR PROGRAM ABLE TO BE SET TO COMPLY WITH LOCAL OR WATER MANAGEMENT DISTRICT IMPOSED RESTRICTIONS.  
5. THE SYSTEM MUST BE EQUIPPED WITH A RAIN SENSOR DEVICE OR SWITCH WHICH WILL OVERRIDE THE IRRIGATION CYCLE OF THE SPRINKLER SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. GROUND MOISTURE SENSING DEVICES ARE ENCOURAGED WHERE APPROPRIATE.  
6. IRRIGATION SYSTEM SHALL BE DESIGNED BY A LICENSED IRRIGATION CONTRACTOR.

**Pasco County Landscaping Standard Notes (Pasco LDC 905.2)**

- Maintenance Responsibility.** The County is not responsible for maintenance of any landscaping unless approved through a County maintenance agreement. (LDC 905.2-C.1.a)
- Clear-Sight Triangle.** Where a driveway/accessway intersects a road right-of-way or where two (2) road rights-of-way intersect, vegetation, structures, and non-vegetative visual screens shall not be located so as to interfere with the clear-sight triangle as defined in this Code or the Florida Department of Transportation, Manual of Uniform Minimum Standards, most recent edition (Green Book), whichever is more restrictive. (LDC 905.2-C.1.b)
- Sustainable Practices.** Landscaping shall be installed so that landscaping materials meet the concept of right material/right place. Installed trees and plants shall be grouped into zones according to water, soil, climate, and light requirements. Plant groupings based on water requirements are drought tolerant, natural, and oasis. (LDC 905.2-C.1.c)
- Diversity.** A maximum of 50 percent of the plant materials used, other than trees, may be non-drought tolerant. A minimum of 30 percent of the plant materials, other than trees and turfgrass, used to fulfill the requirements of this subsection shall be native Floridian species, suitable for growth in the county. (LDC 905.2-C.1.d)
- Diversity.** No one plant species of shrubs or ground cover plants, excluding turfgrass, shall constitute more than 25 percent coverage of the overall landscape area. (LDC 905.2-C.1.d.5)
- Quality.** All plant materials shall be Florida No. 1 grade per "Grades and Standards for Nursery Plants," Florida Department of Agriculture and Consumer Services (FDACS), which is incorporated herein by reference. (LDC 905.2-C.2.a)
- Avoid Easements.** Trees shall not be planted within any easement so as to interfere with the use of that easement, nor under any present or planned overhead utility, nor in any rights-of-way without County approval through the associated review process. (LDC 905.2-C.3.c)
- Mulch.** Mulch shall be used in conjunction with living plant materials so as to cover exposed soil. Mulch shall be installed to a minimum depth of three (3) inches. The mulch should not be placed directly against the plant stem or tree trunk. Mulch shall not be required for annual beds. Stone or gravel may be used to cover a maximum of 20 percent of the landscaped area. (LDC 905.2-C.3.d)
- Quality Practices.** All landscaping shall be installed in accordance with standards and practices of the Florida Nursery, Growers, and Landscape Association and the Florida Chapter of the International Society of Arboriculture. (LDC 905.2-C.3.e)
- Perpetuity.** All portions of a lot upon which development has commenced, but not continued for a period of 30 days, shall be planted with a grass species or ground cover to prevent erosion and encourage soil stabilization. Adequate coverage, so as to suppress fugitive dust, shall be achieved within 45 days. (LDC 905.2-C.3.g)
- Perpetuity.** All required landscaping shall be maintained in a healthy condition in perpetuity in accordance with this Code. (LDC 905.2-E.2)
- Ongoing maintenance.** To prevent the establishment of prohibited exotic species is required. (LDC 905.2-E.4)



**EXOTIC SPECIES NOTE:**  
ALL EXOTIC SPECIES, I.E., BRAZILIAN PEPPER (SCHINUS TEREBINTHIFOLIUS), PUNK TREES (MELALEUCA QUINQUENERVIA), AND CHINESE TALLOW (APIUM SEBIFERUM) MUST BE REMOVED FROM THE SITE. WHERE NECESSARY DUE TO THEIR PROXIMITY TO PROTECTED PLANT MATERIAL, HAND REMOVAL WILL BE REQUIRED. SHOULD THIS REMOVAL BE TO A DEGREE THAT A POTENTIAL FOR EROSION IS CREATED, THE AREA MUST BE RESTABILIZED WITH SUITABLE MATERIAL.

**LANDSCAPE LEGEND**

|  |  |
|--|--|
|  | GRASS  |
|  | GROUNDCOVER                                  |
|  | EXISTING TREE CANOPY (APPROX.)               |
|  | PROPOSED TREE - REFER TO SCHEDULE FOR TYPE   |
|  | PROPOSED SHRUBS - REFER TO SCHEDULE FOR TYPE |
|  | SHRUB TYPE TAG WITH QUANTITY                 |
|  | GROUNDCOVER TYPE TAG                         |

**TREE SCHEDULE**

| TREE NO. | QTY.    | SCIENTIFIC NAME            | COMMON NAME           | MINIMUM SIZE REQUIREMENTS                | APPROX. MATURE HT. | NATIVE FLORIDA | DROUGHT TOLERANT |
|----------|---------|----------------------------|-----------------------|--|--------------------|----------------|------------------|
| A1       | 8       | QUERCUS VIRGINIANA         | LIVE OAK              | 3" CALIPER, 10' HEIGHT (AT INSTALLATION) | 70'                | YES            | NO               |
| A2       | 7       | MAGNOLIA GRANDIFLORA       | MAGNOLIA (LITTLE GEM) | 3" CALIPER, 10' HEIGHT (AT INSTALLATION) | 50'                | YES            | YES              |
| A3       | 7       | ACER RUBRUM A. BARBATUM    | RED MAPLE             | 3" CALIPER, 10' HEIGHT (AT INSTALLATION) | 40'                | YES            | YES              |
| A4       | 6       | ILEX X ATTENUATA           | EAST PALATKA HOLLY    | 3" CALIPER, 10' HEIGHT (AT INSTALLATION) | 40'                | YES            | NO               |
| A5       | 6       | PNUS TAEDA                 | LOBLOLLY PINE         | 3" CALIPER, 10' HEIGHT (AT INSTALLATION) | 50'                | YES            | YES              |
| B1       | 7       | ILEX ATTENUATA             | EAGLESTON HOLLY       | 3" CALIPER, 10' HEIGHT (AT INSTALLATION) | 25'                | YES            | YES              |
| B2       | 3       | LACERTARIA INDIKA          | CREPE MYRTLE          | 3" CALIPER, 10' HEIGHT (AT INSTALLATION) | 25'                | NO             | YES              |
| B3       | 10      | ILEX X "NEJEE R. STEVENS"  | NELLIE STEVENS HOLLY  | 3" CALIPER, 10' HEIGHT (AT INSTALLATION) | 25'                | NO             | YES              |
| C1       | 88      | VIORNIUM ORIVANTUM WALTERS | WALTER'S VIBURNUM     | 36" HEIGHT (AT INSTALLATION)             | 10'                | YES            | YES              |
| C2       | 174     | VIORNIUM ORIVANTUM WALTERS | WALTER'S VIBURNUM     | 24" HEIGHT (AT INSTALLATION)             | 10'                | YES            | YES              |
| C3       | 113     | RAPHIDOLEPS INDIKA         | INDIAN HAWTHORN       | 24" HEIGHT (AT INSTALLATION)             | 5'                 | NO             | NO               |
| D1       | -       | (TURF-GRASS)               | BAHIA SOO             | -  | -                  | -              | -                |
| D2       | 2380 SF | Dryopteris spp.            | Autumn Fern           | -  | 8"                 | YES            | -                |
| D3       | 4860 SF | Cladonia lampensis         | Tampa Vervain         | -  | 12"                | YES            | -                |
| D4       | 3540 SF | Andropogon spp.            | Bluestem Grass        | -  | 12"                | YES            | -                |

ALL PROPOSED PLANTINGS SHALL BE FLORIDA GRADE #1 OR BETTER

**PLANT TYPE DIVERSITY CALCULATIONS:**  
TOTAL NUMBER OF NEW TREES REQUIRED = 66  
TOTAL TREES PROVIDED = 71  
DROUGHT TOLERANT = 63 (89%)  
TOTAL TREES THAT ARE FLORIDA NATIVE = 58 (82%)

TOTAL SHRUBS = 375  
TOTAL NATIVE SHRUBS = 262 (70%)

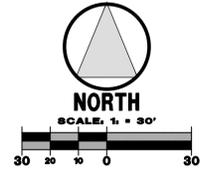
TOTAL GROUNDCOVER = 10,780 SF  
TOTAL NATIVE GROUNDCOVER = 10,780 SF (100%)

**SIGHT TRIANGLE NOTE:**  
1. ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN THE SIGHT TRIANGLE SHALL BE PROHIBITED.  
2. LANDSCAPING SHALL BE PLANTED IN SUCH A MANNER AS NOT TO IMPEDE THE STORMWATER RUNOFF FLOW TO OR IN A DITCH, SWALE OR POND.

**MAINTENANCE:**  
THE OWNER OF THE PROPERTY WILL MAINTAIN THE LANDSCAPING.

**TREE SUBSTITUTIONS:**  
DUE TO AVAILABILITY AND PREFERENCES, CONTRACTOR MAY SUBSTITUTE TREE SPECIES FOR OTHERS IN THE SCHEDULE, SO LONG AS DIVERSITY AND SIZES ARE MAINTAINED AND PROPOSED TREES ARE ON THE APPROVED SPECIES LIST. ALL SUBSTITUTIONS MUST BE APPROVED BY THE LOCAL JURISDICTION BEFORE INSTALLATION.

**GROUNDCOVER AT BUILDING NOTE:**  
50% LANDSCAPING REQUIRED AROUND BUILDING PERIMETER, INCLUDING TREES, SHRUBS AND GROUNDCOVER, 100% OF PLANTABLE AREA HAS LANDSCAPING.



**LANDSCAPE CODE PLAN**  
SCALE: 1"=30'

**REVISIONS**

| NO. | DATE     | DESCRIPTION                                      |
|-----|----------|--|
| 1   | 05/28/15 | PER PASCO COUNTY COMMENTS AND FURTHER DESIGN AVF |
| 2   | 07/02/15 | PER PASCO COUNTY COMMENTS AVF                    |
| 3   | 08/06/15 | PER PASCO COUNTY COMMENTS AVF                    |

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Gary A. Boucher, P.E. #2885

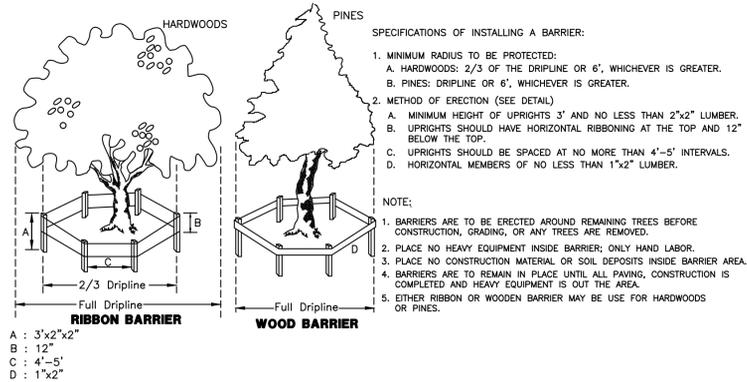
STATE CERT. OF AUTH. #06060622

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PROJECT: CENTER PLAZA  
NEQ US HIGHWAY 19 AND SR 54  
PASCO COUNTY, FLORIDA

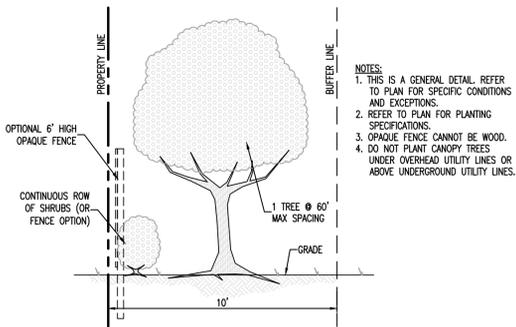
PROJECT #: -  
ORIG. DATE: 03/03/15  
DRAWN BY: AVF  
SCALE: AS SHOWN

SHEET #:  
**CL1.1**



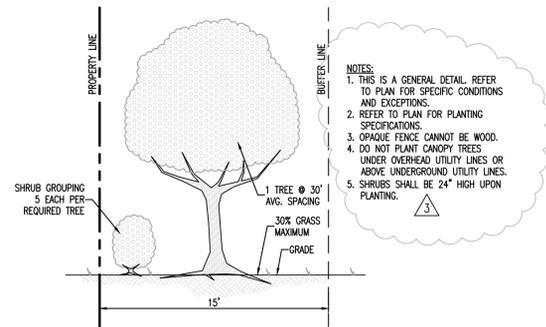
**PROTECTIVE BARRIER DETAIL**

NTS



**PASCO COUNTY LANDSCAPE BUFFER TYPE A**

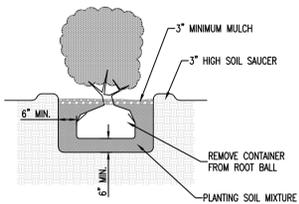
NTS



**PASCO COUNTY LANDSCAPE BUFFER TYPE D**

NTS

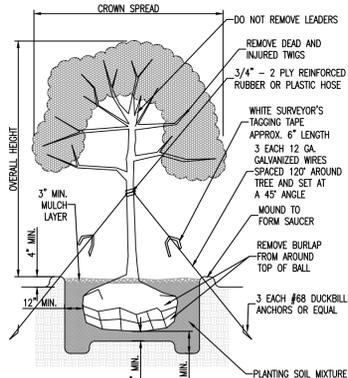
- SHRUB PLANTING NOTES:**
- REFER TO LANDSCAPE PLAN FOR GROUPINGS.
  - PLANTING HOLES MUST BE SLOPED (NOT COMPACTED)
  - SHRUBS SHALL BE INSTALLED SUCH THAT THE TOP OF THE ROOT MASS IS LEVEL WITH THE SURFACE OF THE PLANTING HOLE.
  - TO PREVENT FUNGAL INFECTION, MULCH SHALL BE PULLED BACK A FEW INCHES FROM THE BASE OF NEW SHRUBS.
  - ALL REQUIRED LANDSCAPING SHALL BE FLORIDA GRADE #1 OR BETTER.



**SHRUB PLANTING DETAIL**

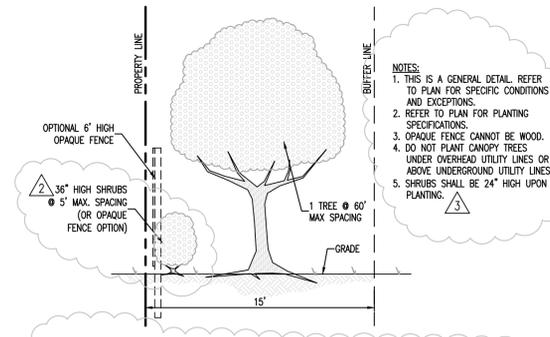
NTS

- TREE PLANTING NOTES:**
- REMOVE STAKES AND SUPPORT WIRE AFTER ONE COMPLETE GROWING SEASON.
  - PLANTING HOLES MUST BE SLOPED (NOT COMPACTED) AND A MINIMUM OF 18-24 INCHES WIDER THAN THE DIAMETER OF THE ROOT BALL.
  - TREES SHALL BE INSTALLED SUCH THAT THE TOP OF THE ROOT MASS IS LEVEL WITH THE SURFACE OF THE PLANTING HOLE.
  - TO PREVENT FUNGAL INFECTION, MULCH SHALL BE PULLED BACK A FEW INCHES FROM THE BASE OF NEW TREES.
  - IF SOIL AMENDMENTS ARE NECESSARY, A SUITABLE SOIL MIXTURE SHALL BE USED IN THE ENTIRE PLANTING AREA (NOT JUST THE PLANT PIT) TO A DEPTH CONSISTENT WITH THE ROOT DEVELOPMENT OF THE PROPOSED PLANT MATERIAL.
  - ALL REQUIRED LANDSCAPING SHALL BE FLORIDA GRADE #1 OR BETTER.



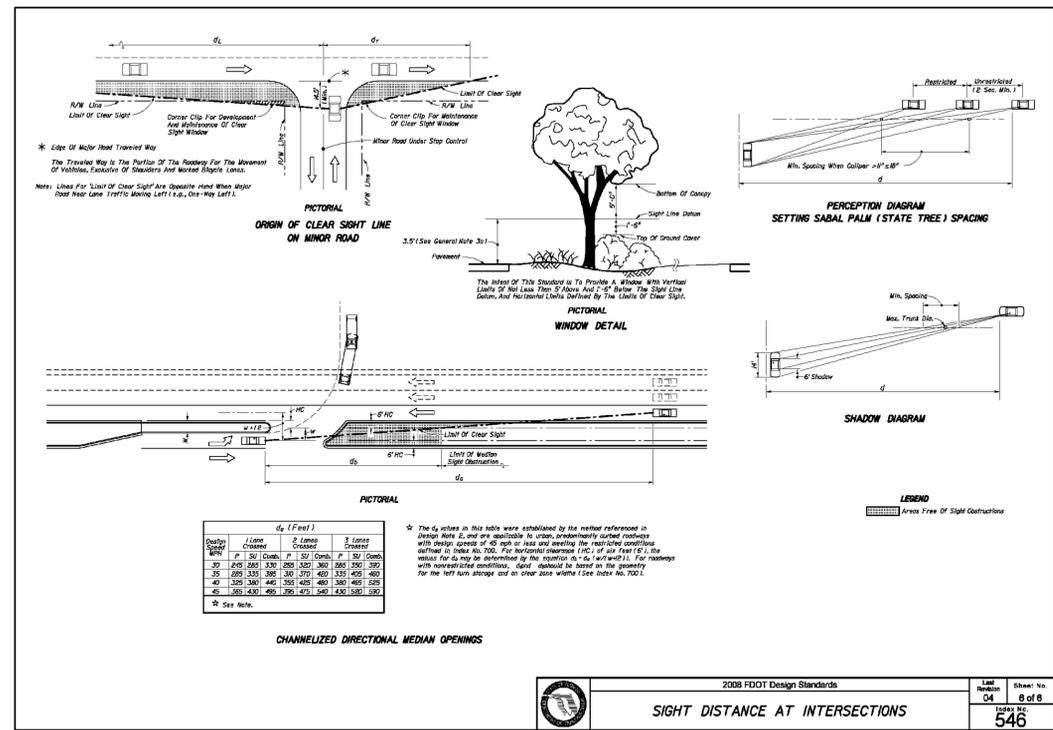
**TREE PLANTING DETAIL**

NTS



**PASCO COUNTY LANDSCAPE BUFFER TYPE B**

NTS



**2008 FDOT Design Standards  
SIGHT DISTANCE AT INTERSECTIONS**

Sheet No. 546 of 6



**REVISIONS**

| NO.      | DATE   | DESCRIPTION |
|----------|--|-------------|
| 05/28/15 | PER PASCO COUNTY COMMENTS AND FURTHER DESIGN AVF |             |
| 07/02/15 | PER PASCO COUNTY COMMENTS AVF                    |             |
| 08/08/15 | PER PASCO COUNTY COMMENTS AVF                    |             |

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Gary A. Baucher, PE # 22885

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 www.ozonaeengineering.com

**LANDSCAPE AND IRRIGATION NOTES AND SPECIFICATIONS**

- ALL PROPOSED LANDSCAPING SHALL BE FLORIDA GRADE #1 OR BETTER.
- ALL MINIMUM STANDARDS PER THE LOCAL LAND DEVELOPMENT CODE SHALL BE FOLLOWED. HIGHER STANDARDS SUCH AS HEIGHT, CALIPER OR DBH MAY BE SPECIFICALLY CALLED OUT ON THE PLAN AND SHALL BE INSTALLED PER THAT SPECIFICATION.
- PRUNING OF EXISTING TREES MAY BE REQUIRED AND SHALL BE DONE IN A MANNER IN ACCORD WITH GOOD PRACTICE AND LOCAL CODES.

**CENTER PLAZA**  
 NEQ US HIGHWAY 19 AND SR 54  
 PASCO COUNTY, FLORIDA

PROJECT #:  
 ORIG. DATE: 03/03/15  
 DRAWN BY: AVF  
 SCALE: AS SHOWN

SHEET #:  
**CL1.2**

**SD** = SHOP DRAWING REQUIRED REFER TO STANDARD NOTES FOR CONDITIONS

**LANDSCAPE CODE DETAILS**  
 SCALE: NONE