



**WATER, SEWER & RECLAIMED WATER CONSTRUCTION NOTES:**

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN FROM THE ENGINEER OR OWNER A COPY OF ALL PERTINENT PERMITS RELATED TO THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT ALL CONSTRUCTION ACTIVITIES ARE IN COMPLIANCE WITH THE CONDITIONS OF ALL PERMITS AND APPROVALS.
- SOLID SOD, ALL AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION.
- CONTRACTOR IS TO COORDINATE ALL WORK WITHIN, BUT NOT LIMITED TO, PASCO COUNTY RIGHTS-OF-WAY WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES AND THE MAKING OF ADJUSTMENTS TO SAME, IF REQUIRED. IN ACCORDANCE WITH THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT (CHAPTER 556, F.S.) THE CONTRACTOR SHALL CALL THE SUNSHINE STATE ONE CALL OF FLORIDA (SSCOF) AT 1-800-432-4770 FORTY EIGHT (48) HOURS IN ADVANCE OF ANY EXCAVATION.
- ALL UTILITY MATERIALS AND WORKMANSHIP MUST COMPLY WITH STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER AND RECLAIMED WATER FACILITIES SPECIFICATIONS, JUNE 1995 EDITION.
- THE LOCATIONS AND ELEVATION OF ALL SERVICE LINES ARE TO BE DETERMINED IN THE FIELD BY OWNER AND/OR CONTRACTOR PRIOR TO CONSTRUCTION OF SAME.
- CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF EXISTING WATER AND SEWER LINES PRIOR TO BEGINNING CONSTRUCTION.
- THE EXISTING UNDERGROUND UTILITY LINES SHOWN HEREON WERE TAKEN FROM DOCUMENTS FURNISHED BY OTHERS AND NOT FIELD VERIFIED, THEREFORE, THE ENGINEER CANNOT GUARANTEE THE ACCURACY OF SAME NOR THAT ALL ARE SHOWN. THE CONTRACTOR SHALL EXPOSE ALL UNDERGROUND UTILITY LINES IN COORDINATION WITH THE OWNERS TO HIS SATISFACTION AND MAKE ADJUSTMENTS TO SAME IN THE EVENT THERE ARE CONFLICTS WITH NEW CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL ROAD CROSSING OR UTILITY PERMITS.
- ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT." THE CONTRACTOR SHALL INSURE THAT THE METHOD OF TRENCH PROTECTION AND CONSTRUCTION IS IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
- CONNECTIONS INTO EXISTING COUNTY-OWNED SYSTEMS SHALL BE VIA WET TAP. WET TAPS SHALL BE PERFORMED BY THE PASCO COUNTY UTILITIES SERVICES BRANCH AT THE DEVELOPER'S EXPENSE. MATERIAL FOR WET TAPS LARGER THAN 2" SHALL BE PROVIDED AND INSTALLED BY THE PROJECT CONTRACTOR. EXCAVATION, BACKFILL AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- GATE VALVES INSTALLED FOR PHASING SHALL BE RESTRAINED PER CURRENT PASCO COUNTY STANDARDS.
- OFF-ROAD UTILITY EASEMENTS SHALL BE "STABILIZED" FOR ACCESS BY MAINTENANCE VEHICLES.
- RECLAIMED WATER MAINS, VALVES, AND SERVICES SHALL INCLUDE THE FOLLOWING TO AVOID CONFUSION WITH POTABLE SYSTEM:
  - PURPLE PIGMENTED C-900, DR-18 PVC PIPING FOR 4"-12" RECLAIMED WATER MAINS, EXCEPT 2" WHICH SHALL BE SDR 21 PVC PIPING.
  - SQUARE TOP VALVE BOXES FOR ISOLATION VALVES IN SYSTEM, WITH COVERS MARKED "EFFLUENT."
  - PURPLE STRIPE ON CURB TO IDENTIFY RECLAIMED WATER SERVICES.
  - ONE INCH SERVICES FOR RECLAIMED WATER SERVICES.
  - PURPLE MAGNETIC LOCATING TAPE, STATING "REUSE MAIN BURIED BELOW" OVER ALL RECLAIMED WATER MAINS (18 INCHES BELOW GRADE).
  - RECLAIMED WATER SERVICE ON OPPOSITE LOT LINE FROM POTABLE SERVICE.
- ALL ASPECTS OF RECLAIMED WATER SYSTEM MUST COMPLY WITH CHAPTER 17-610, F.A.C., LATEST EDITION.

**STREET & DRAINAGE CONSTRUCTION NOTES:**

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN FROM THE ENGINEER OR OWNER A COPY OF ALL PERTINENT PERMITS RELATED TO THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT ALL CONSTRUCTION ACTIVITIES ARE IN COMPLIANCE WITH THE CONDITIONS OF ALL PERMITS AND APPROVALS. CONTRACTOR IS ALSO RESPONSIBLE FOR HAVING HIS DEWATERING PLAN APPROVED BY SWFWMD AND PERMITTED BY FDEP.
- ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH PASCO COUNTY LAND DEVELOPMENT CODE AND FDOT SPECIFICATIONS, LATEST EDITIONS.
- SOD ALL AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION. IN THE PROPOSED RIGHTS-OF-WAY, A 16" WIDE AREA BEHIND THE BACK OF CURB SHALL BE SOLID SODDED. THE REMAINDER OF THE PROPOSED RIGHTS-OF-WAY TO BE SEEDED AND MULCHED IF THE SLOPE IS GREATER THAN 6:1 OR FLATTER
- IN ACCORDANCE WITH THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT (CHAPTER 556, F.S.), THE CONTRACTOR SHALL CALL THE SUNSHINE STATE ONE CALL OF FLORIDA (SSCOF) AT 1-800-432-4770 FORTY EIGHT (48) HOURS IN ADVANCE OF ANY EXCAVATION.
- SUITABLE FILL OBTAINED THROUGH EXCAVATION OF STREETS AND DETENTION PONDS SHALL BE PLACED ON LOTS AND ADJACENT LAND IN ACCORDANCE WITH THE MASTER DRAINAGE AND GRADING PLAN AS DIRECTED BY THE ENGINEER.
- SOD/SEED & MULCH SHALL BE PLACED IN ACCORDANCE WITH APPLICABLE CITY/COUNTY STANDARDS AS WELL AS IN ACCORDANCE WITH STANDARD AND SPECIFIC CONDITIONS IN THE SWFWMD PERMIT, IF APPLICABLE. AT A MINIMUM THIS SHALL INCLUDE SODDING OF ALL POND EMBANKMENTS OF A SLOPE 4:1 OR GREATER TO THE NORMAL WATER LINE, AS WELL AS SEEDING AND MULCHING OF THE BALANCE OF THE POND TRACTS (INCLUDING POND BERMS, EXCLUDING THE AREA BELOW NW), SODDING AT A MINIMUM OF 16" FROM THE BACK OF CURB, AND SEEDING AND MULCHING OF ANY PROJECT AREA WITH A SLOPE OF FLATTER THAN 4:1.
- SITE CLEARING SHALL BE PERFORMED PER THE APPROVED CONSTRUCTION PLANS AND IN ACCORDANCE WITH PASCO COUNTY LAND DEVELOPMENT CODE. INSTALLATION AND MAINTENANCE OF THE REQUIRED BARRICADING AND EROSION CONTROL SHALL BE THE RESPONSIBILITY OF THE SITE DEVELOPMENT CONTRACTOR UNLESS OTHERWISE DESIGNATED.
- PRIOR TO BEGINNING CONSTRUCTION, SITE CONTRACTOR SHALL EXPOSE ALL EXISTING UTILITY INVERTS TO WHICH A TIE-IN IS PROPOSED AND VERIFY THE ELEVATION AND ADEQUACY OF ANY REPORTED INVERTS. ALL DIFFERENCES SHALL BE REPORTED TO THE ENGINEER OF RECORD IN WRITING PRIOR TO CONSTRUCTION.
- ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT". THE SITE CONTRACTOR SHALL ENSURE THAT THE METHOD OF TRENCH PROTECTION AND CONSTRUCTION IS IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
- ALL EROSION CONTROL INSTALLATION AND INSTALLATION COORDINATION SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR. HEIDT DESIGN, IF CONTRACTED BY THE OWNER, WILL COORDINATE THE STAKING OF THE ALIGNMENT OF THE PROPOSED EROSION CONTROL AND SHALL LIMIT ITS RESPONSIBILITY AND COORDINATION AT THAT POINT. BE ADVISED THAT THE CONSTRUCTION APPROVAL AND MAINTENANCE OF THE EROSION CONTROL SHALL BE THE SOLE RESPONSIBILITY OF THE SITE CONTRACTOR.

**DRAINAGE & GRADING NOTES**

- ALL SODDED SLOPES STEEPER THAN 4:1 SHALL BE INSTALLED WITH SOD PEGS.
- ALL FIRST FLOOR ELEVATIONS SHALL BE A MINIMUM OF ONE FOOT ABOVE THE BASE FLOOD ELEVATION (BFE).
- ALL FIRST FLOOR ELEVATIONS SHALL BE A MINIMUM OF 16 INCHES ABOVE THE HIGHEST CROWN LINE OF THE STREET LYING BETWEEN THE PROJECTION OF THE SIDE BUILDING LINES.
- NO EXCAVATION SHALL EXTEND BELOW THE PERMITTED DESIGN DEPTHS/ELEVATIONS SHOWN ON THE DRAWINGS, UNLESS ADDITIONAL TESTING SUPPORTS OTHERWISE; NO LOWER SEMI-CONFINING UNIT CLAYEY SOIL MATERIAL AND/OR NO LIMESTONE MATERIALS SHALL BE EXCAVATED REGARDLESS IF THEY ARE ENCOUNTERED WITHIN THE PERMITTED DEPTHS/ELEVATIONS. IF ANY LOWER SEMI-CONFINING UNIT CLAYEY SOIL MATERIALS OR LIMESTONE MATERIALS ARE ENCOUNTERED ABOVE THE PERMITTED DEPTHS/ELEVATIONS, THEN EXCAVATION OPERATIONS SHALL CEASE IN THE GENERAL LOCATION AND THE ENGINEER OF RECORD SHALL BE NOTIFIED IMMEDIATELY.
- SHOULD ANY NOTICEABLE SOIL SLUMPING OR SINKHOLE FORMATION BECOME EVIDENT, THE APPLICANT/DEVELOPER SHALL IMMEDIATELY NOTIFY THE COUNTY, TAMPA BAY WATER (TBW), AND SWFWMD, AND ADOPT ONE OR MORE OF THE FOLLOWING PROCEDURES AS DETERMINED TO BE APPROPRIATE BY THE COUNTY AND SWFWMD:
- IF THE SLUMPING OR SINKHOLE FORMATION BECOMES EVIDENT BEFORE OR DURING CONSTRUCTION ACTIVITIES, STOP ALL WORK (EXCEPT FOR MITIGATION ACTIVITIES) IN THE AFFECTED AREA AND REMAIN STOPPED UNTIL THE COUNTY AND SWFWMD APPROVE RESUMING CONSTRUCTION ACTIVITIES.
- TAKE IMMEDIATE MEASURES TO ENSURE NO SURFACE WATER DRAINS INTO THE AFFECTED AREAS.
- VISUALLY INSPECT THE AFFECTED AREA.
- EXCAVATE AND BACKFILL OR GROUT AS REQUIRED TO FILL THE AFFECTED AREA AND PREVENT FURTHER SUBSIDENCE.
- USE SOIL REINFORCEMENT MATERIALS IN THE BACKFILLING OPERATION, WHEN APPROPRIATE.
- IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA, MAINTAIN A MINIMUM DISTANCE OF TWO FEET FROM THE BOTTOM OF THE RETENTION POND TO THE SURFACE OF THE LIME-ROCK OR KARST CONNECTION.
- IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA AND THE ABOVE METHODS DO NOT STABILIZE THE COLLAPSE, RELOCATE THE RETENTION AREA.
- DISCHARGE OF STORM-WATER INTO DEPRESSIONS WITH DIRECT OR DEMONSTRATED HYDROLOGIC CONNECTION TO THE FLORIDAN AQUIFER SHALL BE PROHIBITED.
- UPON COMPLETION OF LAND DEVELOPMENT CONSTRUCTION ACTIVITIES, A PROFESSIONAL ENGINEER SHALL PROVIDE A CERTIFICATION TO PASCO COUNTY THAT THE PROJECT, INCLUDING EACH PAD AREA, COMPLIES WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL / GEOLOGICAL ENGINEERING REPORT.
- THE ENGINEER RESPONSIBLE FOR THE PROJECT SHALL CERTIFY TO PASCO COUNTY THAT THE UNDERDRAINS HAVE BEEN PROPERLY INSTALLED PRIOR TO THE INSTALLATION OF ANY ASPHALT. CERTIFICATION SHALL STRICTLY COMPLY WITH THE UNDERDRAIN CERTIFICATION FORM AVAILABLE IN "ENGINEERING SERVICES DEPARTMENT: A PROCEDURAL GUIDE FOR THE PREPARATION OF ASSURANCES OF COMPLETION AND MAINTENANCE"
- PROPOSED MAINTENANCE EASEMENTS MUST CONTAIN CLEAR OPERABLE ACCESSIBILITY.
- ALL LOTS IN RE-CONSTRUCTION AREA WILL BE TYPE 'B' LOTS.
- PAD ELEVATIONS ARE 8 INCHES ABOVE THE FINISHED FLOOR ELEVATIONS.

ELEVATIONS BASED ON:  
NATIONAL GEODETIC VERTICAL DATUM 1929  
CONVERSION:  
NGVD 29 TO NAVD 88 = - 0.85

**HEIDT DESIGN**  
Civil Engineering • Planning & GIS  
Transportation Engineering  
Ecological Services • Landscape Architecture

5806-B Breckenridge Pkwy.  
Tampa, Florida 33610  
Office: 813-253-5311  
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www.HeidtDesign.com



Engineering Business Certificate of Authorization No. 28792  
Landscape Architecture Certificate of Authorization No. LC26000405

CONNERTON VILLAGE 2  
PHASE 2 PARCEL 214

GENERAL NOTES

PREPARED FOR:  
HAYMAN WOODS, LLC

NO.	DATE	REVISION SUBMITTAL	DESCRIPTION
1	06/19/2015		

PROJECT NO: HWL-CT-1074  
FILE: GNOTES  
DESIGN BY: DUNCAN  
DRAWN BY: DUNCAN

FLORIDA PROFESSIONAL ENGINEER

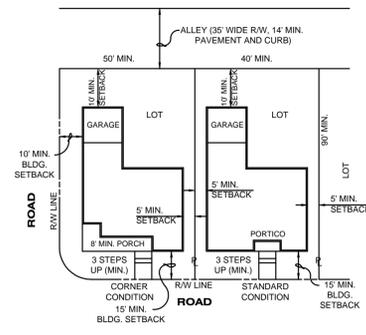
EDWIN J. ROGERS  
DATE: \_\_\_\_\_  
REGISTRATION NO. 50082

**C-101**

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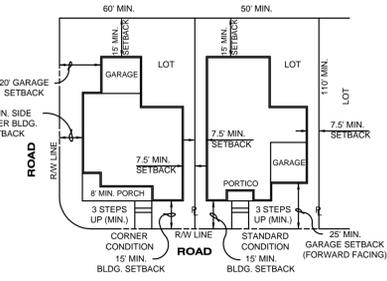






**SINGLE FAMILY DETACHED (40' LOTS-TYPE A) NEIGHBORHOOD NO. 3**

- GENERAL NOTES:  
 1. CORNER LOTS MUST BE 10' WIDER THAN MINIMUM LOT SIZE.  
 2. LOT WIDTH IS MEASURED HORIZONTALLY AT THE FRONT BUILDING LINE.  
 3. MAXIMUM BUILDING HEIGHT = 45 FEET  
 4. MAXIMUM LOT COVERAGE - 75% FOR PRINCIPAL AND ACCESSORY STRUCTURES.  
 5. PORCHES CAN BE NO LESS THAN 8' DEEP.  
 6. PORTICOS CAN BE NO LESS THAN 4' DEEP.  
 7. STEPS CAN ENCRACH INTO BUILDING SETBACK.  
 8. POOLS MUST HAVE A MINIMUM 5' SETBACK FROM REAR AND SIDE LOT LINES.



**SINGLE FAMILY DETACHED (TYPE B) NEIGHBORHOOD NO. 3**

- GENERAL NOTES:  
 1. CORNER LOTS MUST BE 10' WIDER THAN MINIMUM LOT SIZE.  
 2. LOT WIDTH IS MEASURED HORIZONTALLY AT THE FRONT BUILDING LINE.  
 3. FORWARD FACING GARAGES WILL BE SETBACK A MINIMUM OF 25 FEET.  
 4. MAXIMUM BUILDING HEIGHT = 45 FEET  
 5. MAXIMUM LOT COVERAGE - 70% FOR PRINCIPAL AND ACCESSORY STRUCTURES.  
 5. PORCHES CAN BE NO LESS THAN 8' DEEP.  
 6. PORTICOS CAN BE NO LESS THAN 4' DEEP.  
 7. STEPS CAN ENCRACH INTO BUILDING SETBACK.  
 8. POOLS MUST HAVE A MINIMUM 5' SETBACK FROM REAR LOT LINE AND 7.5' MIN. FROM SIDE LOT LINES.

Lot Type	Minimum Lot Width and Depth	Minimum Primary Structure Setback										Minimum Garage Setback				Minimum Porch Setback				Minimum Pool Setback				Maximum Lot Coverage
		F	S	SC	SP	R	F	S	SC	R	SC	F	S	SC	R	F	S	SC	R					
Village Center Nonresidential	20'X50'	0'	0'	10'	N/A	5'	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	90%			
Single-Family Attached TND	20'X70'	10'	0'	10'	10'	10'	N/A	N/A	N/A	10'	10'	10'	5'	10'	5'						80%			
Single-Family Attached Non-TND	20'X70'	15'	7.5'	15'	15'	15'				20'		15'									75% for MF-3			
Duplex TND	80'X100'	15'	5/0	10'	10'	10'	N/A	5'	10'	10'	10'	15'	5'	10'	5'						80%			
Duplex Non-TND	80'X100'	15'	7.5'	15'	10'	15'				20'	20'										75%			
Single-Family Detached Type A TND Only	40'X90'	15'	5'	10'	10'	10'	N/A	N/A	N/A	10'	10'	15'	5'	10'	5'						75%			
single-Family Detached Type B	50'X110'	15'	7.5'	15'	10'	15'	25'	7.5'	20'	15'	10'	15'	5'	20'	5'						70%			

F = Front Setback 1/ setback from building face to parking 4/ Each Unit is 40'X100' 5/ 0' for shared wall Note:  
 S = Side Setback 2/ 20' if side entry garage 5/ No screened, pool enclosures allowed if 5' setback is utilized for a pool 1. Corner lots: Allow chimneys and bay windows to extend into side corner setback.  
 SC = Side Corner 3/ Type A lots shall be allowed in Neighborhood No. 3 and Village Center only 2. Front Steps: Allow front steps to extend into the front setback.  
 SP = Side Porch  
 R = Rear Setback

MAXIMUM BUILDING HEIGHT = 45 FEET

**Connerton Village Two Phase 2 Wetland Classification Summary**

Wetland Category	Acreage
Category I	4.52
Category II	8.96
Category III	0.00
<b>Total Village One</b>	<b>13.48</b>

**SITE DATA TABLE**

PHASE	UPLAND	WETLAND	TOTAL AC.	UNITS	GROSS DENSITY	NET DENSITY
2	54.01	13.31	67.32	138	2.05	2.56

**CONNERTON VILLAGE 2 PHASE 2 LOT TYPES**

PARCEL IDENTIFICATION	MPUD NEIGHBORHOOD	LOT TYPE (WIDTH)			TOTAL LOTS
		22x117' LOTS (ATTACHED)	45x110' LOTS (DETACHED)	55x120' LOTS (DETACHED)	
PHASE 2	NEIGHBORHOOD 3	0	63	15	78
PHASE 2	VILLAGE CENTER		18	22	40
<b>TOTALS</b>		<b>0</b>	<b>81</b>	<b>37</b>	<b>118</b>

THE LOTS INCLUDED IN CONNERTON VILLAGE 2, PHASE 2 ARE DEPICTED ON THE APPROVED MPUD PLAN IN BOTH "NEIGHBORHOOD 3" AND THE "VILLAGE CENTER". NEIGHBORHOOD 3 SHOWS A MAXIMUM DENSITY OF 125 UNITS AND THE VILLAGE CENTER SHOWS A MAXIMUM DENSITY OF 55 UNITS FOR A COMBINED TOTAL OF 180 UNITS. VILLAGE 2, PHASE 2 HAS A TOTAL OF 138 UNITS, LESS THAN THE MAXIMUM ALLOWABLE DENSITY OF 180 UNITS.

**CONNERTON VILLAGE 2 PHASE 2 SITE DATA SUMMARY**

INCREMENT	GROSS AREA	NO. UNITS	GROSS DENSITY	NOTES
PHASE 1	437.9	701	1.60	CONSTRUCTED
PHASE 2	67.32	118	1.75	CONSTRUCTED
FUTURE PHASES	T.B.D.	T.B.D.	T.B.D.	FUTURE
<b>TOTALS</b>	<b>505.22</b>	<b>819</b>	<b>1.62</b>	

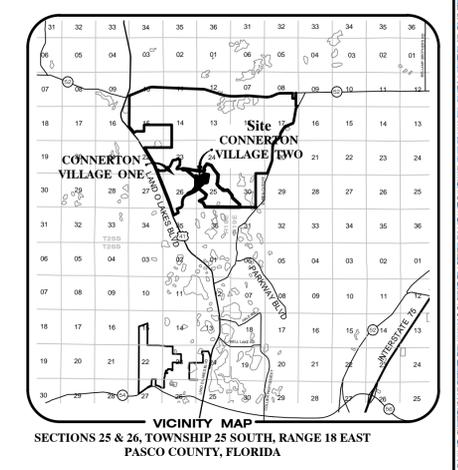
**WETLAND SUMMARY**

WETLAND ID	SIZE ONSITE AC.	IMPACT ID	IMPACT AC.
158	4.52	N/A	0.0
387	5.59	387A	0.10
395	3.37	395A	0.03
		395B	0.14
<b>TOTALS</b>	<b>13.48</b>		<b>0.27</b>

CONNERTON VILLAGE 2, PHASE 2 TRACT AREAS (AREAS IN ACRES)		
TRACT ID.	TRACT ACREAGE	TRACT USES
B-3	9.99	OPEN SPACE, DRAINAGE & CONSERVATION AREA
B-8	7.11	OPEN SPACE, DRAINAGE & CONSERVATION AREA
L-41	0.06	LANDSCAPE & IRRIGATION
L-42	0.05	LANDSCAPE & IRRIGATION
L-43	0.20	LANDSCAPE & IRRIGATION
L-46	0.09	LANDSCAPE & IRRIGATION
L-53	0.48	LANDSCAPE & IRRIGATION
L-54	0.09	LANDSCAPE & IRRIGATION

**NOTES:**

- Developer: HAYMAN WOODS, LLC  
1601 Elm Street, Suite 3110  
Dallas, TX 75201  
Ph: (214) 302-0060  
ATTN.
- Owner: PASCO RESIDENTIAL LOTS 214, LLC  
1601 Elm Street, Suite 3110  
Dallas, TX 75201  
Ph: (214) 302-0060  
ATTN: Adam Krug
- Engineer: Heidt Design, LLC  
5806-B Breckenridge Parkway  
Tampa, Florida 33610  
(813) 253-5311  
Edwin J. Rogers
- Existing zoning: MPUD #6133  
Existing Land Use Classification: Pasture  
Future Land Use Classification: New Town
- The amended & restated Development Order was approved on November 8, 2006 (DRI No. 233)  
The MPUD zoning petition #6313 was approved on March 22, 2005.  
The most recent zoning amendment # 6727 was approved on October 9, 2007
- Proposed development: 118 Single Family detached lots
- Water service to be provided by Pasco County Utilities.
- Sewage disposal service to be provided by Pasco County Utilities.
- Electrical power to be provided by Withlacoochee River Electric CO-OP.
- Telephone service to be provided by Verizon Communications.
- Gas service to be provided by Clearwater Gas Systems.
- Street lighting to be provided by a street lighting taxing district throughout the development.
- Fire protection to be provided by the existing Pasco County Fire Station #22, located near US 41 and SR 52.  
Fire hydrants to be provided on site.
- The uplands are actively grazed bahia pasture. The wetlands are cypress swamps and grassy marshes.
- Minimum square footage of dwelling units is 1,000 s.f.
- Predominant soil types on-site consist of Eau Gallie fine sands within upland areas; Palmetto-Zephyr-Sellers complex in the transitional areas; Chobee soils and Sellers Mucky Loamy fine sands within wetland areas.
- The Association or CDD shall provide for the maintenance of all open space, drainage areas, common areas, buffer areas, preservation, conservation areas, recreation areas, wildlife corridor and crossing (unless otherwise approved by Pasco County), and other special purpose areas by the said Association or CDD.
- Detention ponds to be within drainage easements dedicated to the CDD for maintenance.
- Contours shown are based on National Geodetic Vertical Datum of 1929.
- Proposed rights-of-way for local streets shall be a minimum of fifty (50) feet.
- All roadway standards to comply with the Manual of Uniform Minimum Standards, State of Florida.
- All water and wastewater facilities to be installed in compliance with Pasco County Standards for design and construction of water and wastewater facilities.
- All utility lines shall be installed underground.
- Project lies within Flood Zone "A" & "X" as shown on FIRM Panel No. 120220 0250 E, revised September 30, 1992. Lines shown have been digitally translated from Q3 FLOOD DATA supplied by FEMA NATIONAL FLOOD INSURANCE PROGRAM, dated 1996.
- A minimum 16" strip of sod will be provided along all roadways per Pasco County requirements.
- Corner lots will be a minimum of ten (10) feet greater in width than standard lots.
- Wetland setbacks from SWFWMD wetlands shall be a minimum of 15' with an average of 25' as per ERP regulations.
- All roadways to be publicly owned.
- The 100 year base flood elevation for this project has been modeled in the stormwater master plan and varies between EL. 76.2 and EL. 78.9. See 100 year floodplain encroachment maps in these construction plans (Sheet 1 of 1).
- All landscape and sodded areas along collector road will be irrigated.
- This project will comply with the new Pasco County Tree Protection ordinance No. 01-017 and Pasco County Landscape and Irrigation ordinance No. 02-04 and any subsequent amendments.
- This project shall be subject to the Pasco County New Development Fair Share Contribution for Road Improvements Ordinance and Shool Impact Fee Ordinance.
- All construction work, including road, drainage and utilities, shall be constructed in accordance with Pasco County design standards and tested in compliance with the Pasco County Engineering Service Department Testing Specifications for construction of roads, storm drainage and utilities
- All residential lots shall have a minimum access width of 25 feet along street.
- If during construction activities, any evidence of historic resources including, but not limited to aboriginal or historic pottery, prehistoric stone tools, bone or shell tools, historic trash pits or historic building foundations are discovered, work shall come to an immediate stop, and the Florida Dept. of Historic Resources (State Historical Preservation Office) and Pasco County shall be notified within two working days of the resources found on site.
- Prior to any clearing or grubbing associated with site plan an Incidental Take Permit from the Florida Fish and Wildlife Conservation Commission shall be submitted to the Pasco County DRD.
- If during the construction activities any evidence of the presence of State and Federally protected plant and/or animal species are discovered, work shall come to an immediate stop and Pasco County shall be notified within two working days of the plant and/or animal species found on site.
- The development planned within Connerton Village Two Phase Two will be located in the upper reaches of the Five Mile Creek Drainage Basin. The proposed drainage system will collect, attenuate and provide treatment for the projected runoff generated by the development. The system of interconnected facilities (stormwater drainage pipes, attenuation ponds with littoral zones for water quality treatment, existing and created wetlands) has been designed to meet the minimum technical standards of Pasco County and the Southwest Florida Water Management District. Historical drainage basin patterns will be generally adhered to where practical to accommodate off-site stormwater discharges and stages from adjacent properties. The proposed stormwater drainage system will be owned and maintained by the Connerton West Community Development District.
- All Post-Development wetlands shall be incorporated in tracts as "Wetland Conservation Areas" designated on this plan as "W.C.A."
- Architect or lighting consultant shall ensure that any lighting revisions caused by this construction meet the requirements of the Pasco County LDC, including prohibitions against off-site light spillage and glare.



VICINITY MAP  
SECTIONS 25 & 26, TOWNSHIP 25 SOUTH, RANGE 18 EAST  
PASCO COUNTY, FLORIDA

**CONNERTON VILLAGE TWO PHASE TWO**  
 DESCRIPTION: A parcel of land lying in Sections 25 and 26, Township 25 South, Range 18 East, Pasco County, Florida, and recorded in Plat Book 62, Page 111.

PRELIMINARY PLAN NOTES & DETAILS			
JOB NO. CHL CT 1002	<b>CONNERTON VILLAGE TWO PHASE 2</b>		
DESIGN ROGERS	DRAWN MCALEER		
DATE 08-18-2005	PREPARED FOR: CONNERTON HOLDINGS, L.L.C.	Elevations based on National Geodetic Vertical Datum 1929 (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -0.85 Feet	
FILE PPNOTE1	<b>C-104</b>		

10/09/2015 COUNTY COMMENTS  
06/18/2015 SF DETACHED TO SF ATTACHED  
05-24-11 UPDATED DEVELOPER, ENGINEER & SITE DATA

03-02-06 LOT DETAILS  
01-05-06 ADDRESS COUNTY REVIEW COMMENTS

DATE DESCRIPTION BY

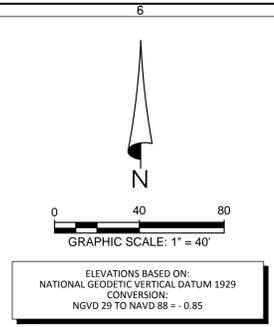
REVISIONS

NYB MED JHM  
JMH JMH  
BY

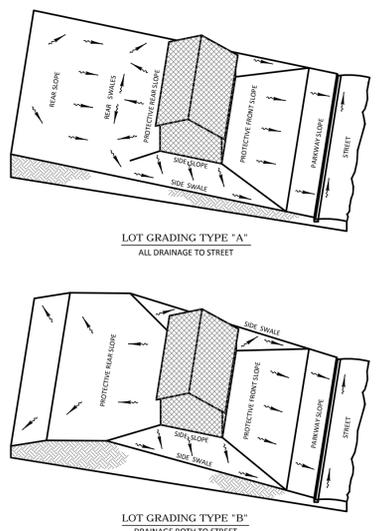
DATE: EDWIN J. ROGERS, P.E. NO. 50082  
FLORIDA PROFESSIONAL ENGINEER

**HEIDT DESIGN**  
Civil Engineering • Planning & GIS  
Transportation Engineering  
Ecological Services • Landscape Architecture  
Engineering Business Certificate of Authorization No. 28782  
Landscape Architecture Certificate of Authorization No. LC20000405  
5806-B Breckenridge Parkway, Tampa, Florida 33610  
Office: 813-253-5311 Fax: 813-466-7629  
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- DRAINAGE LEGEND**
- EXISTING: 10 (circle with 10)
  - PROPOSED: 15.00 (circle with 15.00)
  - STORM DRAINAGE STRUCTURE & PIPE
  - GRADING SPOT ELEVATION
  - DIRECTION OF SURFACE FLOW
  - UNDERDRAIN WITH CLEANOUT
  - PAD=81.4' FF=82.1' TYPE B
  - PROPOSED PAD ELEVATION
  - PROPOSED FINISH FLOOR ELEVATION
  - PROPOSED LOT GRADING TYPE
  - STAKED EROSION CONTROL
- MISC. LEGEND**
- EXISTING: Triangle
  - PROPOSED: Circle with dot
  - TRANSFORMER
  - LIGHT POLE



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**CONNERTON VILLAGE 2  
 PHASE 2 PARCEL 214  
 GRADING AND DRAINAGE PLAN**

PREPARED FOR: HAYMAN WOODS, LLC

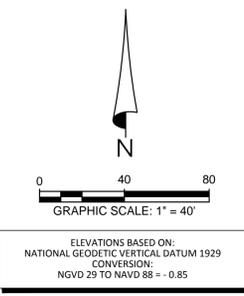
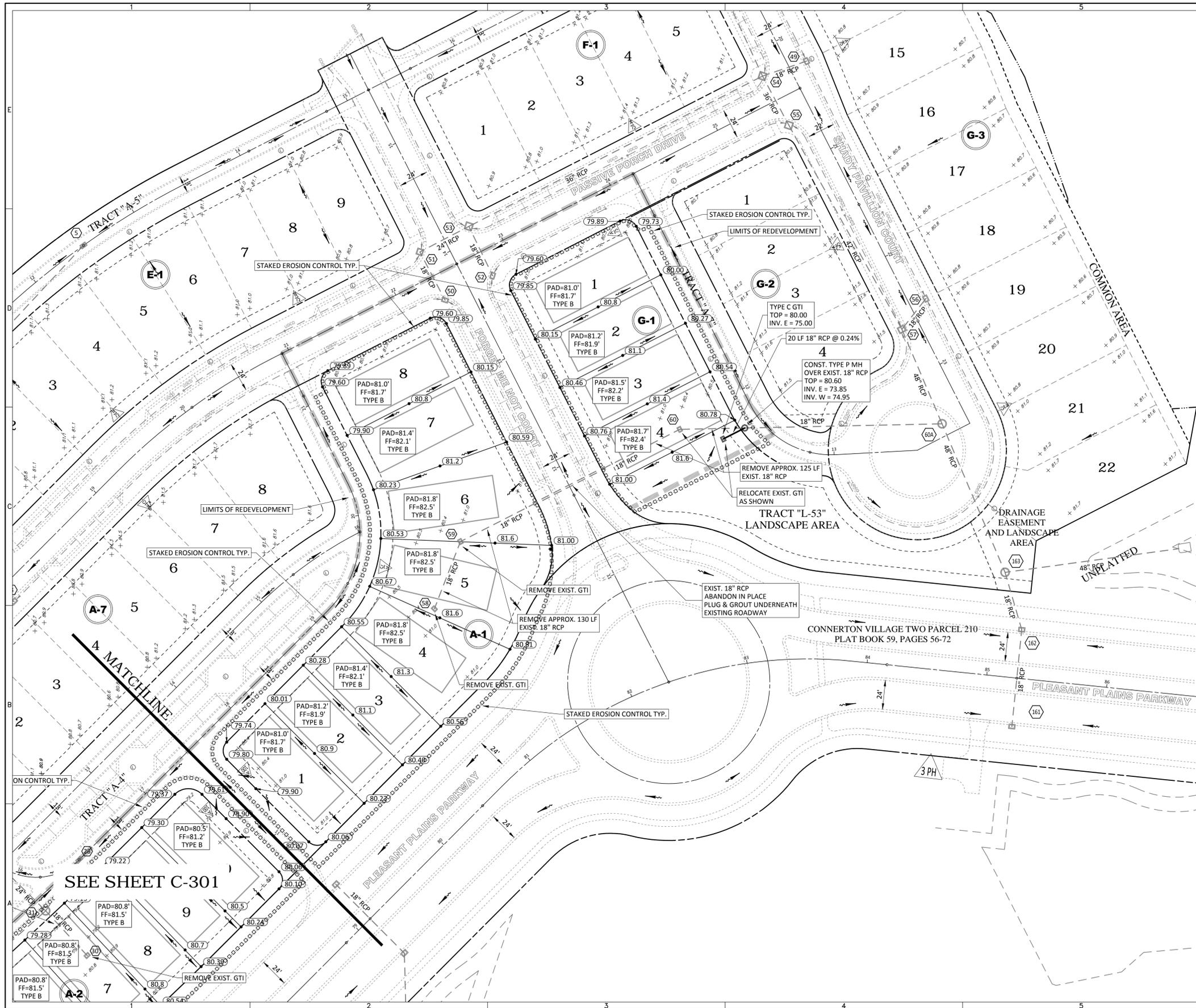
NO.	DATE	DESCRIPTION
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PROJECT NO: HWL-CT-1074  
 FILE: GD  
 DESIGN BY: DUNCAN  
 DRAWN BY: DUNCAN

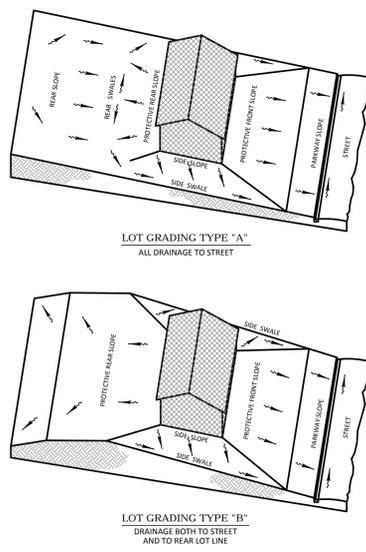
FLORIDA PROFESSIONAL ENGINEER

**EDWIN J. ROGERS**  
 DATE: \_\_\_\_\_  
 REGISTRATION NO. 50082

**C-301**



- DRAINAGE LEGEND**
- EXISTING: (Symbol) STORM DRAINAGE STRUCTURE & PIPE
  - PROPOSED: (Symbol) GRADING SPOT ELEVATION
  - (Symbol) DIRECTION OF SURFACE FLOW
  - (Symbol) UNDERDRAIN WITH CLEANOUT
  - (Symbol) PROPOSED PAD ELEVATION
  - (Symbol) PROPOSED FINISH FLOOR ELEVATION
  - (Symbol) PROPOSED LOT GRADING TYPE
  - (Symbol) STAKED EROSION CONTROL
- MISC. LEGEND**
- EXISTING: (Symbol) TRANSFORMER
  - PROPOSED: (Symbol) LIGHT POLE



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Engineering Business Certificate of Authorization No. 23752  
 Landscape Architecture Certificate of Authorization No. LC26000405

**CONNERTON VILLAGE 2  
 PHASE 2 PARCEL 214  
 GRADING AND DRAINAGE PLAN**

PREPARED FOR: **HAYMAN WOODS, LLC**

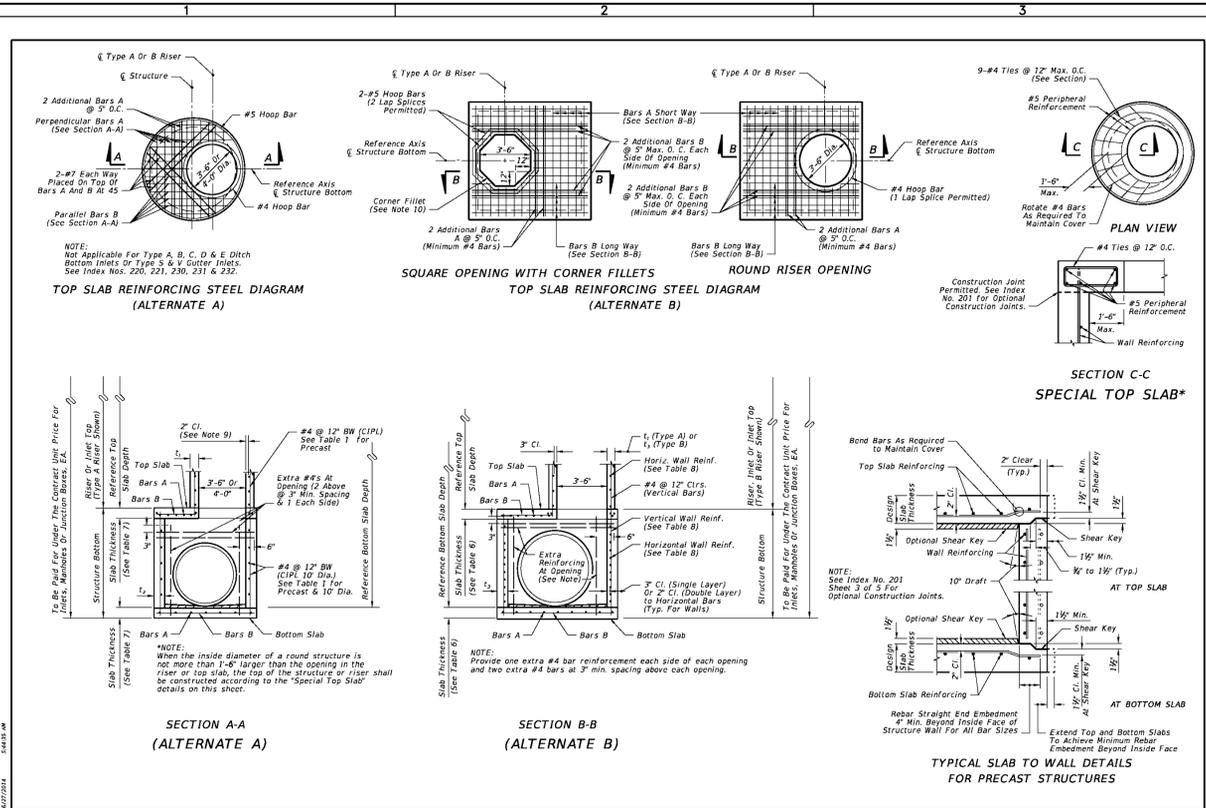
NO.	DATE	DESCRIPTION
1	06/15/2015	REVIEW SUBMITTAL

PROJECT NO: HWL-CT-1074  
 FILE: GD  
 DESIGN BY: DUNCAN  
 DRAWN BY: DUNCAN

FLORIDA PROFESSIONAL ENGINEER

**EDWIN J. ROGERS**  
 DATE: \_\_\_\_\_  
 REGISTRATION NO. 50082

**C-302**



LAST REVISION: 07/01/14	DESCRIPTION: 2015 DESIGN STANDARDS	INDEX NO. 200	SHEET NO. 1 of 5
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**ROUND STRUCTURE BOTTOMS (ALTERNATE A) & ROUND RISERS - TABLE 1**

Wall Thickness (t) and Vertical & Horizontal Areas of Reinforcement (A<sub>v</sub>)

Type	Structure/Riser Diameter (ft)	Cast-In-Place Items Class II Concrete		Precast Items Class II Concrete		ASTM C478	
		t <sub>1</sub> (in.)	t <sub>2</sub> (in./ft.)	t <sub>1</sub> (in.)	t <sub>2</sub> (in./ft.)	t <sub>1</sub> (in.)	A <sub>v</sub> *** (in. <sup>2</sup> /ft.)
P	3'-6"	6	8	6	8	0.20	4**
P	4'-0"	6	8	6	8	0.20	5**
J	5'-0"	-	8	0.20	-	8	6**
J	6'-0"	-	8	0.20	-	8	6
J	7'-0"	-	8	0.20	-	8	7
J	8'-0"	-	8	0.20	-	8	8
J	10'-0"	-	10	0.40#	-	10	0.240
J	12'-0"	-	10	0.40#	-	12	0.360

**TABLE 1 NOTES:**

- \*\*Provide 0.20 eq. in./ft. at each face, 12" max. bar spacing.
- \*\*\*Modified minimum wall thickness.
- \*\*\*\*Min. total circumferential reinforcement for continuous steel hoops.
- A<sub>v</sub> = 0.50 sq. in. for riser section height equal or less than 2'-0" (2 hoop min.).
- A<sub>v</sub> = 0.75 sq. in. for riser section height more than 2'-0" up to 4'-0" (3 hoop min.).
- Areas of reinforcing for precast items are based on Grade 60 reinforcing.
- No reduction in the area of reinforcing is allowed for welded wire fabric in Table 1.
- Area of vertical reinforcing may be reduced in accordance with ASTM C478.

**SQUARE & RECTANGULAR STRUCTURES (ALTERNATE B) - TABLE 2**

Type	Wall Length (ft)	Max. Depth (ft)	Wall Thickness (t)	
			Cast-In-Place (CIP) (in.)	Precast (in.)
P	≤ 3'-6"	40	6 Riser	6
J	4'-0"	40	8	6
J	5'-0"	22	-	6
J	6'-0"	15	-	6
J	5'-0" to 9'-0"	40	8	8
J	10'-0"	26	8	8
J	10'-0" to 12'-0"	40	10	9
J	16'-0"	35	-	9
J	16'-0"	40	10	10
J	20'-0"	35	-	9
J	20'-0"	30	10	10

**TABLE 2 NOTES:** See Table B For Reinforcing Schedule.

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**TABLE 3 - MINIMUM STRUCTURE SIZES FOR SINGLE PIPE CONNECTION PER SIDE**

PIPE SIZE	RECTANGULAR		ROUND	
	Side Dimension (L)	Single Pipe or Pipes	Diameter (D)	2 to 4 Pipes
18"	5'-0"	2	4'-0"	5'-0"
24"	5'-0"	2	4'-0"	5'-0"
30"	5'-0"	2	4'-0"	5'-0"
36"	5'-0"	2	4'-0"	5'-0"
42"	5'-0"	2	4'-0"	5'-0"
48"	5'-0"	2	4'-0"	5'-0"
54"	5'-0"	2	4'-0"	5'-0"
60"	5'-0"	2	4'-0"	5'-0"
66"	5'-0"	2	4'-0"	5'-0"
72"	5'-0"	2	4'-0"	5'-0"
78"	5'-0"	2	4'-0"	5'-0"
84"	5'-0"	2	4'-0"	5'-0"

**TABLE 3 NOTES:**

- For Round Structures sizes with variable angles between the pipes and variable pipe sizes, refer to the FDOT Storm Drain Handbook.
- For 3'-0" Precast Square Structure Bottoms, 30" Pipes with similar invert elevations are not permitted in adjacent walls. Use 4'-0" Side Dimensions when 30" pipe openings are required on adjacent walls and the difference in flow lines is less than 3'-0".
- For 4'-0" Precast Square Structure Bottoms, 36" Pipes with similar invert elevations are not permitted in adjacent walls. Use 5'-0" Side Dimensions when 36" pipe openings are required on adjacent walls and the difference in flow lines is less than 3'-0".
- For 7'-0" Precast Square Structure Bottoms, 66" Pipes with similar invert elevations are not permitted in adjacent walls. Use 8'-0" Side Dimensions when 66" pipe openings are required on adjacent walls and the difference in flow lines is less than 4'-0".

**TABLE 4 - MINIMUM SIZES FOR MULTIPLE PARALLEL PIPE CONNECTIONS FOR RECTANGULAR STRUCTURE BOTTOMS**

PIPE SIZE	SPACING (S)	MINIMUM WALL LENGTH (L) FOR NUMBER OF PARALLEL PIPES	
		2	4
18"	12'-0"	6'-0"	11'-0"
24"	12'-0"	6'-0"	12'-0"
30"	12'-0"	6'-0"	12'-0"
36"	12'-0"	6'-0"	12'-0"
42"	12'-0"	6'-0"	12'-0"
48"	12'-0"	6'-0"	12'-0"
54"	12'-0"	6'-0"	12'-0"
60"	12'-0"	6'-0"	12'-0"
66"	12'-0"	6'-0"	12'-0"
72"	12'-0"	6'-0"	12'-0"
78"	12'-0"	6'-0"	12'-0"
84"	12'-0"	6'-0"	12'-0"

**TABLE 4 NOTES:**

- Minimum wall lengths based on precast structures, using concrete pipe with maximum skew angles per Table 5.
- Wall lengths exceeding 20'-0" require special designs.

**TABLE 5 - MAXIMUM PIPE SKEW FOR PRECAST ROUND OPENINGS**

MAXIMUM SKEW ANGLE	PIPE SIZE							
	18"	24"	30"	36"	42"	48"	54"	60"
6°	21"	20"	18"	17"	16"	15"	14"	13"

**TABLE 5 NOTES:** These values are based on 2" clearance for precast structures. Larger skews are possible for Cast-In-Place Structures or elliptical pipe openings when approved by the Engineer.

**TABLE 6 - SLAB DESIGNS - SQUARE AND RECTANGULAR STRUCTURES (TABLE 6)**

(ALL SLABS 8" THICK EXCEPT AS NOTED - REINFORCING PARALLEL TO SHORT WAY AND LONG WAY)

**TABLE 7 - SLAB DESIGNS - ROUND STRUCTURES (TABLE 7)**

**SLAB AND WALL DESIGN TABLE NOTES:**

- Size is the inside dimension(s) of a structure.
- Slab reinforcement is appropriate for top, intermediate, and bottom slabs.
- Bottom Slabs for precast 3'-6" to 3'-6" rectangular structures at 15' depth or less, may be 6" thick.
- Slab depth is measured from finished grade to top of slab.
- Wall depth is measured from the top of the bottom slab for boxes and to the top of the intermediate slab for risers.
- Wall height is the distance between top of lower slab to bottom of upper slab. Maximum wall height is 12' for wall lengths exceeding 5', or 10' for wall lengths exceeding 12'.
- Wall lengths exceeding 6'-0" require two layers of reinforcing (see Table 8) with 2" of cover from the horizontal bars to the inside and outside faces for each layer.
- Wall lengths exceeding the dimensions or depths shown in Table 8, or 12'-0" diameter require a special design.
- Wall thickness and reinforcing for rectangular structures is the same for both long and short sides.
- Reinforcing schedules with larger areas of steel may be substituted for schedules with smaller bar or wire spacing, except that Schedule B10 may not be substituted for Schedule A6. See Index 201, Sheet 4 for allowable bar spacing adjustments when larger areas of reinforcing are substituted.

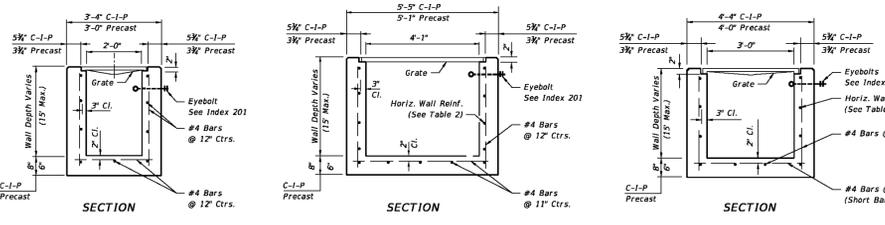
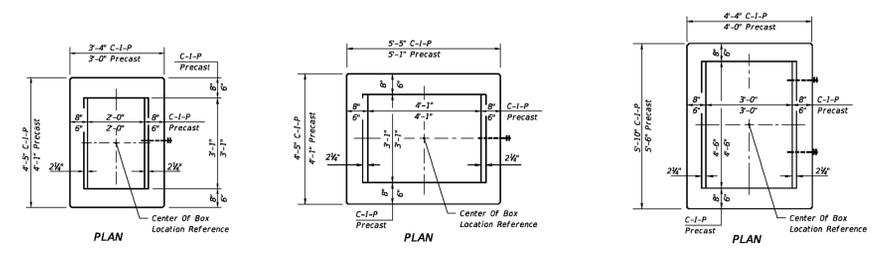
LAST REVISION: 07/01/07	DESCRIPTION: 2015 DESIGN STANDARDS	INDEX NO. 200	SHEET NO. 3 of 5
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**TABLE 6 - SLAB DESIGNS - SQUARE AND RECTANGULAR STRUCTURES (TABLE 6)**

(ALL SLABS 8" THICK EXCEPT AS NOTED - REINFORCING PARALLEL TO SHORT WAY AND LONG WAY)

SLAB DEPTH	SHORT-WAY		LONG-WAY	
	SCHEDULE (Bars A)	SLAB DEPTH	SCHEDULE (Bars B)	SLAB DEPTH
3'-0" < 3'-6"	B10	3'-0" < 3'-6"	B10	3'-0" < 3'-6"
3'-6" < 4'-0"	B5.5	3'-6" < 4'-0"	B5.5	3'-6" < 4'-0"
4'-0" < 4'-6"	C6.5	4'-0" < 4'-6"	C6.5	4'-0" < 4'-6"
4'-6" < 5'-0"	D7	4'-6" < 5'-0"	D7	4'-6" < 5'-0"
5'-0" < 5'-6"	E8	5'-0" < 5'-6"	E8	5'-0" < 5'-6"
5'-6" < 6'-0"	F9	5'-6" < 6'-0"	F9	5'-6" < 6'-0"
6'-0" < 6'-6"	G10	6'-0" < 6'-6"	G10	6'-0" < 6'-6"
6'-6" < 7'-0"	H11	6'-6" < 7'-0"	H11	6'-6" < 7'-0"
7'-0" < 7'-6"	I12	7'-0" < 7'-6"	I12	7'-0" < 7'-6"
7'-6" < 8'-0"	J13	7'-6" < 8'-0"	J13	7'-6" < 8'-0"
8'-0" < 8'-6"	K14	8'-0" < 8'-6"	K14	8'-0" < 8'-6"
8'-6" < 9'-0"	L15	8'-6" < 9'-0"	L15	8'-6" < 9'-0"
9'-0" < 9'-6"	M16	9'-0" < 9'-6"	M16	9'-0" < 9'-6"
9'-6" < 10'-0"	N17	9'-6" < 10'-0"	N17	9'-6" < 10'-0"
10'-0" < 10'-6"	O18	10'-0" < 10'-6"	O18	10'-0" < 10'-6"
10'-6" < 11'-0"	P19	10'-6" < 11'-0"	P19	10'-6" < 11'-0"
11'-0" < 11'-6"	Q20	11'-0" < 11'-6"	Q20	11'-0" < 11'-6"
11'-6" < 12'-0"	R21	11'-6" < 12'-0"	R21	11'-6" < 12'-0"
12'-0" < 12'-6"	S22	12'-0" < 12'-6"	S22	12'-0" < 12'-6"
12'-6" < 13'-0"	T23	12'-6" < 13'-0"	T23	12'-6" < 13'-0"
13'-0" < 13'-6"	U24	13'-0" < 13'-6"	U24	13'-0" < 13'-6"
13'-6" < 14'-0"	V25	13'-6" < 14'-0"	V25	13'-6" < 14'-0"
14'-0" < 14'-6"	W26	14'-0" < 14'-6"	W26	14'-0" < 14'-6"
14'-6" < 15'-0"	X27	14'-6" < 15'-0"	X27	14'-6" < 15'-0"
15'-0" < 15'-6"	Y28	15'-0" < 15'-6"	Y28	15'-0" < 15'-6"
15'-6" < 16'-0"	Z29	15'-6" < 16'-0"	Z29	15'-6" < 16'-0"
16'-0" < 16'-6"	AA30	16'-0" < 16'-6"	AA30	16'-0" < 16'-6"
16'-6" < 17'-0"	AB31	16'-6" < 17'-0"	AB31	16'-6" < 17'-0"
17'-0" < 17'-6"	AC32	17'-0" < 17'-6"	AC32	17'-0" < 17'-6"
17'-6" < 18'-0"	AD33	17'-6" < 18'-0"	AD33	17'-6" < 18'-0"
18'-0" < 18'-6"	AE34	18'-0" < 18'-6"	AE34	18'-0" < 18'-6"
18'-6" < 19'-0"	AF35	18'-6" < 19'-0"	AF35	18'-6" < 19'-0"
19'-0" < 19'-6"	AG36	19'-0" < 19'-6"	AG36	19'-0" < 19'-6"
19'-6" < 20'-0"	AH37	19'-6" < 20'-0"	AH37	19'-6" < 20'-0"
20'-0" < 20'-6"	AI38	20'-0" < 20'-6"	AI38	20'-0" < 20'-6"
20'-6" < 21'-0"	AJ39	20'-6" < 21'-0"	AJ39	20'-6" < 21'-0"
21'-0" < 21'-6"	AK40	21'-0" < 21'-6"	AK40	21'-0" < 21'-6"
21'-6" < 22'-0"	AL41	21'-6" < 22'-0"	AL41	21'-6" < 22'-0"
22'-0" < 22'-6"	AM42	22'-0" < 22'-6"	AM42	22'-0" < 22'-6"
22'-6" < 23'-0"	AN43	22'-6" < 23'-0"	AN43	22'-6" < 23'-0"
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26'-6" < 27'-0"	AV51	26'-6" < 27'-0"	AV51	26'-6" < 27'-0"
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30'-6" < 31'-0"	BD59	30'-6" < 31'-0"	BD59	30'-6" < 31'-0"
31'-0" < 31'-6"	BE60	31'-0" < 31'-6"	BE60	31'-0" < 31'-6"
31'-6" < 32'-0"	BF61	31'-6" < 32'-0"	BF61	31'-6" < 32'-0"
32'-0" < 32'-6"	BG62	32'-0" < 32'-6"	BG62	32'-0" < 32'-6"
32'-6" < 33'-0"	BH63	32'-6" < 33'-0"	BH63	32'-6" < 33'-0"
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34'-6" < 35'-0"	BL67	34'-6" < 35'-0"	BL67	34'-6" < 35'-0"
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35'-6" < 36'-0"	BN69	35'-6" < 36'-0"	BN69	35'-6" < 36'-0"
36'-0" < 36'-6"	BO70	36'-0" < 36'-6"	BO70	36'-0" < 36'-6"
36'-6" < 37'-0"	BP71	36'-6" < 37'-0"	BP71	36'-6" < 37'-0"
37'-0" < 37'-6"	BQ72	37'-0" < 37'-6"	BQ72	37'-0" < 37'-6"
37'-6" < 38'-0"	BR73	37'-6" < 38'-0"	BR73	37'-6" < 38'-0"
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39'-6" < 40'-0"	BV77	39'-6" < 40'-0"	BV77	39'-6" < 40'-0"
40'-0" < 40'-6"	BW78	40'-0" < 40'-6"	BW78	40'-0" < 40'-6"
40'-6" < 41'-0"	BX79	40'-6" < 41'-0"	BX79	40'-6" < 41'-0"
41'-0" < 41'-6"	BY80	41'-0" < 41'-6"	BY80	41'-0" < 41'-6"
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42'-6" < 43'-0"	CB83	42'-6" < 43'-0"	CB83	42'-6" < 43'-0"
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48'-0" < 48'-6"	CM94	48'-0" < 48'-6"	CM94	48'-0" < 48'-6"
48'-6" < 49'-0"	CN95	48'-6" < 49'-0"	CN95	48'-6" < 49'-0"





HORIZONTAL WALL REINFORCING SCHEDULES (TABLE 1)

WALL DEPTH	SCHEDULE	AREA (in. <sup>2</sup> /ft.)	MAX. SPACING BARS	WWF
0'-15"	A12	0.20	12"	8"

TYPE C

Recommended Maximum Pipe Size:  
 2'-0" Wall - 18" Pipe  
 3'-1" Wall - 24" Pipe (18" where an 18" pipe enters a 2'-0" wall)

HORIZONTAL WALL REINFORCING SCHEDULES (TABLE 2)

WALL DEPTH	SCHEDULE	AREA (in. <sup>2</sup> /ft.)	MAX. SPACING BARS	WWF
0'-6"	A12	0.20	12"	8"
6'-10"	A6	0.20	6"	5"
10'-13"	A4	0.20	4"	3"
10'-15"	B5.5	0.24	5 1/2"	5"

TYPE D

Recommended Maximum Pipe Size:  
 3'-1" Wall - 24" Pipe  
 4'-1" Wall - 36" Pipe

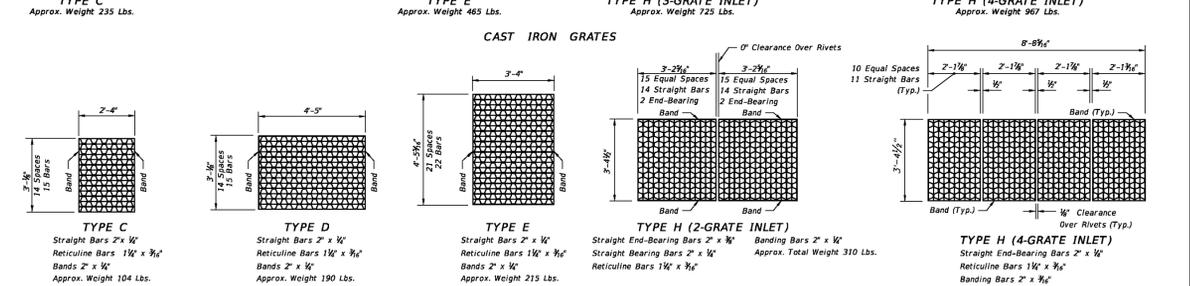
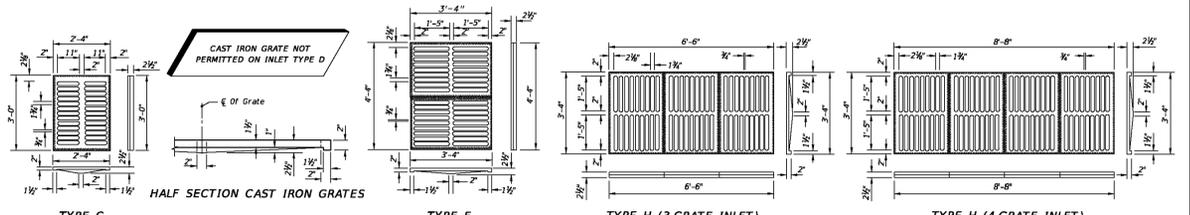
HORIZONTAL WALL REINFORCING SCHEDULES (TABLE 3)

WALL DEPTH	SCHEDULE	AREA (in. <sup>2</sup> /ft.)	MAX. SPACING BARS	WWF
0'-5"	A12	0.20	12"	8"
0'-5"	A6	0.20	6"	5"
7.5'-10"	B5.5	0.24	5 1/2"	5"
10'-15"	C6.5	0.37	6 1/2"	6"

TYPE E

Recommended Maximum Pipe Size:  
 3'-0" Wall - 24" Pipe  
 4'-0" Wall - 36" Pipe

LAST REVISION: 07/01/10	DESCRIPTION:	2015 DESIGN STANDARDS	DITCH BOTTOM INLET TYPES C, D, E AND H	INDEX NO. 232	SHEET NO. 1 of 7
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STEEL GRATES  
 NOTE: Steel Grates Are Required On Inlets With Traversable Slots And On Inlets where Bicycle Traffic Is Anticipated.

- GENERAL NOTES
- These inlets are suitable for bicycle traffic and are to be used in ditches, medians and other areas subject to infrequent traffic loadings but are not to be placed in areas subject to any heavy wheel loads. These inlets may be placed in areas subject to occasional pedestrian traffic such as landscaped areas and pavement areas where pedestrians can walk around the inlet.
  - Inlets subject to minimal debris should be constructed without slots. Where debris is a problem inlets should be constructed with slots. Slotted inlets located within roadway clear zones and areas subject to pedestrians shall have traversable slots. The traversable slot modification is not adaptable to inlet Type H. Slots may be constructed at either or both ends as shown on plans. Traversable slots shall not be used in areas subject to occasional bicycle traffic.
  - Steel grates are to be used on all inlets where bicycle traffic is anticipated. Steel grates are to be used on all inlets with traversable slots. Either cast iron or steel grates may be used on inlets without slots where bicycle traffic is not anticipated. Either cast iron or steel grates may be used on all inlets with traversable slots.
  - Recommended maximum pipe sizes shown are for concrete pipe. Size for other types of pipe must be checked for fit.
  - All exposed edges and corners shall be 1/4" chamfer or tool to 1/4" radius.
  - Concrete inlet pavement to be used on inlets without slots and inlets with non-traversable slots only when called for in the plans; but required on all traversable slot inlets. Cost to be included in contract unit price for inlets. Quantities shown are for information only.
  - Traversable slots constructed in existing inlets shall be paid for as inlets partial. For conversion work and method of payment see TRAVERSABLE SLOT INLETS (PARTIAL) FOR EXISTING INLETS.
  - Sodding to be used on all inlets not located in paved areas and paid for under contract unit price for Performance Turf, 5%.
  - For supplementary details see index No. 201.
  - All reinforcing is Grade 60 bars with 2" min. cover unless otherwise noted. Bars to be cut or bent for 1/2" clearance around pipe opening. Provide one additional #4 bar above and at each side of pipe opening.

LAST REVISION: 07/01/10	DESCRIPTION:	2015 DESIGN STANDARDS	DITCH BOTTOM INLET TYPES C, D, E AND H	INDEX NO. 232	SHEET NO. 3 of 7
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CONNERTON VILLAGE 2  
 PHASE 2 PARCEL 214  
 DRAINAGE DETAILS

PREPARED FOR: HAYMAN WOODS, LLC

NO.	DATE	DESCRIPTION
1	06/15/2015	REVIEW SUBMITTAL

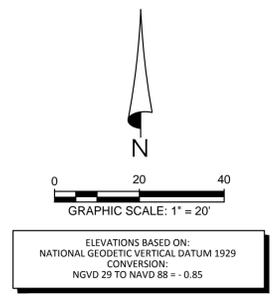
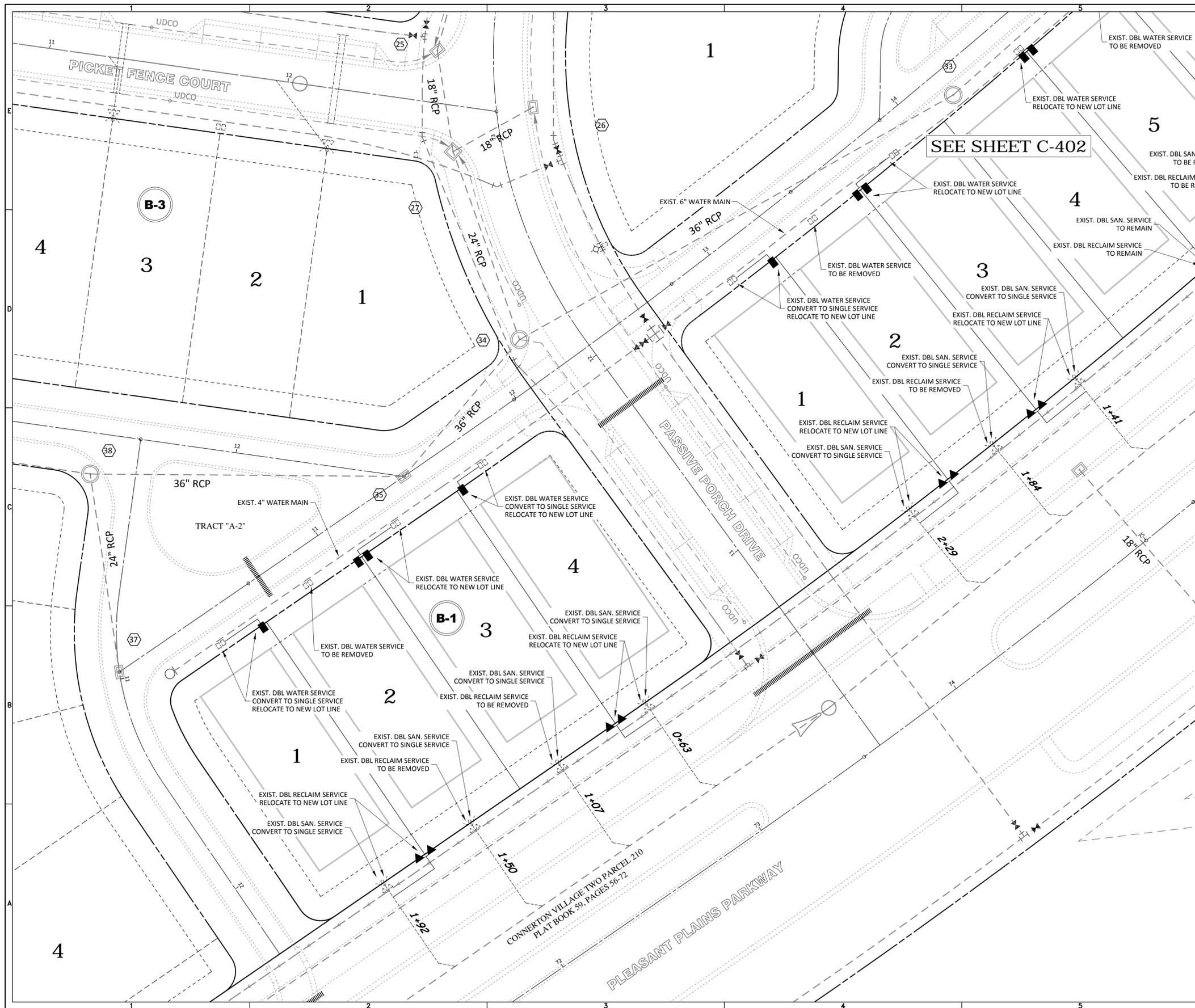
PROJECT NO: HWL-CT-1074  
 FILE: DD  
 DESIGN BY: DUNCAN  
 DRAWN BY: DUNCAN

FLORIDA PROFESSIONAL ENGINEER

EDWIN J. ROGERS  
 DATE: \_\_\_\_\_  
 REGISTRATION NO. 50082

**C-373**

R:\CONNERTON\HWL-CONNERTON\PARCEL 214\ENGINEERING\DD\DWG-C-373 2015\1005 3:04 PM NATALIE BUDEK  
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**WATER & SEWER LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		STORM DRAINAGE STRUCTURE
		WATER MAIN (WM)
		RECLAIMED WATER MAIN (RM)
		FIRE HYDRANT
		VALVE & BOX
		REDUCER
		PLUG
		BLOW-OFF
		BENDS
		VERTICAL BENDS
		WATER SERVICE DOUBLE
		WATER SERVICE SINGLE
		WATER SERVICE CASING
		RECLAIMED WATER SERVICE DOUBLE
		RECLAIMED WATER SERVICE SINGLE
		RECLAIMED WATER SERVICE SLEEVE
		SANITARY SEWER (SM)
		SANITARY FORCE MAIN (FM)
		SANITARY SERVICE DOUBLE W/CLEANOUT
		SANITARY SERVICE SINGLE W/CLEANOUT
<b>MISC. LEGEND</b>		
		TRANSFORMER
		LIGHT POLE

- WATER & SEWER SERVICE RECONSTRUCTION NOTES**
- CONTRACTOR TO COMPLETE ALL SERVICES AND APPURTENANCES AS SHOWN ON PLAN.
  - ALL WATER, RECLAIMED WATER, AND SANITARY SEWER SERVICE LOCATIONS ARE SHOWN GRAPHICALLY FOR PLANNING PURPOSES ONLY. FOR ACTUAL SERVICE CONSTRUCTION LOCATIONS FOR WATER AND RECLAIMED WATER, SEE DETAILS 17, 18, 19, & 20, SHEET C-601. FOR SANITARY SEWER LATERALS SEE SERVICE DETAILS 44, 45, & 46, SHEET C-602.
  - CONTRACTOR SHALL REMOVE EXISTING SERVICE MARKINGS ON CURB AND RE-PAINT PER NEW SERVICE LOCATIONS.
- SEE SHEET C-604 FOR WATER & SEWER SERVICE RECONSTRUCTION DETAILS**

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**CONNERNTON VILLAGE 2  
PHASE 2 PARCEL 214  
WATER & SEWER PLAN**

PREPARED FOR: HAYMAN WOODS, LLC

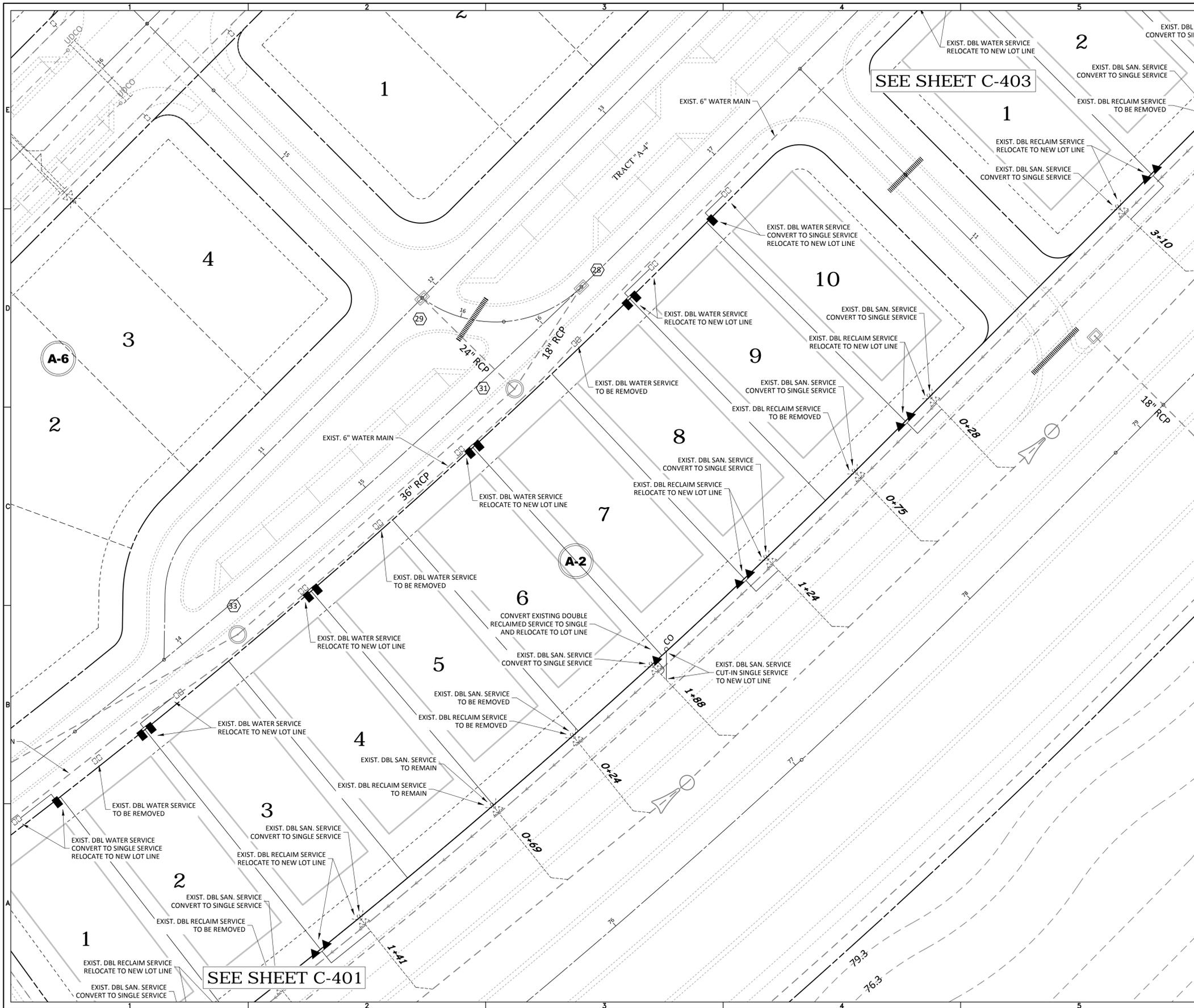
NO.	DATE	DESCRIPTION
2	08/12/2015	BID PACKAGE
1	07/12/2015	REVIEW SUBMITTAL

PROJECT NO: HWL-CT-1074  
FILE: WS  
DESIGN BY: DUNCAN  
DRAWN BY: DUNCAN

FLORIDA PROFESSIONAL ENGINEER

EDWIN J. ROGERS  
DATE: \_\_\_\_\_  
REGISTRATION NO. 50082

**C-401**



SEE SHEET C-403

SEE SHEET C-401

N

0 20 40

GRAPHIC SCALE: 1" = 20'

ELEVATIONS BASED ON:  
NATIONAL GEODETIC VERTICAL DATUM 1929  
CONVERSION:  
NGVD 29 TO NAVD 88 = -0.85

**WATER & SEWER LEGEND**

EXISTING	PROPOSED	
		STORM DRAINAGE STRUCTURE
		WATER MAIN (WM)
		RECLAIMED WATER MAIN (RM)
		FIRE HYDRANT
		VALVE & BOX
		REDUCER
		PLUG
		BLOW-OFF
		BENDS
		VERTICAL BENDS
		WATER SERVICE DOUBLE
		WATER SERVICE SINGLE
		WATER SERVICE CASING
		RECLAIMED WATER SERVICE DOUBLE
		RECLAIMED WATER SERVICE SINGLE
		RECLAIMED WATER SERVICE SLEEVE
		SANITARY SEWER (SM)
		SANITARY FORCE MAIN (FM)
		SANITARY SERVICE DOUBLE W/CLEANOUT
		SANITARY SERVICE SINGLE W/CLEANOUT
MISC. LEGEND		
		TRANSFORMER
		LIGHT POLE

- WATER & SEWER SERVICE RECONSTRUCTION NOTES**
- CONTRACTOR TO COMPLETE ALL SERVICES AND APPURTENANCES AS SHOWN ON PLAN.
  - ALL WATER, RECLAIMED WATER, AND SANITARY SEWER SERVICE LOCATIONS ARE SHOWN GRAPHICALLY FOR PLANNING PURPOSES ONLY. FOR ACTUAL SERVICE CONSTRUCTION LOCATIONS FOR WATER AND RECLAIMED WATER, SEE DETAILS 17, 18, 19, & 20, SHEET C-601. FOR SANITARY SEWER LATERALS SEE SERVICE DETAILS 44, 45, & 46, SHEET C-602.
  - CONTRACTOR SHALL REMOVE EXISTING SERVICE MARKINGS ON CURB AND RE-PAINT PER NEW SERVICE LOCATIONS.

**SEE SHEET C-604 FOR WATER & SEWER SERVICE RECONSTRUCTION DETAILS**

NO.	DATE	DESCRIPTION
2	09/12/2015	BID PACKAGE
1	02/12/2015	REVIEW SUBMITTAL

PROJECT NO: HWL-CT-1074  
 FILE: WS  
 DESIGN BY: DUNCAN  
 DRAWN BY: DUNCAN

**EDWIN J. ROGERS**  
 DATE: \_\_\_\_\_  
 REGISTRATION NO. 50082

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**CONNERTON VILLAGE 2  
 PHASE 2 PARCEL 214  
 WATER & SEWER PLAN**

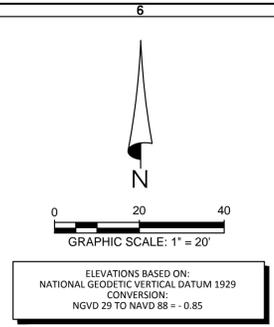
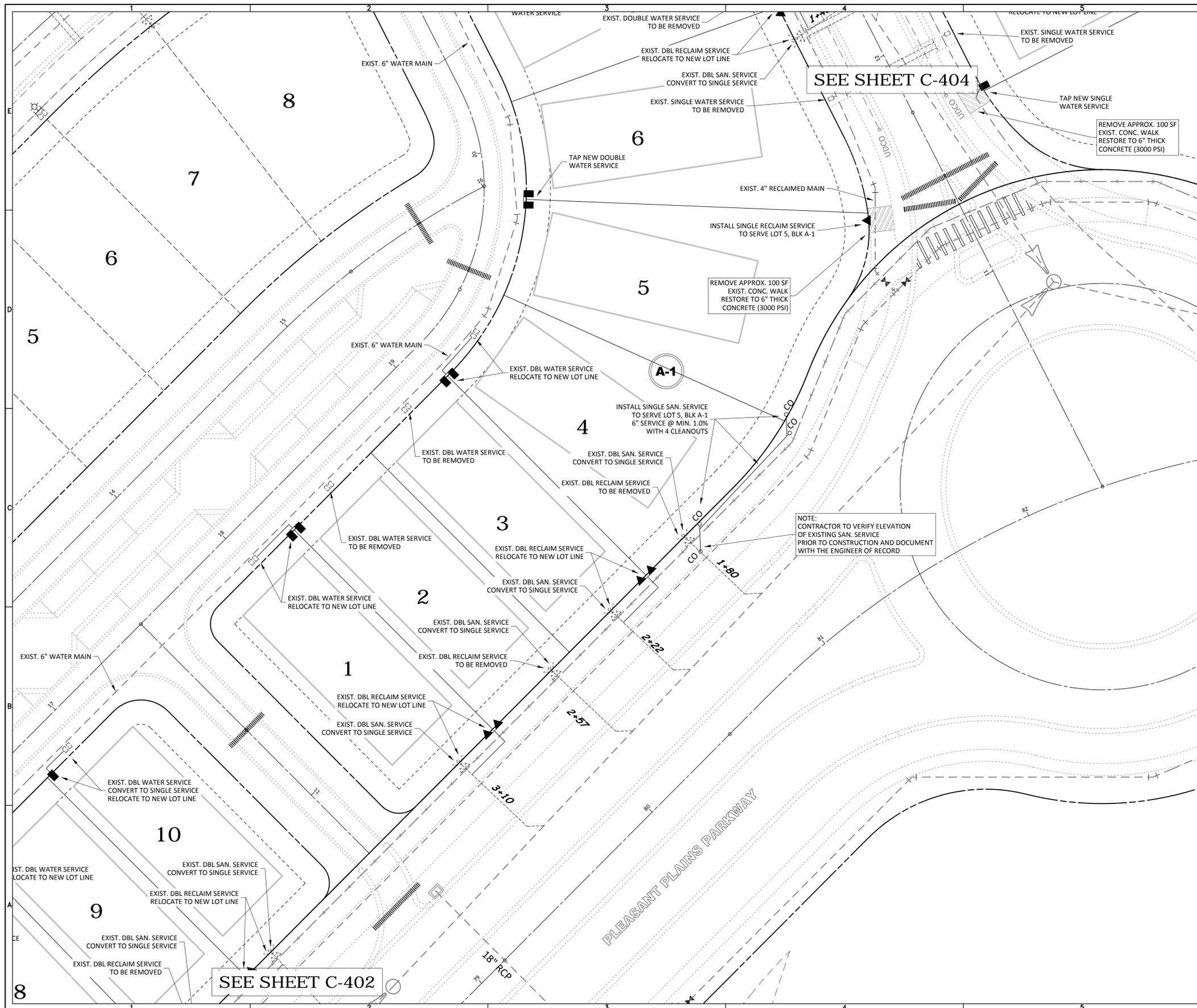
PREPARED FOR:  
**HAYMAN WOODS, LLC**

NO.	DATE	DESCRIPTION

PROJECT NO: HWL-CT-1074  
 FILE: WS  
 DESIGN BY: DUNCAN  
 DRAWN BY: DUNCAN

**EDWIN J. ROGERS**  
 DATE: \_\_\_\_\_  
 REGISTRATION NO. 50082

**C-402**



**WATER & SEWER LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		STORM DRAINAGE STRUCTURE
		WATER MAIN (WM)
		RECLAIMED WATER MAIN (RM)
		FIRE HYDRANT
		VALVE & BOX
		REDUCER
		PLUG
		BLOW-OFF
		BENDS
		VERTICAL BENDS
		WATER SERVICE DOUBLE
		WATER SERVICE SINGLE
		WATER SERVICE CASING
		RECLAIMED WATER SERVICE DOUBLE
		RECLAIMED WATER SERVICE SINGLE
		RECLAIMED WATER SERVICE SLEEVE
		SANITARY SEWER (SM)
		SANITARY FORCE MAIN (FM)
		SANITARY SERVICE DOUBLE W/CLEANOUT
		SANITARY SERVICE SINGLE W/CLEANOUT
		TRANSFORMER
		LIGHT POLE

**MISC. LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		TRANSFORMER
		LIGHT POLE

- WATER & SEWER SERVICE RECONSTRUCTION NOTES**
- CONTRACTOR TO COMPLETE ALL SERVICES AND APPURTENANCES AS SHOWN ON PLAN.
  - ALL WATER, RECLAIMED WATER, AND SANITARY SEWER SERVICE LOCATIONS ARE SHOWN GRAPHICALLY FOR PLANNING PURPOSES ONLY. FOR ACTUAL SERVICE CONSTRUCTION LOCATIONS FOR WATER AND RECLAIMED WATER, SEE DETAILS 17, 18, 19, & 20, SHEET C-601. FOR SANITARY SEWER LATERALS SEE SERVICE DETAILS 44, 45, & 46, SHEET C-602.
  - CONTRACTOR SHALL REMOVE EXISTING SERVICE MARKINGS ON CURB AND RE-PAINT PER NEW SERVICE LOCATIONS.
- SEE SHEET C-604 FOR WATER & SEWER SERVICE RECONSTRUCTION DETAILS**

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 Landscape Architecture Certificate of Authorization No. LC26000405

**CONNERTON VILLAGE 2  
 PHASE 2 PARCEL 214  
 WATER & SEWER PLAN**

PREPARED FOR: HAYMAN WOODS, LLC

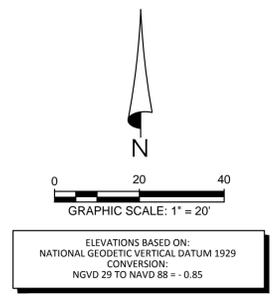
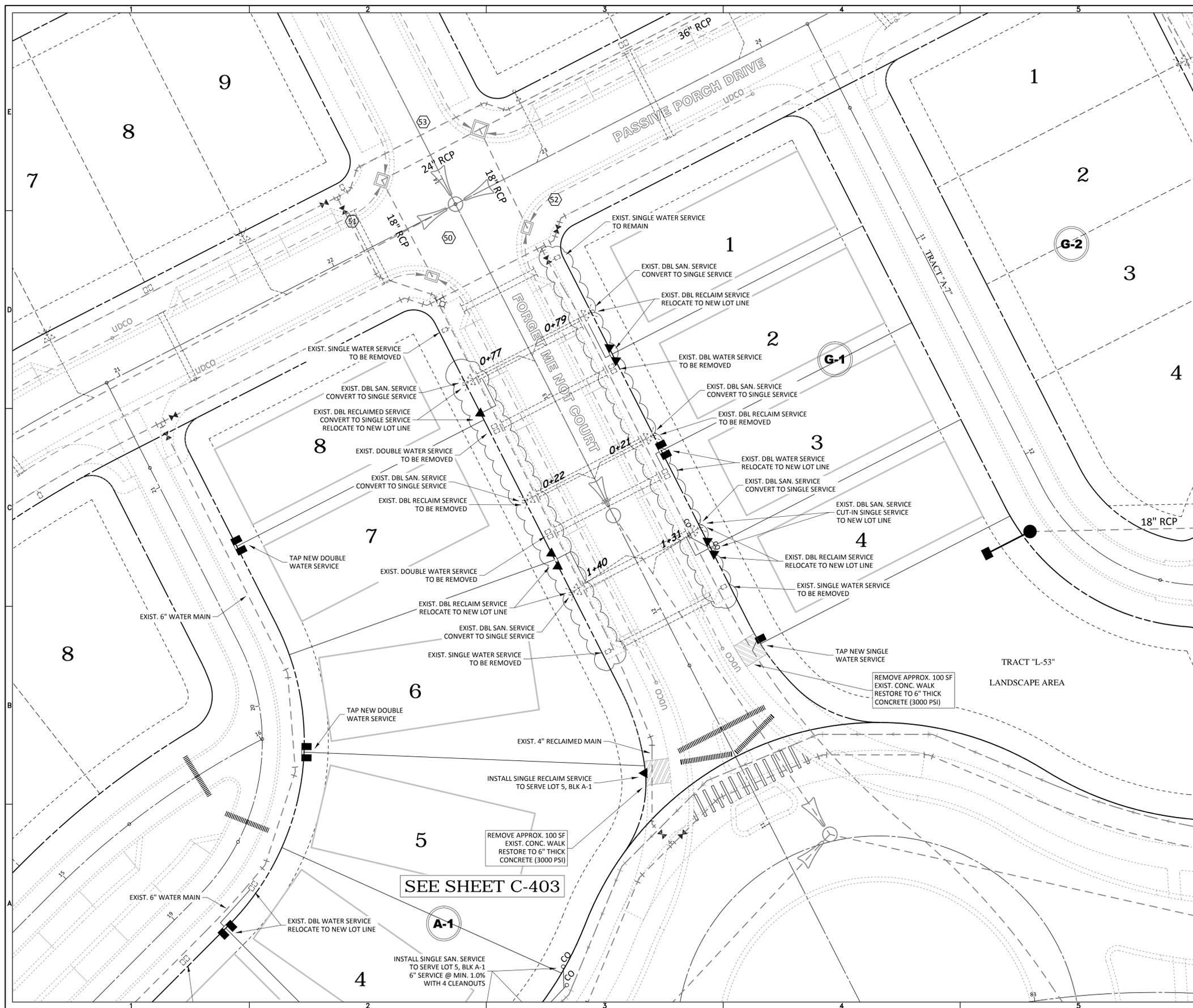
NO.	DATE	DESCRIPTION
1	06/19/2015	REVIEW SUBMITTAL

PROJECT NO: HWL-CT-1074  
 FILE: WS  
 DESIGN BY: DUNCAN  
 DRAWN BY: DUNCAN

FLORIDA PROFESSIONAL ENGINEER

**EDWIN J. ROGERS**  
 DATE: \_\_\_\_\_  
 REGISTRATION NO. 50082

**C-403**



**WATER & SEWER LEGEND**

EXISTING	PROPOSED	DESCRIPTION
(Symbol)	(Symbol)	STORM DRAINAGE STRUCTURE
(Symbol)	(Symbol)	WATER MAIN (WM)
(Symbol)	(Symbol)	RECLAIMED WATER MAIN (RM)
(Symbol)	(Symbol)	FIRE HYDRANT
(Symbol)	(Symbol)	VALVE & BOX
(Symbol)	(Symbol)	REDUCER
(Symbol)	(Symbol)	PLUG
(Symbol)	(Symbol)	BLOW-OFF
(Symbol)	(Symbol)	BENDS
(Symbol)	(Symbol)	VERTICAL BENDS
(Symbol)	(Symbol)	WATER SERVICE DOUBLE
(Symbol)	(Symbol)	WATER SERVICE SINGLE
(Symbol)	(Symbol)	WATER SERVICE CASING
(Symbol)	(Symbol)	RECLAIMED WATER SERVICE DOUBLE
(Symbol)	(Symbol)	RECLAIMED WATER SERVICE SINGLE
(Symbol)	(Symbol)	RECLAIMED WATER SERVICE SLEEVE
(Symbol)	(Symbol)	SANITARY SEWER (SM)
(Symbol)	(Symbol)	SANITARY FORCE MAIN (FM)
(Symbol)	(Symbol)	SANITARY SERVICE DOUBLE W/CLEANOUT
(Symbol)	(Symbol)	SANITARY SERVICE SINGLE W/CLEANOUT
EXISTING	PROPOSED	DESCRIPTION
(Symbol)	(Symbol)	TRANSFORMER
(Symbol)	(Symbol)	LIGHT POLE

- WATER & SEWER SERVICE RECONSTRUCTION NOTES**
- CONTRACTOR TO COMPLETE ALL SERVICES AND APPURTENANCES AS SHOWN ON PLAN.
  - ALL WATER, RECLAIMED WATER, AND SANITARY SEWER SERVICE LOCATIONS ARE SHOWN GRAPHICALLY FOR PLANNING PURPOSES ONLY. FOR ACTUAL SERVICE CONSTRUCTION LOCATIONS FOR WATER AND RECLAIMED WATER, SEE DETAILS 17, 18, 19, & 20, SHEET C-601. FOR SANITARY SEWER LATERALS SEE SERVICE DETAILS 44, 45, & 46, SHEET C-602.
  - CONTRACTOR SHALL REMOVE EXISTING SERVICE MARKINGS ON CURB AND RE-PAINT PER NEW SERVICE LOCATIONS.

**SEE SHEET C-604 FOR WATER & SEWER SERVICE RECONSTRUCTION DETAILS**

PROJECT NO:	HWL-CT-1074
FILE:	WS
DESIGN BY:	DUNCAN
DRAWN BY:	DUNCAN

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**C-404**

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**CONNERTON VILLAGE 2  
PHASE 2 PARCEL 214  
WATER & SEWER PLAN**

PREPARED FOR: **HAYMAN WOODS, LLC**

NO.	DATE	DESCRIPTION
3	10/09/2015	COUNTY COMMENTS
2	09/15/2015	BID PACKAGE
1	09/15/2015	REVIEW SUBMITTAL

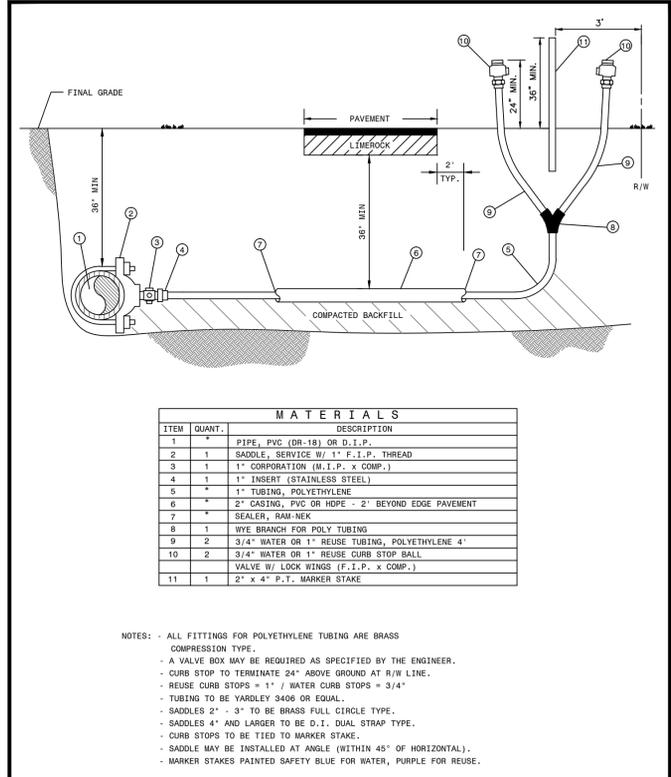
PROJECT NO: HWL-CT-1074  
FILE: WS  
DESIGN BY: DUNCAN  
DRAWN BY: DUNCAN

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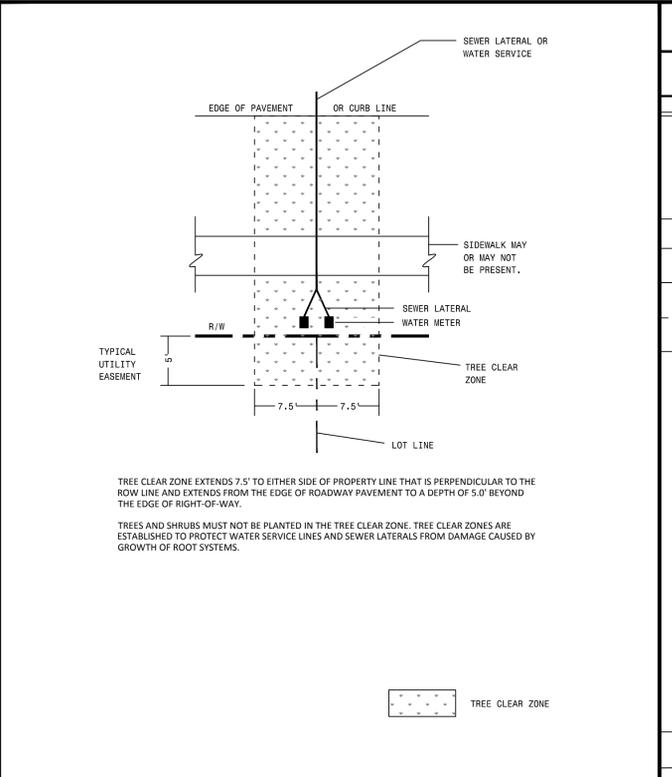
**EDWIN J. ROGERS**  
DATE: \_\_\_\_\_  
REGISTRATION NO. 50082

**C-404**

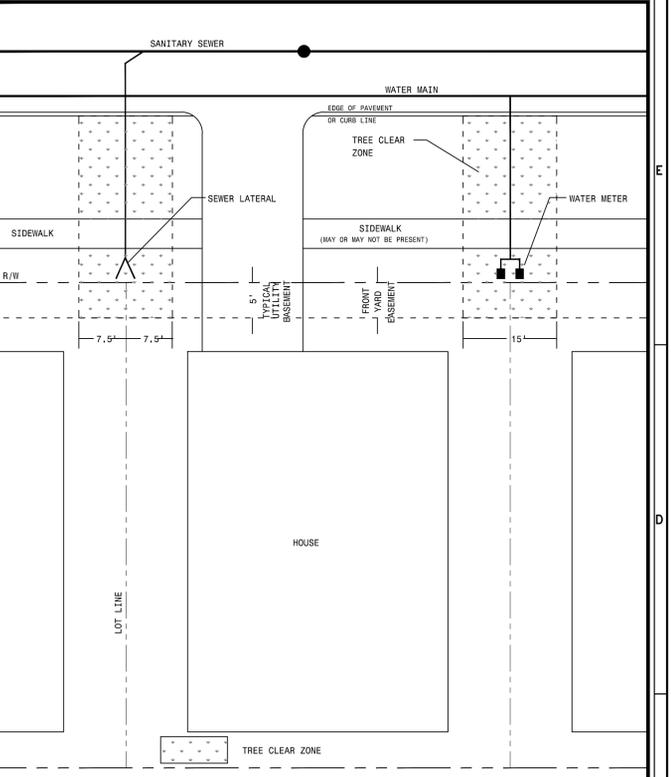
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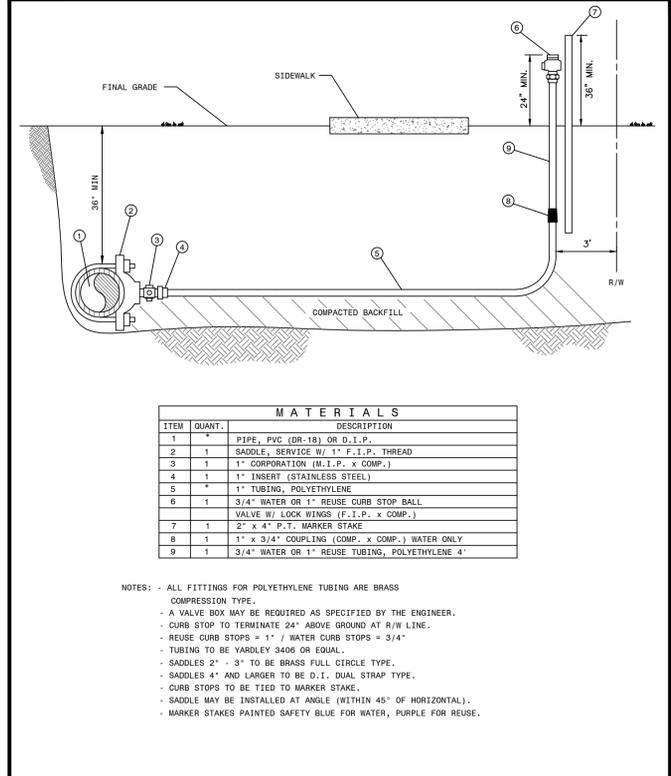
CREATED	02/24/03	WATER AND REUSE LATERAL SERVICE 3/4" (DOUBLE - FAR SIDE) POLYETHYLENE TUBING	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 20



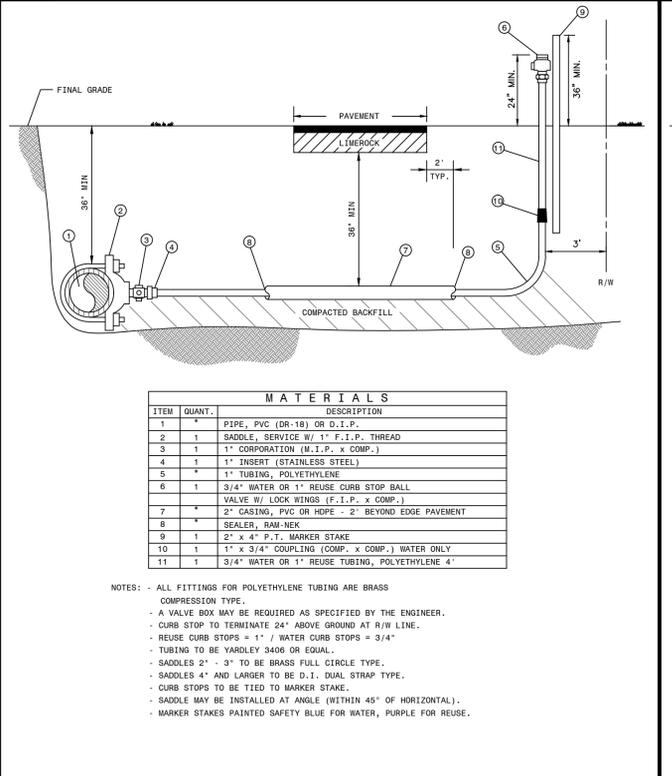
CREATED	02/15/06	METER INSTALLATION/SEWER LATERAL TREE CLEAR ZONE - RESIDENTIAL DEVELOPMENTS	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 23



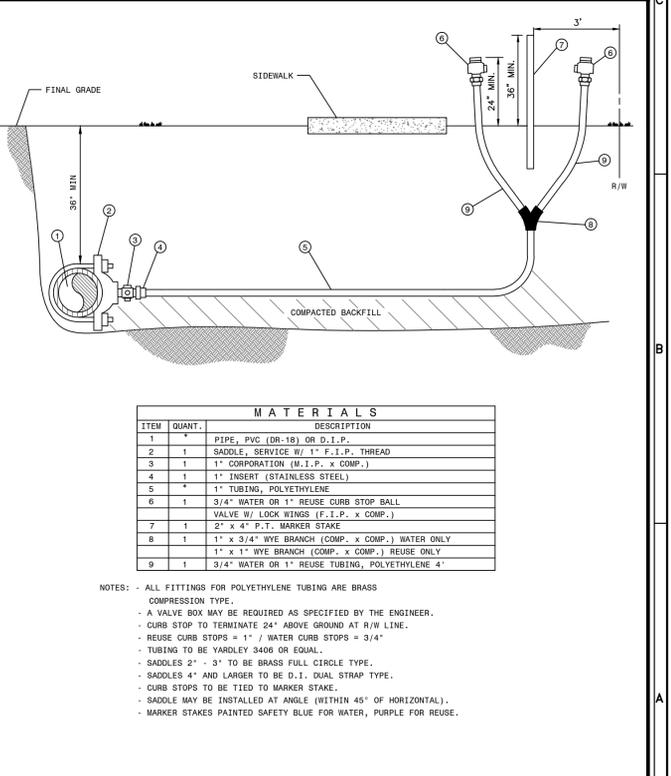
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REVISED			
		PASCO COUNTY UTILITIES	DETAIL 24



CREATED	02/24/03	SINGLE NEAR SIDE WATER SERVICE - 3/4" SINGLE NEAR SIDE REUSE SERVICE - 1" POLYETHYLENE TUBING	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 17



CREATED	02/24/03	SINGLE FAR SIDE WATER SERVICE - 3/4" SINGLE FAR SIDE REUSE SERVICE - 1" POLYETHYLENE TUBING	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 18



CREATED	02/24/03	DOUBLE NEAR SIDE WATER SERVICE - 3/4" DOUBLE NEAR SIDE REUSE SERVICE - 1" POLYETHYLENE TUBING	PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL
REVISED			
		PASCO COUNTY UTILITIES	DETAIL 19

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CONNERTON VILLAGE 2  
PHASE 2 PARCEL 214  
WATER & SEWER DETAILS

PREPARED FOR:  
HAYMAN WOODS, LLC

PROJECT NO:	HWL-CT-1074
DESIGN BY:	DUNCAN
DRAWN BY:	DUNCAN

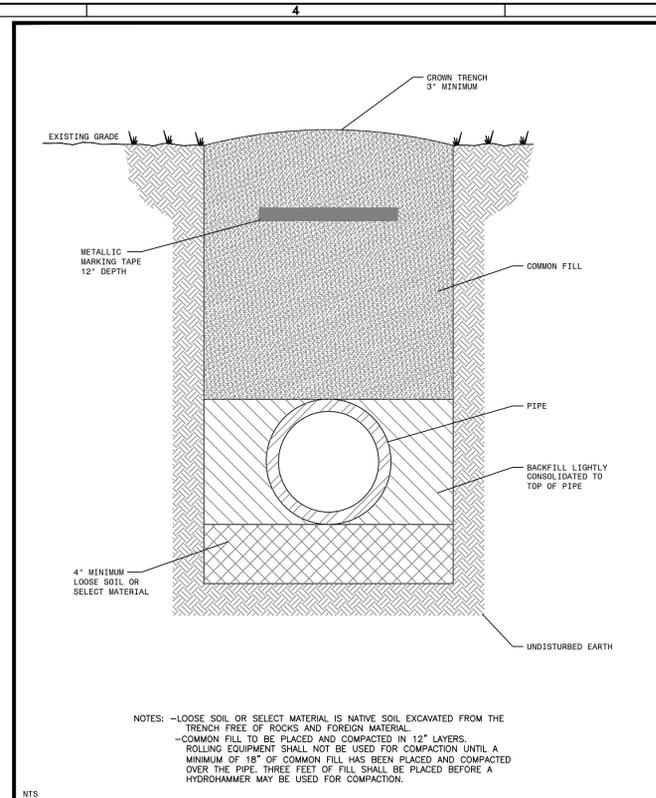
DATE	DESCRIPTION
02/15/2015	REVIEW SUBMITTAL
02/15/2015	DATE

FLORIDA PROFESSIONAL ENGINEER

**EDWIN J. ROGERS**  
DATE: \_\_\_\_\_  
REGISTRATION NO. 50082

**C-601**

R:\CONNERTON\HWL - CONNERTON\PARCEL 214\ENGINEERING\WSD\DWG-C-601 20151010 3:06 PM NATALIE BUDEN

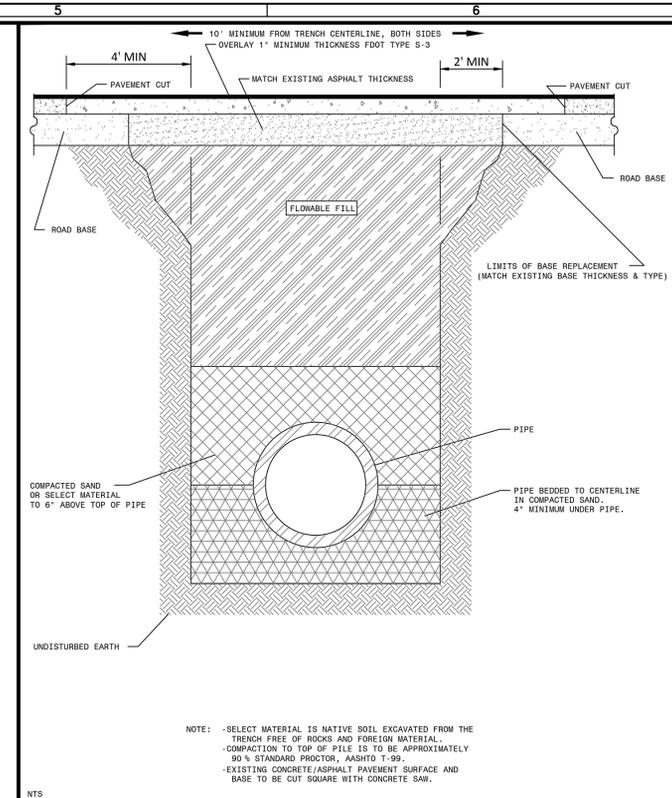


NOTES: -LOOSE SOIL OR SELECT MATERIAL IS NATIVE SOIL EXCAVATED FROM THE TRENCH FREE OF ROCKS AND FOREIGN MATERIAL.  
 -COMMON FILL TO BE PLACED AND COMPACTED IN 12" LAYERS.  
 -ROLLING EQUIPMENT SHALL NOT BE USED FOR COMPACTION UNTIL A MINIMUM OF 18" OF COMMON FILL HAS BEEN PLACED AND COMPACTED OVER THE PIPE. THREE FEET OF FILL SHALL BE PLACED BEFORE A HYDROHAMMER MAY BE USED FOR COMPACTION.

CREATED 02/24/03  
 REVISED \_\_\_\_\_

PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.

PIPE LAYING CONDITIONS  
 STANDARD UNPAVED AREAS  
 PASCO COUNTY UTILITIES  
 DETAIL 35

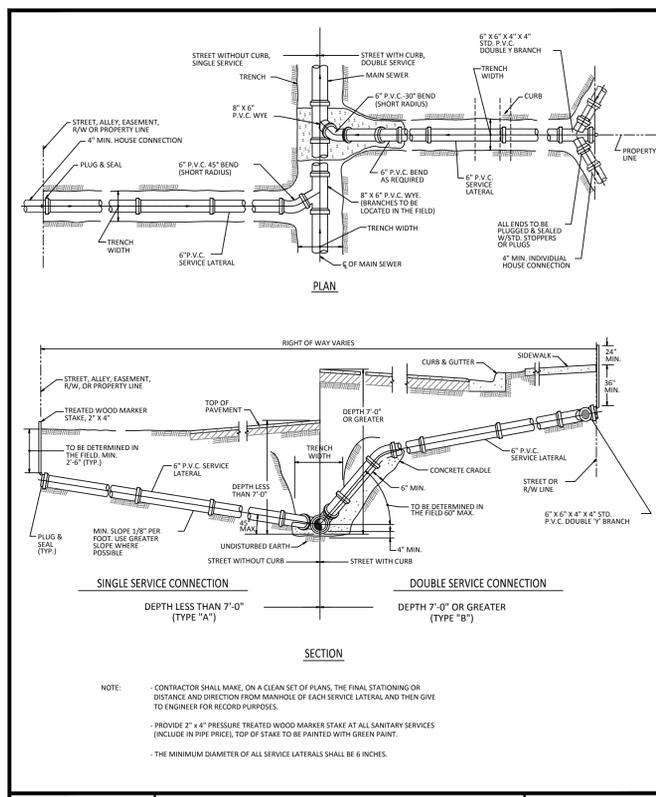


NOTE: -SELECT MATERIAL IS NATIVE SOIL EXCAVATED FROM THE TRENCH FREE OF ROCKS AND FOREIGN MATERIAL.  
 -COMPACTION TO TOP OF PIPE IS TO BE APPROXIMATELY 90% STANDARD PROCTOR, ASTM D 1557.  
 -EXISTING CONCRETE/ASPHALT PAVEMENT SURFACE AND BASE TO BE CUT SQUARE WITH CONCRETE SAW.

CREATED 03/06/03  
 REVISED \_\_\_\_\_

PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.

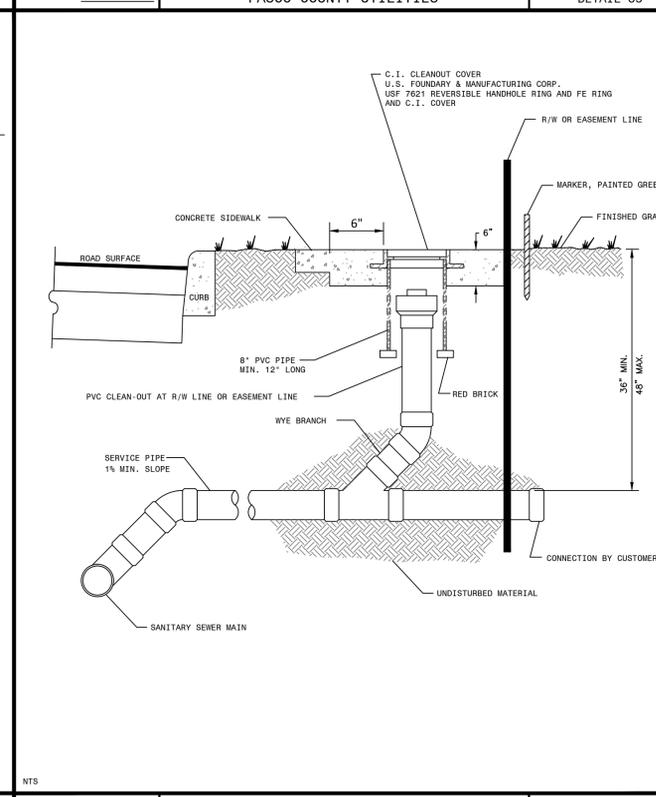
PIPE LAYING CONDITIONS  
 FLOWABLE FILL BACKFILL  
 STANDARD EXISTING PAVED AREAS & ROADWAYS  
 PASCO COUNTY UTILITIES  
 DETAIL 36



CREATED 02/24/03  
 REVISED \_\_\_\_\_

PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.

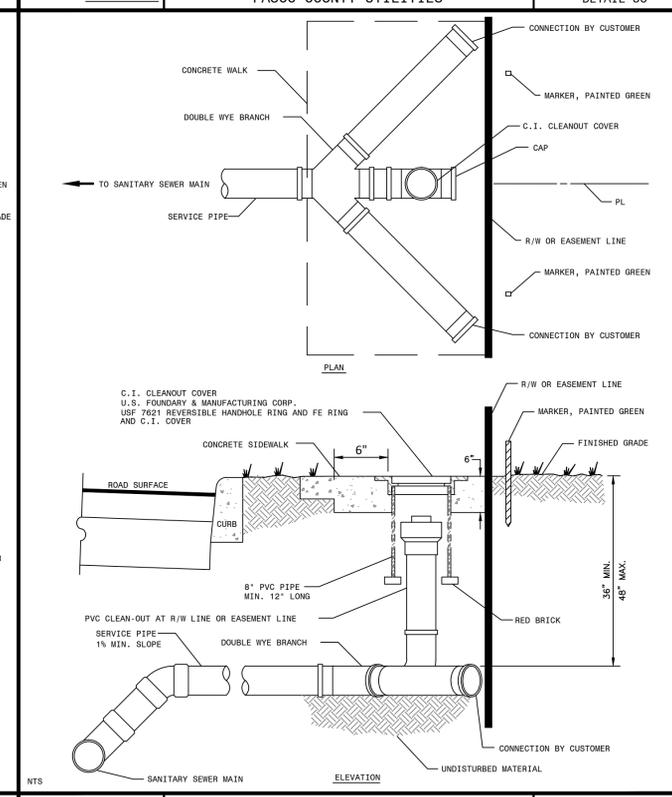
SEWER LATERAL  
 CONNECTION  
 PASCO COUNTY UTILITIES  
 DETAIL 44



CREATED 02/24/03  
 REVISED \_\_\_\_\_

PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.

SANITARY SEWER - SINGLE WYE CONNECTION  
 AND TYPICAL CLEAN-OUT  
 PASCO COUNTY UTILITIES  
 DETAIL 45



CREATED 02/24/03  
 REVISED \_\_\_\_\_

PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.

SANITARY SEWER - DOUBLE WYE CONNECTION  
 AND TYPICAL CLEAN-OUT  
 PASCO COUNTY UTILITIES  
 DETAIL 46

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CONNERTON VILLAGE 2  
 PHASE 2 PARCEL 214  
 WATER & SEWER DETAILS

HAYMAN WOODS, LLC

PREPARED FOR:

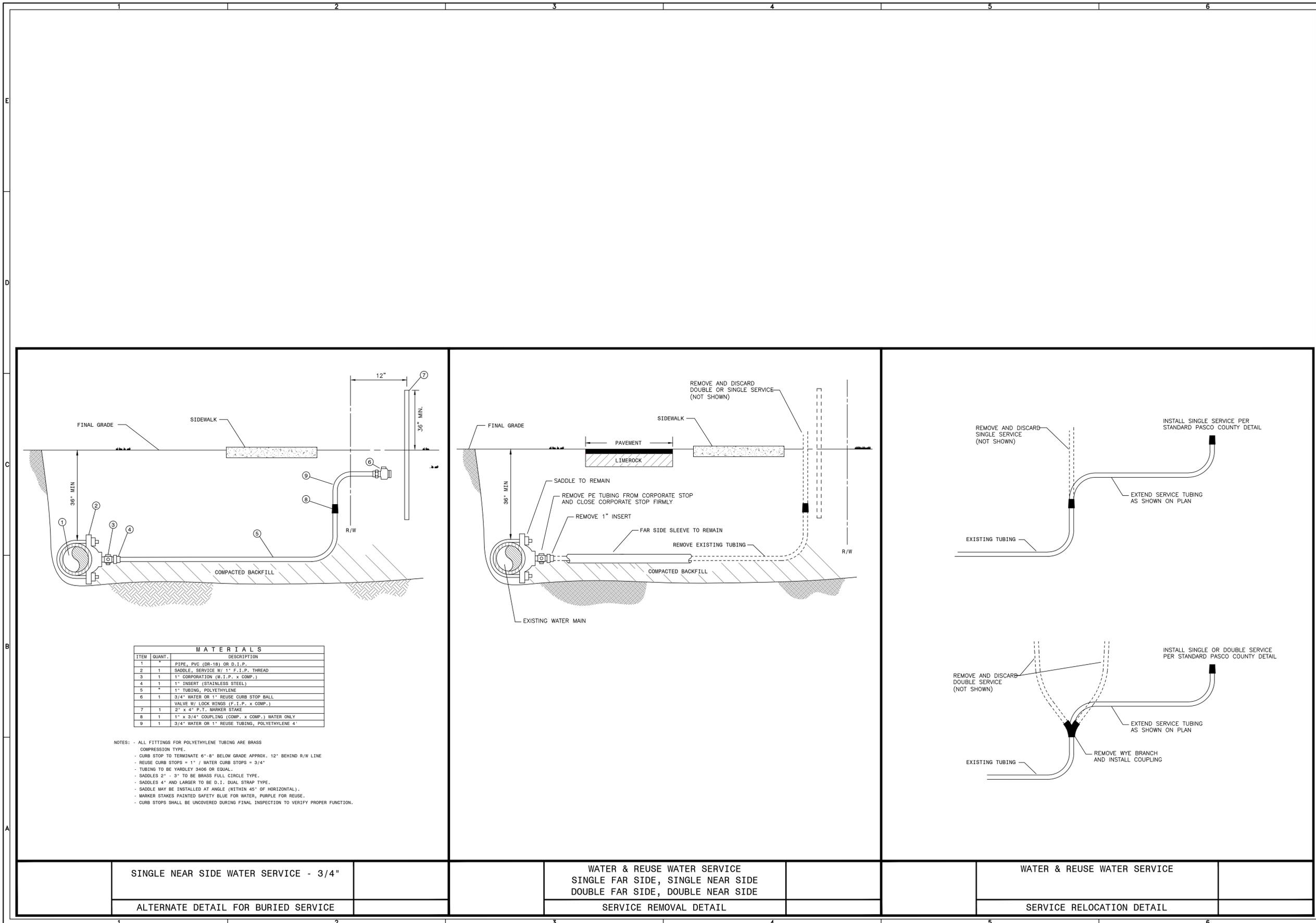
NO.	DATE	DESCRIPTION
1	06/15/2015	REVIEW SUBMITTAL

PROJECT NO: HWL-CT-1074  
 FILE: WSD  
 DESIGN BY: DUNCAN  
 DRAWN BY: DUNCAN

FLORIDA PROFESSIONAL ENGINEER

EDWIN J. ROGERS  
 DATE: \_\_\_\_\_  
 REGISTRATION NO. 50082

**C-602**



MATERIALS		
ITEM	QUANT.	DESCRIPTION
1	4	PIPE, PVC (DR-18) OR D.I.P.
2	1	SADDLE, SERVICE W/ 1" F.I.P., THREAD
3	1	1" CORPORATION (M.I.P. x COMP.)
4	1	1" INSERT (STAINLESS STEEL)
5	4	1" TUBING, POLYETHYLENE
6	1	3/4" WATER OR 1" REUSE CURB STOP BALL
7	1	VALVE W/ LOCK WINGS (F.I.P. x COMP.)
8	1	2" x 4" P.T. MARKER STAKE
9	1	1" x 3/4" COUPLING (COMP. x COMP.) WATER ONLY
9	1	3/4" WATER OR 1" REUSE TUBING, POLYETHYLENE 4"

- NOTES: - ALL FITTINGS FOR POLYETHYLENE TUBING ARE BRASS COMPRESSION TYPE.  
 - CURB STOP TO TERMINATE 6" - 8" BELOW GRADE APPROX. 12" BEHIND R/W LINE  
 - REUSE CURB STOPS = 1" / WATER CURB STOPS = 3/4"  
 - TUBING TO BE YARDLEY 3406 OR EQUAL.  
 - SADDLES 2" - 3" TO BE BRASS FULL CIRCLE TYPE.  
 - SADDLES 4" AND LARGER TO BE D.I. DUAL STRAP TYPE.  
 - SADDLE MAY BE INSTALLED AT ANGLE (WITHIN 45° OF HORIZONTAL).  
 - MARKER STAKES PAINTED SAFETY BLUE FOR WATER, PURPLE FOR REUSE.  
 - CURB STOPS SHALL BE UNCOVERED DURING FINAL INSPECTION TO VERIFY PROPER FUNCTION.

SINGLE NEAR SIDE WATER SERVICE - 3/4"

ALTERNATE DETAIL FOR BURIED SERVICE

WATER & REUSE WATER SERVICE  
 SINGLE FAR SIDE, SINGLE NEAR SIDE  
 DOUBLE FAR SIDE, DOUBLE NEAR SIDE

SERVICE REMOVAL DETAIL

WATER & REUSE WATER SERVICE

SERVICE RELOCATION DETAIL

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 Landscape Architecture Certificate of Authorization No. LC26000405

CONNERTON VILLAGE 2  
 PHASE 2 PARCEL 214  
**WATER & SEWER DETAILS**

PREPARED FOR: HAYMAN WOODS, LLC

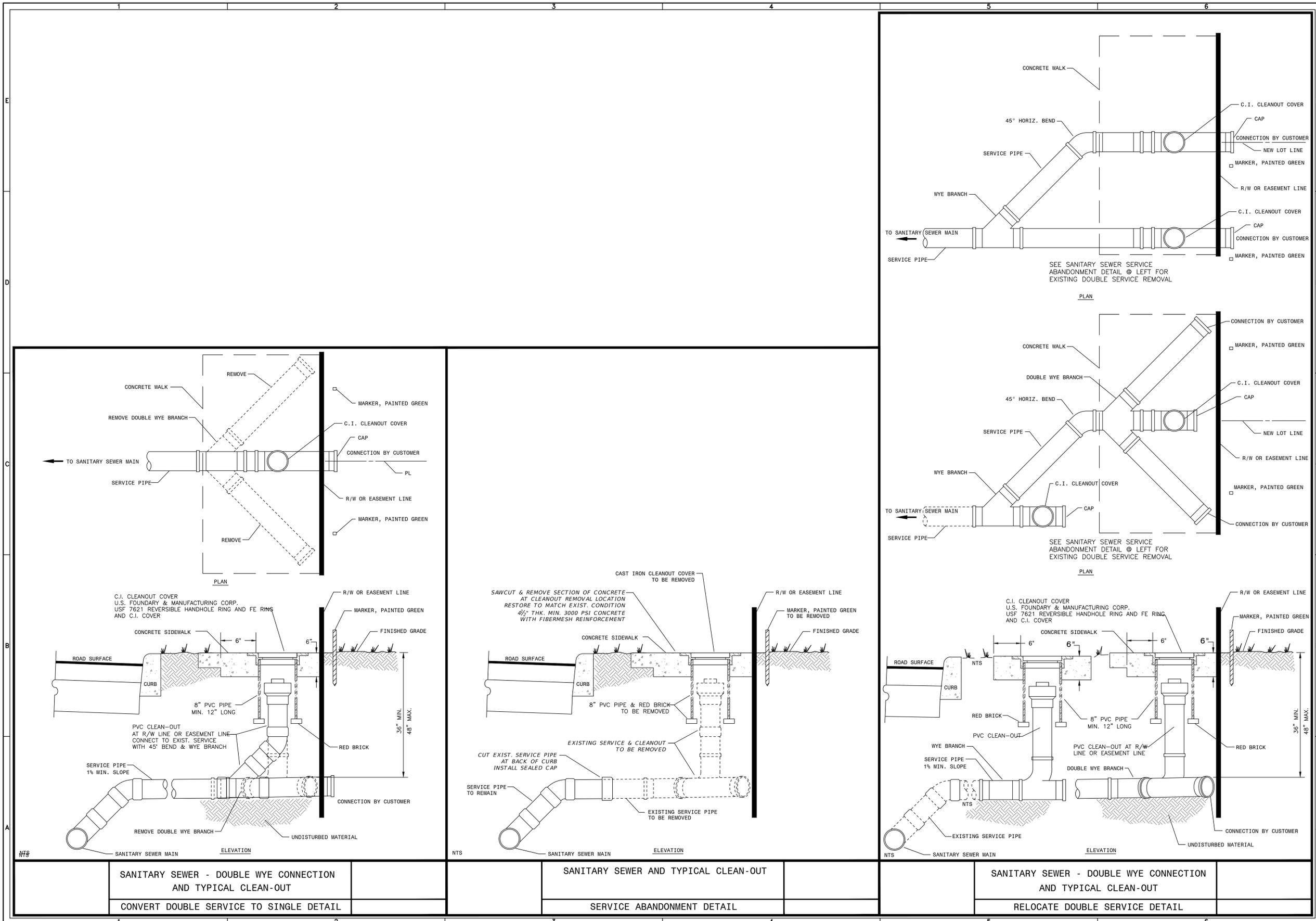
DATE	DESCRIPTION
08/12/2015	BID PACKAGE
10/12/2015	REVIEW SUBMITTAL
10/12/2015	REVIEW SUBMITTAL

PROJECT NO: HWL-CT-1074  
 FILE: WSD  
 DESIGN BY: DUNCAN  
 DRAWN BY: DUNCAN

FLORIDA PROFESSIONAL ENGINEER

EDWIN J. ROGERS  
 DATE: \_\_\_\_\_  
 REGISTRATION NO. 50082

**C-603**



SANITARY SEWER - DOUBLE WYE CONNECTION AND TYPICAL CLEAN-OUT  
 CONVERT DOUBLE SERVICE TO SINGLE DETAIL

SANITARY SEWER AND TYPICAL CLEAN-OUT  
 SERVICE ABANDONMENT DETAIL

SANITARY SEWER - DOUBLE WYE CONNECTION AND TYPICAL CLEAN-OUT  
 RELOCATE DOUBLE SERVICE DETAIL

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CONNERTON VILLAGE 2  
 PHASE 2 PARCEL 214  
 WATER & SEWER DETAILS

PREPARED FOR: HAYMAN WOODS, LLC

NO.	DATE	DESCRIPTION
1	06/15/2015	REVIEW SUBMITTAL

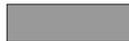
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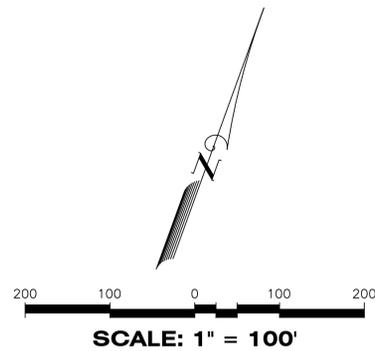
FLORIDA PROFESSIONAL ENGINEER

EDWIN J. ROGERS  
 DATE: \_\_\_\_\_  
 REGISTRATION NO. 50082

**C-604**

SIDEWALK LEGEND:

-  EXISTING SIDEWALK
-  PROPOSED SIDEWALK TO BE CONSTRUCTED BY SITE CONTRACTOR
-  PROPOSED SIDEWALK TO BE CONSTRUCTED BY BUILDER



SHADED SIDEWALKS TO BE CONSTRUCTED BY SITE CONTRACTOR. 10' WIDE, 6" THICK SIDEWALK

6' WIDE, 4 1/2" THICK CONCRETE PEDESTRIAN/BIKE PATH

SIDEWALK TO BE FINISHED FLUSH WITH MANHOLE TOP

SAWCUT AND REMOVE EXISTING CONCRETE SIDEWALK, CONSTRUCT RAMPS AS REQUIRED (TYPICAL)

NOTE:  
SITE CONTRACTOR SHALL CONSTRUCT DROP CURBS FOR HANDICAP RAMPS WHEREVER SIDEWALKS MEET CURBS.

<p>10/09/2015 REVISED PER SIDEWALK MODIFICATIONS</p> <p>10-30-06 FUTURE PARCEL ENTRY TURN RADII</p> <p>05-23-06 PER REVISED LAYOUT</p> <p>05-11-06 PER QUANTITIES REVIEW</p> <p>03-27-06 POND D1 &amp; D2 ADD CROSS DRAIN</p> <p>01-09-06 ADDRESS COUNTY REVIEW COMMENTS</p> <p>12-04-05 WETLAND 387 ACREAGE</p>		<p>NB</p> <p>JMH</p> <p>JMH</p> <p>JMH</p> <p>JMH</p> <p>JMH</p>	<p>DATE:</p> <p>EDWIN J. ROGERS, P.E. NO. 50082</p> <p>FLORIDA PROFESSIONAL ENGINEER</p>	<p><b>HEIDT DESIGN</b></p> <p>Engineering • Planning &amp; GIS</p> <p>Transportation Engineering</p> <p>Biological Services • Landscape Architecture</p> <p>Professional Business Certificate of Authorization No. 28762</p> <p>Professional Certificate of Authorization No. LC20060465</p> <p>4406 S. Brockbridge Parkway, Tampa, Florida 33610</p> <p>Office: 813-253-5311 Fax: 813-464-7629</p> <p>www.HeidtDesign.com</p>	<p><b>SIDEWALK PLAN</b></p> <p><b>CONNERTON VILLAGE TWO PHASE 2</b></p> <p>JOB NO. CHL CT 1002</p> <p>DESIGN ROGERS</p> <p>DRAWN MCALEER</p> <p>DATE 08-18-2005</p> <p>FILE *PP</p> <p>PREPARED FOR: <b>CONNERTON HOLDINGS, L.L.C.</b></p> <p>Elevations based on National Geodetic Vertical Datum 1929 (NGVD 29) Conversion from NGVD 29 to NAVD 88 = -0.85 Feet</p> <p><b>C-701</b></p>
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**OWNER'S INSTRUCTIONS FOR MAINTENANCE AND INSPECTION OF STORMWATER FILTER FACILITIES**

IT IS WS-TSR, LLC / TSR CDD RESPONSIBILITY TO INSPECT AND MAINTAIN THE WATER DRAINAGE SYSTEMS ON A ROUTINE BASIS TO ENSURE THAT THEY ARE FUNCTIONING PROPERLY. INSPECTIONS CAN BE ON AN ANNUAL OR SEMI-ANNUAL BASIS, BUT SHOULD ALWAYS BE CONDUCTED FOLLOWING MAJOR STORMS. SYSTEMS THAT INCORPORATE INFILTRATION ARE MOST CRITICAL SINCE POOR MAINTENANCE PRACTICES CAN SOON RENDER THEM INEFFICIENT. VISUAL INSPECTIONS OF SAND FILTERS, CONTROL STRUCTURES, AND OUTFALL PIPES ARE HIGHLY RECOMMENDED. IT SHOULD BE STRESSED THAT GOOD RECORDS SHOULD BE KEPT ON ALL MAINTENANCE OPERATIONS TO HELP PLAN FUTURE WORK AND IDENTIFY FACILITIES REQUIRING ATTENTION.

SAND FILTER SURFACES ARE SOMETIMES SCARIFIED OR BREAK UP SILT DEPOSITS AND RESTORE POROSITY. THIS SHOULD BE ACCOMPLISHED AFTER ALL SEDIMENT HAS BEEN REMOVED FROM THE SURFACE. AFTER REMOVING LARGE DEBRIS (CUPS, PAPER, WOOD, ETC.) IT IS RECOMMENDED THAT RAKING THE TOP 3" WILL PROPERLY SCARIFY THE SURFACE OR IT MAY BE REQUIRED TO REPLACE THE SAND. ANOTHER TECHNIQUE REQUIRES REMOVING THE SAND FOR WASHING.

THE FILTER SYSTEM IS DESIGNED TO HAVE A WET-DRY CYCLE TO INHIBIT ALGAE OR BACTERIAL GROWTH. CLEANOUT FREQUENCY OF FILTER BEDS WILL DEPEND ON WHETHER THEY ARE VEGETATED OR NON-VEGETATED AND WILL BE A FUNCTION OF THEIR STORAGE CAPACITY, INFILTRATION CHARACTERISTICS, VOLUME OF INFLOW, AND SEDIMENT LOAD. FILTER BEDS SHOULD BE INSPECTED CLOSELY AT LEAST ONCE A YEAR.

PERFORATED UNDERDRAIN PIPES ARE LOCATED 2' BELOW THE SAND AND CLEANOUTS ARE LOCATED AT THE END OF THE SYSTEM. IN THE EVENT OF SEDIMENT BUILD-UP IN THE UNDERDRAIN PIPE, CLEANING CAN BE ACCOMPLISHED THROUGH THE CLEANOUT WITH SEVERAL OF THE TECHNIQUES OUTLINED BELOW.

METHODS AND EQUIPMENT FOR CLEANOUT OF SYSTEMS VARIOUS TYPES OF EQUIPMENT ARE AVAILABLE COMMERCIALY FOR MAINTENANCE OF DRAINAGE SYSTEMS. THE MOST FREQUENTLY USED EQUIPMENT AND TECHNIQUES ARE LISTED BELOW.

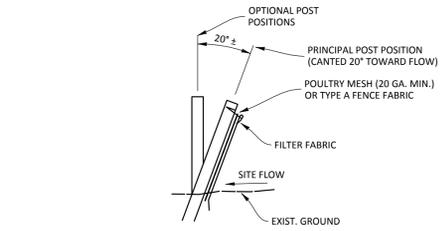
- VACUUM PUMP:**  
THIS DEVICE IS NORMALLY USED TO REMOVE SEDIMENT FROM SUMPS AND PIPES. THE EQUIPMENT FOR THIS SYSTEM IS GENERALLY MOUNTED ON A VEHICLE. IT REQUIRES A 200 - 300 GALLON (0.757 - 1.36M) HOLDING TANK AND A VACUUM PUMP THAT HAS A 10" (254MM) DIAMETER FLEXIBLE HOSE WITH A SERRATED METAL END FOR BREAKING UP CAKE SEDIMENT. A TWO-MAN CREW CAN CLEAN A CATCH BASIN IN 5 TO 10 MINUTES. THIS SYSTEM CAN REMOVE STONES, BRICKS, LEAVES, LITTER AND SEDIMENT DEPOSITS. NORMAL WORKING DEPTH IS 0' - 20' (0 TO 6M).
- WATER JET SPRAY:**  
THIS EQUIPMENT IS GENERALLY MOUNTED ON A SELF-CONTAINED VEHICLE WITH A HIGH PRESSURE PUMP AND A 200 - 300 GALLONS (0.760 TO 1.140M) WATER SUPPLY. A 3" (76MM) FLEXIBLE HOSE LINE WITH A METAL NOZZLE THAT DIRECTS JETS OF WATER AT A REVERSE ANGLE, WHICH PROPELS THE NOZZLE FORWARD WHILE BLASTING DEBRIS BACKWARDS TOWARD THE CATCH BASIN. AS THE HOSE LINE IS REELED IN, THE JETTING ACTION FORCES ALL DEBRIS TO THE CATCH BASIN WHERE IT IS REMOVED BY THE VACUUM PUMP EQUIPMENT. NORMAL LENGTH OF HOSE IS APPROXIMATELY 200' (61M). BECAUSE OF THE ENERGY SUPPLIED BY THE WATER JET, IT SHOULD NOT BE USED TO CLEAN ERODIBLE TRENCH WALLS.

**POND/LAKE EXCAVATION NOTE:**

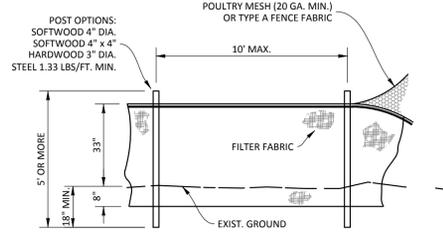
NO POND OR LAKE EXCAVATION PROPOSED FOR THIS PROJECT.

**WETLANDS NOTE:**

THERE ARE NO WETLAND IMPACTS PROPOSED AND THEREFORE, NO MITIGATION REQUIRED.

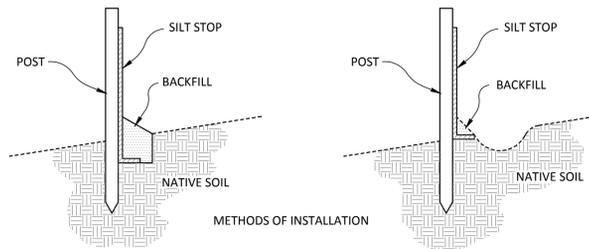


SECTION

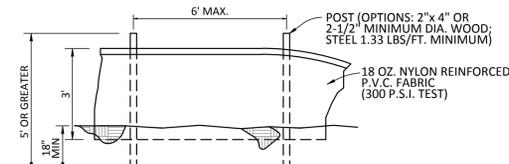


ELEVATION

**TYPE IV SILT FENCE**

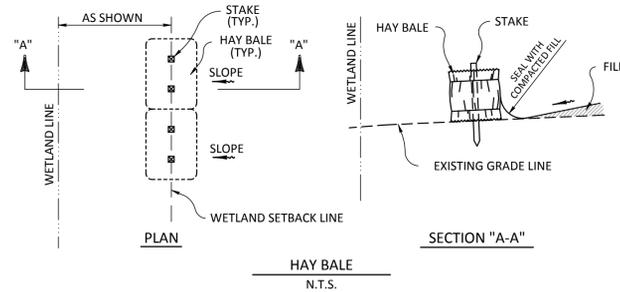


SILT SCREEN  
N.T.S.



STAKED TURBIDITY BARRIER  
N.T.S.

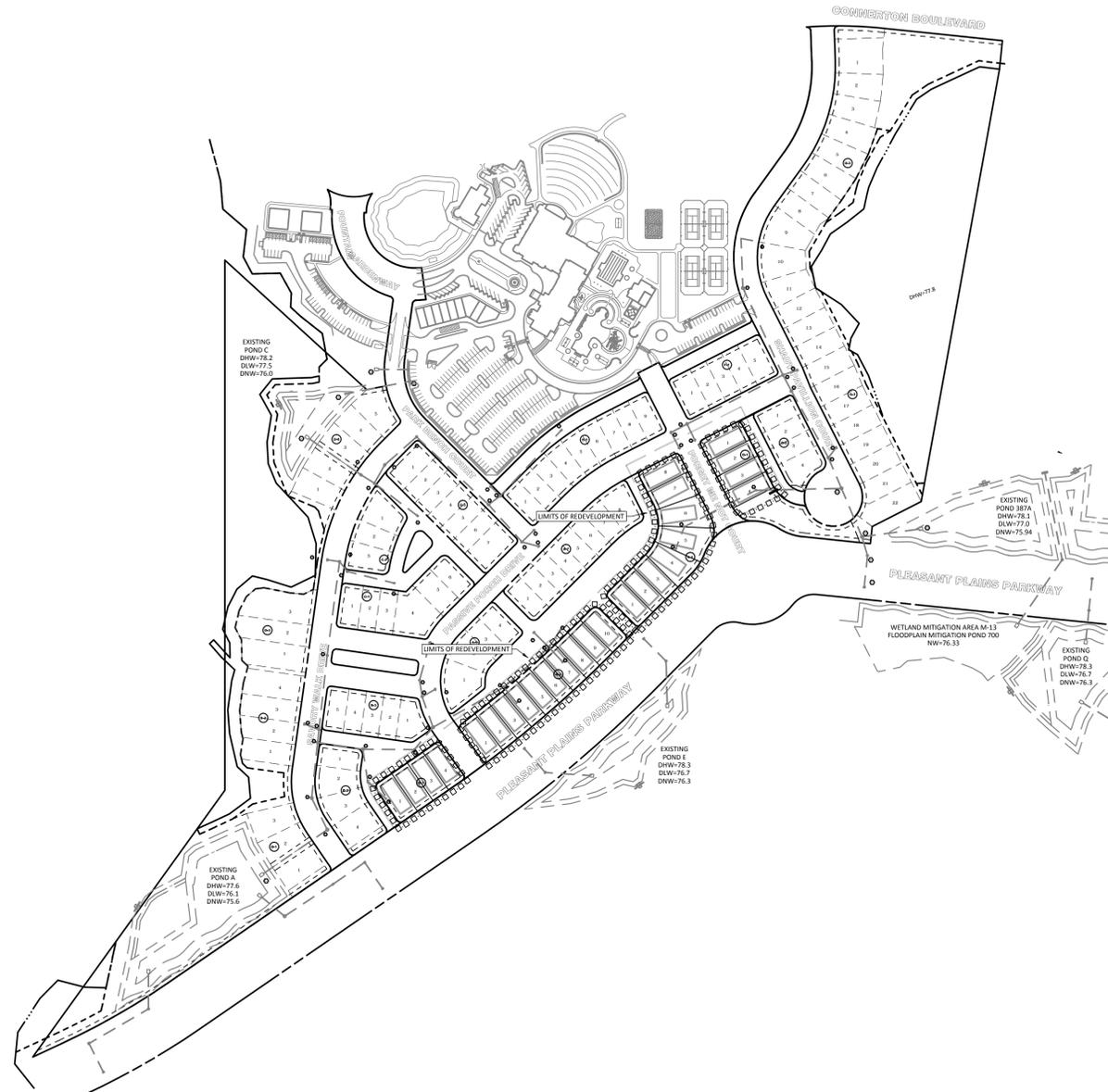
NOTE:  
THE EROSION BARRIERS, AS SHOWN, ARE NOT TO BE CONSTRUED TO MEAN THAT THEY ARE ALL THAT MAY BE REQUIRED. THE CONTRACTOR IS TO TAKE WHATEVER MEASURES NECESSARY TO CONTROL EROSION THROUGHOUT THE PROJECT.



HAY BALE  
N.T.S.

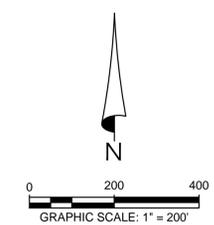
**EROSION CONTROL DETAILS**

EITHER METHOD OR A COMBINATION OF BOTH IS ACCEPTABLE



**LEGEND**

□ □ □ □ □  
STAKED EROSION CONTROL (REPRESENTS THE LIMITS OF CLEARING & FILLING)



ELEVATIONS BASED ON:  
NATIONAL GEODETIC VERTICAL DATUM 1929  
CONVERSION:  
NGVD 29 TO NAVD 88 = - 0.85

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**CONNERTON VILLAGE 2  
PHASE 2 PARCEL 214  
CONSTRUCTION SURFACE WATER  
MANAGEMENT PLAN**

PREPARED FOR:  
**HAYMAN WOODS, LLC**

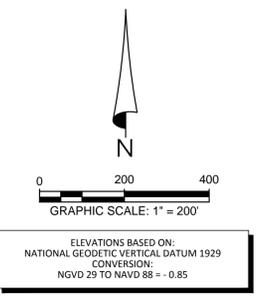
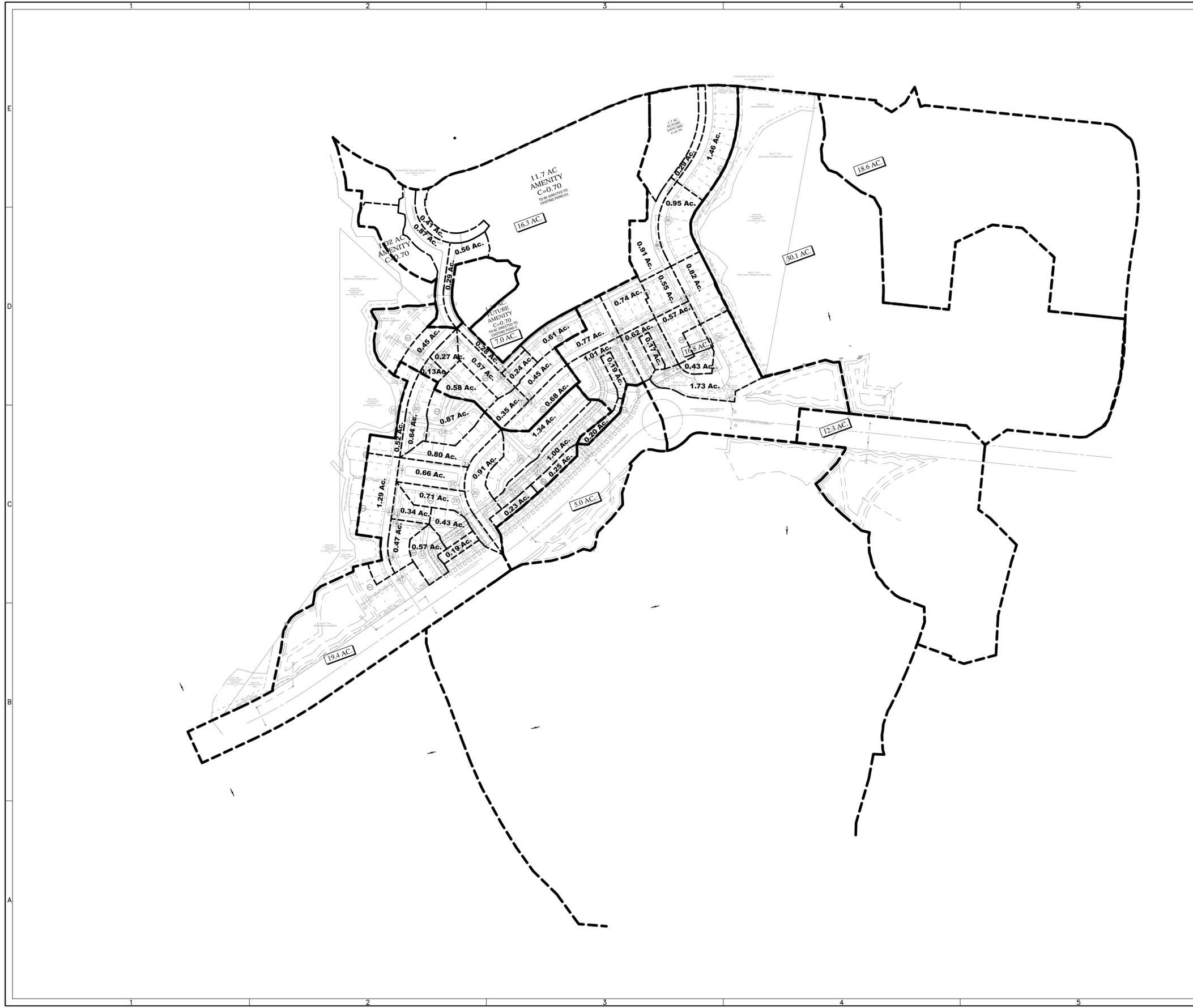
NO.	DATE	DESCRIPTION
1	06/19/2015	REVIEW SUBMITTAL

PROJECT NO: HWL-CT-1074  
FILE: CSWMP  
DESIGN BY: DUNCAN  
DRAWN BY: DUNCAN

FLORIDA PROFESSIONAL ENGINEER

**EDWIN J. ROGERS**  
DATE: \_\_\_\_\_  
REGISTRATION NO. 50082

**C-901**



**DRAINAGE LEGEND**

	EXISTING		PROPOSED	STORM DRAINAGE STRUCTURE & PIPE
				GRADING SPOT ELEVATION
				DIRECTION OF SURFACE FLOW
				UNDERDRAIN WITH CLEANOUT
				PROPOSED PAD ELEVATION
				PROPOSED FINISH FLOOR ELEVATION
				PROPOSED LOT GRADING TYPE
				STAKED EROSION CONTROL
				MAJOR DRAINAGE BASIN RIDGE LINE W/ AREA
				DRAINAGE SUB-BASIN RIDGE LINE W/ AREA

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CONNERTON VILLAGE 2  
 PHASE 2 PARCEL 214  
 DRAINAGE AREA MAP

PREPARED FOR: HAYMAN WOODS, LLC

NO.	DATE	DESCRIPTION
1	06/19/2015	REVIEW SUBMITTAL

PROJECT NO: HWL-CT-1074  
 FILE: DA  
 DESIGN BY: DUNCAN  
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**EDWIN J. ROGERS**  
 DATE: \_\_\_\_\_  
 REGISTRATION NO. 50082

**C-902**



DEVELOPER REQUIRED TREES & SHRUBS									
SITE	BUFFER TYPE	TOTAL LINEAR FEET OF BUFFER	TOTAL SHRUBS REQUIRED	TOTAL TREES REQUIRED	DIAMETER OF TREES REQUIRED (INCHES)	TOTAL INCHES OF TREES REQUIRED	TOTAL TREES PROVIDED	DIAMETER OF TREES PROVIDED (INCHES)	TOTAL INCHES OF TREES PROVIDED
REPLACEMENT	Type 'D'	910	155	30	2	60	31	2	62
TOTALS			Required Inches				60		
TOTALS			Replacement Inches				0		
TOTAL INCHES TO BE USED FOR TREE REPLACEMENT CREDIT (PROVIDED INCHES - REQUIRED INCHES)						0			

CONNERTON 214 PLANT LIST							
SHADE TREES				SHRUBS			
Symbol	Code	No.	Scientific Name	Common Name	Size Requirements	Native Florida	Drought Tolerant
AR		3	Acer Rubrum	Red Maple	45g, 2", Cal 9'-10' HT	No	Yes
LN		4	Lagerstroemia x Natchez	Crape Myrtle Natchez	30g, 2", Cal 8'-10' HT	No	Yes
LS		5	Liquidambar styraciflua	Sweet Gum	30g, 2", Cal 10'-12' HT	Yes	Yes
PP		4	Pinus palustris	Longleaf Pine	25g, 2", Cal 5'-6' HT	Yes	Yes
PO2		6	Platanus occidentalis	American Sycamore	30g, 2", Cal 10'-12' HT	No	Yes
QV		5	Quercus virginiana	Southern Live Oak	25g, 2", Cal 10'-12' HT	Yes	Yes
UPD		4	Ulmus Parvifolia Drake	Chinese Elm	30g, 2", Cal 10'-12' HT	No	Yes

SHRUBS							
Symbol	Code	No.	Scientific Name	Common Name	Size Requirements	Native Florida	Drought Tolerant
TF2		245	Tripsacum dactyloides	Fakahatchee Grass	24-36" HT x 20-24" SPR	Yes	No
BV		365	Buox sempervirens 'Variegata'	Variegated Boxwood	16" HT x 12" SPR	No	Yes
SP2		383	Spartina patens	Salt Meadow Cord Grass	24" HT x 24" SPR	Yes	Yes
SG2		249	Myrcianthes fragrans	Compact Simpson Stopper	18-24" HT x 18-24" SPR	Yes	Yes
IPA		305	Illicium parviflorum	Anise	18"-24" HT x 18"-24" SPR	Yes	Yes

GROUNDCOVER							
Symbol	Code	No.	Scientific Name	Common Name	Size Requirements	Native Florida	Drought Tolerant
DJM		55	Jasminum multiflorum	Downey Jasmine	24" HT x 24" HT	No	Yes
IVS		129	Ilex vomitoria 'Schillings'	Schillings Holly	18"-24" HT x 18"-24" HT	Yes	Yes
JP		141	Juniperus chinensis 'Parsonii'	Parsoni Juniper	12" HT x 12" SPR	No	Yes
TM		140	Trachelospermum asiaticum	Jasmine Minima	6-8" HT x 10" SPR	No	Yes
MUH		137	Muhlenbergia capillaris	Pink Muhly Grass	20-24" HT x 20-24" SPF	Yes	No

BUILDER REQUIRED/PROVIDED TREES (Based on Lot Size)							
SITE	NUMBER OF LOTS	NUMBER OF TREES REQUIRED BY CODE PER LOT	TOTAL TREES REQUIRED (2" CAL)	TOTAL INCHES OF TREES REQUIRED	NUMBER OF TREE PROVIDED PER LOT	TOTAL TREES PROVIDED	TOTAL INCHES OF TREES PROVIDED
LESS THAN 3500 SQFT	0	1	0	0	1	0	0
3501-6000 SQFT	118	2	236	472	2	202	404
TOTALS			236	472		202	404
TOTAL INCHES TO BE USED FOR TREE REPLACEMENT CREDIT (PROVIDED INCHES - REQUIRED INCHES)						0	

PLANT SCHEDULE REFERENCE TREES										
TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	REMARKS
	LM2	92	Lavender Crape Myrtle Multi-Trunk	Lagerstroemia x 'Muskogee'	B&B	NA	20-22' HT x 12-14' SPR			Single-trunk, 8' of clear trunk. Matched and full crown with uniform canopy. To be tagged and selected by Landscape Architect.
	4QOV8	20	Southern Live Oak	Quercus virginiana	FG	8"-10"	16'-20' HT	Yes	Yes	4G Ranch 8-10"
	QV4	5	Southern Shade Live Oak	Quercus virginiana 'Southern Shade'	100 G	4"Cal	14-16' HT x 8-10' SPR	Yes	Yes	5' c.t. Full head. Single, straight central leader. Even branching.
	TD3	6	Bald Cypress	Taxodium distichum	100 G	4.5"Cal	12-14' HT x 5-6' SPR	Yes	Yes	Florida #1 Even branching. Predominantly straight trunk. Slight bend or bow in trunk acceptable. No major bends or bows in trunk. Mix clear trunk heights in groups.

CONNERTON 214 Plant Quantities for Code Compliance, Pasco County, FL, Landscape Code						6/16/15
TREES	Code	Common Name	Botanical Name	Quantity	Caliper (Inches)	Total Caliper (Inches)
AR		Red Maple	Acer Rubrum	3	2	6
LN		Crape Myrtle Natchez	Lagerstroemia x 'Natchez'	4	2	8
LS		Sweet Gum	Liquidambar styraciflua	5	2	10
PP		Longleaf Pine	Pinus Palustris	4	2	8
PO2		American Sycamore	Platanus Occidentalis	6	2	12
QV		Southern Live Oak	Quercus virginiana	5	2	10
UPD		Chinese Elm	Ulmus parvifolia 'Drake'	4	2	8
Total Trees Provided				31		62
Total Replacement Caliper Required (Inches)						0
Buffer Length (Feet) / Tree Spacing Avg.				910 / 30		
Total Trees Required				30		
Total Native Required				30.00%		
Total Native Supplied				100.00%		
Total Drought Tolerant Required				50.00%		
Total Drought Tolerant Supplied				100.00%		

SHRUBS	Code	Common Name	Botanical Name	Quantity	Percent
TF2		Fakahatchee Grass	Tripsacum dactyloides	245	15.83%
RI		Indian Hawthorn	Rhaphiolepis indica	365	23.58%
SP2		Salt Meadow Cord Grass	Spartina patens	384	24.81%
SG2		Compact Simpson Stopper	Myrcianthes fragrans	249	16.09%
VWS		Walters Viburnum	Viburnum obovatum	305	
Total Shrubs Provided				1548	
Total Trees Supplied x Shrubs per Tree				31 x 5	
Total Shrubs Required				155	

GROUNDCOVERS	Code	Common Name	Botanical Name	Quantity*	Percent
DJM		Downey Jasmine	Jasminum multiflorum	55	9.12%
IVS		Dwarf Yaupon	Ilex vomitoria	129	21.39%
JPB		Blue Pacific Juniper	Juniperus conferta 'Blue Pacific'	142	23.55%
TM		Jasmine Minima	Trachelospermum asiaticum	140	23.22%
MUH		Pink Muhly Grass	Muhlenbergia capillaris	137	22.72%
Total Ground Covers Provided				603	

\*Quantities based on triangular spacing.  
 \*\*Percentage above the required 25.  
 ANY PLANT MATERIAL SHALL BE REPLACED WITHIN THIRTY (30) DAYS OF DEMISE

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CONNERTON 214 LANDSCAPE ARCHITECTURE PERMIT PLANS L-400 DWG L-400-1008 10.36 AM ROCK ROLLINS

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CONNERTON PARCEL 214  
 PERMIT LANDSCAPE SHEET KEY  
 HAYMAN WOODS, LLC  
 PREPARED FOR: C/O METRO DEVELOPMENT GROUP, LLC

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DATE	DESCRIPTION
9/16/15	TREE NOTES PER COMMENTS
9/14/15	REF. TREES PER CERT. ARBORIST
6/17/15	REVIEW SUBMITTAL

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PROJECT NO:	HWL CT 1076
FILE:	L-400
DESIGN BY:	RR
DRAWN BY:	RR

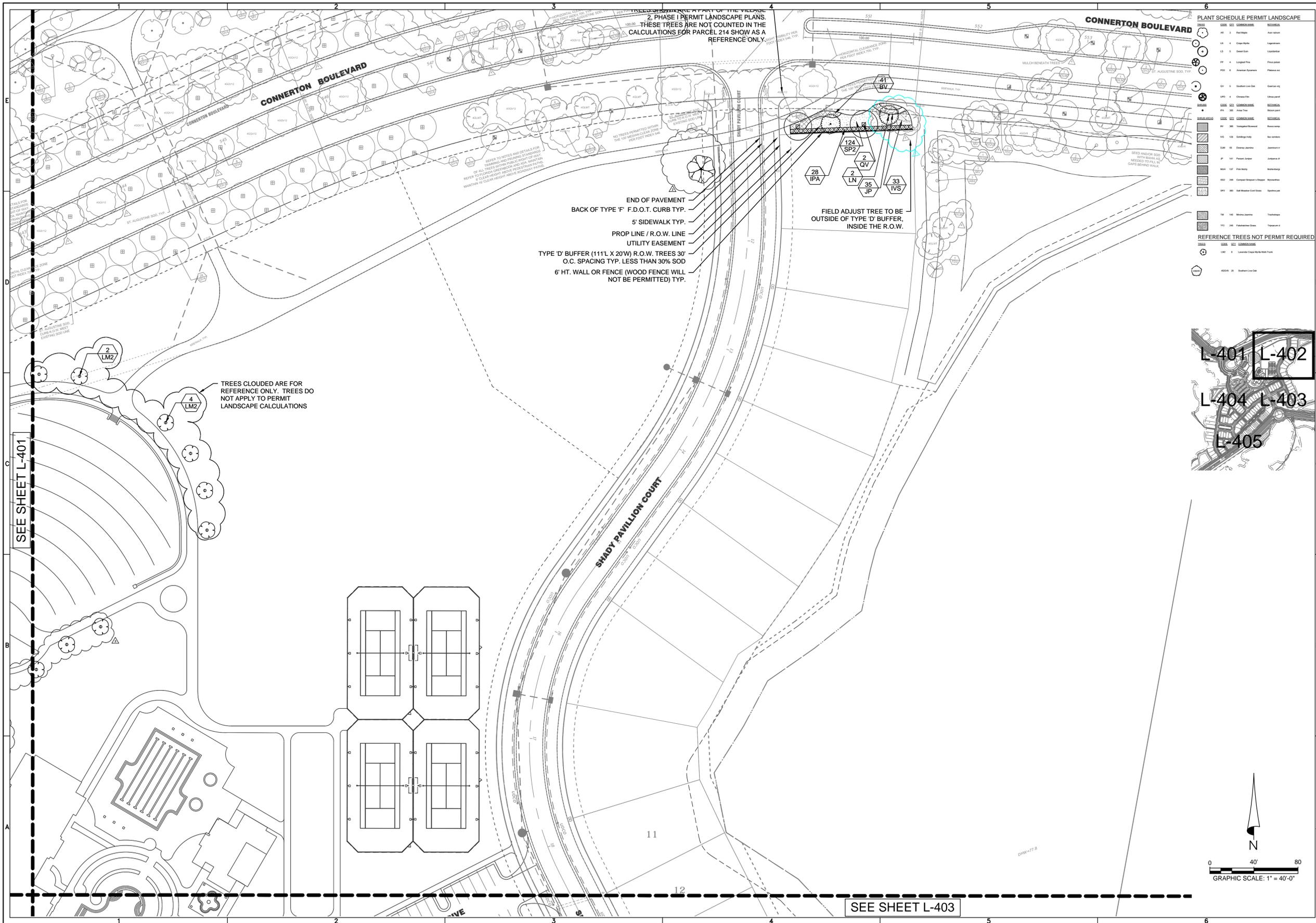
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FLORIDA REGISTERED LANDSCAPE ARCHITECT

SCOTT E. ANDREASEN  
 DATE: \_\_\_\_\_  
 REGISTRATION NO. LA0001658

**L-400**



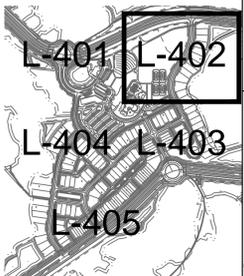


PLANT SCHEDULE PERMIT LANDSCAPE

PLANT	QTY	COMMON NAME	REMARKS
001	3	Red Maple	Aspl. 100%
002	4	Orange Star	Aspl. 100%
003	4	Small Gum	Aspl. 100%
004	4	Longleaf Pine	Aspl. 100%
005	4	American Sycamore	Aspl. 100%
006	3	Shadee Live Oak	Aspl. 100%
007	4	Orange Star	Aspl. 100%
008	4	Small Gum	Aspl. 100%
009	4	Longleaf Pine	Aspl. 100%
010	4	American Sycamore	Aspl. 100%
011	3	Shadee Live Oak	Aspl. 100%
012	4	Orange Star	Aspl. 100%
013	4	Small Gum	Aspl. 100%
014	4	Longleaf Pine	Aspl. 100%
015	4	American Sycamore	Aspl. 100%
016	3	Shadee Live Oak	Aspl. 100%
017	4	Orange Star	Aspl. 100%
018	4	Small Gum	Aspl. 100%
019	4	Longleaf Pine	Aspl. 100%
020	4	American Sycamore	Aspl. 100%
021	3	Shadee Live Oak	Aspl. 100%
022	4	Orange Star	Aspl. 100%
023	4	Small Gum	Aspl. 100%
024	4	Longleaf Pine	Aspl. 100%
025	4	American Sycamore	Aspl. 100%
026	3	Shadee Live Oak	Aspl. 100%
027	4	Orange Star	Aspl. 100%
028	4	Small Gum	Aspl. 100%
029	4	Longleaf Pine	Aspl. 100%
030	4	American Sycamore	Aspl. 100%
031	3	Shadee Live Oak	Aspl. 100%
032	4	Orange Star	Aspl. 100%
033	4	Small Gum	Aspl. 100%
034	4	Longleaf Pine	Aspl. 100%
035	4	American Sycamore	Aspl. 100%
036	3	Shadee Live Oak	Aspl. 100%
037	4	Orange Star	Aspl. 100%
038	4	Small Gum	Aspl. 100%
039	4	Longleaf Pine	Aspl. 100%
040	4	American Sycamore	Aspl. 100%
041	3	Shadee Live Oak	Aspl. 100%
042	4	Orange Star	Aspl. 100%
043	4	Small Gum	Aspl. 100%
044	4	Longleaf Pine	Aspl. 100%
045	4	American Sycamore	Aspl. 100%
046	3	Shadee Live Oak	Aspl. 100%
047	4	Orange Star	Aspl. 100%
048	4	Small Gum	Aspl. 100%
049	4	Longleaf Pine	Aspl. 100%
050	4	American Sycamore	Aspl. 100%

REFERENCE TREES NOT PERMIT REQUIRED

PLANT	QTY	COMMON NAME	REMARKS
001	1	Shadee Live Oak	Aspl. 100%



**HEIDT DESIGN**  
Civil Engineering • Planning & GIS  
Transportation Engineering  
Ecological Services • Landscape Architecture

5806-B Breckenridge Pkwy.  
Tampa, Florida 33610  
Office: 813-253-5311  
Fax: 813-464-7629  
www.HeidtDesign.com

CONNERTON PARCEL 214  
PERMIT LANDSCAPE PLAN

PREPARED FOR: HAYMAN WOODS, LLC

DATE	DESCRIPTION
9/14/15	REF TREES PER CERT. ARBORIST
8/17/15	REVIEW SUBMITTAL
1	

PROJECT NO: HWL CT 1076  
FILE: L-401  
DESIGN BY: RR  
DRAWN BY: RR

FLORIDA REGISTERED LANDSCAPE ARCHITECT

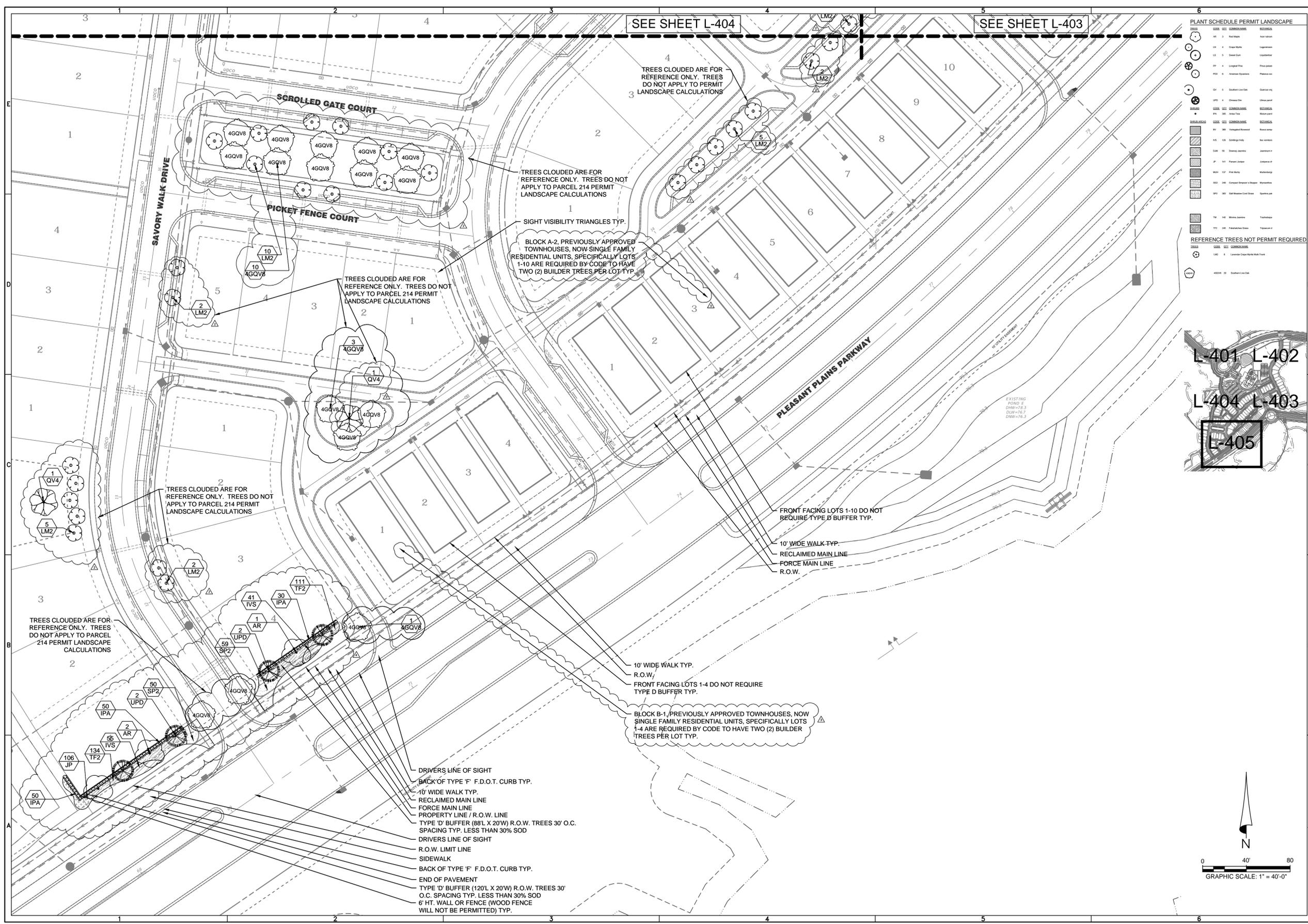
**SCOTT E. ANDREASEN**  
DATE: \_\_\_\_\_  
REGISTRATION NO. LA0001658

**L-402**

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SEE SHEET L-404

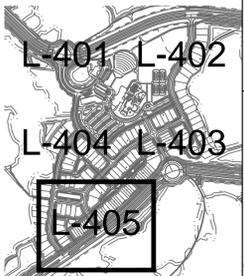
SEE SHEET L-403

**PLANT SCHEDULE PERMIT LANDSCAPE**

SYMBOL	COMMON NAME	REMARKS
LM2	Live Oak	4" DBH
QV4	Queen Palm	4" DBH
LM2	Live Oak	2" DBH
QV4	Queen Palm	2" DBH
LM2	Live Oak	1" DBH
QV4	Queen Palm	1" DBH
LM2	Live Oak	1/2" DBH
QV4	Queen Palm	1/2" DBH
LM2	Live Oak	1/4" DBH
QV4	Queen Palm	1/4" DBH
LM2	Live Oak	1/8" DBH
QV4	Queen Palm	1/8" DBH
LM2	Live Oak	1/16" DBH
QV4	Queen Palm	1/16" DBH

**REFERENCE TREES NOT PERMIT REQUIRED**

SYMBOL	COMMON NAME	REMARKS
LM2	Live Oak	4" DBH
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Fax: 813-464-7629  
www.HeidtDesign.com

**CONNERTON PARCEL 214 PERMIT LANDSCAPE PLAN**

PREPARED FOR: HAYMAN WOODS, LLC

DATE	DESCRIPTION
10/28/15	TREE NOTES PER COMMENTS
9/14/15	REF. TREES PER CERT. ARBORIST
8/17/15	REVIEW SUBMITTAL
1	

PROJECT NO: HWL CT 1076  
FILE: L-401  
DESIGN BY: RR  
DRAWN BY: RR

FLORIDA REGISTERED LANDSCAPE ARCHITECT

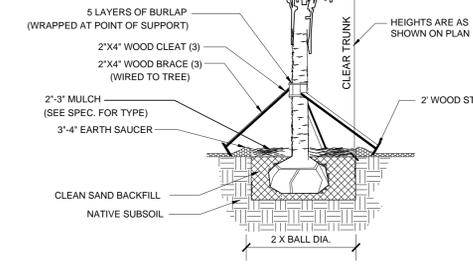
**SCOTT E. ANDREASEN**  
DATE: \_\_\_\_\_  
REGISTRATION NO. 0001658

**L-405**

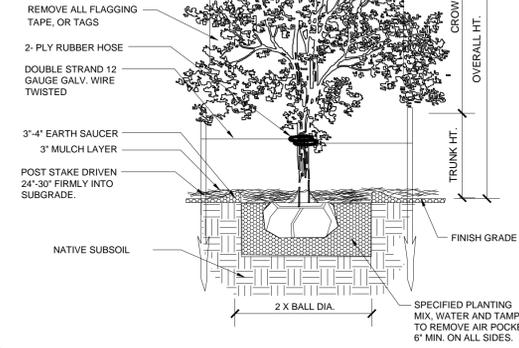
ENGINEERING BUSINESS CERTIFICATE OF AUTHORIZATION No. 28752  
 LANDSCAPE ARCHITECTURE CERTIFICATE OF AUTHORIZATION No. LC26000405  
 R:\CONNERTONHWL - CONNERTONPARCEL 214\LANDSCAPE ARCHITECTURE\PERMIT PLANS\L-401-DWG-L-405-2015\1009 1039 AM RICK KOLLINS

# LANDSCAPE NOTES AND SPECIFICATIONS

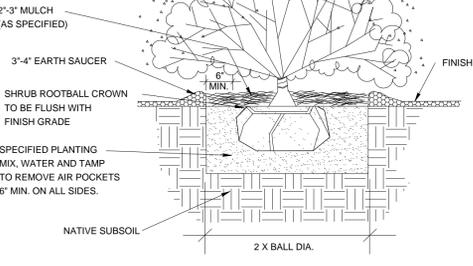
PALM FRONDS SHALL BE TIED UP IN TRANSIT TO JOB SITE AND KEPT IN THAT POSITION FOR A PERIOD OF TWO MONTHS AFTER INSTALLATION.



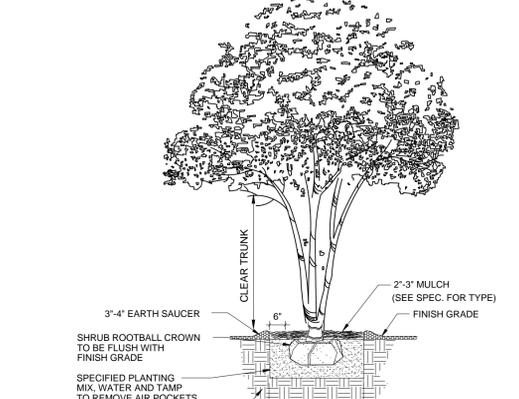
**A PALM TREE**  
SCALE: N.T.S.  
DETAIL CODE



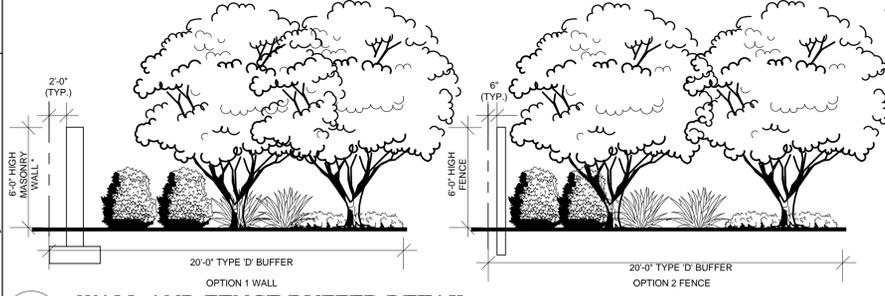
**B TREE PLANTING DETAIL**  
SCALE: N.T.S.  
DETAIL CODE



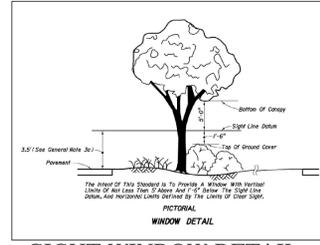
**C SHRUB PLANTING DETAIL**  
SCALE: N.T.S.  
DETAIL CODE



**D MULTI-STEM TREE PLANTING DETAIL**  
SCALE: N.T.S.  
DETAIL CODE



**E WALL AND FENCE BUFFER DETAIL**  
SCALE: N.T.S.



**F SIGHT WINDOW DETAIL**  
SCALE: N.T.S.

IMPLEMENTATION OF THIS PLAN AND SPECIFICATIONS SHALL CONFORM TO THE HIGHEST STANDARDS OF THE TRADE AND TO ALL PREVAILING ORDINANCES AND CODES. THE SPECIFICATIONS CONTAINED HEREIN SHALL SUPPLEMENT THE WRITTEN SPECIFICATIONS.

PRIOR TO SUBMISSION OF BID, THE LANDSCAPE CONTRACTOR SHALL VISIT THE SITE AND FULLY INFORM HIMSELF OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE ACCOMPLISHED.

THE WORK INCLUDES SOIL PREPARATION, FINISH GRADING, SUPPLYING AND PLANTING OF TREES, SHRUBS, GROUNDCOVERS, VINES, AND SOD OF THE SPECIES, SIZES AND QUALITY AS SHOWN ON THE DRAWINGS AND/OR AS SPECIFIED HEREIN. FURTHER, THE WORK SHALL INCLUDE THE MAINTENANCE OF ALL LANDSCAPE AND SOD/SEED AREAS UNTIL FINAL ACCEPTANCE BY THE PROJECT ARCHITECT AND OWNER'S REPRESENTATIVE.

THE LANDSCAPE CONTRACTOR SHALL PROVIDE A LUMP SUM BID PRICE FOR A FULLY AUTOMATIC, 100% OVERLAP COVERAGE, UNDERGROUND IRRIGATION SYSTEM. THE IRRIGATION SYSTEM DESIGN, SPECIFICATIONS AND INSTALLATION SHALL CONFORM TO THE STANDARDS OF THE "IRRIGATION ASSOCIATION," 1911 N. FORT MYER DRIVE #1009, ARLINGTON, VA 22209 AND TO THE STANDARDS OF THE "FLORIDA IRRIGATION SOCIETY."

THE LANDSCAPE CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK, PRIOR TO COMMENCEMENT OF HIS OPERATIONS ON-SITE. COPIES OF THE PERMITS SHALL BE SENT TO THE ARCHITECT AND OWNER'S CONSTRUCTION REPRESENTATIVE.

THE LANDSCAPE CONTRACTOR SHALL BE PROPERLY LICENSED AND INSURED. SEE WRITTEN SPECIFICATIONS.

ALL WORK IN THE RIGHT-OF-WAY AREAS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL AND/OR STATE HIGHWAY JURISDICTION.

THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS (EXISTING AND PROPOSED), RELATED PAVING, ELEVATIONS, WATER AND ELECTRICAL SUPPLY, ETC. PRIOR TO START OF WORK. NOTIFY THE GENERAL CONTRACTOR AND THE ARCHITECT/OWNER'S AGENT IN WRITING OF UNSATISFACTORY CONDITIONS PRIOR TO START OF WORK. START OF WORK WILL INDICATE ACCEPTANCE OF CONDITIONS AND FULL RESPONSIBILITY FOR COMPLETED WORK.

VERIFY ALL UNDERGROUND AND ABOVE-GROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION. IF UNDERGROUND CONSTRUCTION, UTILITIES OR OBSTRUCTIONS ARE ENCOUNTERED DURING THE EXCAVATION OF PLANTING AREAS OR PITS, IMMEDIATELY INFORM THE OWNER'S CONSTRUCTION REPRESENTATIVE. ALTERNATE LOCATIONS FOR THE PLANT MATERIAL(S) WILL BE SELECTED BY THE ARCHITECT OR AGENT. SUCH CHANGES IN LOCATION SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION.

THE LANDSCAPE CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR ANY AND ALL DAMAGES THAT RESULT FROM HIS ACTIVITIES DUE TO IMPROPER VERIFICATION OF UTILITIES AND/OR OPERATOR ERROR DURING EXCAVATIONS. SEE RELATED CIVIL PLANS FOR ADDITIONAL INFORMATION AND COORDINATE ON-SITE WITH THE GENERAL CONTRACTOR AND OTHER TRADES PRIOR TO START OF WORK.

SITE CONTRACTOR SHALL PROVIDE THE LANDSCAPE CONTRACTOR WITH A FINISH GRADE OF (PLUS OR MINUS) ONE-TENTH OF ONE FOOT. GRADE SHALL BE CLEAR OR DEBRIS AND WEED GROWTH. FINISH GRADES ADJACENT TO PAVING SHALL BE TWO INCHES (2") BELOW TOP OF CURBS, WALKS OR PAVING IN ORDER TO CONTAIN SOD OR MULCH AS SPECIFIED.

PLANT MATERIAL SHALL BE GRADED FLORIDA NO. 1 OR BETTER AS OUTLINED UNDER THE GRADES AND STANDARDS FOR NURSERY PLANTS - SECOND EDITION STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND SHALL CONFORM TO AAN STANDARDS FOR NURSERY STOCK (ANSI 260.1-1980).

NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE EXPLICIT WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. PLANS SHALL BE BID BY ALL BIDDERS AS SHOWN. SUBMIT WRITTEN VERIFICATION OF ANY PLANT MATERIAL(S) THAT MAY BE UNAVAILABLE AS SPECIFIED, TO THE LANDSCAPE ARCHITECT.

COORDINATE THE INSTALLATION OF TREES AND PLANTS SO AS TO NOT OBSCURE THE SITE VISIBILITY TRIANGLE AT INTERSECTIONS AND THE VISIBILITY OF DIRECTIONAL SIGNS OR LIGHTS. FIELD ADJUST TREE AND PALM LOCATIONS AS REQUIRED TO AVOID CONFLICT WITH LIGHT POLES, ETC. THE OWNER SHALL PROPERLY MAINTAIN TREES AND PLANT MATERIALS AFTER FINAL ACCEPTANCE IN ORDER TO MAINTAIN UNOBSTRUCTED VISIBILITY FOR PEDESTRIANS AND VEHICLES.

ALL TREES SPECIFIED AS BALLED AND BURLAPPED SHALL BE ROOT PLUG GROWERS' TAGGED AND APPROVED TO ENSURE PROPER HARDENING OFF PRIOR TO INSTALLATION ON-SITE.

ALL TREES PLANTED USING EITHER A TREE AUGER OR TREE SPACE ARE TO BE CORRECTLY WATER SETTLED TO ENSURE NO FUTURE SETTLING. ALL TREES THAT SETTLE CROOKED WILL BE RESET BY LANDSCAPE CONTRACTOR. ALL HOLES DUG BY EITHER A SPADE OR AUGER ARE TO BE SCORED ALONG ALL SIDES TO ALLOW ROOT GROWTH TO ESCAPE LIMITS OF EXCAVATION.

APPLY "DEVINOL" SELECTIVE HERBICIDE (DRY FLOWABLE) PER MANUFACTURER'S DIRECTIONS TO ALL PLANT BED AREAS PRIOR TO MULCHING. USE A PROPERLY CALIBRATED GRANULAR APPLICATOR AND DO NOT APPLY CHEMICAL DIRECTLY ONTO LEAVES OF PLANTS.

ALL PLANT BEDS AND TREE RINGS SHALL BE MULCHED WITH A 3" DEPTH LAYER OF PINE BARK MULCH (MEDIUM SIZE CHIPS. DEPTH SHALL BE MEASURED AFTER COMPACTION). REMOVE MULCH FROM CANOPIES OF SHRUBS AND PROPERLY TUCK IN MULCH ALONG EDGES. DO NOT PILE MULCH AROUND THE BASE OF TREE TRUNKS. PROVIDE A 3" DIAMETER MULCH RING AROUND ALL PROPOSED AND EXISTING TREES WHICH DO NOT FALL WITHIN A MULCHED PLANTING BED OR ARE SURROUNDED BY TURF.

GROUNDCOVER AND SHRUB BEDS SHALL BE PLANTED ON TRIANGULAR SPACING WITH PLANTS INSTALLED AND FACED FOR OPTIMUM GROWTH INTO THE BED. CURVILINEAR BED LINES SHALL BE ACCURATELY SCALED FROM PLANS AND Laid-OUT IN THE FIELD. IF FIELD CONDITIONS ARE DIFFERENT FROM PLANS, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OR ON-SITE REPRESENTATIVE FOR FIELD ADJUSTMENT OF MATERIALS.

AT THE TIME OF FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE MANUAL CONTAINING INSTRUCTIONS FOR THE PROPER CARE OF ALL MATERIALS SPECIFIC TO THE JOB. INCLUDE IRRIGATION TIMELOG, OPERATING DIRECTIONS AND MANUFACTURER'S LITERATURE TO OWNER'S REPRESENTATIVE. LANDSCAPE CONTRACTOR SHALL SUPPLY THE OWNER WITH A BID TO PROVIDE YEARLY MAINTENANCE OF THE PROJECT.

THE OWNER SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE AND WATERING OF THE LANDSCAPING AND TURF AFTER FINAL ACCEPTANCE.

IN THE EVENT OF A VARIATION BETWEEN THE PLANT LIST AND THE ACTUAL NUMBER OF PLANTS SHOWN OR NOTED ON THE PLANS, THE PLANS SHALL CONTROL.

PLANTS AND TREES SHALL BE SET PLUMB, AT THE SAME GRADE AT WHICH THEY HAVE BEEN GROWN. BEST SIDE FACING PRIME VISIBILITY AND THOROUGHLY WATERED-IN TO ELIMINATE AIR POCKETS. TREES SET TOO HIGH OR LOW WILL BE REJECTED. VERIFY PROPOSED FINISH GRADES AND SET TREES ACCORDINGLY. SEE DETAILS FOR PLANTING, STAKING AND GUYING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY SECURING TREES, PALMS AND LARGE SHRUBS IMMEDIATELY AFTER PLANTING. ALL GUY WIRES SHALL BE FLAGGED AND ALL STAKES SHALL BE DRIVEN FLUSH WITH SURROUNDING GRADE FOR PUBLIC SAFETY.

PLANTING SOIL FOR ALL TREES AND SHRUBS SHALL CONSIST OF 60% PEAT, 20% COMPOST, AND 20% WOOD PRODUCT FOR AERATION. PLANTING MIX SHALL HAVE A pH OF 6.0-6.5. MIX 75% PLANTING SOIL WITH 25% ON-SITE SOIL FOR PLANTING SOIL BACKFILL. BACKFILL ALL TREES AND SHRUBS AT THE FOLLOWING RATE:

TREES 3.5" CAL. AND GREATER = 1 CUBIC YARD EACH TREE  
1-3" CAL. 20 GAL. = 1/2 CUBIC YARD EACH  
7-15 GALLON CONTAINERS SIZE = 1/4 CUBIC YARD EACH  
3-5 GALLON CONTAINER SIZE = 1/8 PLANTS PER CUBIC YARD  
1-2 GALLON CONTAINER SIZE = 1/16 PLANTS PER CUBIC YARD  
ROOTED CUTTINGS/4" POTS = 1/8" DEPTH OF ANNUAL BED MIX

ROOTED CUTTINGS AND 4" POT MATERIAL SHALL BE PLANTED IN A 6" DEPTH PREPARED BED CONTAINING AN 'ANNUAL BED MIX' COMPOSED OF 1/3 PEAT, 1/3 COMPOSTED PINE BARK, 1/3 SAND AND DOLOMITE pH 6.0-6.5. FERTILIZE WITH 'OSMOCOTE' PER MANUFACTURER'S DIRECTIONS. TOP DRESS WITH 1-LAYER OF SPECIFIED FINE MULCH.

SHRUBS SHALL BE PLANTED IN CIRCULAR PLANT PITS WITH A DIAMETER OF 16" GREATER THAN THE ROOTBALL OF CONTAINER. TREES SHALL BE PLANTED IN CIRCULAR PITS WITH A DIAMETER OF 12" GREATER THAN ROOTBALL OR CONTAINER AND BACKFILLED WITH PLANTING SOIL MIX.

REMOVE ALL PLANT LABELS, TAGS, FLAGGING TAPE AND RIBBON FROM ALL TREES, AND SHRUBS UPON FINAL ACCEPTANCE OF THE LANDSCAPE.

FERTILIZE TREES, SHRUBS AND GROUNDCOVERS WITH "SIERRA" 7.5 GRAM TABLETS PER MANUFACTURER'S DIRECTIONS AND AT THE FOLLOWING RATE:

LARGER CONTAINER PLANTS/TREES = 1 TABLET PER GALLON SIZE  
5 GALLON CONTAINER = 4 TABLETS PER PLANT  
3 GALLON CONTAINER = 3 TABLETS PER PLANT  
1 GALLON CONTAINER = 2 TABLETS PER PLANT

ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ALL TREES, PLANTS AND/OR GRASSING NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED WITHIN TEN (10) DAYS AFTER WRITTEN NOTICE. ALL PLANT REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THE REPLACEMENTS SHALL BE FURNISHED, AND INSTALLED AS HEREIN SPECIFIED AT NO ADDITIONAL COST TO THE OWNER. THE IRRIGATION SYSTEM SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE FROM DEFECTS IN MATERIALS AND WORKMANSHIP.

AN "AS-BUILT" OF THE LANDSCAPE AND IRRIGATION PLANS SHALL BE MADE BY THE LANDSCAPE AND IRRIGATION CONTRACTOR. THE "AS-BUILT" SHALL BE UP-DATED DAILY AND SHALL BE KEPT ON-SITE AT ALL TIMES DURING THE CONSTRUCTION PERIOD. ANY AND ALL DEVIATIONS FROM THE ORIGINAL CONSTRUCTION DOCUMENTS SHALL BE DULY AND ACCURATELY RECORDED. A REPRODUCIBLE OF EACH "AS-BUILT" SHALL BE PROVIDED BY THE LANDSCAPE AND IRRIGATION CONTRACTOR TO THE OWNER'S CONSTRUCTION REPRESENTATIVE AND TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE AND PAYMENT OF RETAINAGE.

AT THE TIME OF FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE MANUAL CONTAINING INSTRUCTIONS FOR THE PROPER CARE OF ALL MATERIALS SPECIFIC TO THE JOB. INCLUDE IRRIGATION TIMELOG, OPERATING DIRECTIONS AND MANUFACTURER'S LITERATURE TO OWNER'S REPRESENTATIVE. LANDSCAPE CONTRACTOR SHALL SUPPLY THE OWNER WITH A BID TO PROVIDE YEARLY MAINTENANCE OF THE PROJECT.

THE OWNER SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE AND WATERING OF THE LANDSCAPING AND TURF AFTER FINAL ACCEPTANCE.

IN THE EVENT OF A VARIATION BETWEEN THE PLANT LIST AND THE ACTUAL NUMBER OF PLANTS SHOWN OR NOTED ON THE PLANS, THE PLANS SHALL CONTROL.

PLANTS AND TREES SHALL BE SET PLUMB, AT THE SAME GRADE AT WHICH THEY HAVE BEEN GROWN. BEST SIDE FACING PRIME VISIBILITY AND THOROUGHLY WATERED-IN TO ELIMINATE AIR POCKETS. TREES SET TOO HIGH OR LOW WILL BE REJECTED. VERIFY PROPOSED FINISH GRADES AND SET TREES ACCORDINGLY. SEE DETAILS FOR PLANTING, STAKING AND GUYING. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY SECURING TREES, PALMS AND LARGE SHRUBS IMMEDIATELY AFTER PLANTING. ALL GUY WIRES SHALL BE FLAGGED AND ALL STAKES SHALL BE DRIVEN FLUSH WITH SURROUNDING GRADE FOR PUBLIC SAFETY.

PLANTING SOIL FOR ALL TREES AND SHRUBS SHALL CONSIST OF 60% PEAT, 20% COMPOST, AND 20% WOOD PRODUCT FOR AERATION. PLANTING MIX SHALL HAVE A pH OF 6.0-6.5. MIX 75% PLANTING SOIL WITH 25% ON-SITE SOIL FOR PLANTING SOIL BACKFILL. BACKFILL ALL TREES AND SHRUBS AT THE FOLLOWING RATE:

FINISH GRADE TO BE RAKED, LEVEL AND FREE OF WEEDS, ROCKS AND DEBRIS PRIOR TO INSTALLATION OF SOD. LANDSCAPE CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF SITE CONDITIONS ARE NOT ACCEPTABLE. INCONSISTENCY IN SOD QUALITY, GRADE AND INSTALLATION MAY WARRANT REMOVAL AND REINSTALLATION.

SODDING IS REQUIRED IN ALL UNPAVED AREAS WITH THE SITE BOUNDARIES UNLESS OTHERWISE SHOWN OR NOTED. ALL SOD AREAS SHALL BE PLANTED WITH "ST. AUGUSTINE" AS SPECIFIED. SOD SHALL BE REASONABLY FREE FROM PESTS AND WEEDS, Laid IN STAGGERED ROWS WITH NO GAPS, ROLLED, FERTILIZED AND WATERED IMMEDIATELY AFTER INSTALLATION.

FERTILIZE LAWN AREAS WITH 6-6-6 FERTILIZER AT THE RATE OF 8 LBS PER 1,000 S.F. OF LAWN AREA. WATER AFTER FERTILIZATION.

THE IRRIGATION SYSTEM SHALL BE FULLY OPERATING FOR A PERIOD OF TWENTY-FOUR HOURS PRIOR TO START OF PLANTING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY ADDITIONAL HAND-WATERING AS NECESSARY FOR ALL TREES, SHRUBS, GROUNDCOVERS AND LAWN AREAS PRIOR TO FINAL ACCEPTANCE.

THE JOB SITE SHALL BE KEPT ORDERLY AND REASONABLY CLEAN ON A DAILY BASIS DURING CONSTRUCTION OPERATIONS. UPON COMPLETION, THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL DEBRIS AND WASTE GENERATED BY HIS OPERATIONS ON-SITE, INCLUDING THE CLEANING OF WALKS AND PAVING AS NECESSARY.

IN THE EVENT OF A VARIATION BETWEEN THE PLANT LIST AND THE ACTUAL NUMBER OF PLANTS SHOWN OR NOTED ON THE PLANS, THE PLANS SHALL CONTROL.

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3 GALLON CONTAINER = 3 TABLETS PER PLANT  
1 GALLON CONTAINER = 2 TABLETS PER PLANT

ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE. ALL TREES, PLANTS AND/OR GRASSING NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED WITHIN TEN (10) DAYS AFTER WRITTEN NOTICE. ALL PLANT REPLACEMENTS SHALL BE OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THE REPLACEMENTS SHALL BE FURNISHED, AND INSTALLED AS HEREIN SPECIFIED AT NO ADDITIONAL COST TO THE OWNER. THE IRRIGATION SYSTEM SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE FROM DEFECTS IN MATERIALS AND WORKMANSHIP.

AN "AS-BUILT" OF THE LANDSCAPE AND IRRIGATION PLANS SHALL BE MADE BY THE LANDSCAPE AND IRRIGATION CONTRACTOR. THE "AS-BUILT" SHALL BE UP-DATED DAILY AND SHALL BE KEPT ON-SITE AT ALL TIMES DURING THE CONSTRUCTION PERIOD. ANY AND ALL DEVIATIONS FROM THE ORIGINAL CONSTRUCTION DOCUMENTS SHALL BE DULY AND ACCURATELY RECORDED. A REPRODUCIBLE OF EACH "AS-BUILT" SHALL BE PROVIDED BY THE LANDSCAPE AND IRRIGATION CONTRACTOR TO THE OWNER'S CONSTRUCTION REPRESENTATIVE AND TO THE LANDSCAPE ARCHITECT PRIOR TO FINAL ACCEPTANCE AND PAYMENT OF RETAINAGE.

AT THE TIME OF FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE MANUAL CONTAINING INSTRUCTIONS FOR THE PROPER CARE OF ALL MATERIALS SPECIFIC TO THE JOB. INCLUDE IRRIGATION TIMELOG, OPERATING DIRECTIONS AND MANUFACTURER'S LITERATURE TO OWNER'S REPRESENTATIVE. LANDSCAPE CONTRACTOR SHALL SUPPLY THE OWNER WITH A BID TO PROVIDE YEARLY MAINTENANCE OF THE PROJECT.

THE OWNER SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE AND WATERING OF THE LANDSCAPING AND TURF AFTER FINAL ACCEPTANCE.

## Pasco County Landscaping Standard Notes (Pasco LDC 905.2)

- Maintenance Responsibility.** The County is not responsible for maintenance of any landscaping unless approved through a County maintenance agreement. (LDC 905.2-C.1.a)
- Clear-Sight Triangle.** Where a driveway/accessway intersects a road right-of-way or where two (2) road rights-of-way intersect, vegetation, structures, and non-vegetative visual screens shall not be located so as to interfere with the clear-sight triangle as defined in this Code or the Florida Department of Transportation, Manual of Uniform Minimum Standards, most recent edition (Green Book), whichever is more restrictive. (LDC 905.2-C.1.b)
- Sustainable Practices.** Landscaping shall be installed so that landscaping materials meet the concept of right material/right place. Installed trees and plants shall be grouped into zones according to water, soil, climate, and light requirements. Plant groupings based on water requirements are drought tolerant, natural, and oasis. (LDC 905.2-C.1.c)
- Diversity.** A maximum of 50 percent of the plant materials used, other than trees, may be non-drought tolerant. A minimum of 30 percent of the plant materials, other than trees and turfgrass, used to fulfill the requirements of this subsection shall be native Florida species, suitable for growth in the county. (LDC 905.2-C.1.d)
- Diversity.** No one plant species of shrubs or ground cover plants, excluding turfgrass, shall constitute more than 25 percent coverage of the overall landscape area. (LDC 905.2-C.1.d.5)
- Quality.** All plant materials shall be Florida No. 1 grade per "Grades and Standards for Nursery Plants," Florida Department of Agriculture and Consumer Services (FDACS), which is incorporated herein by reference. (LDC 905.2-C.2.a)
- Avoid Easements.** Trees shall not be planted within any easement so as to interfere with the use of that easement, nor under any present or planned overhead utility, nor in any rights-of-way without County approval through the associated review process. (LDC 905.2-C.3.c)
- Mulch shall be used in conjunction with living plant materials so as to cover exposed soil. Mulch shall be installed to a minimum depth of three (3) inches. The mulch should not be placed directly against the plant stem or tree trunk. Mulch shall not be required for annual beds. Stone or gravel may be used to cover a maximum of 20 percent of the landscaped area. (LDC 905.2-C.3.d)
- Quality Practices.** All landscaping shall be installed in accordance with standards and practices of the Florida Nursery, Growers, and Landscape Association and the Florida Chapter of the International Society of Arboriculture. (LDC 905.2-C.3.e)
- All portions of a lot upon which development has commenced, but not continued for a period of 30 days, shall be planted with a grass species or ground cover to prevent erosion and encourage soil stabilization. Adequate coverage, so as to suppress fugitive dust, shall be achieved within 45 days. (LDC 905.2-C.3.g)
- All required landscaping shall be maintained in a healthy condition in perpetuity in accordance with this Code. (LDC 905.2-E.2)
- Ongoing maintenance to prevent the establishment of prohibited exotic species is required. (LDC 905.2-E.4)

## PASCO COUNTY DEVELOPMENT REVIEW - STANDARD SITE PLAN NOTES

- All utility construction shall comply with the Pasco County Standards for Design and Construction of Water and Wastewater Facilities Specifications, latest edition.
- All on-site water and sewer facilities shall be owned and maintained by the owner-developer.
- Installation of fuel storage tanks requires review and approval by the Fire Marshal and the issuance of a separate building permit. Approval of the site plan does not constitute approval of the location of the fuel tanks.
- All proposed signs must be applied for, approved, and permitted on an individual basis apart from any ultimately approved site plan. Approval of this site plan does not constitute approval of any signage.
- Handicap parking spaces will be properly signed and striped in accordance with Florida Statute 316, the Manual on Uniform Traffic Control Devices, or other applicable standards.
- The architect/engineer certifies that the site has been designed in accordance with the Americans with Disabilities Act.
- All on-site parking spaces will be striped and signed in accordance with the Manual on Uniform Traffic Control Devices, latest edition. Parking spaces, directional arrows, and stop bars shall be striped in WHITE. It shall be the owner/developer's responsibility to properly sign and stripe in accordance with applicable standards.
- The owner/developer acknowledges that this approval does not include any work in the County right-of-way. All right-of-way work shall be a function of an approved Pasco Right-of-way Use Permit.
- All clear-site areas shall be kept free of any signage plantings, trees, etc. in excess of three-and-a-half (3-1/2) feet in height.
- No irrigation system or landscaping shall be installed in any County or State right-of-way without issuance of appropriate Right-of-Way Use Permit.
- The owner/developer acknowledges that the site and its subsequent building permits shall comply with all zoning/MPUD/PUD conditions.
- All structures, including buffer walls, retaining walls, signage, etc. require building permits.

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Transportation Engineering  
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**CONNERTON PARCEL 214**  
PERMIT LANDSCAPE DETAILS AND NOTES  
HAYMAN WOODS, LLC  
C/O METRO DEVELOPMENT GROUP, LLC

PREPARED BY: SCOTT E. ANDREASEN  
DATE: 6/17/15

NO.	DATE	DESCRIPTION
1	6/17/15	REVIEW SUBMITTAL
2		
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11		
12		

PROJECT NO: HWL CT 1076  
FILE: L-470  
DESIGN BY: RR  
DRAWN BY: RR

FLORIDA REGISTERED LANDSCAPE ARCHITECT

SCOTT E. ANDREASEN  
DATE: 6/17/15  
REGISTRATION NO. LA0001658

**L-470**

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