



# Merritt's Dairy Queen at Shoppes of Ballantrae Village

17835 S.R. 54, Land O' Lakes, Florida 34638  
Section 29, Township 26, Range 18

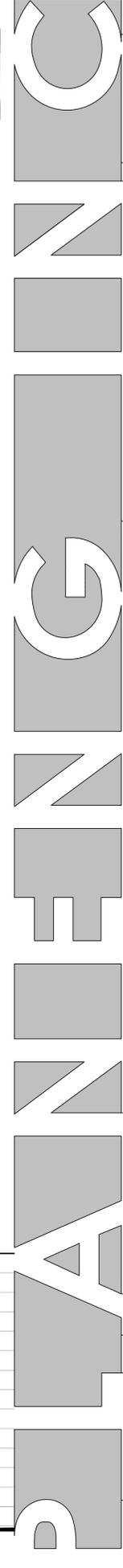


Board of Professional Engineers  
Certificate of Authorization  
No. 26432

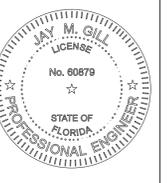
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T (813) 962-1752

Issue / Revisions



Merritt's Dairy Queen at Shoppes of Ballantrae Village  
SR 54 and Ballantrae Blvd., Land O' Lakes (unincorporated Pasco County), Florida 34638



**Owner:**  
Shops at Ballantrae, LLC  
17932 Cachet Isle Drive  
Tampa, FL 33647-2702  
Ph. (813) 745-5908  
Attn. Joseph Aprile

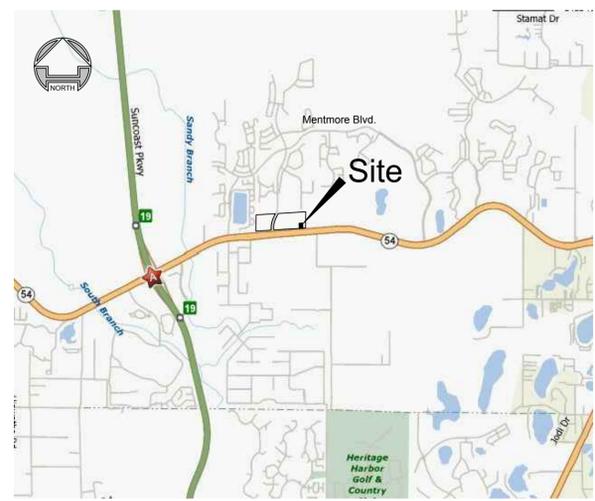
**Civil Engineer/Planner:**  
Planeng, Inc.  
501 Fitzgerald Street  
Pensacola, Florida 32505  
Ph. (850) 444-9493  
Attn. Jay M. Gill, P.E.

**Surveyor:**  
DLB Surveying, Inc.  
4045 Allen Road, #13  
Zephyrhills, FL 33541  
Ph. (813) 783-1111  
Attn. David Berry

**Geotechnical Engineer:**  
Mortenson Engineering, Inc.  
6408 W. Linebaugh Ave., Suite 111  
Tampa, FL 33625  
Ph. (813) 908-5555  
Attn. Richard Mortensen, P.E.

**Landscape Architect:**  
Hardeman Kempton and Associates, Inc.  
2207 W. North "A" Street  
Tampa, FL 33606  
Ph. (813) 258-0066  
Attn. Jason Rinard

## Location Map



Functionally classified roads within one mile of the development boundary include S.R. 54, Mentmore Boulevard and the Suncoast Parkway.

## Legal Description

BALLANTRAE - PARCEL 6  
A PARCEL OF LAND BEING LOCATED IN THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 26 SOUTH, RANGE 18 EAST, PASCO COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF SAID SECTION 29; THENCE S 00°17'50" W, ALONG THE WEST LINE OF THE NORTHEAST 1/4 OF SAID SECTION 29, A DISTANCE OF 1574.31 FEET TO A POINT OF INTERSECTION WITH A LINE BEING PARALLEL WITH AND LYING 750.00 FEET NORTHERLY, AS MEASURED AT RIGHT ANGLES, FROM THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD 54 (F.D.O.T. SECTION NO. 14570-2521 - OFFICIAL RECORD BOOK 4110, PAGE 920 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA); THENCE N 86°05'46" E, ALONG SAID PARALLEL LINE ALSO BEING THE SOUTHERLY BOUNDARY LINE OF BALLANTRAE VILLAGE 2A, AS PER MAP OR PLAT RECORDED IN PLAT BOOK 49, PAGES 33 THROUGH 46 INCLUSIVE AND THE SOUTHERLY BOUNDARY LINE OF BALLANTRAE VILLAGE 2B, AS PER MAP OR PLAT RECORDED IN PLAT BOOK 57, PAGES 34 THROUGH 41 INCLUSIVE OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, A DISTANCE OF 1990.08 FEET TO THE SOUTHEAST CORNER OF SAID BALLANTRAE VILLAGE 2B, ALSO BEING THE WEST BOUNDARY OF THOSE LANDS DESCRIBED AS "TRACTS 7 AND 8" IN OFFICIAL RECORD BOOK 1194, PAGE 858 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; THENCE S 00°26'13" W, ALONG SAID WEST BOUNDARY, A DISTANCE OF 752.16 FEET TO A POINT OF INTERSECTION WITH THE AFOREMENTIONED NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD 54; THENCE S 86°05'46" W, ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 274.53 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S 86°05'46" W ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 160.85 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE, N 03°54'14" W, A DISTANCE OF 175.94 FEET; THENCE N 33°54'14" W, A DISTANCE OF 16.30 FEET; THENCE N 03°54'14" W, A DISTANCE OF 28.01 FEET; THENCE N 86°05'46" E, A DISTANCE OF 169.00 FEET; THENCE S 03°54'14" E, A DISTANCE OF 218.07 FEET TO THE POINT OF BEGINNING, CONTAINING 0.812 ACRES MORE OR LESS.

Source: Sketch and Legal Description prepared by DLB Surveying, Inc. for Ballantrae Parcel 6, dated 10/19/15.

## Sheet Index

No.	Description
C1	Cover Sheet
C2	Overall Site Plan
C3	Site Plan
C4	Paving, Grading and Drainage Plan
C5	Utilities Plan
C6	Construction Surface Water Management Plan
C7	Details
C8	Notes
	Landscape Plans (by Hademan Kempton and Associates)
	Irrigation Plans (by ICD Services)
	Site Lighting Plans (by BDG Architects)
	Survey (DLB Surveying, Inc.)

Date

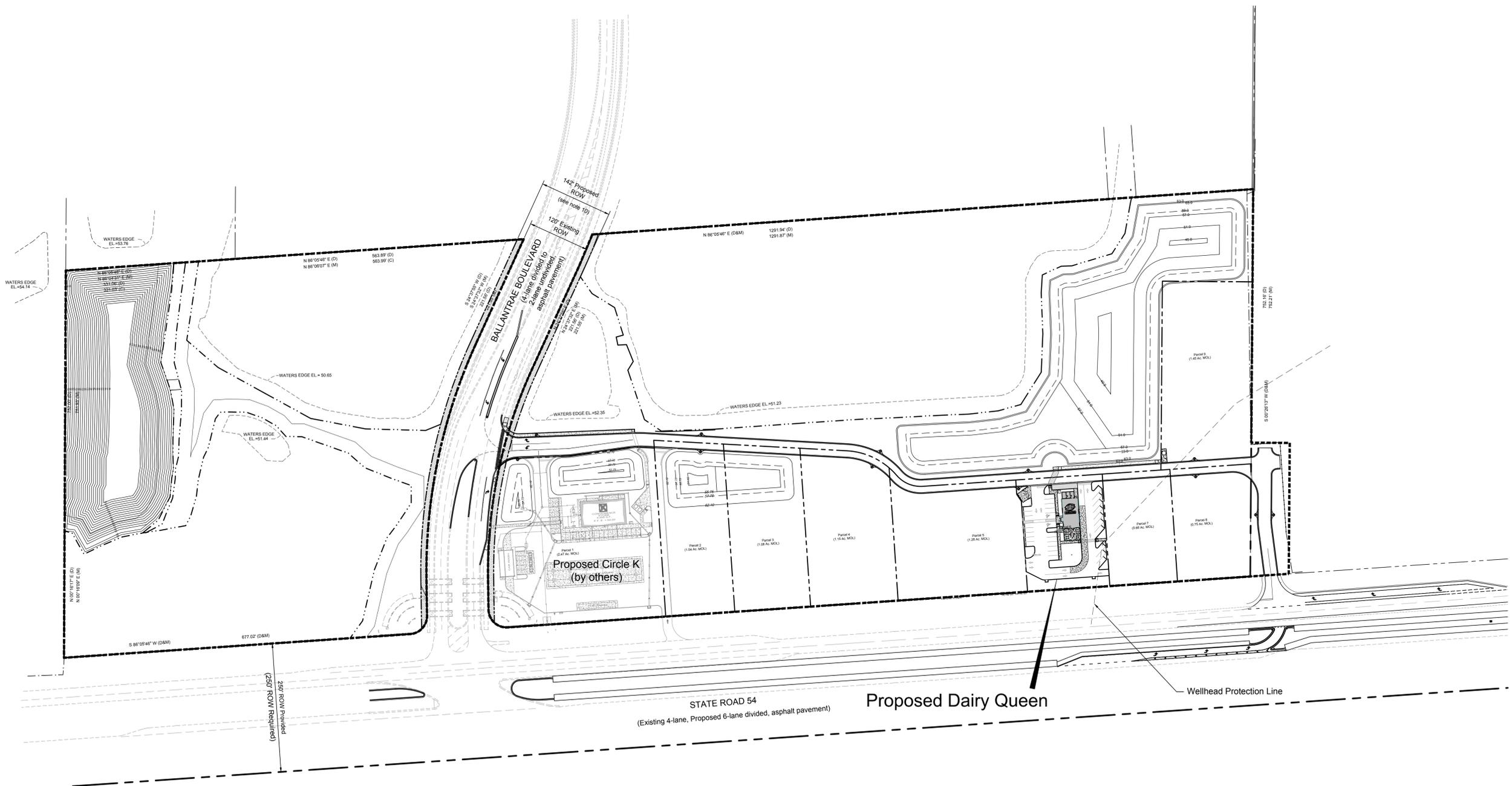
Signature:

Reviewed by  
JMG/RMO

Plan Description  
Cover Sheet

Sheet No.

C1



Subdivision Lot Table

Parcel #	Proposed Use	Proposed GFA (sq. ft.)	Remaining GFA (sq. ft.)
1	Circle K	4400	66,690
2		0	66,690
3		0	66,690
4		0	66,690
5		0	66,690
6	Dairy Queen	2220	64,470
7		0	64,470
8		0	64,470
9		0	64,470
Total =		6620	64,470

General Notes

- All proposed signs must be applied for, approved, and permitted on an individual basis apart from any ultimately-approved site plan. Approval of this site plan does not constitute approval of any signage.
- Handicap parking spaces will be properly signed and striped in accordance with Florida Statute 316, the Manual on Uniform Traffic Control Devices and FDOT Standards Index 17346.
- The engineer has designed the pedestrian improvements in accordance with the Americans with Disabilities Act.
- All on-site parking spaces, pavement arrows, stop bars and signs shall be identified per the Manual on Uniform Traffic Control Devices, latest edition. Parking spaces, directional arrows, and stop bars shall be striped in WHITE. It shall be the owner/developer's responsibility to properly sign and stripe in accordance with applicable standards.
- The owner/developer acknowledges that this approval does not include any work in the County right-of-way. All right-of-way work shall be a function of an approved Pasco Right-of-Way Use Permit.
- All clear-site areas shall be kept free of any signage, plantings, trees, etc. in excess of three-and-a-half (3-1/2) feet in height.
- No irrigation system or landscaping shall be installed in any County or State right-of-way without issuance of an appropriate Right-of-Way Use Permit.
- The owner/developer acknowledges that the site and its subsequent building permits shall comply with all rezoning/MPUD/PUD conditions.
- All structures, including buffer walls, retaining walls, signage, etc. require building permits.
- The right-of-way dedications along Ballantrae Blvd. depicted on this plan are subject to release of the landscape easements on either side of Ballantrae Blvd. by the easements' grantee. This dedication is part of the master development, is not part of these design plans, and is shown for informational purposes only.
- All existing on-site structures shall be demolished and removed via an approved haul route.
- The subject property is zoned MPUD, rezoning number ZN08-6758, approved by the Pasco County BOCC on 9-8-08.
- The subject property has been granted a variance to Sec. 618.7 of the Pasco County LDC on 4-24-08, VAC08-391.
- Internal sidewalks shall be provided within each parcel as each parcel is developed. Each parcel shall be required to provide pedestrian connectivity to its neighboring parcel(s) along the Conceptual Pedestrian Route depicted on the master development plan so that, upon build-out, a continuous pedestrian path will be achieved. The parcel specific sidewalk designs shall be designed and approved as each parcel is submitted for construction plan approval to Pasco County and shall make connection(s) to the sidewalks constructed as part of this approved plan.
- If, during construction activities, any evidence of historic resources including, but not limited to, aboriginal or historic pottery, prehistoric stone tools, bone or shell tools, historic trash pits, or historic building foundations are discovered, work shall come to an immediate stop, and Pasco County and the Florida Division of Historical Resources shall be notified within two working days.
- The applicants/developers shall immediately notify the County, Tampa Bay Water, and SWFWMD should any noticeable soil slumping or sinkhole formation become evident, and adopt one or more of the following procedures as determined to be appropriate by the County and SWFWMD:
  - If the slumping or sinkhole formation becomes evident before or during construction activities, stop all work (except for mitigation activities) in the affected area and remain stopped until the County and SWFWMD approve resuming construction activities.
  - Take immediate measures to ensure that no surface water drains into the affected areas.
  - Visually inspect the affected area.
  - Excavate and backfill or grout as required to fill the affected area and prevent further subsidence.
  - Use soil reinforcement materials in the backfilling operation, when appropriate.
  - If the affected area is in the vicinity of a water-retention area, maintain a minimum distance of two feet from the bottom of the retention pond to the surface of the limerock or karst connection.
  - If the affected area is in the vicinity of a water-retention area and the above methods do not stabilize the collapse, relocate the retention area.
  - Discharge of stormwater into depressions with direct or demonstrated hydrologic connection to the Floridan Aquifer shall be prohibited.
- Vehicle access rights shall be dedicated to Pasco County along the SR 54 side of all lots.
- All proposed improvements shall comply with Pasco County Ground Water requirements.
- The owner/developer and successors in interest acknowledge, that as long as the site is within a well head protection area, the site will be subject to LDC Section 612, Groundwater Protection requirements.
- The owner/developer and successors in interest acknowledge that for as long as the subject site is within a wellhead protection area, the site will be subject to the Land Development Code, Section 612, Wellfield Protection and conditions of approval for this preliminary/construction plan. With each Building Permit Application, all usages must be identified and an operation plan narrative submitted for review. In accordance with the approved PD/MPUD, a gas/convenience store is expressly permitted, subject to the inclusion of additional requirements such as those described in Sec. 612.5.C of the Pasco County Land Development code or as required by State regulations governing underground storage tanks for gas stations.
- Prior to the start of clearing and grubbing or any soil disturbance, contact Pasco County Stormwater Management at (727) 834-3611 for a soil erosion and sediment control pre-inspection meeting.

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Issue / Revisions

NORTH

Scale 1"=100'

Merritt's Dairy Queen at  
Shoppes of Ballantrae Village

SR 54 and Ballantrae Blvd., Land O' Lakes (unincorporated Pasco County), Florida 34638



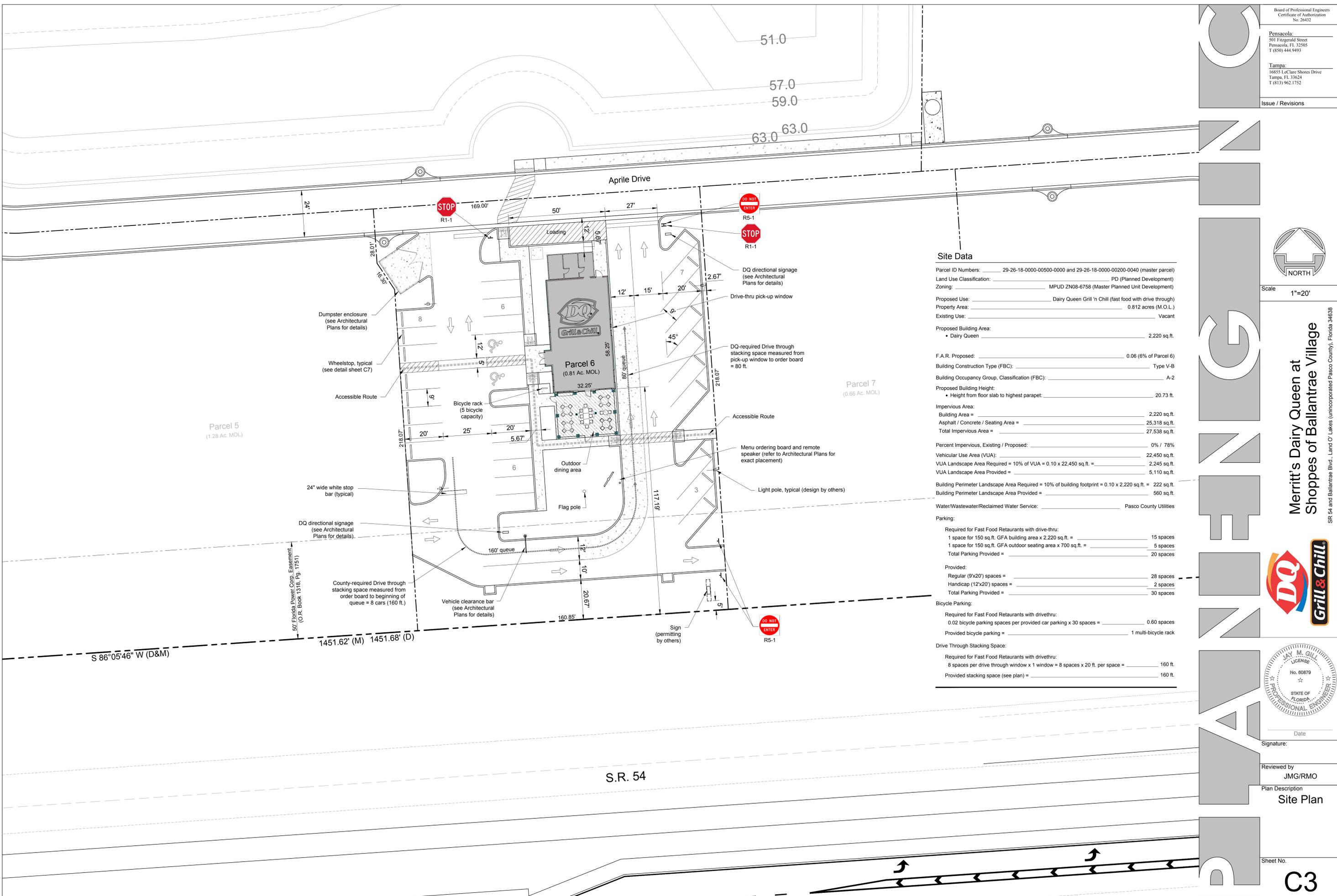
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Date \_\_\_\_\_

Reviewed by  
JMG/RMO

Plan Description  
Overall Site  
Plan

Sheet No.  
C2



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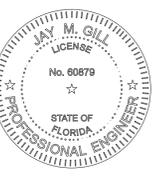
Issue / Revisions



Scale 1"=20'

**Merritt's Dairy Queen at  
Shoppes of Ballantree Village**

SR 54 and Ballantree Blvd., Land O' Lakes (unincorporated Pasco County), Florida 34638



Date \_\_\_\_\_  
Signature: \_\_\_\_\_

Reviewed by  
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Plan Description  
Site Plan

Sheet No.

**C3**

**Site Data**

Parcel ID Numbers: 29-26-18-0000-00500-0000 and 29-26-18-0000-00200-0040 (master parcel)  
 Land Use Classification: PD (Planned Development)  
 Zoning: MPUD ZN08-6758 (Master Planned Unit Development)  
 Proposed Use: Dairy Queen Grill 'n Chill (fast food with drive through)  
 Property Area: 0.812 acres (M.O.L.)  
 Existing Use: Vacant

Proposed Building Area:  
 • Dairy Queen 2,220 sq.ft.

F.A.R. Proposed: 0.06 (6% of Parcel 6)  
 Building Construction Type (FBC): Type V-B  
 Building Occupancy Group, Classification (FBC): A-2  
 Proposed Building Height:  
 • Height from floor slab to highest parapet: 20.73 ft.

Impervious Area:  
 Building Area = 2,220 sq.ft.  
 Asphalt / Concrete / Seating Area = 25,318 sq.ft.  
 Total Impervious Area = 27,538 sq.ft.

Percent Impervious, Existing / Proposed: 0% / 78%  
 Vehicular Use Area (VUA): 22,450 sq.ft.  
 VUA Landscape Area Required = 10% of VUA = 0.10 x 22,450 sq.ft. = 2,245 sq.ft.  
 VUA Landscape Area Provided = 5,110 sq.ft.

Building Perimeter Landscape Area Required = 10% of building footprint = 0.10 x 2,220 sq.ft. = 222 sq.ft.  
 Building Perimeter Landscape Area Provided = 560 sq.ft.

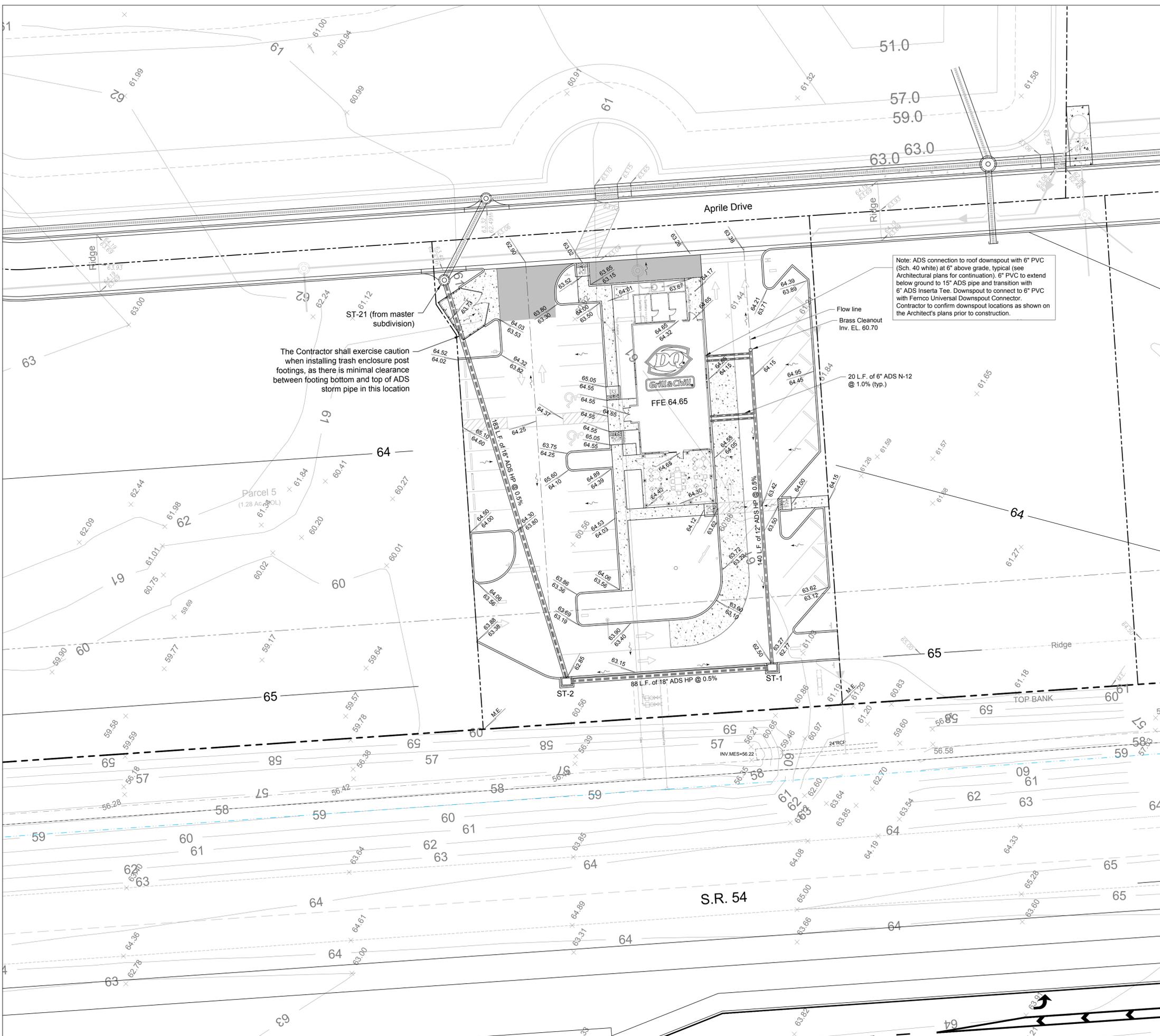
Water/Wastewater/Reclaimed Water Service: Pasco County Utilities

Parking:  
 Required for Fast Food Restaurants with drive-thru:  
 1 space for 150 sq.ft. GFA building area x 2,220 sq.ft. = 15 spaces  
 1 space for 150 sq.ft. GFA outdoor seating area x 700 sq.ft. = 5 spaces  
 Total Parking Provided = 20 spaces

Provided:  
 Regular (9'x20') spaces = 28 spaces  
 Handicap (12'x20') spaces = 2 spaces  
 Total Parking Provided = 30 spaces

Bicycle Parking:  
 Required for Fast Food Restaurants with drive-thru:  
 0.02 bicycle parking spaces per provided car parking x 30 spaces = 0.60 spaces  
 Provided bicycle parking = 1 multi-bicycle rack

Drive Through Stacking Space:  
 Required for Fast Food Restaurants with drive-thru:  
 8 spaces per drive through window x 1 window = 8 spaces x 20 ft. per space = 160 ft.  
 Provided stacking space (see plan) = 160 ft.

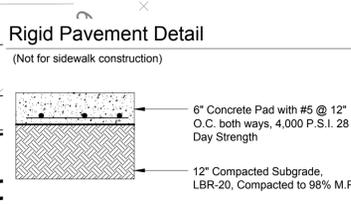
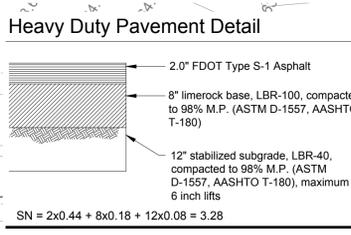
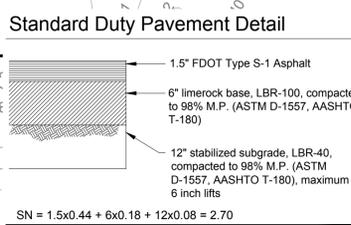


- ### Legend
- Standard Duty Pavement
  - Heavy Duty Pavement
  - Rigid pavement / concrete sidewalk
  - Existing elevation
  - Existing contour
  - 64 Proposed master development contour
  - 65.05 Proposed top of curb, top of sidewalk or building entry elevation
  - 64.55 Proposed pavement elevation
  - 65.05 Master development grades
  - Proposed Flow direction indicator
  - M.E. Match Existing Grade
  - Proposed FDOT Type "D" curb
  - Proposed FDOT Type "F" curb

Note: Elevations reference the NGVD29 datum (per Berry Land Surveying Inc. Boundary, Topographic and Tree Survey dated 7/2/07). Per David Barry (reference correspondence on 1/18/15, the datum conversion to NAVD88 is minus 0.83' (e.g. in NAVD88 all elevations on this plan would be 0.83' lower than what is depicted).

### Storm Structure Table

<b>ST-1</b>	FDOT Type "D" Inlet
Top EL.	(See plan)
W. Inv. EL.	59.07
N. Inv. EL.	60.00
<b>ST-2</b>	FDOT Type "D" Inlet
Top EL.	(See plan)
NW. Inv. EL.	58.53
E. Inv. EL.	58.63
<b>ST-21</b>	(From Master Subdivision)
Top EL.	(See master plan)
NE. Inv. EL.	57.51
SE. Inv. EL.	57.61



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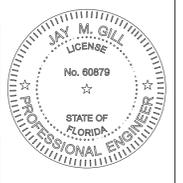
Issue / Revisions

Scale 1"=20'

NORTH

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Signature:

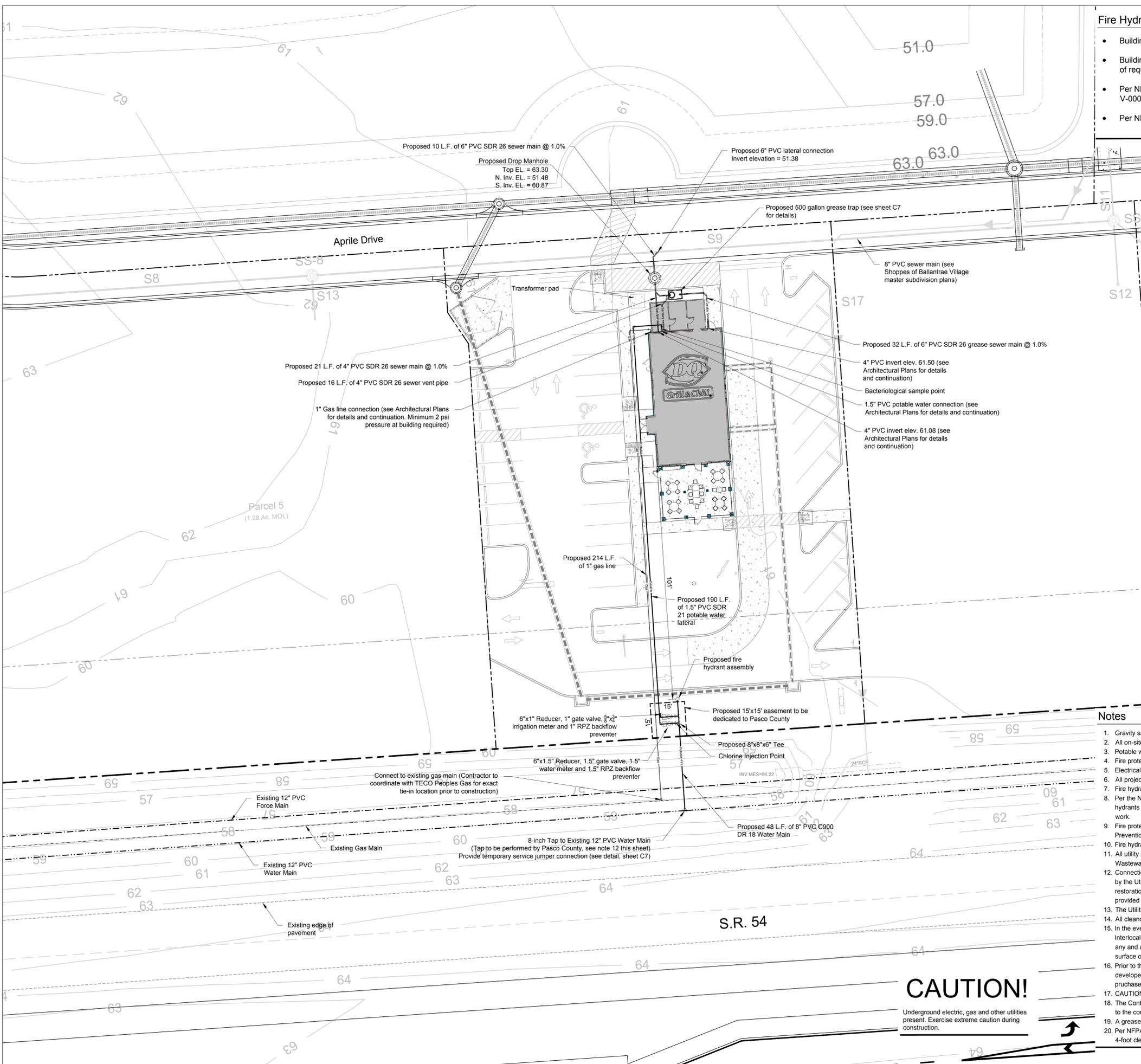
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Plan Description  
Paving,  
Grading and  
Drainage Plan

Sheet No.

C4

2015-0229PAScom.DQ PGD.dwg  
CAD date 1/19/2016



**Fire Hydrant Calculations**

- Building Type (IBC/IFC): Type V-B
- Building will not be sprinklered, thus per NFPA 18.4.5.2.1 there is no reduction of required fire flow allowed.
- Per NFPA Table 18.4.5.1.2, a 2,220 sq.ft. building with Type V-B (or Type V-000 per NFPA) requires a fire flow of 1,500 gpm for a duration of 2 hours.
- Per NFPA Annex I Table I.3, one fire hydrant is required (one provided).

**Utilities Data Sheet**

PASCO COUNTY UTILITIES DATA SHEET FOR SIZING WATER METERS  
 Customer: Merritt's Dairy Queen at Shoppes of Ballantree Village

Fixture	Value at 35 psi	No. of Fixtures	Value
Bathroom	8	x	=
Bedroom	10	x	=
Combination Sink & Tray	3	x	=
Dental Unit	1	x	=
Dental Lavatory	2	x	=
Drinking Fountain - Cooler	1	x	=
Drinking Fountain - Public	2	x	=
Kitchen Sink - 1/2" connection	7	x 3	= 21
Lavatory - 3/8" connection	2	x	=
Laundry Tray - 1/2" connection	4	x 6	= 24
Shower head (shower only) - 3/4" connection	7	x	=
Service Sink - 1/2" connection	3	x	=
Urinal - Pedestal Flush Valve - 3/4" connection	10	x 1	= 7
Wall Flush Valve - Through (2 R. Unit)	10	x	=
Wash Sink (each set of fixtures) - Flush Valve	4	x 1	= 4
Water Closet - Tank Type	10	x 2	= 20
Dishwasher - 1/2" connection	5	x	=
Washing Machine - 1/2" connection	10	x	=
House (50 B.) - 1/2" connection	6	x 2	= 20
House (50 B.) - 3/4" connection	9	x	=
House (50 B.) - 1" connection	12	x	=
<b>Combined Fixture Value Total</b>			<b>= 96</b>
Customer Peak Demand from Curves			<b>= 59</b> gpm
Enter Line Pressure and Pressure Factor			
Customer Peak Demand from Curves X Pressure Factor			

Page 3 of 7 Pages

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PASCO COUNTY UTILITIES DATA SHEET FOR SIZING WATER METERS  
 Customer: Merritt's Dairy Queen at Shoppes of Ballantree Village

Additional Equipment Peak Usage (gpm)	
1.	= 0
2.	=
3.	=
4.	=
5.	=
6.	=
7.	=
8.	=
9.	=
10.	=
<b>Total of Additional Units</b>	<b>= 0</b> gpm
Irrigation Largest Zone or Combination of Zones	= 16 gpm
<b>TOTAL OF CUSTOMER USAGE, EQUIPMENT &amp; IRRIGATION</b>	<b>= 66</b> gpm

Page 4 of 7 Pages

**Notes**

- Gravity sanitary sewer pipe shall be PVC SDR-35 unless otherwise noted.
- All on-site water and sewer facilities shall be owned and maintained by the owner/developer.
- Potable water and sanitary sewer service shall be provided by Pasco County.
- Fire protection shall be provided via hydrants and/or building sprinkler systems.
- Electrical service shall be provided by Progress Energy.
- All projects must comply with Pasco County Fire Hydrant Ordinance 46-51.
- Fire hydrants shall be installed and in service prior to the accumulation of combustibles.
- Per the National Fire Protection Association, NFPA-1, 16.4.3.1.3: Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to construction work.
- Fire protection shall meet the requirements of the Pasco County Code of Ordinances, Chapter 46, Fire Prevention and Protection, and plans shall comply with referenced requirements.
- Fire hydrants shall be flow tested and color coded based on flow results.
- All utility material and workmanship shall comply with "Standards for Design and Construction of Water, Wastewater, and Reclaimed Water Facilities Specifications", June 1995 Edition.
- Connections into an existing County-owned system shall be via wet tap. Wet taps shall be performed by the Utilities Services Branch at the developer's expense. Excavation, backfill, and surface restoration shall be the contractor's responsibility. Material for wet taps larger than two inches shall be provided and installed by the project contractor.
- The Utilities Services Branch shall not own or maintain water and sewer lines or facilities on site.
- All cleanouts shall be brass.
- In the event of production failure or shortfall by Tampa Bay Water, as set forth in Section 3.19 of the Interlocal Agreement creating Tampa Bay Water, the developer/owner shall transfer to Pasco County any and all Water use Permits or water-use rights the developer/owner may have to use or consume surface or ground water within Pasco County.
- Prior to the developer/owner selling water, Water Use Permits, or water-use rights, the developer/owner shall notify Pasco County, and Pasco County shall have a right of first refusal to purchase such water, Water Use Permits, or water-use rights.
- CAUTION! Underground utilities present - contractor to exercise extreme caution when excavating.
- The Contractor shall contact FDOT Brooksville Maintenance office (Ph. 352-848-2600) 48 hours prior to the commencement of any utility construction within the SR 54 right-of-way.
- A grease trap shall be installed as shown.
- Per NFPA-1, 18.3.4.1: Clearances of 7-1/2 feet in front of and to the sides of the fire hydrant with a 4-foot clearance to the rear must be maintained at all times.

**CAUTION!**  
 Underground electric, gas and other utilities present. Exercise extreme caution during construction.

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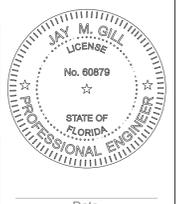
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Scale 1"=20'

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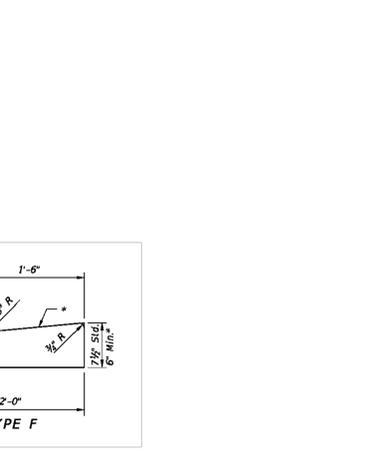
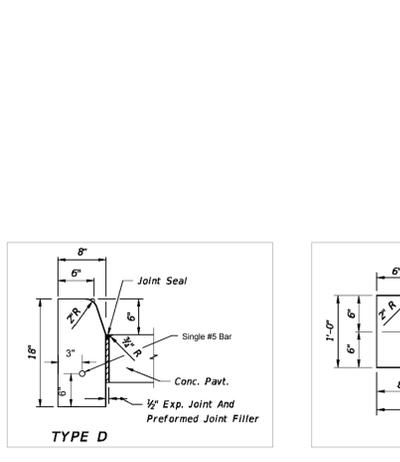
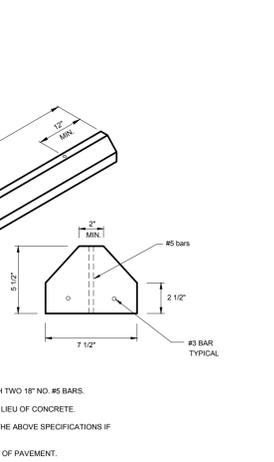
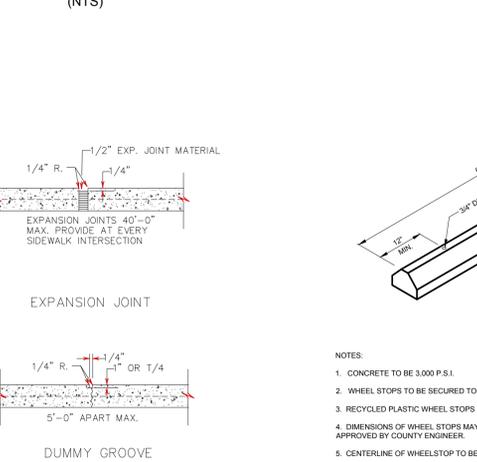
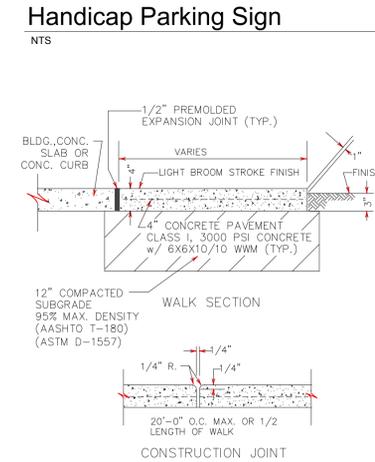
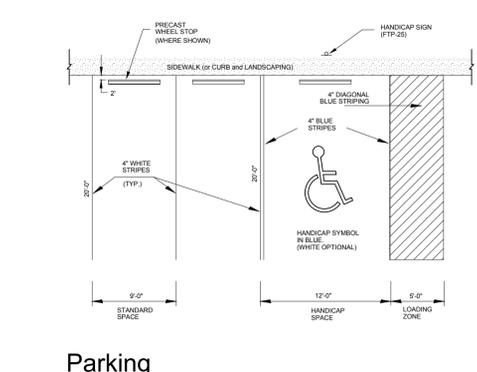
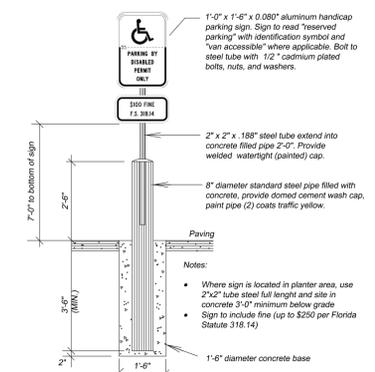
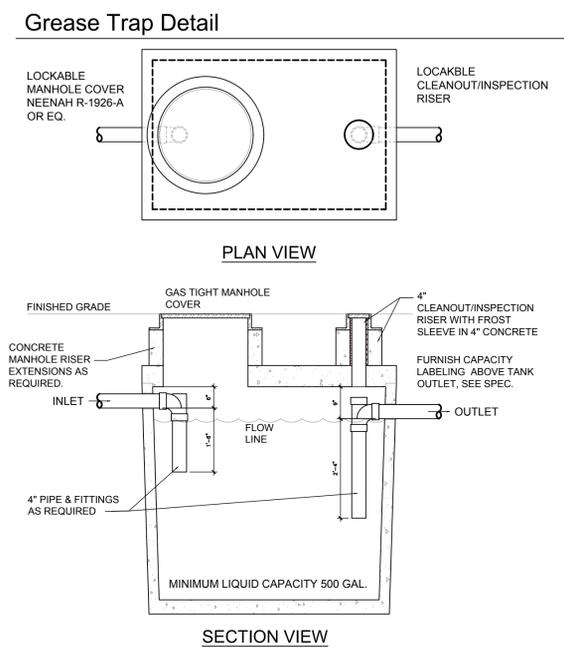
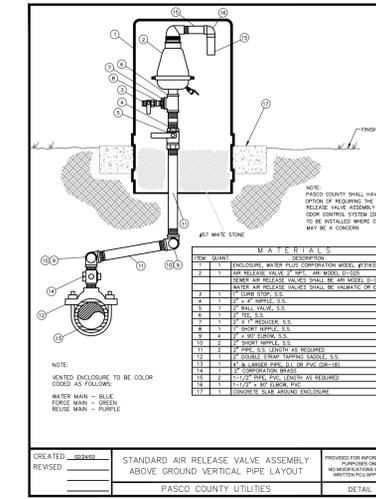
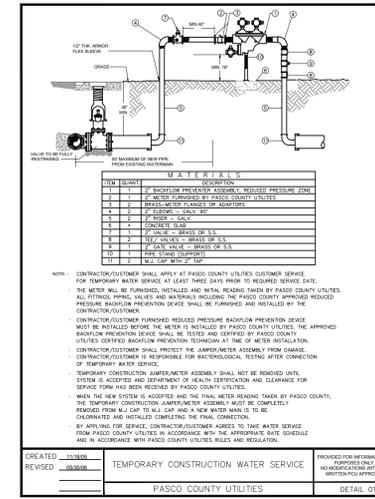
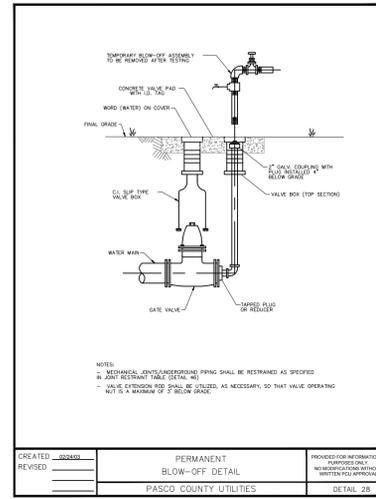
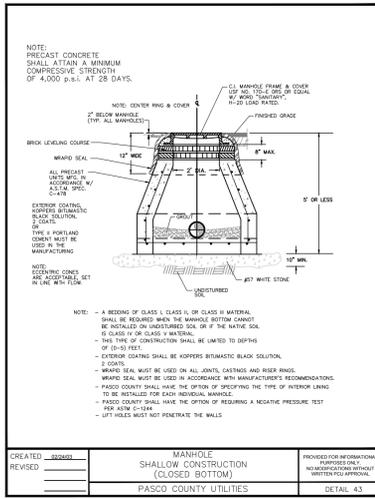
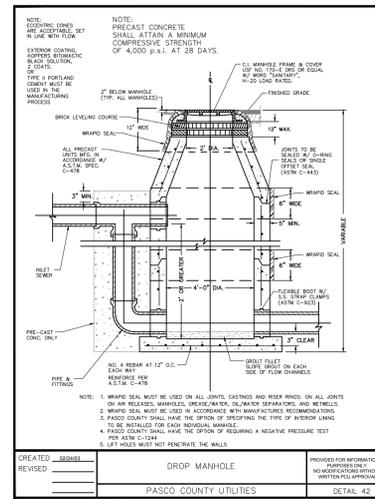
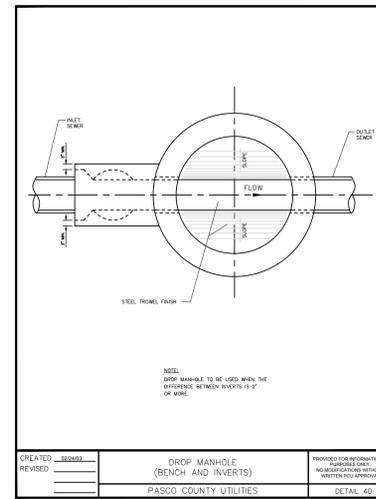
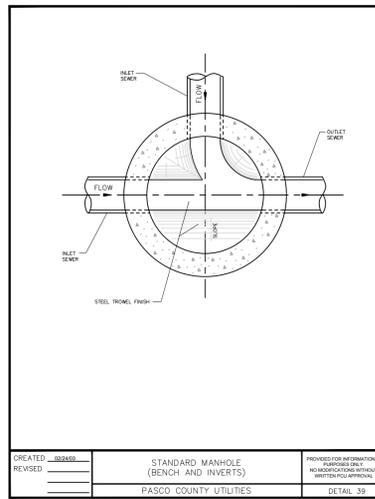
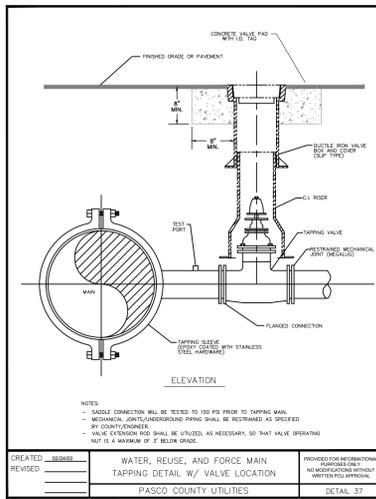
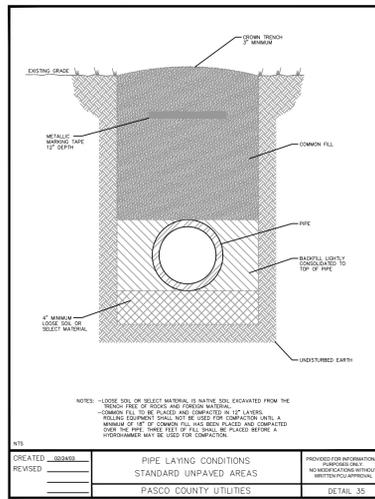
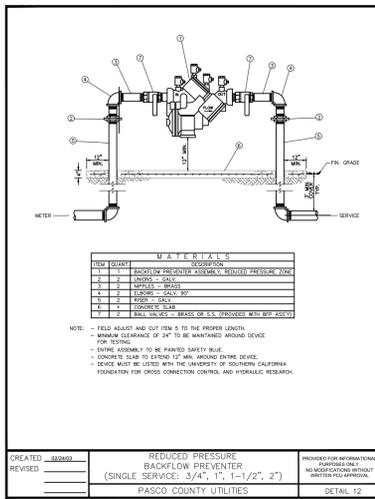
SR 54 and Ballantree Blvd., Land O' Lakes (unincorporated Pasco County), Florida 34638



Date \_\_\_\_\_  
 Signature: \_\_\_\_\_  
 Reviewed by JMG/RMO  
 Plan Description Utilities Plan

Sheet No. C5





Board of Professional Engineers  
Certificate of Authorization  
No. 26432

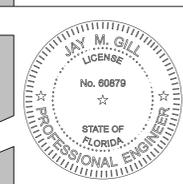
Pensacola:  
501 Fitzgerald Street  
Pensacola, FL 32505  
T (850) 444-9493

Tampa:  
16855 LeClare Shores Drive  
Tampa, FL 33624  
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Issue / Revisions

Merritt's Dairy Queen at  
Shoppes of Ballantree Village

SR 54 and Ballantree Blvd., Land O' Lakes (unincorporated Pasco County), Florida 34638



Date

Signature: \_\_\_\_\_

Reviewed by: JMG/RMO

Plan Description: Details Sheet

Sheet No. C7

## General Notes

- Surveys, legal descriptions, easements, boundaries, topographic contours, cross sections, existing street rights-of-way, and existing improvements and other horizontal and vertical land surveying information has been furnished to the Engineer by others. The Engineer assumes no responsibility for their completeness, correctness, or accuracy.
- The Contractor shall protect all utilities and other improvements shown on these plans and all other utilities and other improvements not shown. The Contractor shall assume all responsibility for repairs of utilities and other improvements damaged during construction. The Contractor shall maintain sufficient protection to all utilities required to protect them from damage and to protect the public during construction. Any damage done to existing utilities shall be repaired by the contractor (at no additional expense) to a condition equal to or better than before the damage was done.
- Plans and specifications require that compacted back fill be placed alongside of and over all utilities. The Engineer may require that compaction tests be taken to verify compaction. The costs of such compaction tests will be borne by the Contractor.
- The Contractor shall notify the Engineer at least 48 hours before beginning construction.
- All construction and workmanship shall be in accordance with applicable portions of the Florida Department of Transportation's "Standard Specifications for Road and Bridge Construction", and "Roadway and Traffic Design Standards", and applicable Pasco County standards.
- Relocation of existing street light poles, power or telephone poles, existing utilities, irrigation systems, sidewalks, etc., necessary for completion of the work are the responsibility of the Contractor.
- Prior to construction, the Contractor shall obtain from the Engineer or Owner, a copy of all pertinent permits related to this project. It shall be the Contractor's responsibility to ensure that all construction activities are in compliance with the conditions of all permits and approvals. It shall be the Contractor's responsibility to verify that all required permits have been secured to complete the work depicted in these plans. A copy of all permits shall be kept on site at all times during construction.
- It shall be the Contractor's responsibility to schedule all inspections and testing times (48 hours in advance) with the Engineer, and to supply the results of all water line tests to the Engineer.
- All handicapped signage and ramp features shall conform to the Florida Accessibility Code for Building Construction (latest edition thereof) and the Americans with Disabilities Act.
- The Contractor shall stop work and contact the Engineer immediately upon any conflict arising during construction of any improvements shown on these drawings.
- It shall be the Contractor's responsibility to perform all necessary construction staking required to install the improvements shown on these drawings. Horizontal and vertical controls are shown on the boundary and topographic survey. Horizontal control shall be via an electronic file provided to the Contractor or his Surveyor. All documents, including original drawings, field notes, data and report originals are and shall remain the property of Planeng, Inc. as an instrument of service. If so requested in writing, the Contractor will be provided with reproducible drawings and other documents in consideration of which the Contractor agrees to use them without alteration solely in connection with the project.
- The Engineer shall be consulted to make any/all required interpretations of the plans; however, this in no way relieves the Contractor of his responsibility for constructing the project to accomplish the intent of the plans.
- Contractor to provide all warning signals, signs, lights, barricades, and flagman as required by applicable City, County or State regulations for construction adjacent to, or in public right-of-way.
- The Contractor shall notify the local Police Department and the local Fire Department before closing any street or making it impassable.
- Site preparation and fill placement shall be performed in accordance with the recommendations and procedures specified in the geotechnical report prepared by Mortensen Engineering, Inc., Proj. No. 08-10-06999, dated 5-28-08, including unsuitable soil remediation. Construction of the proposed improvements shall also be in accordance with the recommendations and procedures for geological hazards specified in PSI's August 2009 geotechnical report.
- It is suggested that the Contractor verify grading elevations prior to sodding or paving. Failure of adequate grading may result in resodding, regrading, and repaving if finished grades are incorrect. All proposed elevations are finished grades. As-built elevations and dimensions shall be certified by a professional Land Surveyor registered in the State of Florida.
- All onsite labor, materials and methods of installation shall be in accordance with the minimum engineering and construction standards adopted by Pasco County. All work performed in the FDOT right-of-way to be performed in accordance with FDOT Standards.
- Refer to architectural drawings for specifications of fill material underneath building pads, footers and etc.
- All private and public property affected by this work shall be restored to a condition equal to or better than existed before commencing construction unless specifically exempted by the plans.
- Prior to construction, a building permit shall be obtained for all structures that have a footer (regardless of size) through Pasco County Central Permitting including (but not limited to) buildings, accessories and retaining walls.
- All demolition debris shall be removed from the site and legally disposed of.
- Fugitive dust shall be controlled by a water pumper truck on a regular basis during construction activities.

## Operation & Maintenance Instructions for Stormwater Management System

- If dewatering is required during construction, outflowing water shall be filtered through two layers of hay bales.
- Erosion and sediment control measures shall be in place prior to the start of construction, remain in place through construction and remain until the site is permanently stabilized.
- Inlet structures, pipes and stormwater basins shall be inspected for siltation accumulation every six months (minimum). Accumulated silt (greater than 3 inches) shall be removed.
- It is the owner's responsibility to inspect and maintain the stormwater system on a regular basis.

## Storm Sewer Notes

- Reinforced concrete pipe shall be Type IV (unless otherwise shown) and shall conform to the ASTM C76-72 Specification. Provide bell and spigot type pipe with a single O-ring and gasket.
- Inlet structures shall be of precast reinforced concrete and shall conform to the Florida Department of Transportation "Roadway and Traffic Design Standards".
- All storm inlets in traffic areas shall have grate angle seats for traffic bearing capacity.
- All storm inlets in traffic areas shall have grate angle seats for traffic bearing capacity.

## Utility Notes

- Existing above ground utility locations shown are based on survey information prepared by Berry Land Surveying, project number 2726. It is the contractor's responsibility to verify the elevations and locations and report any conflicts and/or discrepancies [greater than one (1) ft. horizontally or one tenth of a foot (0.10') vertically] to the Engineer so that he may make any necessary revisions. The Contractor shall locate and expose all existing utilities to be connected sufficiently ahead of construction to allow redesign by the Engineer if such utilities are found to be different than shown on these plans.
- Locations of all existing utilities shown on the plans have been determined from the best information available and are given for the convenience of the Contractor. The Engineer assumes no responsibility for their accuracy. Prior to any start of construction activity, it shall be the Contractor's responsibility to call SUNSHINE and to notify various utilities to make necessary arrangement to any relocation of these utilities with the owner of the utility. The Contractor shall exercise caution when crossing the underground utilities, whether shown on the plans or located by the utility company. All utilities which interfere with the proposed construction shall be relocated by the respective utility company and the Contractor shall cooperate with them during relocation operations.
- Contractor to make provisions to avoid tracking dirt and construction debris to roadway via truck and equipment tires.
- Methods of controlling fugitive dust to be in accordance with F.D.O.T. standards.
- Erosion and sedimentation control to remain in place until all site construction has been completed and approved by the appropriate regulatory agencies.
- The Contractor shall coordinate with Progress Energy for size and location of electrical service components.
- The Contractor shall coordinate with Verizon for telephone service.
- All on-site potable water lines shall be hydrostatically tested and shall not exceed the leakage requirements per ANSI/AWWA specifications of C600-93 in accordance with the following leakage formula:

$$L = \frac{SD P^{1/2}}{133,200}$$

Where  
 L = Allowable leakage in gph  
 D = Nominal pipe diameter in inches  
 S = Length of pipe in feet  
 P = Average test pressure in psi

### WATER LINE PRESSURE TEST PROCEDURE:

- Tests shall be conducted at 150 psi (Min.) for two hours except for fire lines, which shall be conducted at 200 psi (Min.).
- Contractor shall pretest lines prior to calling Engineer to witness test.
- Pump-up point and blow-off point shall be located at opposite ends of the line being tested.
- The Contractor shall pump-up each line to be tested individually and leave pump connected to line. Pump shall be connected to open drum or bucket. During pump-up, the Contractor shall leave the blow-off valve open until water flows from valve under pressure of pump. Contractor shall then begin closing blow-off valve SLOWLY to minimize trapped air. DISCONNECTION OF PUMP FROM PUMP-UP POINT PRIOR TO COMPLETION OF TEST WILL VOID TEST.
- Leakage volumes will be calculated from open drum or bucket only.
- All costs associated with retesting/reinspection shall be borne by the General Contractor. Minimum charge for each retest/reinspection shall be \$400.00. Charge shall be paid to Planeng, Inc. prior to any retesting/reinspection.

- All new water mains shall be disinfected in accordance with AWWA Standard C651 and Rule 62-555.345, F.A.C.

Sanitary sewers, force mains, and storm sewers should always cross under water mains. Sanitary sewers, force mains and storm sewers crossing water mains shall be laid to provide a minimum vertical distance of 18 inches between the invert of the upper pipe and the crown of the lower pipe whenever possible.

Where sanitary sewers, force mains and storm sewers must cross a water main with less than 18 inches vertical distance, both the sewer and the water main shall be constructed of ductile iron pipe (DIP) at the crossing. (DIP is not required for storm sewers if it is not available in the size proposed.) Sufficient lengths of DIP must be used to provide a minimum separation of 10 feet between any two joints. All joints on the water main within 20 feet of the crossing must be leak free, and mechanically restrained. A minimum vertical clearance of 6 inches must be maintained at the crossing.

Where there is no alternative to sewer pipes crossing over the water main, the criteria for minimum separation of 18 inches between lines and 10 feet between joints shall be required.

All crossings shall be arranged so that the sewer pipe joints and the water main pipe joints are equidistant from the point of crossing (pipes centered on the crossing).

Where a new pipe conflicts with an existing pipe, the new pipe shall be constructed of DIP and the crossing shall be arranged to meet the requirements above.

A minimum 10 foot horizontal separation shall be maintained between any type of sewer and water main in parallel installations whenever possible.

In cases where it is not possible to maintain a 10 foot horizontal separation, the water main must be laid in a separate trench or on an undisturbed earth shelf located on one side of the sewer or force main at such an elevation that the bottom of the water main is at least 18 inches above the top of the sewer.

Where it is not possible to maintain a vertical distance of 18 inches in parallel installations, the water main shall be constructed of DIP and the sewer or the force main shall be constructed of DIP (if available in the size proposed) with a minimum vertical distance of 6 inches. The water main should always be above the sewer. Joints on the water main shall be located as far apart as possible from joints on the sewer or force main (staggered joints).

Water mains and service lines shall have three feet of cover over the tops of pipes.

## Utility Notes (cont.)

- Contractor shall install all lines such that the bells of pipes do not coincide with pipe crossings.
- Backflow prevention assemblies/devices shall be provided in accordance with Rule 62-555.360, F.A.C., and the AWWA's manual M14, "Recommended Practice for Backflow Prevention and Cross-Connection Control".
- All new water services and plumbing shall be in conformance with the State plumbing code, fire & building codes (including portion of potable & fire lines from the check valves to the building) and contain no more than eight (8) percent lead. All solder and flux shall contain no more than 0.2 percent lead.
- All new water main pipe, valves, fittings, and fire hydrants shall be in conformance with applicable AWWA standards and shall contain no more than eight percent lead. All packing and joint materials used shall be in conformance with applicable AWWA standards.
- All backflow prevention assemblies will be installed in accordance with the manufacturer's installation instructions and the following requirements:
  - Pipe lines should be thoroughly flushed to remove foreign material and debris before installing the assembly.
  - If not already provided, shutoff valves should be installed at each end of the assembly for testing and servicing purposes. Only resilient type shutoff valves (ball valves, resilient wedge/seal gate valves, etc.) will be accepted on backflow prevention assemblies in accordance with national standards.
  - The assembly should be placed in the horizontal position unless otherwise specified by manufacturer's instructions.
  - The assembly should always be installed in an accessible location to facilitate testing and servicing.
  - The assembly should be installed at least 18 inches above ground or maximum flood level, whichever is highest, in order to prevent any part of the assembly from becoming submerged.
  - Assemblies installed in modified pits should have at least 2 feet of clearance on each side of the assembly to facilitate testing and servicing. Adequate drainage should be provided.
  - The relief valve should never be plugged or solidly piped into the drainage ditch, sewer, or pump. The relief valve discharge pipe should be terminated a minimum of 12 inches above ground or maximum flood level and located so it is clearly visible and accessible.
  - The assembly should be adequately supported to prevent it from sagging.
  - The assembly should be approved by or meet the standards of the SBCC Standards Plumbing Code (ASSE Standard #1013) or AWWA Standard #C506-78.
- All PVC water lines shall be wrapped with a #12 tracer wire & stubbed at each end in accordance with County requirements.
- All proposed 8" PVC sanitary sewer lines shall be SDR26 PVC (green) and installed by a licensed underground utility contractor. The lines will need to be lamped.
- All 6" PVC sanitary sewer lines shall be Schedule 40 PVC & installed by a licensed plumber.
- Any onsite wells shall be capped per SWFWMD standards.
- Fire hydrants must be flow tested and color coded based on flow results.

## Testing Schedule Guide

ITEM	TEST	TEST IDENTIFICATION	TEST REQUIREMENT	TEST FREQUENCY
EMBANKMENT	MAXIMUM DENSITY	AASHTO T180	N/A	PER SOIL TYPE
	OPTIMUM MOISTURE FIELD DENSITY	ASTM D1557 AASHTO T191, T204, T238 ASTM D1556, D2937, D2922	90% OF MAXIMUM DENSITY	ONE PER 500 L.F. HORIZONTALLY ALTERNATING LIFTS (1 FT)
BACKFILL OF STRUCTURES	MAXIMUM DENSITY	AASHTO T180	N/A	PER SOIL TYPE
	OPTIMUM MOISTURE FIELD DENSITY	ASTM D1557 AASHTO T191, T204, T238 ASTM D1556, D2937, D2922	90% OF MAXIMUM DENSITY	EVERY 2' VERTICALLY
ROADWAY SUBGRADE	BEARING VALUES	LRB-FLA, D.O.T.	LRB-40 MIN	ONE PER SOIL TYPE CHECK POINT LRB AT 500 L.F. HORIZONTALLY ONE PER SOIL TYPE ONE PER 500 L.F. HORIZONTALLY
BUILDING PADS	MAXIMUM DENSITY	AASHTO T180	N/A	PER BUILDING PAD
	OPTIMUM MOISTURE FIELD DENSITY	ASTM D1557 AASHTO T191, T204, T238 ASTM D1556, D2937, D2922	90% OF MAXIMUM DENSITY	AS DIRECTED BY SOILS ENGINEER
ROADWAY BASE	BEARING VALUES	LRB-FLA, D.O.T.	100% LRB-FLA, D.O.T.	ONE PER SOURCE OR AS MATERIAL CHANGES OK. PT. LRB AT 500 L.F. HORIZONTALLY ONE PER SOURCE
	MAXIMUM DENSITY	AASHTO T180	N/A	ONE PER 500 L.F. HORIZONTALLY
	OPTIMUM MOISTURE FIELD DENSITY, GRADATION	ASTM D1557, T238 AASHTO T191, T204, T238 ASTM D1556, D2922	90% OF MAXIMUM DENSITY PER SPECIFICATIONS	ONE PER 500 L.F. HORIZONTALLY ONE PER SOURCE
SOL CEMENT BASE*	MIX DESIGN	PORTLAND CEMENT ASSOC. SPECIFICATIONS AASHTO T134	PER SPECIFICATIONS	ONE PER SOIL TYPE
	MAXIMUM DENSITY	(STANDARD)	N/A	ONE PER SOIL TYPE DAILY
	OPTIMUM MOISTURE, COMPRESSIVE STRENGTH SPECIMENS TEST CORES	PORTLAND CEMENT ASSOC. SPECIFICATIONS	300 PSI AT 7 DAYS	ONE SET PER SOIL TYPE DAILY
	FIELD DENSITY & THICKNESS	AASHTO T191, T238 ASTM D1556, D2922	90% OF MAXIMUM DENSITY	ONE SET OF 3 CORES PER COMPRESSIVE STRENGTH SPECIMENS ONE PER 500 L.F. HORIZONTALLY
ASPHALTIC CONCRETE	MATERIALS QUALITY	AASHTO T164, T30 ASTM D2172 ASTM D02950-81	PER SPECIFICATIONS 90% OF LAB DENSITY	PER PER DAY ONE PER 500 L.F. HORIZONTALLY
CURB & ROADWAY CONCRETE	SLUMP TEST	AASHTO T119-82 ASTM C143	PER SPECIFICATIONS PER SPECIFICATIONS	AS DEEMED NECESSARY BY SOILS ENGINEER. TESTS MAY BE RUN BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. ONE SET OF 3 CYLINDERS FOR 50 CUBIC YARD OF FRACTION THEREOF PER DAY INCLUDES ONE SLUMP TEST

\* CONTRACTOR SHALL NOT PAVE OVER SOL CEMENT BASE UNTIL A 30 DAY CURING TIME HAS ELAPSED.  
 \*\* TEST SPECIFICATIONS & FREQUENCY MAY BE ALTERED BY THE SOILS ENGINEER.

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 No. 26432

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Issue / Revisions

Merritt's Dairy Queen at  
 Shoppes of Ballantree Village

SR 54 and Ballantree Blvd., Land O' Lakes (unincorporated Pasco County), Florida 34638



Date

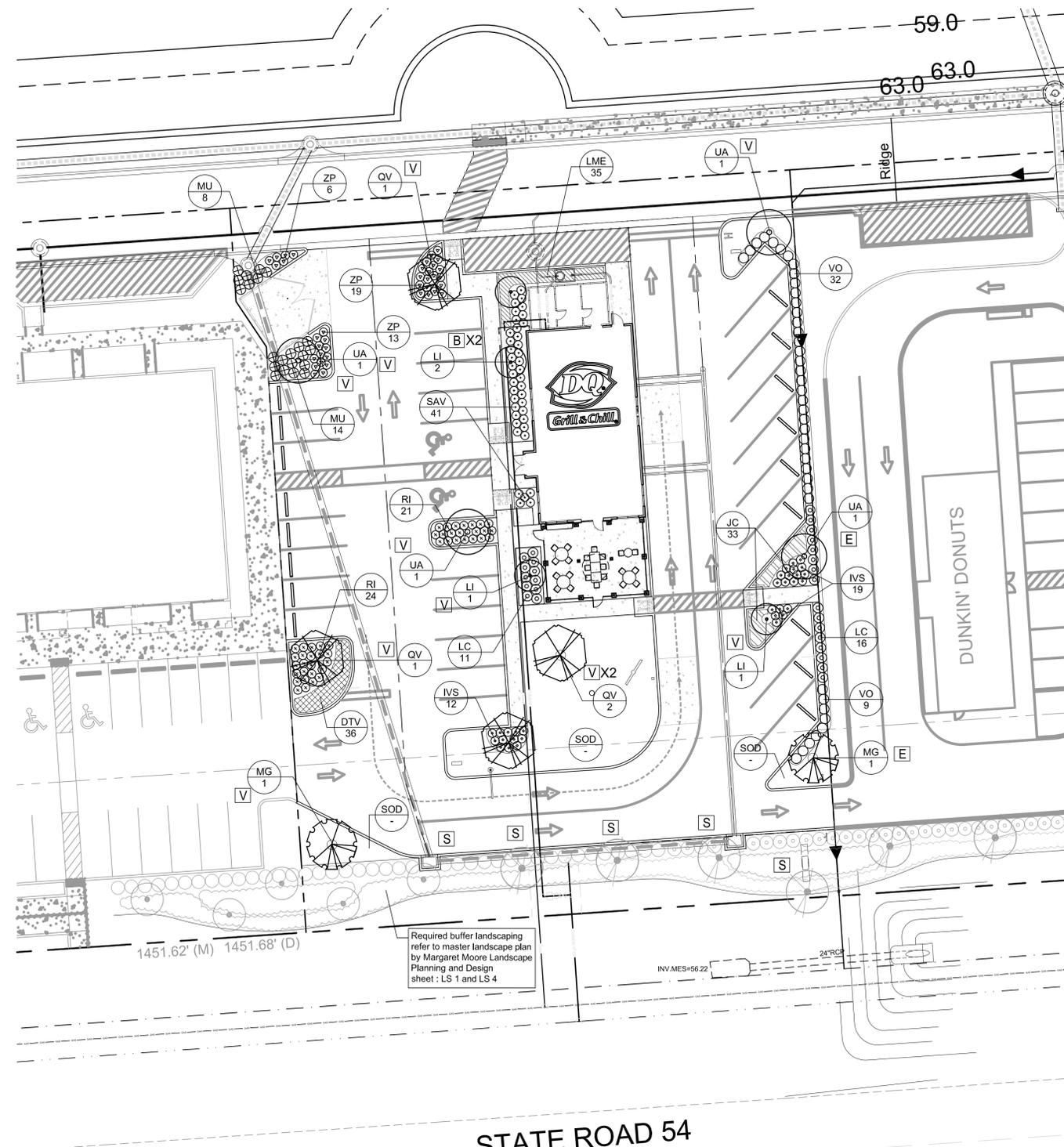
Signature:

Reviewed by  
 JMG/RMO

Plan Description  
 Notes Sheet

Sheet No.

C8



**LANDSCAPE MATERIALS LIST**

**SHADE TREES** Different species each 5 trees (UP TO 8 SPECIES MIN. WITH 40 TREES)

Symbol	No	Scientific Name	Common Name	Size Requirements	Native Florida	Drought Tolerant
LI	4	Lagerstroemia indica 'Natchez'	Crape Myrtle	B/B, min. 9" oah X 4" spr, 2" caliper, std.	NO	YES
MG	2	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	B/B, min. 8" oah X 4" spr, 2" caliper	YES	YES
QV	4	Quercus virginiana	Live Oak	B/B, min. 8" oah X 4" spr, 2" caliper	YES	YES
UA	4	Ulmus alata	Winged Elm	B/B, min. 10" oah X 4" spr, 2" caliper	YES	YES

Palm may be substituted, 3 palms for 1 shade tree, max. 30% Clusters of 3' - 8' on center

**SHRUBS** MAX 25% EACH SPECIES BY QUANTITY (= MIN. 4 SPECIES)

Symbol	No	Scientific Name	Common Name	Size Requirements	Native Florida	Drought Tolerant
IVS	31	Ilex vomitoria 'Schillings'	Schillings Holly	min. 3 gallon, 14" ht. 30" o.c.	YES	YES
LC	27	Loropetalum chinense	Loropetalum	min. 3 gallon, 24" ht. 36" o.c.	NO	YES
RI	45	Raphiolepis indica	Indian Hawthorn	min. 3 gallon, 14" ht. 30" o.c.	NO	YES
SAV	41	Schefflera arbolosa 'Variegata'	Variegated Dwarf Schefflera	min. 3 gallon, 24" ht. 36" o.c.	NO	YES
VO	41	Viburnum obovatum	Walter's Viburnum	min. 3 gallon, 24" ht. 36" o.c.	YES	YES

Max. 30% of required landscaped area may be grassed

**GROUNDCOVER** MAX 25% EACH SPECIES BY QUANTITY (= MIN. 4 SPECIES)

Symbol	No	Scientific Name	Common Name	Size Requirements	Native Florida	Drought Tolerant
DTV	36	Dianella tasmanica	Variegated Flax Lily	min. 1 gallon, @ 24" o.c.	NO	YES
JC	33	Juniperus chinensis 'Parsonii'	Parson's Juniper	min. 1 gallon, @ 24" o.c.	NO	YES
LME	35	Liriope muscari 'Emerald Goddess'	Emerald Goddess Liriope	min. 1 gallon, @ 24" o.c.	NO	YES
MU	22	Muhlenbergia capillaris	Muhly Grass	min. 1 gallon, @ 36" o.c.	NO	YES
ZP	40	Zamia pumila	Coontie Palm	min. 1 gallon, @ 24" o.c.	YES	YES
Sod	-	Paspalum notatum	Bahia Sod	Sq Ft.		
MULCH	-		Enviro Mulch	Mulch to 3" depth; supplied by Florida Mulch Inc. (407) 891-8400		

Spaced to present finished appearance & obtain a reasonably complete coverage in one year  
Max 30% of required landscaped area may be grassed - Note type and percent on plans

**REQUIRED TREE LEGEND**  
(label indicates how each tree satisfies the code requirement)

- S** South buffer requirement along S.R.54 Cr. (Qty: 5)
- E** East buffer requirement (Qty: 3)
- V** Vehicular use area tree requirement. (Qty: 9)
- B** Building perimeter tree requirement. (Qty: 2)

**LANDSCAPE REQUIREMENTS**  
Per Pasco County code (Chapter 900, Section 905).

**LANDSCAPE BUFFER REQUIREMENT - (Type 'D' buffer)**  
10' wide buffer less than 100' width r.o.w.  
(1) tree planted 30 o.c. avg. (min. 20' / max. 45')  
Min. (5) shrubs per tree or palm, no more than 30% of the required landscape area shall be grassed.

**LANDSCAPE BUFFER REQUIREMENT - (Type 'A' buffer)**  
10' wide buffer  
East -  
(1) tree / 60 lf and a continuous hedge  
170' / 60 = (3) trees req'd; (3) trees prov'd per comments

**VUA LANDSCAPE REQUIREMENTS -**  
10% of vua shall be landscape  
(1) tree / 200 sf of req'd landscape areas  
18,697 sf x .10 = 1,870 req'd  
1,870 / 200 = (9) trees req'd; and provided  
A min. (1) shade tree with shrubs / groundcover per each landscape island  
A max. 30% of req'd landscape area may be grassed  
1,870 x .70 = 1,309 sf req'd

**BUILDING PERIMETER LANDSCAPE REQUIREMENT -**  
10% of building sf  
5' wide landscape area adjacent to building  
50% lf of building shall be landscape = 183' / 2 = 92 lf req'd  
Landscape areas shall contain trees, shrubs and groundcovers  
1,790 x .10 = 179 sf req'd  
(3) palms provided

**TREE SPECIES REQUIREMENT -**  
(1) species for every (5) required trees  
Total (19) trees required;  
min. (3) species req'd

**NATIVE SPECIES REQUIREMENT -**  
A min. 30% of total shrubs and groundcovers shall be native species  
Total shrubs and groundcovers used  
= 351 x 30% = (105) native species req'd; (112) provided

**SHRUB AND GROUNDCOVER SPECIES REQUIREMENT -**  
No one species shall be greater than 25% of total provided  
Total shrubs used = 185 x 25% = 46 max  
Total groundcovers used = 166 x 25% = 41 max

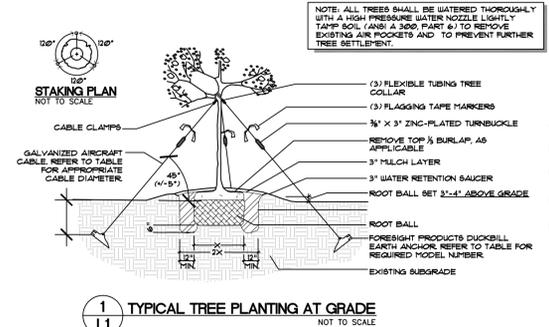
**ADDITIONAL NOTES -**  
Areas not planted with trees, shrubs, or groundcovers shall be sodded with bahia sod.  
Contractor shall install new irrigation system to provide 100% coverage to all landscape areas.

**ABBREVIATIONS**

B/B	BALLED AND BURLAPPED
C.T.	CLEAR TRUNK
O.H.	OVERALL HEIGHT
H.T.	HEIGHT
S.P.R.D.	SPREAD
O.C.	ON CENTER
GAL.	GALLON
CU. YDS.	CUBIC YARDS
S.F.	SQUARE FEET
PLANT SYMBOL	
QTY.	QTY. OF PLANTS

- GENERAL LANDSCAPE NOTES:**
- All landscape material shall be fl. no. 1 grade or better, as specified in grades and standards for nursery plants, parts I and II, by Division of Plant Industry, Florida Department of Agriculture and Consumer Services, and shall conform to current American Association of Nurseryman Standards for Nursery Stock. Landscape material shall be planted according to sound nursery practices.
  - All required shrubs shall be a minimum of 18" high (dwarf variety 14") at the time of planting with the ability to reach a min. of 24" within (1) year of planting and spaced a distance appropriate to the species to create a continuous appearance within (1) year of planting (max. 36" o.c. unless demonstrated otherwise). Shrubs not adversely impact existing tree root systems and shall be field adjusted if necessary.
  - All required shade trees shall be a minimum of 8" overall height with a min. 2" trunk caliper at time of planting. Adjust tree locations as necessary to avoid utilities, obstructions, etc. see materials list for exact specifications.
  - All required multiple trunk trees shall have at least (3) trunks and be a minimum of 8" overall height with a min. 3" trunk caliper at time of planting. Adjust tree locations as necessary to avoid utilities, obstructions, etc. see materials list for exact specifications
  - All required trees shall be located a minimum of 5 feet from impervious surfaces, all shrubs 2 feet.
  - An automatic underground irrigation system shall be installed to maintain the landscape area in a healthy manner and provide 100% coverage.
  - The contractor shall sod all disturbed areas. All planting shall be mulched to a 3" minimum depth.
  - The contractor shall be responsible for the clean up of premises and removal of all discarded and surplus materials, and rubbish.
  - Verify the locations of existing trees, lawns, and shrubs. Remove extraneous materials such as rocks, branches, building materials or unacceptable soils prior to planting sod, trees, and shrubs, where encountered.
  - Contractor shall become acquainted with the related paving, site grading, and all utilities (including water, sewer, and electrical supply) to preclude any misunderstandings and ensure a trouble free installation.
  - The exact location of all existing structures, underground utilities, and pipes may not be as indicated on drawings; the contractor shall determine the location of these items and shall conduct his work in a manner to prevent interruption or damage to existing systems which must remain operational. The contractor shall protect existing structures and utility services which must remain operational and shall be responsible for their replacement if damaged by him.
  - Contractor shall call Sunshine State One-Call at least 48 hours prior to digging. (1-800-432-4770).
  - Quantities on plan take precedence over materials list. Quantities on materials list are provided as a courtesy only.
  - All landscape material shall be maintained in perpetuity to provided all required FDOT and local site clearance distances for vehicles.

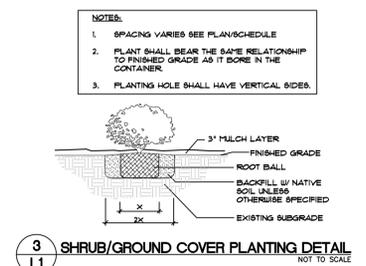
**STATE ROAD 54**



**DUCKBILL EARTH ANCHOR TABLE**

TREE CALIPER	MODEL NUMBER	RATED CAPACITY	MINIMUM DEPTH OF INSTALLATION
UP TO 3"	40-DTS	300 LBS. EA.	20"
UP TO 6"	68-DTS	1100 LBS. EA.	30"
UP TO 11"	88-DTS	3,000 LBS. EA.	42"
NOT RATED	138-DTS	5,000 LBS. EA.	60"

NOTE: RATED FOR WINDS UP TO 50 MPH



**HARDEMAN · KEMPTON & ASSOCIATES, INC.**

Landscape Architects & Civil Engineers  
2207 W. North A Street  
Tampa, Florida 33606  
PH: 813-258-0666  
www.hka-design.com

Landscape Architecture Certificate of Authorization #L0000267  
Engineering Business Certificate of Authorization No. #26775

ALL CONCEPTS, LAYOUTS, DELINEATIONS AND PLANS DEPICTED BY THIS DRAWING ARE THE PROPERTY OF HARDEMAN KEMPTON & ASSOCIATES, INC., AND WERE DEVELOPED FOR THIS SPECIFIC PROJECT. THESE CONCEPTS, LAYOUTS, PLANS AND DELINEATIONS ARE NOT TO BE TRANSFERRED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN APPROVAL OF HARDEMAN KEMPTON & ASSOCIATES, INC.

PROJECT NAME: DQ GRILL AND CHILL SHOPS OF BALLANTRAE VILLAGE  
SHEET TITLE: LANDSCAPE PLAN

PREPARED FOR: bdg ARCHITECTS  
100 S. Ashley Dr., Suite 100  
Tampa, FL 33602  
ADDRESS: SR. 54 and Ballantrae Blvd.  
Land O' Lakes, FL 34638

**Revisions:**

NO.	DATE	DESCRIPTION

PROJ. NO.: C098015K  
DATE: 1216-15  
DRAWN: KC  
DESIGNED: KC / JER  
CHECKED: JER

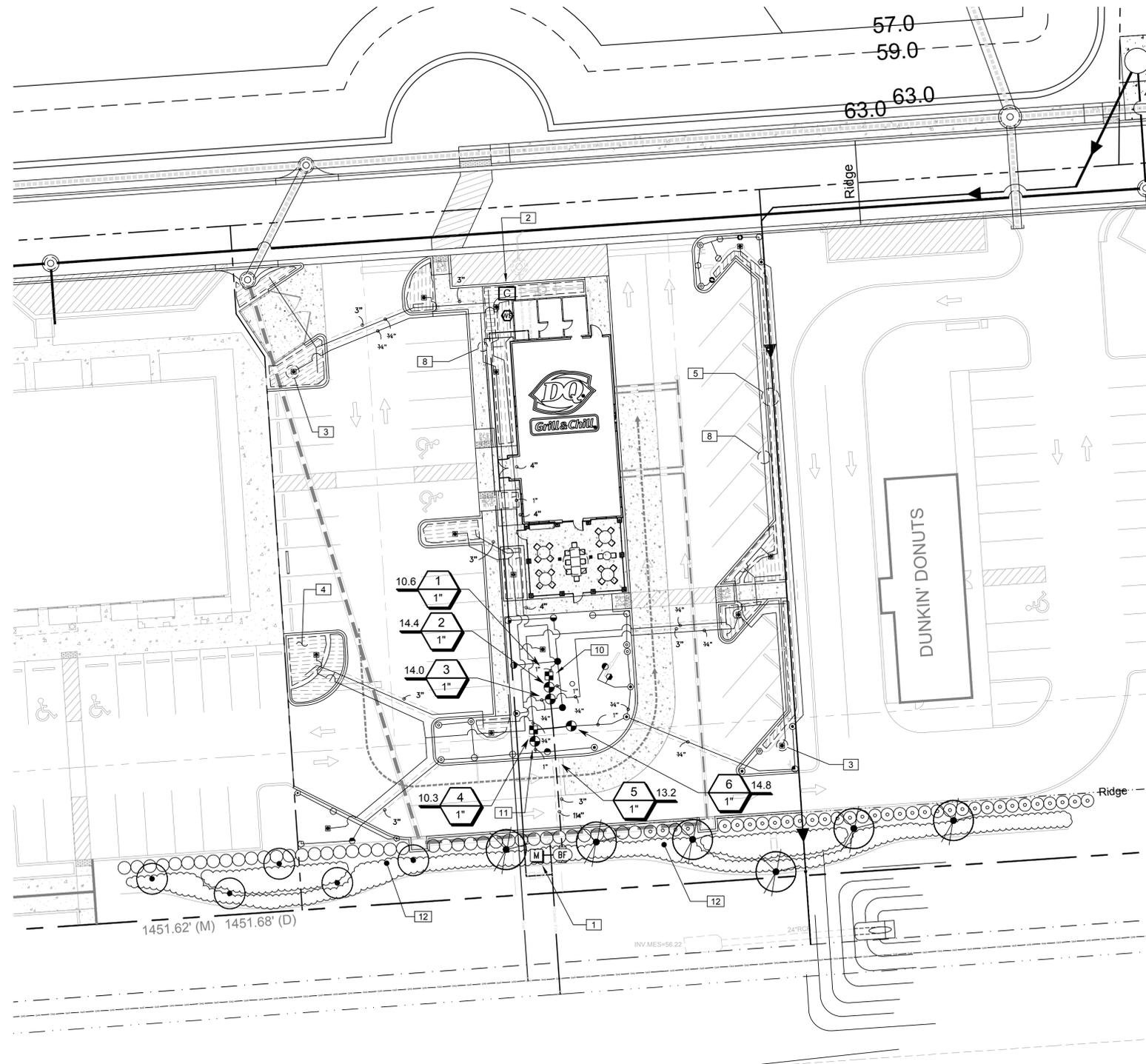
JASON E. RINARD, R.L.A. FL  
REG. NO. 0001608  
LANDSCAPE ARCHITECT

THIS PLAN IS NOT VALID UNLESS SIGNED, DATED & RAISED SEAL AFFIXED

**SHEET: L1**



CALL 48 HOURS BEFORE YOU DIG  
**It's the Law!**  
1-800-432-4770  
SUNSHINE STATE ONE CALL OF FLORIDA, INC.



**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER PRO5-06 8" RADIUS TURF SPRAY, 6.0" POP-UP. CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.
	HUNTER PRO5-06 10" RADIUS TURF SPRAY, 6.0" POP-UP. CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.
	HUNTER PRO5-06 12" RADIUS TURF SPRAY, 6.0" POP-UP. CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.
	HUNTER PRO5-06 15" RADIUS TURF SPRAY, 6.0" POP-UP. CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.
	HUNTER PRO5-06 17" RADIUS TURF SPRAY, 6.0" POP-UP. CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.
	HUNTER PRO5-06 ADJ TURF SPRAY, 6.0" POP-UP. CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.
	HUNTER PCB FLOOD BUBBLER, 1/2" FIPT.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER FC2-101-25 DRIP CONTROL VALVE KIT. 1" PGV GLOBE VALVE WITH 1" HY100 FILTER SYSTEM. PRESSURE REGULATION. 25PSI. FLOW RANGE: 0.5 GPM TO 1.5 GPM. 150 MESH STAINLESS STEEL SCREEN.
	AREA TO RECEIVE DRIFLINE HUNTER PLD-10-12 (1.8) IN-LINE PRESSURE COMPENSATING LANDSCAPE DRIFLINE WITH BUILT-IN CHECK VALVE. 1.0GPH EMITTERS AT 12.0" O.C. DRIFLINE LATERALS SPACED AT 18.0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER PGV-101 G 1" PLASTIC ELECTRIC REMOTE CONTROL VALVE, FOR RESIDENTIAL/LIGHT COMMERCIAL USE. FEMALE NPT INLET/OUTLET. GLOBE CONFIGURATION, WITH FLOW CONTROL.
	FEBCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER.
	HUNTER PC-400 WITH (01) PCM-300 LIGHT COMMERCIAL & RESIDENTIAL CONTROLLER, 7-STATION EXPANDED MODULE CONTROLLER, 120 VAC, OUTDOOR MODEL.
	HUNTER WS5 WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE, CONNECTS TO HUNTER PCG, PRO-C, AND I-CORE CONTROLLERS. INSTALL AS NOTED. INCLUDES 10 YEAR LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET.
	WATER METER 3/4" 1.8 GPM AT 60 PSI REQUIRED
	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26 ONLY LATERAL TRANSITION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE.
	PIPE SLEEVE: PVC SCHEDULE 40 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPE. PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.
	Valve Callout Valve Number Valve Flow Valve Size

**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION
[1]	PROPOSED IRRIGATION METER - COORDINATE LOCATION WITH OWNER
[2]	PROPOSED IRRIGATION CONTROLLER AND WEATHER SENSOR - COORDINATE LOCATION WITH OWNER
[3]	BUBBLER FOR NEW TREES (TYP) REFER TO LANDSCAPE PLAN
[4]	DRIP LINE FOR LANDSCAPED BEDS (TYP) REFER TO LANDSCAPE PLAN
[5]	DRIP LINE FOR HEDGE ROW (TWO LINES 18" O.C. MIN.) - REFER TO LANDSCAPE PLAN
[6]	IN AREAS OF GROUND COVER THAT WILL BE MAINTAINED WITH TRIMMERS / EDGERS, NO DRIP TUBING WILL BE INSTALLED ACROSS THE PERIMETER OF THE GROUND COVER. REFER TO LANDSCAPE PLAN.
[7]	INSTALL A MINIMUM OF ONE "ZONE INDICATOR FLAG" ON EVERY DRIP ZONE. LOCATE FLAG WHERE IT CAN BE SEEN FROM THE REMOTE CONTROL VALVE.
[8]	SHOWN FOR GRAPHIC CLARITY - INSTALL PIPE WITHIN GREENSPACE
[9]	SHOWN FOR GRAPHIC CLARITY - INSTALL MAINLINE AND VALVES WITHIN PROPERTY LINE
[10]	VALVE LOCATIONS ARE DIAGRAMMATIC, INSTALL VALVES IN "LOW TRAFFIC" AREAS WITH A MIN. CLEARANCE OF 12" BETWEEN THE VALVE BOX AND ANY FENCE, WALL, SIDEWALK, PAVEMENT OR SODLINE
[11]	STUB OUT COMMON WIRE AND TWO SPARE HOT WIRES IN VALVE BOX
[12]	LANDSCAPING AND IRRIGATION BY OTHERS.

**IRRIGATION PLAN**

CALL 48 HOURS BEFORE YOU DIG  
**It's the Law!**  
 1-800-432-4770  
 FLORIDA STATE ONE CALL OF FLORIDA, INC.

**Services**  
**IRRIGATION CONSULTING AND DESIGN**  
 813-653-1587  
 icdservices.net

REVISION	DATE	DESCRIPTION

PLAN NO.	
DRAWN BY:	MCE
CHECKED BY:	
DATE:	12/23/15
SCALE:	1"=20'-0"

**DQ GRILL AND CHILL  
 SHOPPES OF BALLANTRAE VILLAGE**  
 Land o' Lakes, FL 34638





**DQ GRILL & CHILL**  
**SHOPPES OF**  
**BALLANTRAE VILLAGE**  
SR 54 and Ballantrae Blvd.  
Land O' Lakes, FL 34638

THESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY CAD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS HEREINAFTER "PLANS" ARE THE SOLE AND EXCLUSIVE PROPERTY OF BDG ARCHITECTS, AND MAY NOT BE REPRODUCED, PUBLISHED, MODIFIED OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF BDG ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUITABILITY AND CONSTRUCTION OF THE PLANS. THE PLANS SHALL NOT BE SCALED OR AMENDED FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS, REGARDLESS OF HOW MINOR, WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS, ANY CONSTRUCTION DECISIONS FROM THESE PLANS WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS, OR ANY CHANGES IN THE SCOPE, DESIGN, OR INTENT OF THESE PLANS FOR ANY REASON, BY ANY PERSON OTHER THAN BDG ARCHITECTS, SHALL AUTOMATICALLY VOID ANY DESIGN-RELATED OBLIGATIONS BDG ARCHITECTS MAY HAVE ON THE PROJECT, AND RESULT IN THE HILL AND COVERED RELIEF OF BDG ARCHITECTS FROM ANY LIABILITY CLAIMS, OR DAMAGES INCLUDING ERRORS AND OMISSIONS ARISING OUT OF OR RELATED TO THE PLANS, ANY DISCREPANCIES OR CONFLICTS IN THE PLANS SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION PRIOR TO CONTINUING WITH THE WORK. FAILURE TO REFER DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO PERFORMING WORK SHALL RESULT IN THE WAIVER OF ANY CLAIMS OR DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND CONFORMANCE OF ITS WORK AND ALL WORK PERFORMED BY SUBCONTRACTORS OR OTHER TRADES WITH THE DESIGN DOCUMENTS.

SEAL

ISSUE/BY	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK	
JOB #:	15170
DATE:	12-24-2015
DRAWN BY:	
CHECKED BY:	

SHEET TITLE  
**SITE PHOTOMETRIC PLAN**  
SHEET NUMBER

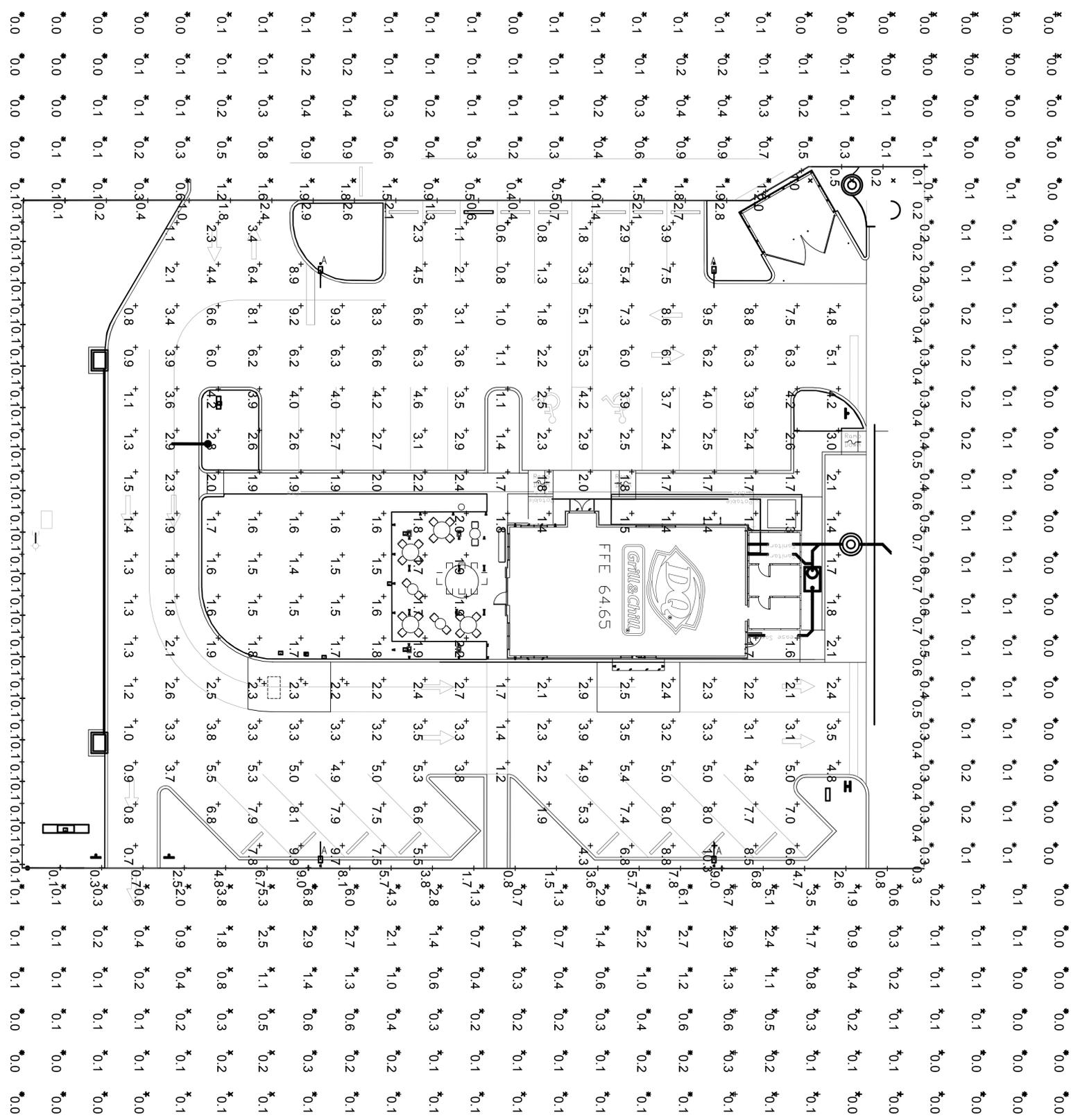
**ES-02**

LUMINAIRE SCHEDULE								
LABEL	QUANTITY	MFG.	MODEL	DESCRIPTION	LAMP	LUMENS	LIGHT LOSS	WATTAGE
A	4	ARKONLED	SB-320	320 WATT LED STREET LIGHT 1451 LENS	ONE 300-WATT LED, AIMED DOWN POS. 5050K	32105	0.96	317.1

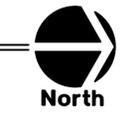
STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
LOT SUMMARY	+	1.9 fc	2.9 fc	0.7 fc	4.1:1	2.7:1
SPILL LIGHT SUMMARY	*	0.8 fc	2.9 fc	0.0 fc	N/A	0.3:1

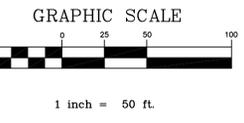
**GENERAL NOTES**

- VERIFY WITH LOCAL MUNICIPAL CODE MINIMUM, AVERAGE AND MAXIMUM LIGHTING LEVELS ALLOWABLE BY LOCAL CODE REQUIREMENTS.
- READINGS SHOWN ARE BASED ON A TOTAL LIT. OF 35 FT GRADE.
- PLEASE REFER TO THE "LUMINAIRE LOCATIONS" TABLE FOR MOUNTING HEIGHTS.
- PRODUCT INFORMATION CAN BE OBTAINED AT WWW.LITHONIA.COM OR THROUGH YOUR LOCAL AGENCY.



**SITE PHOTOMETRICS PLAN**  
SCALE: 1" = 20'-0"





LEGAL DESCRIPTION: BALLANTRAE - COMMERCIAL PARCEL 1

A PARCEL OF LAND BEING LOCATED IN THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 29, TOWNSHIP 26 SOUTH, RANGE 18 EAST, PASCO COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF SAID SECTION 29; THENCE S 00°17'50" W, ALONG THE WEST LINE OF THE NORTHEAST 1/4 OF SAID SECTION 29, A DISTANCE OF 1574.31 FEET TO A POINT OF INTERSECTION WITH A LINE BEING PARALLEL WITH AND LYING 750.00 FEET NORTHERLY, AS MEASURED AT RIGHT ANGLES, FROM THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD 54 (F.D.O.T. SECTION NO. 14570-2521 - OFFICIAL RECORD BOOK 4110, PAGE 920 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA), SAID POINT BEING THE POINT OF BEGINNING; THENCE N 86°05'46" E, ALONG SAID PARALLEL LINE, A DISTANCE OF 563.89 FEET TO A POINT ON THE ARC OF A CURVE; THENCE 1.92 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 00°07'02", SAID CURVE BEING CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 1060.00 FEET SUBTENDED BY A CHORD BEARING S 24°34'24" W, 1.92 FEET TO A POINT OF TANGENCY; THENCE S 24°37'55" W, A DISTANCE OF 221.56 FEET TO A POINT OF CURVATURE; THENCE 472.41 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 25°32'06", SAID CURVE BEING CONCAVE TO THE EAST AND HAVING A RADIUS OF 1060.00 FEET SUBTENDED BY A CHORD BEARING S 11°51'52" W, 468.51 FEET TO A POINT OF TANGENCY; THENCE S 00°54'11" E, A DISTANCE OF 69.71 FEET TO A POINT OF CURVATURE; THENCE 53.14 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 86°59'57", SAID CURVE BEING CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 35.00 FEET SUBTENDED BY A CHORD BEARING S 42°35'47" W, 48.18 FEET TO A POINT OF TANGENCY, SAID POINT BEING LOCATED ON THE AFORESAID NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD 54; THENCE S 86°05'46" W, ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 677.02 FEET TO A POINT OF INTERSECTION WITH THAT CERTAIN "AGREED UPON BOUNDARY LINE" AS RECORDED IN OFFICIAL RECORD BOOK 5283, PAGE 993 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; THENCE N 00°16'17" E, ALONG SAID "AGREED UPON BOUNDARY LINE", A DISTANCE OF 752.00 FEET TO A POINT OF INTERSECTION WITH A LINE BEING PARALLEL WITH AND LYING 750.00 FEET NORTHERLY, AS MEASURED AT RIGHT ANGLES, FROM THE AFORESAID NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD 54; THENCE N 86°05'46" E, ALONG SAID PARALLEL LINE, A DISTANCE OF 331.06 FEET TO THE POINT OF BEGINNING. CONTAINING 13.123 ACRES (571,646 SQUARE FEET), MORE OR LESS.

- NOTES:
- 1) THE BEARINGS ARE BASED UPON THE NORTH LINE OF THE TRACT HAVING A DEEDED BEARING OF N 86°05'46" E.
  - 2) THIS SURVEY WAS PREPARED FROM INFORMATION TAKEN FROM TITLE SEARCH, FUND FILE NUMBER 28-2007-2327, PREPARED BY ATTORNEYS' TITLE INSURANCE FUND, INC., PROVIDED FOR FLAGSHIP TITLE OF TAMPA, LLP, EFFECTIVE DATES FROM FEBRUARY 1, 1983 TO JULY 24, 2007.
  - 3) NO UNDERGROUND FOUNDATIONS OR IMPROVEMENTS, IF ANY, ARE SHOWN ON THIS SURVEY.
  - 4) THE ABOVE DESCRIBED PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE "A" AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 120230 0400 D PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DATED SEPTEMBER 30, 1992.
  - 5) ELEVATIONS SHOWN HEREON ARE REFERENCED TO FDOT BM#78 FOUND 4"x4" CONCRETE MONUMENT ELEVATION 58.84 AND FDOT BM#79 FOUND 4"x4" CONCRETE MONUMENT ELEVATION 60.59 BASED ON NVD 1929 DATUM. ALL ELEVATIONS SHOWN ARE IN FEET.
  - 6) THE JURISDICTIONAL LINES SHOWN ON THIS SURVEY WERE TAKEN FROM THE SPECIFIC PURPOSE SURVEY FOR THE LOCATION OF JURISDICTIONAL AREAS PREPARED BY BERRY LAND SURVEYING, INC.

SURVEYOR'S CERTIFICATE

I hereby certify to Dunphy Properties, LLC a Florida Corporation, and Planeng, Inc., a Florida Corporation, Joseph V. Aprile, Daniel T. Aprile, and Ronald D. Aprile that the survey shown hereon accurately represents a survey made by me on the 2nd day of July, 2007.

I further certify that the existing improvements located thereon have been shown and located on said survey.

I further certify that there are no encroachments upon said property by any improvements located on, or fences or walls enclosing adjacent properties, except as shown on survey and that all physical evidence, by above ground observation, of existing improvements that may require a possible unrecorded easement are shown on said survey.

I further certify that the drawing is a true and accurate representation thereof and meets the requirements of the minimum technical standards set forth by the Florida Board of Professional Land Surveyors in Chapter 61G17-6 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

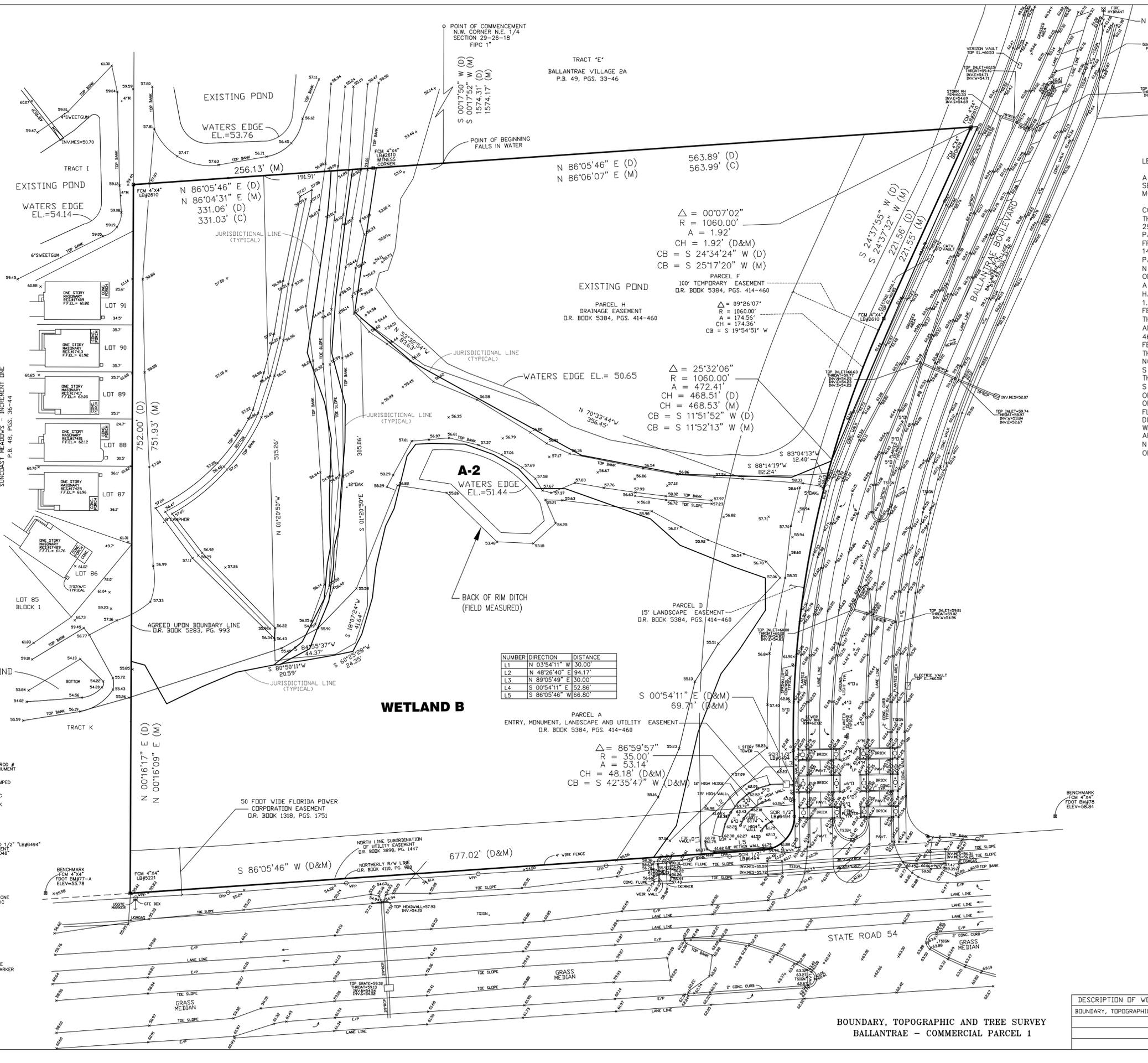
Certified this 21st day of July, 2007.

DAVID L. BERRY  
THIS SURVEY NOT VALID UNLESS IMPRINTED WITH AN EMBOSSED SURVEYOR'S SEAL.

**BERRY LAND SURVEYING, INC.**  
 3822 LAKE PADGETT DRIVE  
 LAND O' LAKES, FL 34639  
 (813) 996-7277 PH. (813) 996-7144 FAX

DESCRIPTION OF WORK	PROJECT #	DATE	F. B.	DRAWN	CHECKED
BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY	2726	07/02/07		DLB	DLB

BOUNDARY, TOPOGRAPHIC AND TREE SURVEY  
BALLANTRAE - COMMERCIAL PARCEL 1



NUMBER	DIRECTION	DISTANCE
L1	N 03°54'11" W	30.00'
L2	N 48°26'40" E	94.17'
L3	N 89°05'49" E	30.00'
L4	S 00°54'11" E	52.86'
L5	S 86°05'46" W	66.80'

- LEGEND
- A = ARC LENGTH
  - B.M. = BENCHMARK
  - (C) = COMPUTED
  - CB = CHORD BEARING
  - CH = CHORD LENGTH
  - C = CENTERLINE
  - CON. = CONCRETE
  - COV. = COVERED
  - (D) = AS PER DESCRIPTION
  - EL. = ELEVATION
  - (F) = FIELD BOOK
  - FOR = FOUND CAPPED IRON ROD #
  - FCM = FOUND CONCRETE MONUMENT
  - F.F. = FINISHED FLOOR
  - FIP = FOUND IRON PIPE
  - FIRC = FOUND IRON PIPE CRIMPED
  - FR = FOUND IRON ROD
  - (M) = MEASURED
  - N.G.D. = NATIONAL GEODETIC
  - VERT. DATUM
  - (O.R.) = OFFICIAL RECORD BOOK
  - (P) = PLATTED
  - PL = PLANT
  - P.P. = POWERPOLE
  - PAVT. = PAVEMENT
  - R = RADIUS
  - R/W = RIGHT OF WAY
  - RNG. = RANGE
  - R/O = RIGHT OF WAY
  - SCIR = SET CAPPED IRON ROD 1/2" LB#6494
  - SCIR = SET CONCRETE MONUMENT
  - "A" ROUND "PRM LS4045"
  - SEC. = SECTION
  - (TYP) = TYPICAL
  - TWP. = TOWNSHIP
  - ± = MORE OR LESS
  - A = CENTRAL ANGLE
  - N&D = NAIL AND DISK
  - PO = OAK TREE
  - ST = MAPLE TREE
  - TSIGN = TRAFFIC SIGN
  - UGTELE = UNDERGROUND TELEPHONE
  - UGLE = UNDERGROUND ELECTRIC
  - WPP = WOOD POWER POLE
  - WV = WATER VALVE
  - WM = WATER METER
  - OHV = OVERHEAD WIRES
  - INV = INVERT
  - MES = METER END SECTION
  - TRAF = TRAFFIC
  - SIG. = SIGNAL
  - U.G. = UNDERGROUND
  - E.P. = EDGE PAVEMENT
  - MH = MANHOLE
  - CP = CONCRETE POWER POLE
  - UGMGS = UNDERGROUND GAS MARKER
  - SEW = SEWER VALVE
  - EHW = ELECTRIC HANDHOLE
  - ARV = AIR RELEASE VALVE

PARCEL A  
ENTRY, MONUMENT, LANDSCAPE AND UTILITY EASEMENT  
D.R. BOOK 5384, PGS. 414-460

$\Delta = 86°59'57"$   
 $R = 35.00'$   
 $A = 53.14'$   
 $CH = 48.18'$  (D&M)  
 $CB = S 42°35'47" W$  (D&M)

$\Delta = 00°07'02"$   
 $R = 1060.00'$   
 $A = 1.92'$   
 $CH = 1.92'$  (D&M)  
 $CB = S 24°34'24" W$  (D)  
 $CB = S 25°17'20" W$  (M)

$\Delta = 25°32'06"$   
 $R = 1060.00'$   
 $A = 472.41'$   
 $CH = 468.51'$  (D)  
 $CH = 468.53'$  (M)  
 $CB = S 11°51'52" W$  (D)  
 $CB = S 11°52'13" W$  (M)

PARCEL F  
100' TEMPORARY EASEMENT  
D.R. BOOK 5384, PGS. 414-460

$\Delta = 09°26'07"$   
 $R = 1060.00'$   
 $A = 174.56'$   
 $CH = 174.36'$   
 $CB = S 19°54'51" W$

PARCEL D  
15' LANDSCAPE EASEMENT  
D.R. BOOK 5384, PGS. 414-460

$\Delta = 00°54'11" E$  (D&M)  
 $69.71'$  (D&M)

PARCEL E  
BALLANTRAE VILLAGE 2A  
P.B. 49, PGS. 33-46

NORTH LINE SUBORDINATION  
OF UTILITY EASEMENT  
D.R. BOOK 3996, PG. 1447

NORTHERLY R/W LINE  
D.R. BOOK 410, PG. 98

50 FOOT WIDE FLORIDA POWER  
CORPORATION EASEMENT  
D.R. BOOK 1318, PGS. 1751

PARCEL H  
DRAINAGE EASEMENT  
D.R. BOOK 5384, PGS. 414-460

PARCEL I  
DRAINAGE EASEMENT  
D.R. BOOK 5384, PGS. 414-460

PARCEL J  
DRAINAGE EASEMENT  
D.R. BOOK 5384, PGS. 414-460

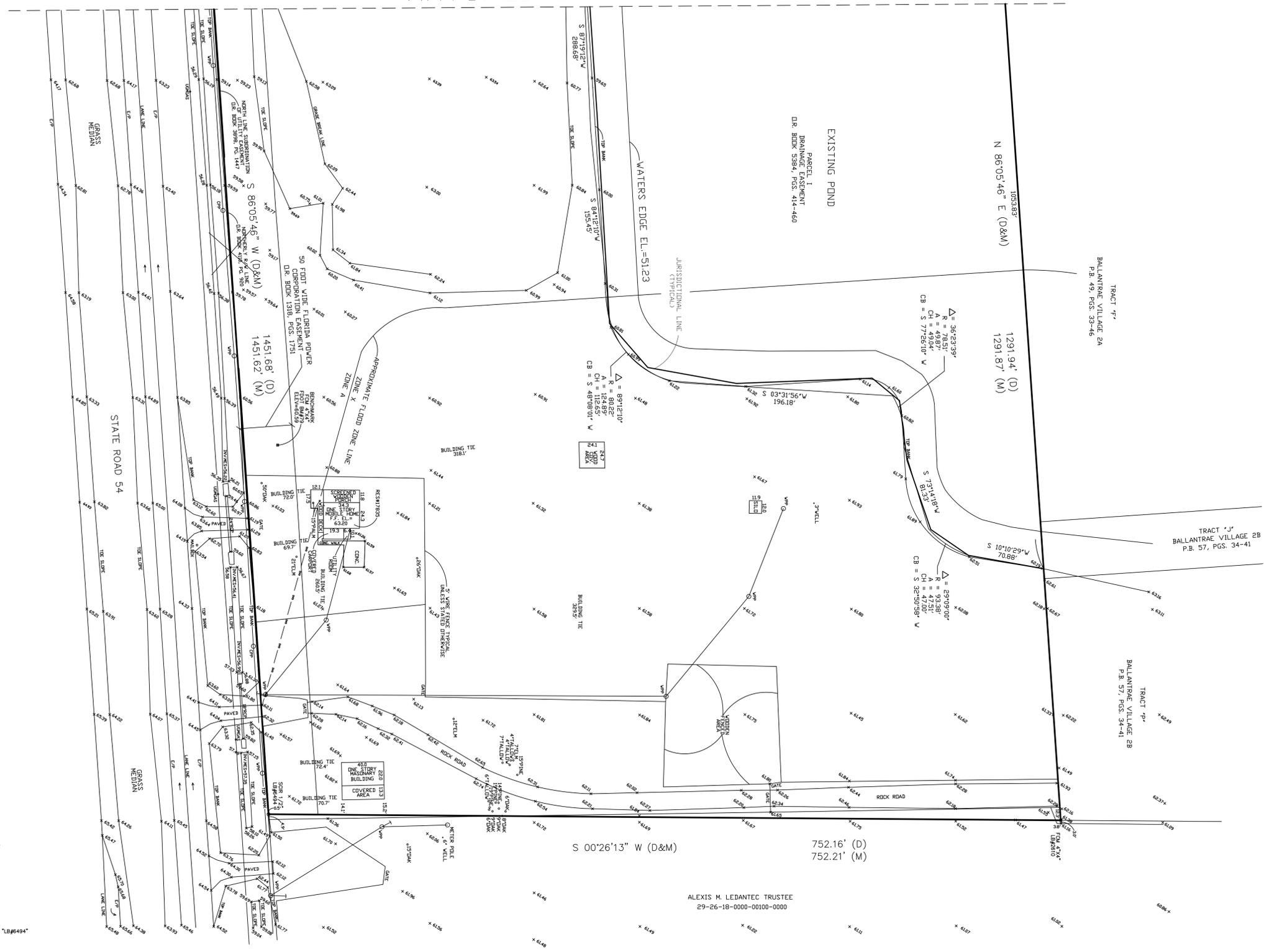
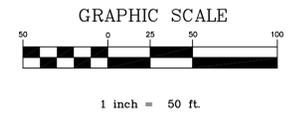
PARCEL K  
DRAINAGE EASEMENT  
D.R. BOOK 5384, PGS. 414-460

PARCEL L  
DRAINAGE EASEMENT  
D.R. BOOK 5384, PGS. 414-460



MATCHLINE

SEC. 29, TWP. 26 S., RNG. 18 E.



- LEGEND
- A = ANGLE
  - B.M. = BENCHMARK
  - CD = CHORD BEARING
  - CL = CHORD LENGTH
  - CH = CHORD BEARING
  - CL = CENTERLINE
  - CONV. = COVERED
  - COV. = COVERED
  - CP = CONCRETE
  - CR = CURB
  - CS = CENTERLINE
  - CT = CENTERLINE
  - F.B. = FIELD BOOK
  - F.C.I. = FOUND CAPPED IRON ROD
  - F.C.M. = FOUND CONCRETE MONUMENT
  - F.F. = FINISHED FLOOR
  - F.I.P. = FOUND IRON PIPE
  - F.I.P.C. = FOUND IRON PIPE CRIMPED
  - F.I.R. = FOUND IRON ROD
  - GM = MEASURED
  - N.S.V.D. = NATIONAL GEODETIC VERTICAL DATUM
  - O.R. = OFFICIAL RECORD BOOK
  - P.C. = PAGE
  - P.F. = POWER POLE
  - PAV'T = PAVEMENT
  - R = RADIUS
  - R.M. = RIGHT OF WAY
  - RNG. = RANGE
  - SCH. = SET CAPPED IRON ROD 1/2" "LB#6494"
  - SCM = SET CONCRETE MONUMENT
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  - Q.D. = OAK DISK
  - Q.P. = OAK PIPE
  - RES. = RESERVE
  - TRAF. = TRAFFIC SIGN
  - UGTEL. = UNDERGROUND TELEPHONE
  - UGEL. = UNDERGROUND ELECTRIC
  - W.P. = WOOD POWER POLE
  - WV = WATER VALVE
  - WM = WATER METER
  - OWH = OVERHEAD WIRES
  - INV. = INVERT
  - MES = METER END SECTION
  - TRAF. = TRAFFIC
  - SIG. = SIGNAL
  - UG. = UNDERGROUND
  - E/P = EDGE PAVEMENT
  - M. = MANHOLE
  - OPP = CONCRETE POWER POLE
  - UGM&S = UNDERGROUND GAS MARKER
  - SEW. = SEWER VALVE
  - E.H. = ELECTRIC HANDHOLE
  - ARV = AIR RELEASE VALVE

- NOTES:
- 1) THE BEARINGS ARE BASED UPON THE NORTH LINE OF THE TRACT HAVING A DEEDED BEARING OF N 86°05'46" E.
  - 2) THIS SURVEY WAS PREPARED FROM INFORMATION TAKEN FROM TITLE SEARCH, FUND FILE NUMBER 28-2007-2327, PREPARED BY ATTORNEYS' TITLE INSURANCE FUND, INC., PROVIDED FOR FLAGSHIP TITLE OF TAMPA, LLP, EFFECTIVE DATES FROM FEBRUARY 1, 1983 TO JULY 24, 2007.
  - 3) NO UNDERGROUND FOUNDATIONS OR IMPROVEMENTS, IF ANY, ARE SHOWN ON THIS SURVEY.
  - 4) THE ABOVE DESCRIBED PROPERTY APPEARS TO LIE WITHIN FLOOD ZONES "A & X" AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 120230 0400 D PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DATED SEPTEMBER 30, 1992.
  - 5) ELEVATIONS SHOWN HEREON ARE REFERENCED TO FDOT BM#78 FOUND 4"x4" CONCRETE MONUMENT ELEVATION 58.84 AND FDOT BM#79 FOUND 4"x4" CONCRETE MONUMENT ELEVATION 60.59 BASED ON NGVD 1929 DATUM. ALL ELEVATIONS SHOWN ARE IN FEET.
  - 6) THE JURISDICTIONAL LINES SHOWN ON THIS SURVEY WERE TAKEN FROM THE SPECIFIC PURPOSE SURVEY FOR THE LOCATION OF JURISDICTIONAL AREAS PREPARED BY BERRY LAND SURVEYING, INC.

ALEXIS M. LEDANTEC TRUSTEE  
29-26-18-0000-00100-0000

BOUNDARY, TOPOGRAPHIC AND TREE SURVEY  
BALLANTRAE - COMMERCIAL PARCEL 2

SHEET 2 OF 2

**BERRY LAND SURVEYING, INC.**  
3822 LAKE PADGETT DRIVE  
LAND O' LAKES, FL. 34639  
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LB #6494

DESCRIPTION OF WORK	PROJECT #	DATE	F. B.	DRAWN	CHECKED
BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY	2727	07/02/07		DLB	DLB

THIS SURVEY NOT VALID UNLESS IMPRINTED WITH AN EMBOSSED SURVEYOR'S SEAL.