

OMNI AT THE SHOPPES AT TRINITY LAKES

NONRESIDENTIAL/MIXED USE
PRELIMINARY/CONSTRUCTION PLAN SIMULTANEOUS

SECTION 28, TOWNSHIP 26 SOUTH, RANGE 17 EAST
FDOT ROADWAY SECTION 14572, M.P. 0.725
12450 STATE ROAD 54, ODESSA, FL 33556
PASCO COUNTY, FLORIDA

LEGAL DESC.

A PORTION OF SECTION 28, TOWNSHIP 26 SOUTH, RANGE 17 EAST, OF PASCO COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF SAID SECTION 28, AND RUN ALONG THE SOUTH LINE OF SAID SECTION 28, NORTH 89°28'45" WEST, A DISTANCE OF 1973.42 FEET TO A POINT ON THE EASTERLY BOUNDARY LINE OF PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, AS RECORDED IN PLAT BOOK 68, PAGES 83 THROUGH 98 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; THENCE RUN ALONG THE EASTERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, NORTH 15°54'24" WEST, A DISTANCE OF 445.85 FEET TO THE NORTHEAST CORNER OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, ALSO BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF COOL SPRINGS PARKWAY AS RECORDED IN SAID PLAT OF THE VILLAGES OF TRINITY LAKES, ALSO BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF COMMUNITY DRIVE AS RECORDED IN OFFICIAL RECORD BOOK 5891, PAGE 975 AND OFFICIAL RECORD BOOK 4260, PAGE 973 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; THENCE LEAVING THE WESTERLY RIGHT-OF-WAY LINE OF SAID COMMUNITY DRIVE, RUN ALONG THE NORTHERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, ALSO BEING THE NORTHERLY RIGHT-OF-WAY LINE OF SAID COOL SPRINGS PARKWAY, SOUTH 79°17'50" WEST, A DISTANCE OF 785.08 FEET; THENCE LEAVING THE NORTHERLY BOUNDARY LINE OF SAID PARCEL "A" OF THE VILLAGES OF TRINITY LAKES, ALSO BEING THE NORTHERLY RIGHT-OF-WAY LINE OF SAID COOL SPRINGS PARKWAY, RUN NORTH 10°42'10" WEST, A DISTANCE OF 637.82 FEET TO THE POINT OF BEGINNING; THENCE RUN SOUTH 79°17'50" WEST, A DISTANCE OF 51.00 FEET; THENCE RUN NORTH 10°42'10" WEST, A DISTANCE OF 259.01 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF NEW STATE ROAD 54 AS RECORDED IN OFFICIAL RECORD BOOK 5919, PAGE 1338 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, SAID POINT ALSO BEING A POINT OF CURVATURE OF A CURVE TO THE LEFT; THENCE RUN ALONG THE SOUTHERLY RIGHT-OF-WAY OF SAID NEW STATE ROAD 54, A DISTANCE OF 238.91 FEET ALONG THE ARC OF SAID CURVE TO THE LEFT, BEING NON-TANGENT WITH THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 11583.83 FEET, A CENTRAL ANGLE OF 01°10'54", AND A CHORD OF 238.91 FEET WHICH BEARS NORTH 82°18'48" EAST; THENCE LEAVING THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID NEW STATE ROAD 54, RUN SOUTH 10°42'10" EAST, A DISTANCE OF 41.77 FEET; THENCE RUN SOUTH 55°43'02" EAST, A DISTANCE OF 34.40 FEET; THENCE RUN SOUTH 10°42'10" EAST, A DISTANCE OF 166.02 FEET TO A POINT OF CURVATURE OF A CURVE TO THE RIGHT; THENCE RUN 22.51 FEET ALONG THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 14.33 FEET, A CENTRAL ANGLE OF 90°00'00", AND A CHORD OF 20.27 FEET WHICH BEARS SOUTH 34°17'50" WEST; THENCE RUN SOUTH 79°17'50" WEST, A DISTANCE OF 197.58 FEET TO THE POINT OF BEGINNING. CONTAINING 1.488 ACRE MORE OR LESS.

ARCHITECT:

BDG ARCHITECTS

100 SOUTH ASHLEY DRIVE, SUITE 100
TAMPA, FL 33602
(813) 323-9233

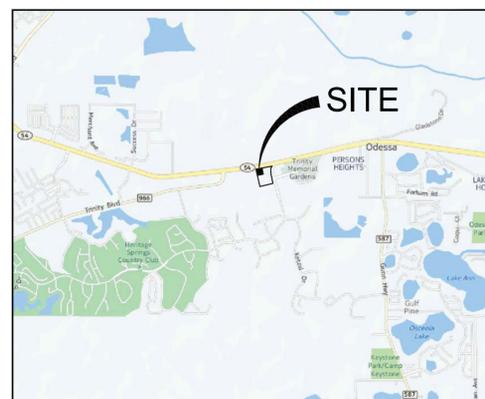
OWNER/
DEVELOPER:

50 SEMBLER
YEARS Creating Retail Value.

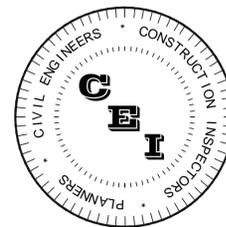
THE SHOPPES AT TRINITY LAKES, LLC
5858 CENTRAL AVENUE
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LOCATION MAP
NTS



ENGINEER:

CAMPO
ENGINEERING, INC.

1725 East 5th Avenue, Tampa, FL 33605
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FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

Utility Owner	Contact	Phone Number	Utility Type
BRIGHT HOUSE NETWORKS, LLC	MIKE KIKER	PHONE: 813-862-0522 X 84263	CABLE TV
CLEARWATER GAS SYSTEMS	JORGE HERNANDEZ	PHONE: 727-562-4900 X 7423	GAS
DUKE ENERGY	SHARON DEAR	PHONE: 407-905-3321	ELECTRICITY
VERIZON FLORIDA, INC.	DAVID WYNNIS	PHONE: 813-627-8343	TELEPHONE
LEVEL 3 COMMUNICATIONS LLC	-	PHONE: 877-366-8344 X 2	INTERNET
TAMPA BAY WATER	JON KENNEDY	PHONE: 813-929-4550	WATER
PASCO COUNTY UTILITIES	PAUL HAMAR	PHONE: 727-847-8145	WATER/SEWER
PASCO COUNTY TRAFFIC OPERATIONS DIVISION	ROBERT W RECK	PHONE: 727-847-8139	TRAFFIC OPERATIONS

BY SIGNING AND SEALING THESE PLANS THE ENGINEER OF RECORD CERTIFIES THAT THE ROADWAY SYSTEM IS IN SUBSTANTIAL CONFORMANCE WITH THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION, AND MAINTENANCE OF STREETS AND HIGHWAYS, STATE OF FLORIDA, IN EFFECT AT THE TIME THE PLANS WERE PREPARED.



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MATTHEW D. CAMPO, PE ON 03/01/2016 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

MATTHEW D. CAMPO, P.E. NO. 53988

March 01, 2016
DATE

(SEAL)

REVISIONS:

- _____
- _____
- _____
- _____
- _____
- _____

CONSTRUCTION NOTES

SAFETY

- DURING THE CONSTRUCTION AND MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL.
- THE CONTRACTOR'S MAINTENANCE OF TRAFFIC PLAN MUST BE SUBMITTED AND APPROVED BY THE GOVERNMENTAL AGENCIES HAVING JURISDICTION PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
- LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ITS OWN SAFETY EQUIPMENT IN ACCORDANCE WITH ITS HEALTH & SAFETY PROGRAM AND ALL OTHER APPLICABLE LOCAL HEALTH AND SAFETY REQUIREMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING ITS EMPLOYEES AND SUBCONTRACTORS WITH ADEQUATE INFORMATION AND TRAINING TO ENSURE THAT ALL EMPLOYEES AND SUBCONTRACTORS AND SUBCONTRACTORS' EMPLOYEES COMPLY WITH ALL APPLICABLE REQUIREMENTS. CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH ALL OCCUPATION SAFETY AND HEALTH REGULATIONS AS WELL AS THE ENVIRONMENTAL PROTECTION LAWS. THE FOLLOWING IS NOT TO BE PERCEIVED AS THE ENTIRE SAFETY PROGRAM BUT JUST BASIC REQUIREMENTS.
- ALL EXCAVATIONS BY THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF LABOR'S OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION RULES AND REGULATIONS. PARTICULAR ATTENTION MUST BE PAID TO THE CONSTRUCTION STANDARDS FOR EXCAVATIONS, 29 CFR PART 1926, SUBPART P.
- THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF "THE STATE OF FLORIDA, MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS" SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.
- ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE A NOTE TO THE UTILITY COMPANY AS NECESSARY PRIOR TO ANY CONSTRUCTION TO OBTAIN FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES. CALL SUNSHINE ONE CALL AT 811 TO ARRANGE FOR FIELD LOCATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING FACILITIES, ABOVE OR BELOW GROUND, THAT MAY OCCUR AS A RESULT OF THE WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THIS CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE AND MAINTAIN SHIELDING AS NECESSARY TO PROTECT EXCAVATIONS. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.

EXISTING TREE PROTECTION NOTES:

- REQUIRED BARRICADES AND FLAGGING SHALL BE ERRECTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER AND REGULATORY AGENCIES PRIOR TO COMMENCEMENT OF LAND ALTERATION ACTIVITIES. BARRICADES SHALL REMAIN IN PLACE UNTIL ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED.
- DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, WITHIN THE DRIPLINE OF A TREE REMAINING ON SITE, UNLESS OTHERWISE APPROVED, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION, EXCEPT BY HAND, BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN ON THE SITE.
- ADEQUATE PROTECTION MEASURES (I.E. HAY BALES, BATTLES, SODDING AND SANDBAGGING) SHALL BE PROVIDED AS NECESSARY TO PREVENT MINOR TO MODERATE DOWNSTREAM SEDIMENTATION CAUSED BY SURFACE WATER RUNOFF ON EXPOSED LAND SURFACES.
- ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS. THIS INFORMATION MUST BE CLEARLY IDENTIFIED ON THE CONSTRUCTION PLANS.

CLEARING/DEMOLITION

- PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN AS INDICATED IN THE CONSTRUCTION PLANS SHALL BE PROTECTED IN ACCORDANCE WITH LOCAL TREE ORDINANCES AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREE SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITING APPROVAL FROM THE REGULATORY AGENCY OR THE OWNER.
- THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. DISTURBED AREAS WILL BE SEEDED, MULCHED, SODDED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
- REMAINING EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE IF REQUIRED, PROVIDED THAT THE MATERIAL IS DEEMED SUITABLE FOR CONSTRUCTION BY THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO BE EITHER STOCKPILED ON THE SITE AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING EXCESS EARTHWORK FROM THE SITE.
- ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS.
- CONTRACTOR WILL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE AND WILL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL, PURSUANT TO ALL FEDERAL, STATE, COUNTY, CITY OR OTHER GOVERNMENT AGENCY REQUIREMENTS, OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES THAT WILL NOT BE INCORPORATED WITHIN THE NEW FACILITIES.

SITE PLAN AND COORDINATE GEOMETRY

- BOUNDARY SURVEY PREPARED BY LICENSED SURVEYOR.
- ALL POINTS AND MONUMENTS SHALL BE SURVEYED UPON MOBILIZATION TO VERIFY THEIR ACCURACY. ANY DISCREPANCIES DISCOVERED MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING.
- MONUMENTS AND OTHER SURVEY CONTROL POINTS SHALL BE PROTECTED FROM DAMAGE AND DISTURBANCE. IF ANY CONTROL POINTS ARE DAMAGED OR DISTURBED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER AND REPLACE THE CONTROL POINTS TO THEIR ORIGINAL CONDITION AT HIS OWN EXPENSE.
- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL FURNISH THE OWNER'S ENGINEER WITH COMPLETE "AS-BUILT" INFORMATION CERTIFIED BY A REGISTERED LAND SURVEYOR. THIS "AS-BUILT" INFORMATION SHALL INCLUDE INVERT ELEVATIONS, LOCATION OF FITTINGS, LOCATION OF STRUCTURES FOR ALL UTILITIES INSTALLED, AS WELL AS TOP OF BANK, TOE OF SLOPE AND GRADE BREAK LOCATIONS AND ELEVATIONS FOR POND AND DITCH CONSTRUCTION. NO ENGINEER'S CERTIFICATIONS OR CERTIFICATE OF OCCUPANCY PURPOSES WILL BE MADE UNTIL THIS INFORMATION IS RECEIVED AND APPROVED BY THE OWNER'S ENGINEER.

GENERAL NOTES

- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE PERMIT AND INSPECTION REQUIREMENTS SPECIFIED BY THE VARIOUS GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION RELATED PERMITS, INCLUDING BUT NOT LIMITED TO: RIGHT OF WAY USE PERMITS, STAKE PERMITS, ETC. PRIOR TO CONSTRUCTION, AND SCHEDULE ANY NECESSARY INSPECTIONS ACCORDING TO AGENCY INSTRUCTIONS.
- ALL SPECIFICATIONS AND DOCUMENTS REFERRED TO IN THESE PLANS SHALL BE OF THE LATEST REVISION.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REGULATIONS AND ORDINANCES OF THE VARIOUS GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL PRECAST AND MANUFACTURED ITEMS TO THE OWNER'S ENGINEER FOR APPROVAL. FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT CONTRACTOR'S EXPENSE.
- WORK PERFORMED UNDER THIS CONTRACT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES. IT WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHERE NECESSARY, WITH OTHER CONTRACTORS AND UTILITY COMPANIES & THEIR SUBCONTRACTORS.
- THE VIEW, SANITARY SEWER, AND STORM DRAINAGE FACILITIES ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE REGULATORY AGENCY AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN THE REQUIRED PERMITS TO PERFORM WORK IN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES BEFORE ORDERING MATERIALS AND CASTING STRUCTURES.
- IT WILL BE NECESSARY TO EXAMINE, COORDINATE AND ADJUST ACCORDINGLY THE PROPOSED LOCATIONS OF THE VARIOUS COMPONENTS OF THE SITE UTILITIES. THE LAYOUTS INDICATED IN THE PLANS ARE NOT EXACT AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT COORDINATION DRAWINGS SHOWING PIPE SIZES, STRUCTURES, AND ELEVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING AND COORDINATION OF ALL THE UNDERGROUND WORK ASSOCIATED WITH THIS PROJECT.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW.
- ADJUSTMENTS OF INLETS, JUNCTION BOXES, MANHOLE TOPS, WATER VALVES, WATER METERS, ETC. SHALL BE INCLUDED IN THE CONTRACTOR'S BID AND NO CLAIM SHALL BE MADE AGAINST THE OWNER OR ENGINEER FOR THESE ADJUSTMENTS, IF REQUIRED.
- OVERALL CLEANUP SHALL BE ACCOMPLISHED BY THE CONTRACTOR IN ACCORDANCE WITH REGULATORY AGENCY STANDARDS OR AS DIRECTED BY THE ENGINEER. ANY AND ALL EXPENSES INCURRED FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICE BID FOR OTHER ITEMS.
- THE CONTRACTOR SHALL ENDEAVOR TO PROTECT PRIVATE PROPERTY. ANY DAMAGE CAUSED BY THE CONTRACTOR IN THE PERFORMANCE OF HIS WORK SHALL BE CORRECTED TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE. PAYMENT SHALL NOT BE MADE FOR THIS WORK.
- ANY DAMAGE TO STATE, COUNTY, OR LOCAL ROADS CAUSED BY THE CONTRACTOR'S HAULING OR EXCAVATION EQUIPMENT SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE ENGINEER. PAYMENT SHALL NOT BE MADE FOR THIS WORK.
- ANY U.S.C. & G.S. MONUMENT WITHIN LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF IN DANGER OF DAMAGE, THE CONTRACTOR SHOULD NOTIFY THE OWNER'S ENGINEER.

PAVING AND GRADING

- ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER, THE OWNER'S ENGINEER, OR OWNER'S SOILS TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS TO BE BACK FILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
- ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE OWNER'S SOILS TESTING COMPANY OR ENGINEER AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS OR THE REFERENCED SOILS REPORT.
- PROPOSED SLOP ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON DRAWINGS.
- CONTRACTOR SHALL TRIM, TACK AND MATCH EXISTING PAVEMENT AT LOCATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.
- CURBING WILL BE PLACED AT THE EDGE OF ALL PAVEMENT, AS SHOWN ON THE PLANS.
- REFER TO THE LATEST EDITION OF F.D.O.T. "ROADWAY AND TRAFFIC DESIGN STANDARDS" FOR DETAILS AND SPECIFICATIONS OF ALL F.D.O.T. TYPE CURBING AND GUTTERS CALLED FOR IN THESE PLANS.
- CONTRACTOR TO PROVIDE A 1/2" TO 1" BITUMINOUS EXPANSION JOINT MATERIAL WITH SEALER AT ABUTMENT OF CONCRETE AND OTHER MATERIALS (BUILDINGS, OTHER POURED CONCRETE, ETC.)
- ALL PAVEMENT MARKINGS IN RIGHT-OF-WAY AND STOP BARS SHALL BE MADE WITH PERMANENT THERMOPLASTIC AND SHALL CONFORM TO F.D.O.T. STANDARD INDEX NO. 17346, SHEETS 1-7. PARKING STALL STRIPING AND ON-SITE PRIVATE PAVEMENT MARKINGS TO BE TRAFFIC GRADE PAINT.
- THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOD OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING CONSTRUCTION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE TESTING SCHEDULE LOCATED ON THIS SHEET. UPON COMPLETION OF THE WORK, SOILS ENGINEER WILL SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER STATING THAT ALL REQUIREMENTS HAVE BEEN MET.

- A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN PLACE MATERIALS AS REQUIRED BY THESE PLANS AND THE VARIOUS AGENCIES. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR WILL BEAR ALL COST OF SAID RETESTING.

- ALL UNDERGROUND UTILITIES MUST BE IN PLACE AND TESTED OR INSPECTED PRIOR TO BASE AND PAVEMENT CONSTRUCTION.
- CONTRACTOR IS TO PROVIDE EROSION CONTROL AND SEDIMENTATION BARRIER (SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION, THE CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.

- IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION OR OTHER ACCEPTABLE METHODS.

DRAINAGE

- ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS III (ASTM C-76) UNLESS OTHERWISE NOTED ON PLANS. ALL DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS AND LOCAL AGENCY STANDARDS UNLESS OTHERWISE SHOWN ON PLANS.
- PIPE LENGTHS SHALL BE APPROXIMATE.
- ALL DRAINAGE STRUCTURE GRATES AND COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
- ALL STORM DRAINAGE PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO THE PLACEMENT OF BACKFILL. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.
- THE CONTRACTOR SHALL MAINTAIN AND PROTECT FROM MUD, DIRT, DEBRIS, ETC. THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR MAY BE REQUIRED TO RECLEAN PIPES AND INLETS FOR THESE PURPOSES.

SANITARY SEWER

- SEE PIPE SEPARATION REQUIREMENTS, THIS SHEET.
- ALL SANITARY SEWER MAINS AND LATERALS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
- ALL ON SITE PVC GRAVITY SANITARY SEWER PIPE SHALL BE MADE OF MATERIAL HAVING A CE CLASSIFICATION OF 12454 B, 12454 C OR 13354 B AS DEFINED IN ASTM D-1784. PVC PIPE AND FITTINGS USED IN THE GRAVITY SYSTEM SHALL BEET THE REQUIREMENTS OF ASTM D3034 SDR 35 TO A DEPTH OF 15' AND SDR 26 AT A DEPTH BEYOND 15'.
- ALL SITE DUCTILE IRON PIPE SHALL BE CLASS 52 AND SHALL RECEIVE INTERIOR AND EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.6, A 21.8, OR A 21.51
- ALL SANITARY SEWER WORK SHALL CONFORM WITH APPLICABLE AGENCY STANDARDS AND SPECIFICATIONS, LATEST EDITION THERE OF.
- PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW SANITARY SEWER LINES TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES NEAR THE POINT OF CONNECTION AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES WITH DESIGN INFORMATION SHOWN IN THESE PLANS.
- ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE OWNER'S ENGINEER PRIOR TO PLACEMENT OF BASE AND PAVING AND AGAIN PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY. CONTRACTOR TO NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS.
- THE CONTRACTOR SHALL PERFORM A CLOSED CIRCUIT TELEVISION INSPECTION ON ALL GRAVITY SEWERS IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION PRIOR TO FINAL ACCEPTANCE.
- ALL WASTE-WATER LATERALS WILL A MINIMUM OF 36" COVER AT THE RIGHT-OF-WAY LINE.

PIPE SEPARATION REQUIREMENTS:

FOR THE PURPOSE OF THIS SECTION, THE PHRASE "WATER MAINS" SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER; FIRE HYDRANT LINES; AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.

1. HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS

- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.006(2), F.S., AND RULE 64E-6.002, F.A.C.

2. VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, AND RECLAIMED WATER PIPELINES

- NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM WATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

3. SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES

- NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE.
- EFFECTIVE AUGUST 28, 2003, WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A STORM SEWER MANHOLE OR INLET STRUCTURE.

4. SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS

- NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

WATER DISTRIBUTION

- SEE PIPE SEPARATION REQUIREMENTS, THIS SHEET.
- ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
- ALL WATER SYSTEM WORK SHALL CONFORM WITH LOCAL REGULATORY AGENCY STANDARDS AND SPECIFICATIONS.
- CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER TO BE RESOLVED BY ADJUSTING THE WATER LINES AS NECESSARY AND PER PIPE SEPARATION REQUIREMENTS NOTED THIS SHEET.
- ALL ON SITE PVC WATER MAINS 4 INCHES THROUGH 12 INCHES SHALL BE IN ACCORDANCE WITH AWWA C-900 AND SHALL BE CLASS 150 SDR 18. ALL ON-SITE PVC WATER MAINS 2" TO 3" SHALL BE CLASS 1120 AND MEET REQUIREMENTS OF SDR 21 IN ACCORDANCE WITH ASTM D-2241. WATER MAINS SMALLER THAN 1 1/2" SHALL BE CLASS 1120 OR 1220 SCHEDULE 80 AND MEET REQUIREMENTS OF ASTM D-1785.
- ALL DUCTILE IRON PIPE SHALL CONFORM TO THE REQUIREMENTS OF ANSI STANDARD A21.51. MINIMUM CLASS 50. JOINTS FOR DUCTILE IRON PIPE SHALL BE MECHANICAL OR PUSH-ON JOINTS. PIPE SHALL HAVE AN EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A21.51. PIPE INTERIOR SHALL HAVE A CEMENT MORTAR LINING WITH AN ASPHALTIC SEAL COAT CONFORMING TO AWWA/ANSI C104/A21.4. THE WEIGHT AND CLASS DESIGNATION SHALL BE PAINTED IN WHITE ON THE EXTERIOR SURFACE OF ALL PIPE AND FITTINGS. MANUFACTURER'S CODE OR SERIAL NUMBER SHALL BE PROVIDED ON THE BELL OF EACH PIPE JOINT.
- ALL DUCTILE FITTINGS SHALL BE MECHANICAL JOINT WITH A MINIMUM PRESSURE RATING OF 250 PSI AND SHALL CONFORM TO THE REQUIREMENTS OF ANSI/AWWA STANDARD A21.10/C110. ALL FITTING SHALL BE COATED AND LINED AS SPECIFIED ABOVE FOR DUCTILE IRON PIPE.
- RESTRAINED JOINTS SHALL BE PROVIDED AT ALL FITTINGS AND HYDRANTS AS SHOWN ON DETAILS.
- ALL COMPONENTS OF THE WATER SYSTEM, INCLUDING FITTINGS, HYDRANTS, CONNECTIONS, AND VALVES SHALL REMAIN UNCOVERED UNTIL PROPERLY PRESSURE TESTED AND ACCEPTED BY THE OWNER'S ENGINEER. PRESSURE TESTS TO BE IN ACCORDANCE WITH LOCAL REGULATORY AGENCY SPECIFICATIONS. CONTRACTOR TO NOTIFY OWNER'S ENGINEER AND LOCAL INSPECTORS 48 HOURS IN ADVANCE OF PERFORMING TESTS.
- CONTRACTOR TO PERFORM CHLORINATION AND BACTERIOLOGICAL SAMPLING AND OBTAIN CLEARANCE OF DOMESTIC WATER SYSTEM. COPIES OFF ALL BACTERIOLOGICAL TESTS TO BE SUBMITTED TO OWNER'S ENGINEER.
- IN CONSIDERATION OF PASCO COUNTY'S AGREEMENT TO PROVIDED POTABLE WATER AND/OR RECLAIMED WATER TO THE SUBJECT PROPERTY, DEVELOPER/OWNER, AND ITS SUCCESSORS AND ASSIGNS, AGREE TO THE FOLLOWING:
 - IN THE EVENT OF PRODUCTION FAILURE OR SHORTFALL BY TAMPA BAY WATER, AS SET FORTH IN SECTION 3.19 OF THE INTERLOCAL AGREEMENT CREATING TAMPA BAY WATER, DEVELOPER/OWNER SHALL TRANSFER TO PASCO COUNTY ANY AND ALL WATER USE PERMITS OR WATER USE RIGHTS THE DEVELOPER/OWNER MAY HAVE TO USE OR CONSUME SURFACE OR GROUND WATER WITHIN PASCO COUNTY.
 - PRIOR TO DEVELOPER/OWNER SELLING WATER OR WATER USE PERMITS OR WATER USE RIGHTS, DEVELOPER/OWNER SHALL NOTIFY PASCO COUNTY, AND PASCO COUNTY SHALL HAVE A RIGHT OF FIRST REFUSAL TO PURCHASE SUCH WATER OR WATER USE PERMITS OR WATER USE RIGHTS.

CONTRACTOR PERMIT LIST

- CONTRACTOR TO PULL ALL RIGHT OF WAY USE PERMITS FOR PASCO COUNTY AND FDOT.
- CONTRACTOR TO SCHEDULE PASCO COUNTY PRE-CON MEETING AND NOTIFY ENGINEER.
- CONTRACTOR TO OBTAIN ANY SITE PIPING PERMITS.
- CONTRACTOR TO OBTAIN TREE REMOVAL /CLEARING PERMIT FOR PASCO COUNTY.
- CONTRACTOR MUST HAVE NOT CERTIFIED FIELD PERSONNEL.
- A BOND OR LETTER OF CREDIT MAY BE REQUIRED.
- INSURANCE CERTIFICATE IS REQUIRED TO WORK IN ROW. CONTRACTOR'S LIABILITY INSURANCE (SEE FAC 14-96.007(C)(6) AND 48 HOUR START CONSTRUCTION NOTIFICATION IS REQUIRED BEFORE CONSTRUCTION STARTS. NO CONSTRUCTION OR OTHER ACCESS TO THIS PROJECT VIA FDOT FROM ANY EXISTING OR PROPOSED PERMIT IS ISSUED (PLEASE PRINT THE FDOT PERMIT NUMBER ON THE LIABILITY INSURANCE).
- A LICENSE IS REQUIRED FOR UNDERGROUND UTILITIES INSTALLATIONS.

GENERAL LANDSCAPE NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES, BEFORE PERFORMING ANY WORK. ANY CONFLICTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR RESOLUTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION AND PROTECTION OF ALL SITE CONDITIONS TO REMAIN FROM DAMAGE DUE TO HIS WORK. IN THE EVENT OF DAMAGE, ALL DAMAGED SHALL BE COMPLETELY REPAIRED TO ITS ORIGINAL CONDITION. ALL COST OF SUCH WORK SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED DAMAGE OR CUTTING OF EXISTING TREES TO REMAIN ON SITE. DAMAGE MAY BE CAUSED BY OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. DAMAGE ALSO INCLUDES THE COMPACTION OF THE ROOT ZONE BY DRIVING OR PARKING INSIDE THE DRIP-LINE OF TREES OR THE SPILLAGE OF DELETERIOUS CHEMICALS, OILS, DIESEL, ETC. WITHIN THE DRIP-LINE OF TREES.
- EXISTING TREES AND PALMS WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION AND SPECIFIED TO REMAIN ARE TO BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS WITH TREE BARRICADES PER LOCAL REGULATORY AGENCY REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE AN INTERNATIONAL SOCIETY OF ARBORIST (ISA) CERTIFIED ARBORIST WITH A MINIMUM OF 5 YEARS EXPERIENCE WITH SIMILAR PROJECTS, TO DIRECT APPROPRIATE PRUNING (ROOTS, BRANCHES) AND/OR OTHER TREATMENT NECESSARY TO ENSURE THE HEALTH, VIABILITY AND ATTRACTIVENESS OF TREES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE CERTIFIED ARBORIST'S INSTRUCTIONS.
- ALL LANDSCAPE AREAS AND AROUND EXISTING TREES SHALL BE MULCHED UTILIZING SHREDDED MELALEUCA OR PINE BARK NUGGETS (100% ORGANIC). MULCH SHALL BE INSTALLED TO A WETTED DEPTH OF 3". MULCH SHALL BE FREE OF EXTRANEOUS DEBRIS.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL COMPLY WITH ALL REQUIRED INSPECTIONS, GRADING STANDARDS AND PLANT REGULATIONS, AS SET FORTH BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES DIVISION OF PLANT INDUSTRY. ALL PLANT MATERIAL SHALL BE PLANTED TO THE LATEST EDITION OF PLANT MATERIAL SHALL ALSO CONFORM TO ANSI STANDARDS FOR NURSERY STOCK (ANSI Z60.1-1990). THE MINIMUM GRADE FOR ALL PLANT MATERIALS SHALL BE FLORIDA #1.
- THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATER; OVER THE AMOUNT OF WATER SUPPLIED BY THE IRRIGATION SYSTEM, FOR THE ESTABLISHMENT TO ALL NEWLY INSTALLED TREES AND PALMS FOR 90 DAYS, COMMENCING IMMEDIATELY AFTER INSTALLATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST WATERING AMOUNTS AND FREQUENCY TO ENSURE PROPER ESTABLISHMENT OF ALL PLANT MATERIAL.
- PLANTING AREAS SHALL BE FREE OF EXTRANEOUS MATERIALS AND CAPABLE OF PERCOLATION PRIOR TO PLANTING AND PREPARED SOIL BACKFILL.
- ALL LANDSCAPE CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF THE LOCAL REGULATORY AGENCY LANDSCAPE CODE.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. THE OWNER RESERVES THE RIGHT TO DIRECT THE REMOVAL AND REPLACEMENT OF ANY ITEMS WHICH, IN HIS OPINION, DO NOT MEET INDUSTRY STANDARDS OR PRESENT AN ORDLY AND WORKMANLIKE APPEARANCE. PROVIDED THAT SUCH ITEMS CAN BE INSTALLED PROPERLY USING STANDARD INDUSTRIAL PRACTICES.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN HIS FINISHED WORK FROM THE TIME OF INSTALLATION IS COMPLETE TO THE TIME OF FINAL ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A 1-YEAR WARRANTY ON THE INSTALLED PLANT MATERIAL AND A 90-DAY WARRANTY ON SOD.
- PLANTING SOIL SHALL BE FERTILE, NATURAL TOPSOIL, TYPICAL TO THE LOCALITY, OBTAINED FROM WELL DRAINED AREAS. IT SHALL BE WITHOUT ADMIXTURE OF SUBSOIL OR CLAY AND SHALL BE FREE OF STONES, LUMPS, STICKS, PLANTS, ROOTS, TOXIC SUBSTANCES OR OTHER EXTRANEOUS MATTER THAT MAY BE HARMFUL TO PLANT GROWTH OR INTERFERE WITH FUTURE MAINTENANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING OF SOILS AND MAKE THE NECESSARY ADJUSTMENTS OR AMENDMENTS FOR LONG TERM PLANT HEALTH AND VITALITY.
- SOD SHALL BE OF KIND AND PLACED AS SHOWN ON THE PLANS. SOD SHALL BE WELL MAINTED WITH GRAY ROOTS. SOD SHALL BE IN 12"x14" RECTANGLES, HAVING A MINIMUM THICKNESS OF 2", AND SHALL BE FRESH, LIVE AND UNINURED AT TIME OF PLANTING. SOD SHALL BE CERTIFIED AS FREE OF WEEDS AND OTHER GRASSES, HAVING SUFFICIENT SOIL MAT TO ADHERE FIRMLY TO ROOTS FOR HANDLING. SOD SHALL BE PLANTED WITHIN 72 HOURS OF BEING HARVESTED AND ROLLED IMMEDIATELY AFTER INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL STAKING OF TREES AND PALMS BASED ON SITE CONDITIONS, TO PROVIDE FOR THE STABILITY OF THE TREE AND PALM MATERIALS AND TO PROTECT THE HEALTH AND SAFETY OF THE PUBLIC/PROPERTY.
- TREE AERATION SYSTEM SHALL MEET THE MINIMUM REQUIREMENTS OF LOCAL GOVERNING AGENCY AND UNDER THE SUPERVISION OF THE CERTIFIED ARBORIST. THE CERTIFIED ARBORIST SHALL ADJUST THE REQUIREMENTS OF THE AERATION SYSTEM IN THE FIELD TO ACCOUNT FOR ACTUAL FIELD CONDITIONS AND THE ROOT SYSTEM OF THE TREE.

PASCO COUNTY NOTE: IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.

PASCO COUNTY NOTE: A ROLLING STRAIGHT EDGE TEST IS REQUIRED PER PASCO COUNTY REQUIREMENTS. ALL ROADWAYS TO BE DEDICATED TO PASCO COUNTY MUST MEET COUNTY AND DOT STANDARDS.

SC-1 TESTING SCHEDULE

NOTE: GOVERNING AGENCY REQUIREMENTS SUPERSEDE THESE REQUIREMENTS.

ITEM	TEST	TEST FREQUENCY
EMBANKMENT	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER SOIL TYPE
	95% OF MODIFIED PROCTOR (AASHTO T-180-57, ASTM D-1557)	ONE PER 500 FEET HORIZONTALLY, IN 12 INCH LIFTS
UTILITY TRENCH BACKFILL	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER SOIL TYPE
	98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T180-57 (ASTM D1557-70) - MINUS 3% TOLERANCE	***
UTILITY TRENCH BACKFILL OVER PIPELINES AND AROUND STRUCTURES FROM R.O.W.	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER SOIL TYPE
	98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T180-57 (ASTM D1557-70) - MINUS 3% TOLERANCE	***
UTILITY TRENCH BACKFILL OVER PIPELINES AND AROUND STRUCTURES OUTSIDE THE R.O.W.	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER SOIL TYPE
	98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T180-57 (ASTM D1557-70) - NO TOLERANCE	***
STABILIZED SUBGRADE	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER MATERIAL TYPE
	MINIMUM 40 LBR	*** PER MATERIAL TYPE
BASE (OTHER THAN SOIL CEMENT)	OPTIMUM MOISTURE/MAXIMUM DENSITY	PER SOURCE
	MINIMUM 100 LBR	PER SOURCE
CONCRETE	GRADATION, ATTERBURG LIMITS	PER SOURCE
	SLUMP TEST	ONE PER SET OF CYLINDERS
ASPHALTIC CONCRETE	COMPRESSIVE STRENGTH CYLINDERS	ONE SET OF THREE (3) CYLINDERS FOR 100 CUBIC YARDS OR FRACTION THEREOF
	AIR CONTENT	ONE PER SET OF CYLINDERS
CONCRETE	AGGREGATE ANALYSIS	ONE PER DESIGN
	DESIGN MIX	ONE PER TYPE
	BITUMEN CONTENT	ONE PER DAY
	GRADATION STABILITY FLOW	ONE PER DAY
	PROPERTIES OF IN PLACE MATERIALS (MARSHALL)	ONE PER DAY
	THICKNESS	***
	95% OF LAB DENSITY	***

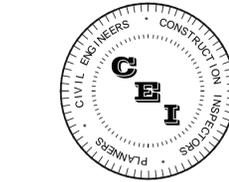
- ON-SITE ONLY: TESTS SHALL BE LOCATED NO MORE THAN 500 FEET APART. TESTS SHALL BE PERFORMED ON EACH LIFT, EXCEPT THAT TESTS SHALL NOT BE FURTHER APART THAN ONE (1) FOOT VERTICALLY. FIELD DENSITIES SHALL BE TAKEN OVER ALL ROAD CROSSINGS. FIELD DENSITIES FOR SANITARY LINES SHALL BE STAGGERED TO INCLUDE RESULTS OVER SERVICE LATERALS. THERE SHALL BE A MINIMUM OF ONE (1) TEST SERIES FOR EACH 12 INCHES OF LIFT OVER PIPELINE BETWEEN MANHOLE. TESTS AROUND STRUCTURES SHALL BE SPRALED IN 12 INCH LIFTS.

- ON-SITE ONLY: FOR FLEXIBLE PIPE (CORRUGATED STEEL OR ALUMINUM), 95% OF MAXIMUM DENSITY (AASHTO-T99) PER FOOT SUPPLEMENTAL SPECIFICATIONS SUB ARTICLE 125-8.3.2 AS MODIFIED.

- TESTS SHALL BE LOCATED NO MORE THAN 500 FEET APART. THERE SHALL BE NO LESS THAN ONE (1) TEST PER STREET.

- OFF-SITE COUNTY RIGHT OF WAY:

- ONE (1) SET OF TESTS PER CROSSING, WITH A MINIMUM OF ONE (1) SET OF TESTS BETWEEN EACH PAI OF STRUCTURES. TESTS SHALL BE MADE AT INTERVALS NO GREATER THAN 400 LF.
- IN STAGES 1 AND 2 OF BACKFILL, EACH 6" LAYER OF COMPACTED THICKNESS AND IN STAGE 3, EACH 12" LAYER OF COMPACTED THICKNESS, SHALL BE TESTED. SEE ILLUSTRATION THIS SHEET. BACKFILLING OUTSIDE THE SHOULDER IN ALL STAGES SHALL BE TO A FIRMNESS EQUAL TO THAT OF THE SOIL ADJACENT TO THE PIPE TRENCH.



CAMPO
ENGINEERING, INC.

FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL. 33605

PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE

**OMNI AT THE SHOPPES
AT TRINITY LAKES**

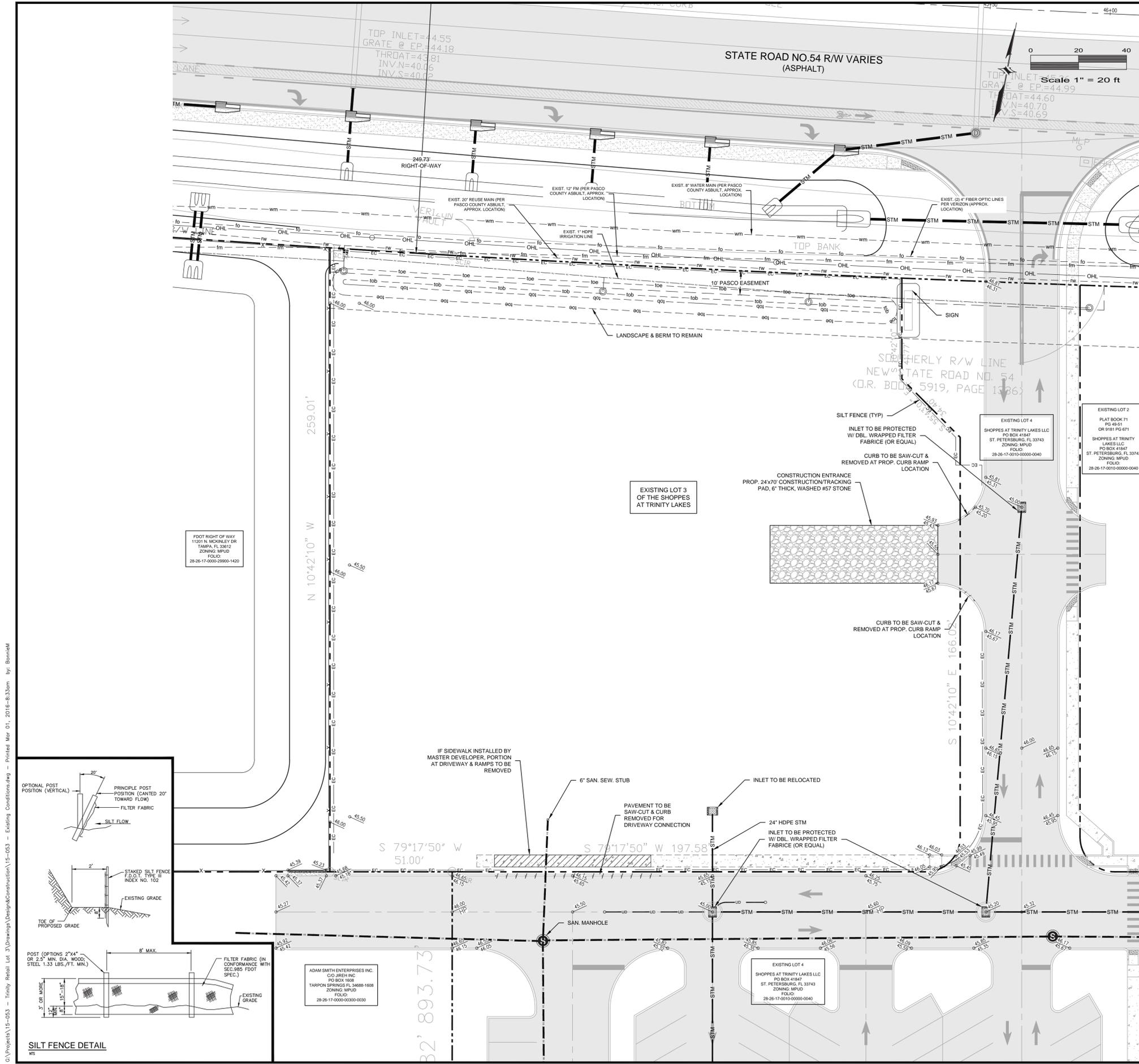
PASCO COUNTY, FLORIDA

CLIENT

50 SEMBLER
YEARS Creating Retail Value.

THE SHOPPES AT TRINITY
LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS



- ### LEGEND
- A = ARC LENGTH
 - B.M. = BENCHMARK
 - (C) = COMPUTED
 - CB = CHORD BEARING
 - CL = CHORD LENGTH
 - C = CENTERLINE
 - CONC. = CONCRETE
 - (D) = AS PER DESCRIPTION
 - ELEV. = ELEVATION
 - (F) = FIELD
 - F.B. = FIELD BOOK
 - FCR = FOUND CAPPED IRON ROD # 4" ROUND LS#4048
 - F.F. = FINISHED FLOOR
 - FIP = FOUND IRON PIPE
 - FIPC = FOUND IRON PIPE CRIMPED
 - FIR = FOUND IRON ROD
 - (M) = MEASURED
 - N.C.V.D. = NATIONAL GEODETIC VERTICAL DATUM
 - O.R. = OFFICIAL RECORD BOOK
 - (P) = PLATTED
 - PG. = PAGE
 - P.P. = POWERPOLE
 - PAVT = PAVEMENT
 - R = RADIUS
 - (R) = RADIAL
 - R/W = RIGHT OF WAY
 - RNG. = RANGE
 - SCM = SET CONCRETE MONUMENT
 - SCIR = SET CAPPED IRON ROD 1/2" LB#7867"
 - SEC. = SECTION
 - (TYP) = TYPICAL
 - TWP. = TOWNSHIP
 - +/- = MORE OR LESS
 - Δ = CENTRAL ANGLE
 - N&D = NAIL AND DISK
 - 23.5 = EXISTING ELEVATION
 - UGELEC= UNDERGROUND ELECTRIC
 - UGCATV= UNDERGROUND CABLE TV
 - INV.MES= INVERT MITERED END SECTION
 - RPC= REINFORCED CONCRETE PIPE
 - LP= LIGHT POLE
 - WLP= WOOD LIGHT POLE
 - ARV= AIR RELEASE VALVE
 - CP= CONCRETE POWER POLE
 - EHH= ELECTRIC HANDHOLE
 - WPP= WOOD POWER POLE
 - MLP= METAL LIGHT POLE
 - GV= GATE VALVE
 - TSIGN = TRAFFIC SIGN

- ### EROSION CONTROL NOTES
1. THE INSTALLATION OF TEMPORARY EROSION CONTROL BARRIERS SHALL BE COORDINATED WITH THE CONSTRUCTION OF THE PERMANENT EROSION CONTROL FEATURES TO THE EXTENT NECESSARY TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL OF EROSION AND WATER POLLUTION THROUGHOUT THE LIFE OF THE CONSTRUCTION PHASE.
 2. THE TYPE OF EROSION CONTROL BARRIERS USED SHALL BE GOVERNED BY THE NATURE OF THE CONSTRUCTION OPERATION AND SOIL TYPE THAT WILL BE EXPOSED. SILTY AND CLAYEY MATERIAL USUALLY REQUIRE SOLID SEDIMENT BARRIERS TO PREVENT TURBID WATER DISCHARGE, WHILE SANDY MATERIAL MAY NEED ONLY SILT SCREENS OR HAY BALES TO PREVENT EROSION. FLOATING TURBIDITY CURTAINS SHALL BE USED IN OPEN WATER SITUATIONS. DIVERSION DITCHES OR SWALES MAY BE REQUIRED TO PREVENT TURBID STORMWATER RUNOFF FROM BEING DISCHARGED TO WETLANDS OR OTHER WATER BODIES. IT MAY BE NECESSARY TO EMPLOY A COMBINATION OF BARRIERS, DITCHES AND OTHER EROSION/TURBIDITY CONTROL MEASURES IF CONDITIONS WARRANT.
 3. CONSTRUCTION OPERATIONS IN OR ADJACENT TO WETLANDS SHALL BE RESTRICTED TO THOSE AREAS IDENTIFIED IN THE PLANS AND IN THE SPECIFICATIONS.
 4. EXCAVATED MATERIAL SHALL NOT BE DEPOSITED IN THE WETLANDS OR IN A POSITION CLOSE ENOUGH THERETO TO BE WASHED AWAY BY HIGH WATER OR RUNOFF.
 5. WHERE PUMPS ARE TO BE USED TO REMOVE TURBID WATERS FROM CONSTRUCTION AREAS, THE WATER SHALL BE TREATED PRIOR TO DISCHARGE TO THE WETLANDS. TREATMENT METHODS INCLUDE AND ARE NOT LIMITED TO, TURBID WATER BEING PUMPED INTO GRASSED SWALES OR APPROPRIATE VEGETATED AREAS, SEDIMENT BASINS, OR CONFINED BY AN APPROPRIATE ENCLOSURE SUCH AS TURBIDITY BARRIERS, AND KEPT CONFINED UNTIL ITS TURBIDITY LEVEL MEETS STATE WATER QUALITY STANDARDS.
 6. THE CONTRACTOR SHALL SCHEDULE HIS OPERATIONS SUCH THAT THE AREA OF UNPROTECTED ERODIBLE EARTH EXPOSED AT ANY ONE TIME IS NOT LARGER THAN THE MINIMUM AREA NECESSARY FOR EFFICIENT CONSTRUCTION OPERATIONS, AND THE DURATION OF EXPOSED, UNCOMPLETED CONSTRUCTION TO THE ELEMENTS SHALL BE AS SHORT AS PRACTICABLE. CLEARING AND GRUBBING SHALL BE SO SCHEDULED AND 3PERFORMED THAT GRADING OPERATIONS CAN FOLLOW IMMEDIATELY THEREAFTER, AND GRADING OPERATIONS SHALL BE SCHEDULED AND PERFORMED THAT PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER IF CONDITIONS ON THE PROJECT PERMIT.
 7. THE CONTRACTOR AND/OR OWNER'S REPRESENTATIVE SHALL PROVIDE ROUTINE MAINTENANCE OF PERMANENT AND TEMPORARY EROSION CONTROL FEATURES UNTIL THE PROJECT IS COMPLETE AND ALL BARED SOILS ARE STABILIZED.
 8. SILT FENCE SHALL BE LOCATED AT THE PERIMETER OF CONSTRUCTION LIMITS, AS DEFINED BY FIELD CONDITIONS.
 9. CONTRACTOR IS TO PROVIDE EROSION CONTROL AND SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION, CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES.
 10. IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION OR OTHER ACCEPTABLE METHODS.
 11. ALL EXISTING SIDEWALK CRACKED OR DAMAGED SHALL BE REPLACED.

PASCO COUNTY NOTE

IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATION, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OR THE RESOURCES FOUND ON THE SITE.

- ### SURVEYOR'S NOTES
1. BEARINGS ARE BASED UPON THE EASTERLY BOUNDARY LINE HAVING A PLATTED BEARING OF SOUTH 15°42'4" EAST.
 2. THIS SURVEY WAS PREPARED WITH INFORMATION TAKEN FROM TITLE COMMITMENT FILE #20140427, EFFECTIVE DATE JUNE 29, 2014, PREPARED BY STEWART TITLE GUARANTY COMPANY.
 3. SCHEDULE B-II EXCEPTIONS:
 - A. O.R. BOOK 3158, PAGE 971 AND O.R. BOOK 5133, PAGE 835 AND O.R. BOOK 5178, PAGE 412 AND O.R. BOOK 4075 PAGE 1374 ARE NOT APPLICABLE TO THE SURVEYED PROPERTY.
 - B. O.R. BOOK 4873, PAGE 826 AND O.R. BOOK 4873, PAGE 835 AND O.R. BOOK 8524, PAGE 1270 AND O.R. BOOK 8937, PAGE 2193 AND O.R. BOOK 8950, PAGE 1229 AFFECT THE SURVEYED PROPERTY AND ARE GRAPHICALLY SHOWN ON THE SURVEY.
 - C. O.R. BOOK 3960, PAGE 870 AND O.R. BOOK 4311, PAGE 1830 AND O.R. BOOK 1799, PAGE 337 AND O.R. BOOK 3761, PAGE 1190 AND O.R. BOOK 8488, PAGE 1138 AND O.R. BOOK 8785 PAGE 558 AND O.R. BOOK 4677, PAGE 311 AFFECT THE SURVEYED PROPERTY BUT ARE UNABLE TO BE GRAPHICALLY SHOWN ON THE SURVEY.
 - D. O.R. BOOK 8932, PAGE 3882 AND O.R. BOOK 9016, PAGE 713 AFFECT ONLY PARCEL 2 BUT ARE UNABLE TO BE GRAPHICALLY SHOWN ON THE SURVEY.
 - E. O.R. BOOK 8950, PAGE 1229 DOES NOT AFFECT THE PROPERTY SURVEYED BUT IS GRAPHICALLY SHOWN ON THE SURVEY.
 - F. MATTERS SHOWN IN PLAT BOOK 68, PAGES 83 THROUGH 98, THE VILLAGES OF TRINITY LAKES, AS PERTAINING TO PARCEL 2 ARE SHOWN ON THE SURVEY.
 - G. ALL EASEMENTS, RESTRICTIONS, AND/OR RESERVATIONS AS STATED IN EXCEPTION #6 AFFECT THE PROPERTY SURVEYED BUT ARE UNABLE TO BE GRAPHICALLY SHOWN ON THE SURVEY.
 4. NO UNDERGROUND FOUNDATIONS, CROSS FENCES, OR IMPROVEMENTS, IF ANY, ARE SHOWN ON THIS SURVEY.
 5. THE ABOVE DESCRIBED PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE "X" AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 1210C0309P PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DATED SEPTEMBER 26, 2014.
 6. ELEVATIONS ARE BASED ON NGS BENCHMARK U-668 ELEVATION 40.67' NAVD 88 DATUM, CONVERTED TO ELEVATION 41.51' NGVD 29 DATUM. ALL ELEVATIONS SHOWN ON SURVEY ARE IN NGVD 29 DATUM.



CAMPO ENGINEERING, INC.
 FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
 TAMPA, FL. 33605
 PHONE: (813) 215-7372
 FAX: (813) 902-8782

PROJECT TITLE
OMNI AT THE SHOPPES AT TRINITY LAKES
 PASCO COUNTY, FLORIDA
CLIENT



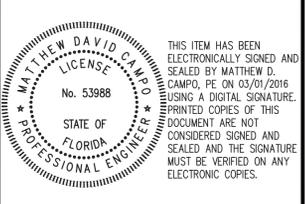
THE SHOPPES AT TRINITY LAKES, LLC
 5858 CENTRAL AVENUE
 ST. PETERSBURG, FL
 (728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE

ISSUE DATE: 12/2015
REVIEWED BY: MDC
DRAWN BY: BLM
DESIGNED BY: BLM

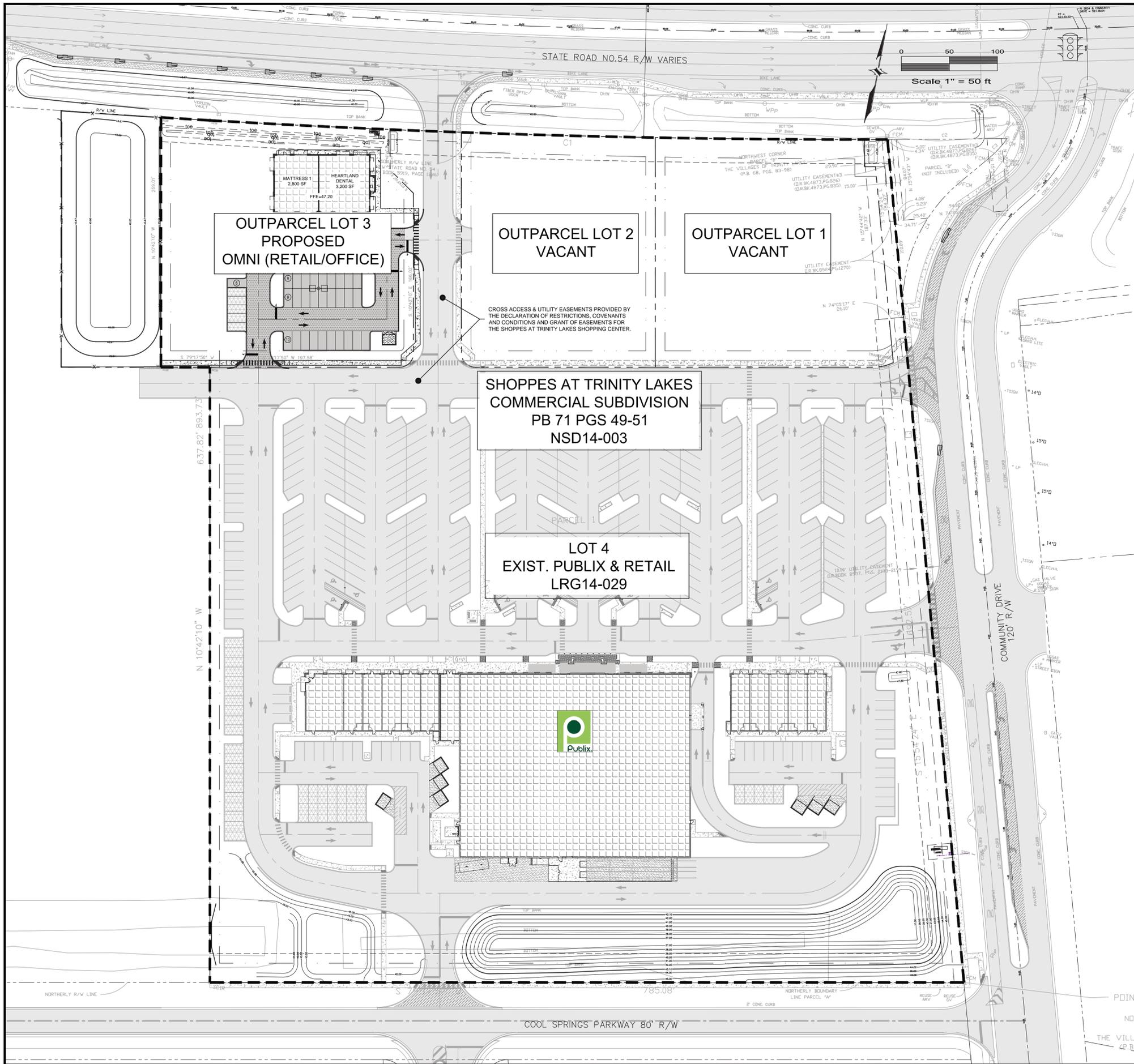
PROJECT NUMBER
 15-053



Matthew D. Campo 53988 03/01/2016
 NAME SEAL NO. DATE

SHEET TITLE
EXISTING CONDITIONS, DEMO & EROSION CONTROL PLAN

SHEET NUMBER
C3.1



LEGEND

	PROPOSED BUILDING		EXISTING PAVEMENT
	PROPOSED 4" THK. CONCRETE		PERVIOUS PAVEMENT
	PROPOSED 6" THK. CONCRETE (MIN.)		PROPERTY LINE
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT		BUILDING SETBACK
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT		LANDSCAPE BUFFER
			COMMERCIAL SUBDIVISION BOUNDARY

INDIVIDUAL LOT AREA BREAKDOWN CHART:

LOT	1	2	3	4	Total
TOTAL ACREAGE	1.28	1.11	1.49	11.47	15.36
Sq. Ft.	55,869	48,500	64,836	499,695	668,900
Allowable F.A.R.	0.11	0.12	0.09	0.12	0.45
ISR (Impervious Surface Ratio) based on 85% Max.	47,488	41,225	55,111	424,741	568,565
Proposed Building Square Footage / Allowable Square Footage	* 6,056	* 6,056	* 6,056	61,831	80,000

SITE DATA TABLE

PROPERTY PIN:	LOT 1 - 28-26-17-0010-00000-0010 LOT 2 - 28-26-17-0010-00000-0020 LOT 3 - 28-26-17-0010-00000-0030 LOT 4 - 28-26-17-0010-00000-0040	PETITION NUMBERS & DATES	1. REZONING PETITION NO. 3759 (APPROVED JANUARY 26, 1988) 2. REZONING PETITION NO. GM93-043 (APPROVED NOVEMBER 17, 1992)
LOCATION:	SECTION 28, TOWNSHIP 26, RANGE 17	3. REZONING PETITION ZCC03-38 (APPROVED NOVEMBER 17, 1992)	4. REZONING PETITION 93-22R2 (APPROVED FEBRUARY 28, 1994)
JURISDICTION:	PASCO COUNTY, FLORIDA	5. REZONING AMENDMENT NO. ZCC 94-197 (APPROVED MAY 24, 1994)	6. REZONING AMENDMENT NO. GM 95-371 (APPROVED MAY 25, 1995)
ZONING:	MPUD (FOLLOWING C-2 STANDARDS) TRINITY COMMUNITIES DRIMPUD 157 R2 2759 ORIGINAL APPROVAL 1/26/1988	7. REZONING AMENDMENT NO. GM95-575 (APPROVED AUGUST 22, 1995)	8. REZONING AMENDMENT NO. GM 97-295 (APPROVED MAY 25, 1997)
ADDRESS:	LOT 1 - 12538 SR 54 LOT 2 - 12496 SR 54 LOT 3 - 12450 SR 54 LOT 4 - 12500 SR 54	9. REZONING PETITION NO. 5241 (APPROVED APRIL 28, 1998)	10. REZONING PETITION NO. GM96-07 (APPROVED OCTOBER 25, 2005)
FUTURE LANDUSE:	ROR	11. REZONING PETITION NO. ZM09-310 (NON-SUBSTANTIAL) (APPROVED JUNE 23, 2009)	
MAX. DENSITY:	80,000 SF MAX. SEE TABLE FOR ALLOWABLE FAR		
MAX. BUILDING HEIGHT:	35' MAX., SINGLE STORY		
PDP-NR/CP/SW-NR APPROVAL:	SHOPPES AT TRINITY LAKES NSD14-003 DATED MARCH 9, 2015		
PDP-NR/CP/SW-NR APPROVAL:	SHOPPES AT TRINITY LAKES-PUBLIX LRG14-029 DATED MARCH 16, 2015		



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PASCO COUNTY, FLORIDA

CLIENT



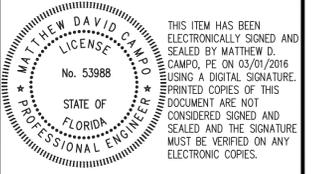
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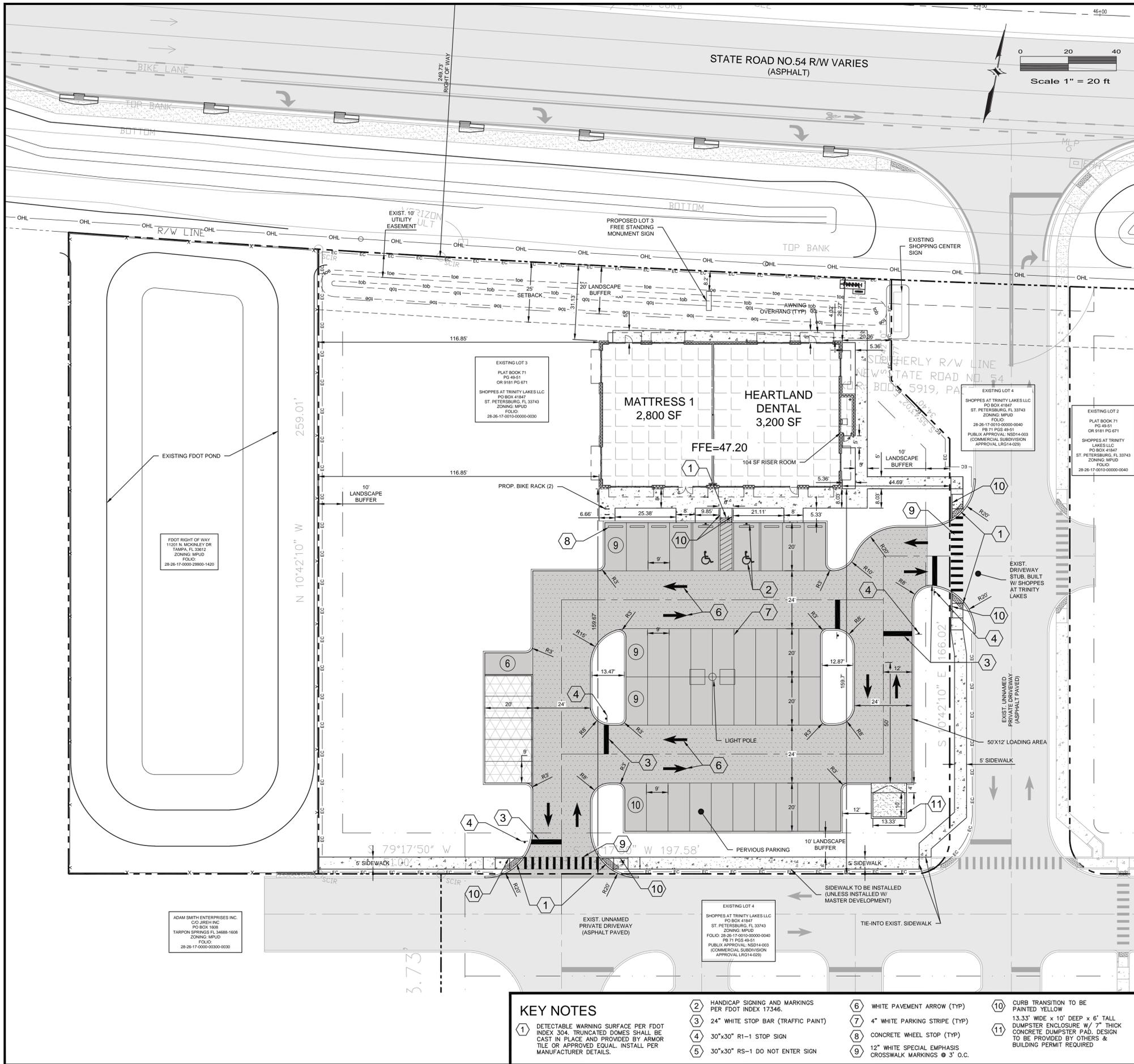
PROJECT NUMBER
15-053



Matthew D. Campo 53988 03/01/2016
NAME SEAL NO. DATE

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
C4.1



LEGEND

	PROPOSED BUILDING		EXISTING PAVEMENT
	PROPOSED 4" THK. CONCRETE		PERVIOUS PAVEMENT
	PROPOSED 6" THK. CONCRETE (MIN.)		PROPERTY LINE
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT		BUILDING SETBACK
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT		LANDSCAPE BUFFER
			PARKING SPACE COUNT

SITE DATA TABLE

PROPERTY PIN:	28-26-17-0010-00000-0030	ADDRESS:	12450 STATE ROAD 54, ODESSA, FL 33556
LOCATION:	SECTION 28, TOWNSHIP 26, RANGE 17	EXISTING LANDUSE:	UNDEVELOPED
JURISDICTION:	PASCO COUNTY, FLORIDA	FUTURE LANDUSE:	ROR
ZONING:	MPUD (FOLLOWING C-2 STANDARDS) TRINITY COMMUNITIES DRUMPPUD 157 RE 3759 ORIGINAL APPROVAL 1/26/1988	MAX. ALLOWABLE FAR:	0.09
		PROPOSED FAR:	0.094
		MAX. BUILDING HEIGHT:	35' MAX.
REQUIRED SETBACKS:	FRONT (NORTH): 25' SIDE (WEST): 0' (INTERNAL) SIDE (EAST): 0' (INTERNAL) REAR (SOUTH): 0' (INTERNAL)	LANDSCAPE BUFFERS:	FRONT (NORTH-STATE ROAD 54): TYPE 'D' 20' WIDE SIDE (WEST-INTERNAL): TYPE 'A' 10' WIDE SIDE (EAST-INTERNAL): TYPE 'A' 10' WIDE REAR (SOUTH-INTERNAL): TYPE 'A' 10' WIDE
REQUIRED PARKING:	1 SPACE PER 300 SF OF FLOOR AREA 6,104 SF FLOOR AREA / 300 = 20 SPACES		
REQUIRED BICYCLE PARKING:	0.02 SPACE PER PARKING SPACE 0.02 x 20 SPACES = 0.4 SPACES		
PROPOSED PARKING:	41 REGULAR SPACES 2 HANDICAP SPACES 43 TOTAL SPACES		
PROPOSED BICYCLE PARKING:	4 SPACES (2 PER RACK)		
PROJECT AREAS (LOT #):			
PROPOSED BUILDING:	6,104 S.F. - 9.41% - 0.140 AC.		
PROPOSED BUILDING USE:	18,497 S.F. - 28.53% - 0.425 AC.		
PROPOSED SW, CURB & DUMPSTER:	5,093 S.F. - 7.86% - 0.117 AC.		
PROPOSED OPEN SPACE:	35,142 S.F. - 54.20% - 0.807 AC.		
TOTAL PROPOSED SITE AREA:	64,836 S.F. - 100.00% - 1.488 AC.		
IMPERVIOUS AREA:			
PROPOSED TOTAL:	45.80% (29,694 SF)		
PROPOSED PAVING/PARKING COVERAGE:	28.53% (18,497 SF)		
FLOOR AREA RATIO:			
FAR:	6.104 SF / 43,560 SF/ACRE = 1.488 AC = 0.094		
ALLOWED BASED ON A MAXIMUM OF 80,000 SF FOR OVERALL SHOPPES AT TRINITY LAKES			

GENERAL NOTES

- THERE ARE NO HISTORICAL RESOURCES LOCATED WITHIN THE PROJECT LIMITS.
- THERE ARE NO KNOWN WELLS/HEAD PROTECTION AREAS (WPA) WITHIN 1,000 FEET OF THE PROJECT.
- THE PROPOSED ACTIVITIES SHALL COMPLY WITH PASCO COUNTY DEVELOPMENT REGULATIONS (LATEST EDITION) INCLUDING THE TREE AND LANDSCAPE CODE, STORM WATER MANAGEMENT REGULATIONS AND FIRE CODES AT THE TIME OF PERMITTING.
- SIDEWALKS TO BE PROVIDED AND BUILT IN ACCORDANCE WITH PASCO COUNTY LAND DEVELOPMENT REGULATIONS (LATEST EDITION). ALL PROPOSED SIDEWALKS SHALL MEET ADA REQUIREMENTS.
- BUFFERING AND SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH PASCO COUNTY LAND DEVELOPMENT CODE.
- MAXIMUM BUILDING HEIGHT SHALL BE AS SHOWN.
- SOLID WASTE COLLECTION SHALL BE BY DUMPSTER PICK-UP AS SHOWN.
- THERE ARE NO WETLANDS OR CONSERVATION AREAS WITHIN THE PROJECT BOUNDARIES.
- ALL BUILDING CONSTRUCTION SHALL CONFORM TO THE 2010 FLORIDA BUILDING CODE.
- ALL EASEMENTS SHALL BE DEDICATED TO THE APPROPRIATE ENTITY AND ALL RIGHTS SHALL BE PRIVATE.
- CONTRACTOR SHALL UTILIZE THE SERVICES OF A LICENSED FLORIDA SURVEYOR IN ORDER TO STAKE OUT LOCATION AND GRADE OF ALL SITE IMPROVEMENTS BASED ON THE DIGITAL AUTOCAD FILES FOR THIS PROJECT PROVIDED BY ENGINEER.

PASCO COUNTY DEVELOPMENT REVIEW STANDARD SITE PLAN NOTES

- ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE PASCO COUNTY STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES SPECIFICATIONS, LATEST EDITION.
- ALL ON-SITE WATER AND SEWER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER-DEVELOPER.
- ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED, AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY-APPROVED SITE PLAN. APPROVAL IF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE.
- HANDICAP PARKING SPACES WILL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, OR OTHER APPLICABLE STANDARDS.
- THE ARCHITECT/ENGINEER CERTIFIES THAT THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.
- ALL ON-SITE PARKING SPACES WILL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. PARKING SPACES, DIRECTIONAL ARROWS, AND STOP BARS SHALL BE STRIPED IN WHITE. IT SHALL BE THE OWNER/DEVELOPER'S RESPONSIBILITY TO PROPERLY SIGN AND STRIPE THE SITE IN ACCORDANCE WITH APPLICABLE STANDARDS.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THIS APPROVAL DOES NOT INCLUDE ANY WORK IN COUNTY RIGHT-OF-WAY. ALL RIGHT OF WAY WORK SHALL BE A FUNCTION OF AN APPROVED PASCO COUNTY RIGHT-OF-WAY USE PERMIT.
- ALL CLEAR-SITE AREAS SHALL BE KEPT FREE OF ANY SIGNAGE, PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND-A-HALF (3-1/2) FEET IN HEIGHT.
- NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY COUNTY OR STATE RIGHT-OF-WAY WITHOUT ISSUANCE OF APPROPRIATE RIGHT-OF-WAY USE PERMIT.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THE SITE AND ITS SUBSEQUENT BUILDING PERMITS SHALL COMPLY WITH ALL REZONING/MPUD/PLUD CONDITIONS.
- ALL STRUCTURES, INCLUDING BUFFER WALLS, RETAINING WALLS, SIGNAGE, ETC. REQUIRE SEPARATE BUILDING PERMITS BY CONTRACTOR/OWNER.
- IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATIONS, ARE DISCOVERED, WORK SHALL STOP AND AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OR THE RESOURCES FOUND ON THE SITE.
- LIGHTING NOTE: THERE WILL BE NO LIGHT SPILLAGE OR GLARE BEYOND THE PROJECT SITE.
- BUILDING PERMIT NOTE: PRIOR TO CONSTRUCTION, A BUILDING PERMIT SHALL BE OBTAINED FOR ALL STRUCTURES THAT HAVE A FOOTER, REGARDLESS OF SIZE, THROUGH PASCO COUNTY CENTRAL PERMITTING. (E INCLUDING BUT NOT INCLUSIVE BUILDINGS, ACCESSORIES, AND RETAINING WALLS)

PASCO COUNTY SIGNING & MARKING NOTES

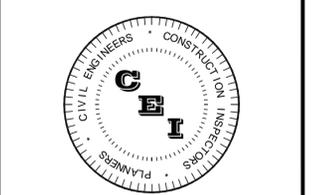
- FLORIDA STATE STATUTE 316.0745 REQUIRES THAT ALL TRAFFIC CONTROL SIGNING AND MARKINGS ON PRIVATE PROPERTY OPEN TO THE GENERAL PUBLIC BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL PARKING SPACES, PAVEMENT ARROWS & STOP BARS SHALL BE STRIPED IN WHITE PER THE MUTCD.
- ALL HANDICAPPED PARKING SPACES SHALL BE SIGNED AND MARKED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS INDEX.

STORMWATER NOTES

- ON-SITE SYSTEM IS PART OF ERP #43002364.181 AND ALLOWS FOR A MAX. 85% IMPERVIOUS AREA.
- CURVE NUMBER: ALLOWABLE POST DEVELOPMENT CN = 95.3.

KEY NOTES

- | | | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------|-----------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------|
| ① DETECTABLE WARNING SURFACE PER FDOT INDEX 304. TRUNCATED DOMES SHALL BE CAST IN PLACE AND PROVIDED BY ARMOR TILE OR APPROVED EQUAL. INSTALL PER MANUFACTURER DETAILS. | ② HANDICAP SIGNING AND MARKINGS PER FDOT INDEX 17346. | ⑥ WHITE PAVEMENT ARROW (TYP) | ⑩ CURB TRANSITION TO BE PAINTED YELLOW |
| ③ 24" WHITE STOP BAR (TRAFFIC PAINT) | ④ 30"x30" R1-1 STOP SIGN | ⑦ 4" WHITE PARKING STRIPE (TYP) | ⑪ 13.33' WIDE x 10' DEEP x 6" TALL DUMPSTER ENCLOSURE W/ 7" THICK CONCRETE DUMPSTER PAD. DESIGN TO BE PROVIDED BY OTHERS & BUILDING PERMIT REQUIRED |
| ⑤ 30"x30" RS-1 DO NOT ENTER SIGN | ⑧ CONCRETE WHEEL STOP (TYP) | ⑨ 12" WHITE SPECIAL EMPHASIS CROSSWALK MARKINGS @ 3' O.C. | |



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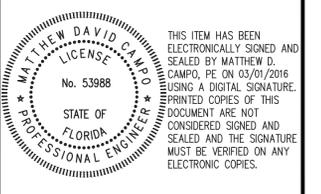
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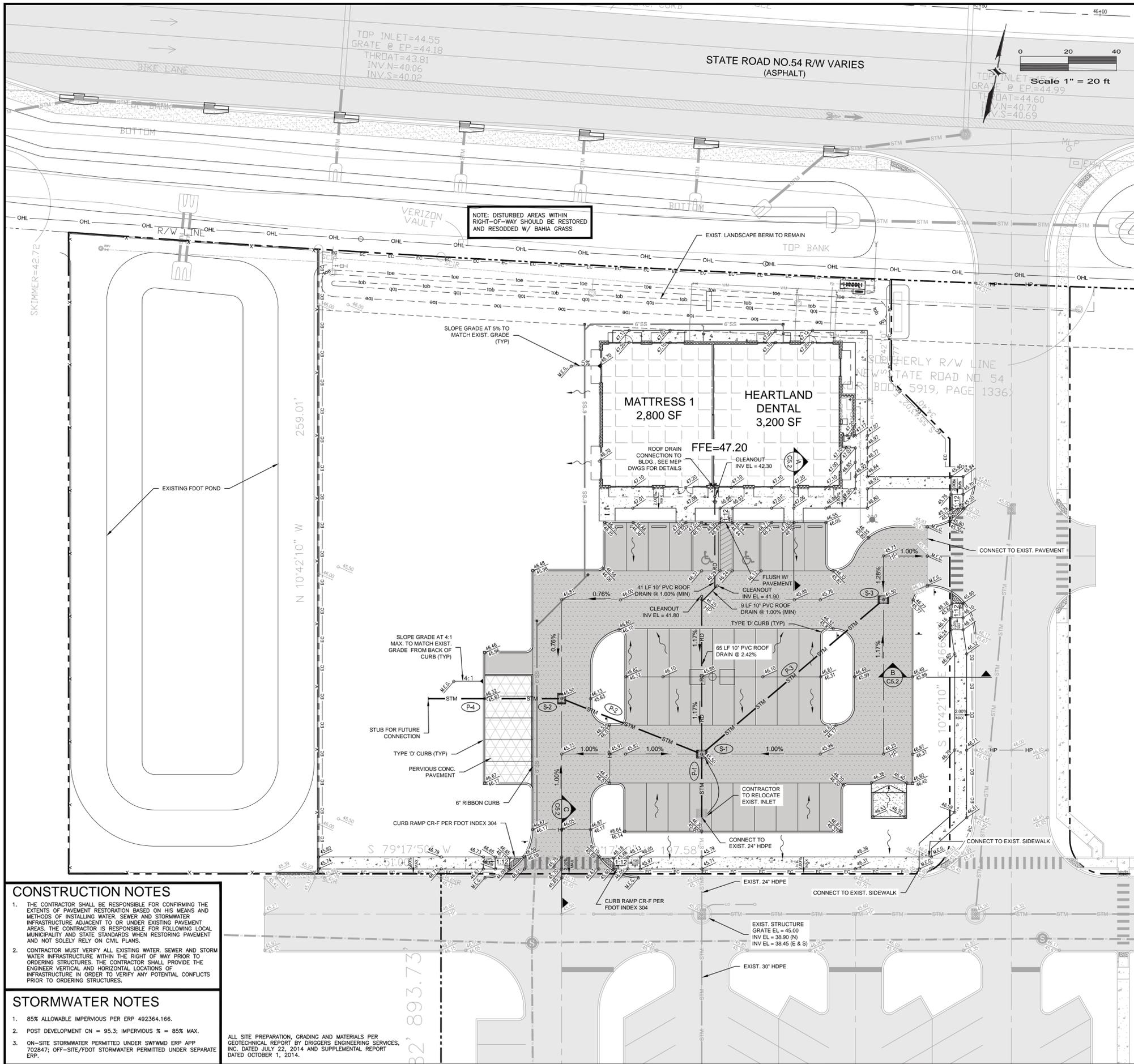
Matthew D. Campo 53988 03/01/2016
NAME SEAL NO. DATE

SHEET TITLE

SITE PLAN

SHEET NUMBER

C4.2



LEGEND

- EC — PROPERTY LINE
- STM — PROPOSED STORM PIPE
- RD — PROPOSED ROOF DRAIN
- SW — PROPOSED SWALE
- SB-2 — BORING LOCATION
- (P-1) — STORM STRUCTURE OR PIPE NUMBER
- (A/C-S) — FLOW ARROW
- 1.00% — PAVEMENT SLOPE
- 0.00 — PROPOSED SPOT GRADE
- [Grid Pattern] — PROPOSED BUILDING
- [Stippled] — PROPOSED 4" THK. CONCRETE
- [Dotted] — PROPOSED 6" THK. CONCRETE (MIN.)
- [Cross-hatched] — PROPOSED PERVIOUS CONCRETE PAVEMENT
- [Light Grey] — PROPOSED LIGHT DUTY ASPHALT PAVEMENT
- [Dark Grey] — PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- [White] — EXISTING PAVEMENT

GENERAL NOTES

1. ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH PASCO COUNTY STANDARDS, AND DOT SPECIFICATIONS, LATEST EDITIONS.
2. GRASS AND MULCH, OR SOLID SOD, ALL AREAS IN EXISTING RIGHT-OF-WAY DISTURBED BY CONSTRUCTION.
3. CONTRACTOR IS TO COORDINATE ALL WORK WITHIN, BUT NOT LIMITED TO PUBLIC RIGHT-OF-WAY WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES AND THE MAKING OF ADJUSTMENTS TO SAME, IF REQUIRED.
4. CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES.
5. ADJUSTING MANHOLE TOPS TO MATCH GRADE AND SLOPE OF THE FINISH PAVING SHALL BE INCLUDED IN THE RESPECTIVE CONTRACT UNIT PRICE FOR MANHOLES, PAYMENT OF WHICH WILL CONSTITUTE FULL COMPENSATION FOR THE CONSTRUCTION AND COMPLETION OF THE MANHOLE, AND NO ADDITIONAL PAYMENT WILL BE ALLOWED OR MADE FOR ADJUSTING MANHOLE TOPS.
6. ROOF DRAINAGE TO BE DIRECTED FROM BUILDINGS TO STORM SYSTEM VIA DOWNSPOUTS.
7. ALL FINISH FLOOR ELEVATIONS (FFE) ARE MINIMUMS.
8. SLOPE PERIMETER GRADE TO MATCH EXISTING GRADE AT 4:1 MAXIMUM.
9. EXCAVATION NOTE: NO EXCAVATION SHALL EXTEND BELOW THE PERMITTED DESIGN DEPTHS/ELEVATIONS SHOWN ON THE DRAWING, UNLESS ADDITIONAL TESTING SUPPORTS OTHERWISE; AND NO LOWER SEMI-CONFINING UNIT CLAYEY SOIL MATERIAL AND/OR NO LIMESTONE MATERIALS SHALL BE EXCAVATED, REGARDLESS IF THESE MATERIALS ARE ENCOUNTERED WITHIN THE PERMITTED EXCAVATION DEPTH/ELEVATIONS; IF ANY LOWER SEMI-CLAYEY SOIL MATERIALS OR LIMESTONE MATERIALS ARE ENCOUNTERED ABOVE THE PERMITTED DEPTH/ELEVATIONS, THEN EXCAVATION OPERATIONS SHALL CEASE IN THE GENERAL AREA, ANY EXCAVATION BELOW THE BOTTOM ELEVATIONS SHOWN ON THE PLANS WILL REQUIRE AN APPROVED PERMIT FROM THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT FOR THE DEEPER EXCAVATION.
10. CONTRACTOR SHALL PROVIDE REQUIRED DEWATERING FOR ALL STORMWATER AREAS CONSTRUCTED. CONTRACTOR SHALL PERFORM HORIZONTAL DEWATERING UPON REACHING A CLAY LAYER.
11. ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT WILL WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE, SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1 VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.
12. ALL GRADING OF SIDEWALKS AND PEDESTRIAN WALKWAYS SHALL MEET MINIMUM "ADA" STANDARDS. SIDEWALK CROSS SLOPES AND DRIVEWAY CROSSINGS FOR SIDEWALKS TO BE 2.0% MAX. SLOPE. ALL SIDEWALK RUNNING SLOPES SHALL NOT EXCEED 5% WITHOUT USE OF PROPER RAMPS PER FDOT OR FLORIDA BUILDING CODE. CONTRACTOR SHALL FIELD VERIFY SIDEWALK FORM BOARDS PRIOR TO CONSTRUCTING WALKWAYS.
13. CONTRACTOR SHALL WRAP ALL INLET GRATES WITH FILTER FABRIC UPON INSTALLATION. FABRIC TO BE REMOVED UPON COMPLETION OF BUILDING CONSTRUCTION.
14. CONTRACTOR SHALL OBTAIN ALL CONTRACTOR RELATED PERMITS.
15. EXISTING GRADES SHOWN ARE BASED ON SHOPPES AT TRINITY LAKES PROPOSED CONDITIONS NAVD 1988.
16. SITE IS LOCATED IN FLOOD ZONE X PER FIRM PANEL NUMBER 1210100380F, DATED 09/26/2014.

PASCO COUNTY NOTES

1. ALL FINISH FLOOR ELEVATIONS SHALL BE A MIN. OF 1' ABOVE THE BASE 100 YR FLOOD ELEVATION OR AS REQUIRED BY THE LDC SECTION 701.
2. ALL SODDED SLOPES OVER 4 TO 1, SHALL BE INSTALLED WITH SOD PEGS.
3. ANY OFF SITE DISTURBANCE SHALL BE RESTORED TO THE PRE OR BETTER CONDITION. (LDC 605.3.D). BAHIA SOD AT A MIN. IS REQUIRED.
4. UPON COMPLETION OF THE LAND DEVELOPMENT CONSTRUCTION, A PROFESSIONAL ENGINEER SHALL PROVIDE A CERTIFICATION TO PASCO COUNTY THAT THE PROJECT, INCLUDING EACH PAD AREA, COMPLIES WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL/GEOLOGICAL ENGINEERING REPORT.
5. SHOULD ANY NOTICEABLE SOIL SLUMPING OR SINKHOLE FORMATION BECOME EVIDENT, THE APPLICANT/DEVELOPER SHALL IMMEDIATELY NOTIFY THE COUNTY, TAMPA BAY WATER (TBW), AND SWFWMD, AND ADOPT ONE OR MORE OF THE FOLLOWING PROCEDURES AS DETERMINED TO BE APPROPRIATE BY THE COUNTY AND SWFWMD:
 - A. IF THE SLUMPING OR SINKHOLE FORMATION BECOMES EVIDENT BEFORE OR DURING CONSTRUCTION ACTIVITIES, STOP ALL WORK (EXCEPT FOR MITIGATION ACTIVITIES) IN THE AFFECTED AREA AND REMAIN STOPPED UNTIL THE COUNTY AND SWFWMD APPROVE RESUMING CONSTRUCTION ACTIVITIES.
 - B. TAKE IMMEDIATE MEASURES TO ENSURE NO SURFACE WATER DRAINS INTO THE AFFECTED AREAS.
 - C. VISUALLY INSPECT THE AFFECTED AREA.
 - D. EXCAVATE AND BACKFILL OR GROUT AS REQUIRED TO FILL THE AFFECTED AREA AND PREVENT FURTHER SUBSIDENCE.
 - E. USE SOIL REINFORCEMENT MATERIALS IN THE BACKFILLING OPERATION, WHEN APPROPRIATE.
 - F. IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA, MAINTAIN A MINIMUM DISTANCE OF TWO FEET FROM THE BOTTOM OF THE RETENTION POND TO THE SURFACE OF THE LIMEROCK OR KARST CONNECTION.
 - G. IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA AND THE ABOVE METHODS DO NOT STABILIZE THE COLLAPSE, RELOCATE THE RETENTION AREA.
 - H. DISCHARGE OF STORM-WATER INTO DEPRESSIONS WITH DIRECT OR DEMONSTRATED HYDROLOGIC CONNECTION TO THE FLORIDAN AQUIFER SHALL BE PROHIBITED.

ESTIMATED EARTHWORK: NOTE THESE ARE NOT TO BE USED FOR BID PURPOSES
 FILL: 0 CY
 CUT: 0 CY

STRUCTURE DATA

- (S-1) RELOCATED TYPE 'C' INLET
EXIST. GRATE EL = 45.50
INV EL = 39.06 (S)
INV EL = 39.56 (NW)
INV EL = 39.81 (NE)
INV EL = 40.23 (N)
- (S-2) TYPE 'C' INLET
GRATE EL = 45.50
INV EL = 39.76 (SE)
INV EL = 39.86 (W)
- (S-3) RELOCATED TYPE 'C' INLET
EXIST. GRATE EL = 45.50
EXIST. INV EL = 39.00 (S)

PIPE DATA

- (P-1) 26 LF 24" HDPE @ 0.24%
- (P-2) 63 LF 18" HDPE @ 0.32%
- (P-3) 98 LF 15" HDPE @ 0.20%
- (P-4) 55 LF 18" HDPE @ 0.20%

DATUM NOTE

ELEVATIONS ARE BASED ON NGS BENCHMARK U-688 ELEVATION 40.67 NAVD 88 DATUM. CONVERTED TO ELEVATION 41.51' NGVD 29 DATUM. ALL ELEVATIONS SHOWN ON SURVEY ARE IN NGVD 29 DATUM.

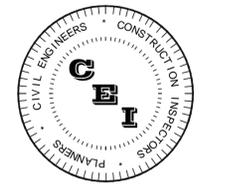
CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE EXTENTS OF PAVEMENT RESTORATION BASED ON HIS MEANS AND METHODS OF INSTALLING WATER, SEWER AND STORMWATER INFRASTRUCTURE ADJACENT TO OR UNDER EXISTING PAVEMENT AREAS. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING LOCAL MUNICIPALITY AND STATE STANDARDS WHEN RESTORING PAVEMENT AND NOT SOLELY RELY ON CIVIL PLANS.
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STORMWATER NOTES

1. 85% ALLOWABLE IMPERVIOUS PER ERP 492364.166.
2. POST DEVELOPMENT CN = 95.3; IMPERVIOUS % = 85% MAX.
3. ON-SITE STORMWATER PERMITTED UNDER SWFWMD ERP APP 702847; OFF-SITE/FDOT STORMWATER PERMITTED UNDER SEPARATE ERP.

ALL SITE PREPARATION, GRADING AND MATERIALS PER GEOTECHNICAL REPORT BY DRIGGERS ENGINEERING SERVICES, INC. DATED JULY 22, 2014 AND SUPPLEMENTAL REPORT DATED OCTOBER 1, 2014.



CAMPO ENGINEERING, INC.
 FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
 TAMPA, FL. 33605
 PHONE: (813) 215-7372
 FAX: (813) 902-8782

PROJECT TITLE
OMNI AT THE SHOPPES AT TRINITY LAKES
 PASCO COUNTY, FLORIDA

CLIENT
50SEMBLER
 YEARS Creating Retail Value.

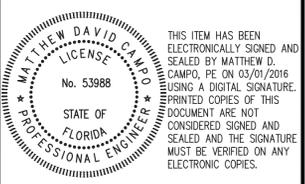
THE SHOPPES AT TRINITY LAKES, LLC
 5858 CENTRAL AVENUE
 ST. PETERSBURG, FL
 (728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE

ISSUE DATE: 12/20/15
REVIEWED BY: MDC
DRAWN BY: BLM
DESIGNED BY: BLM

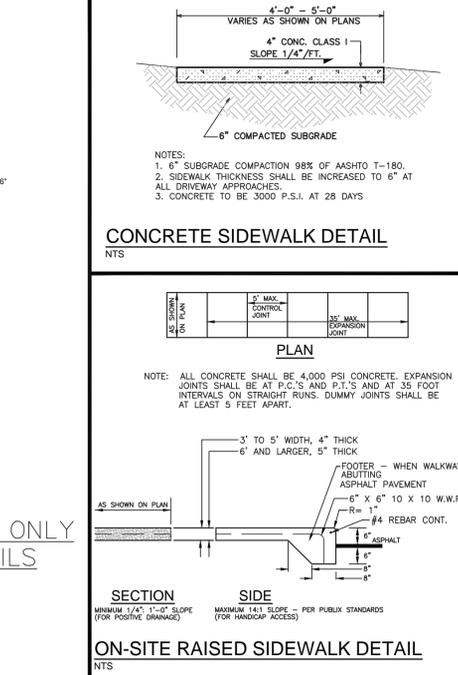
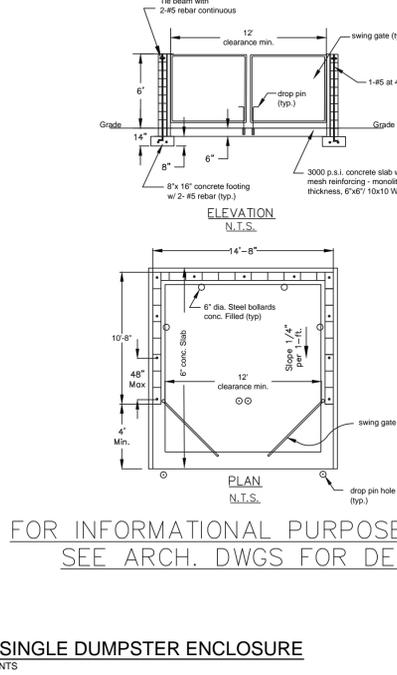
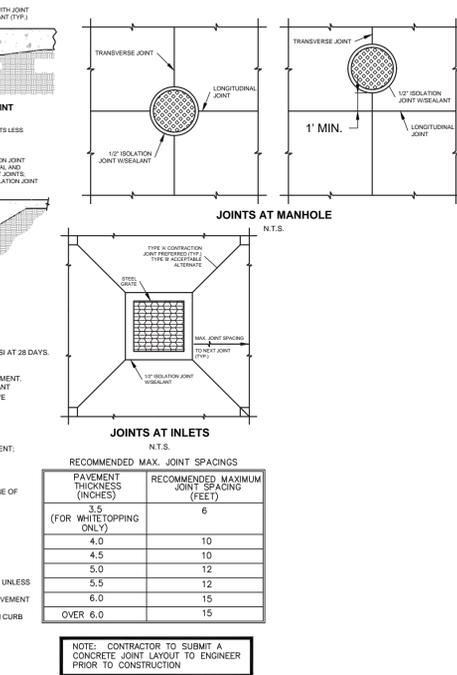
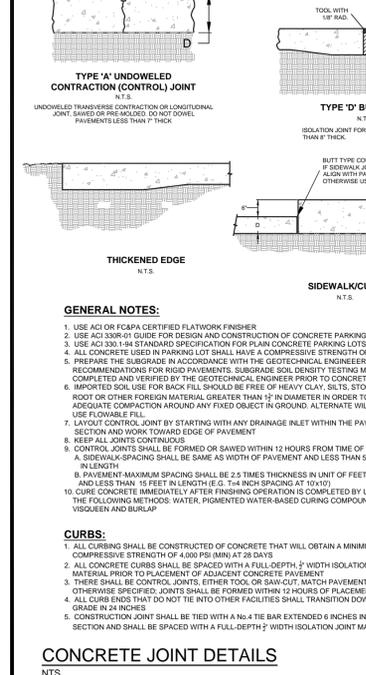
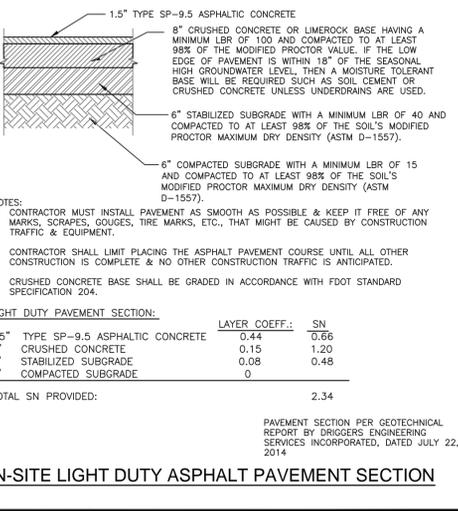
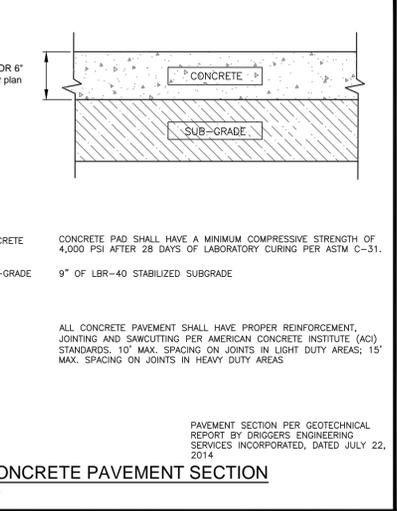
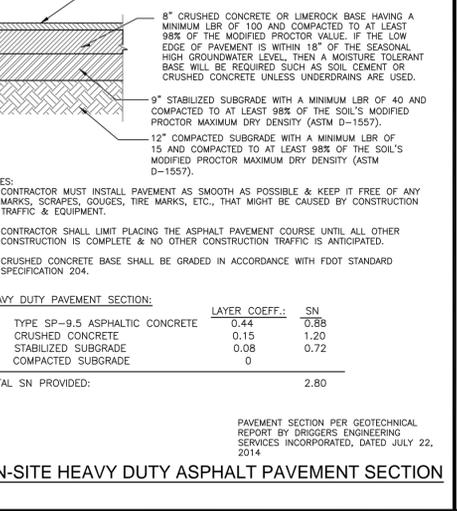
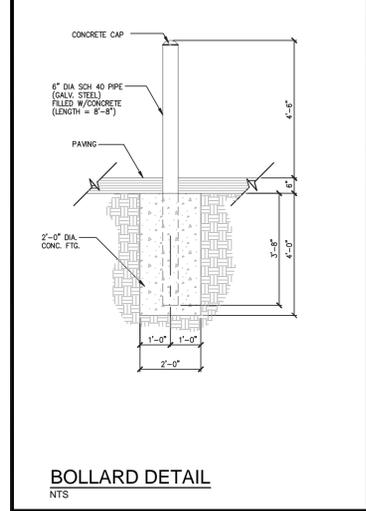
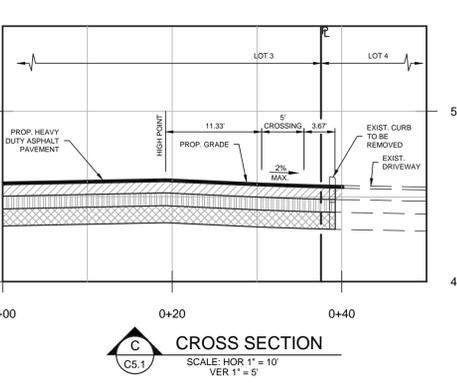
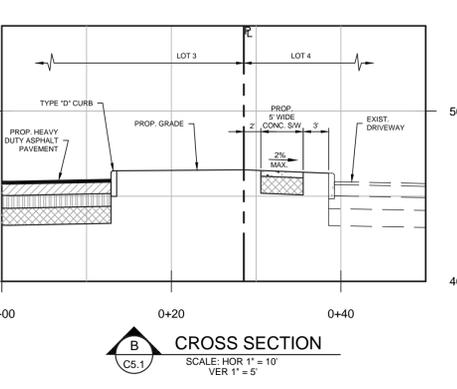
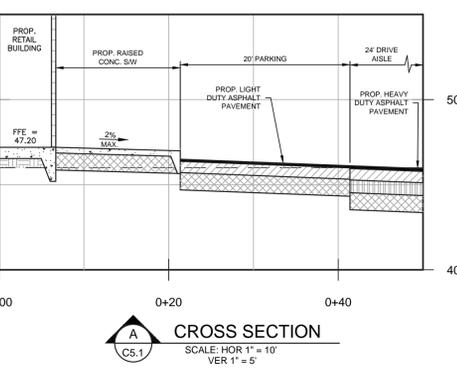
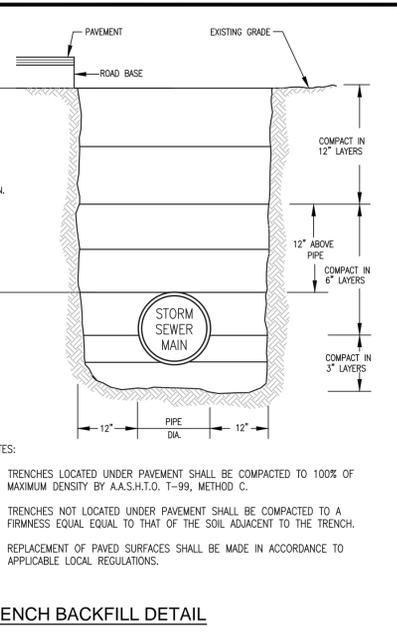
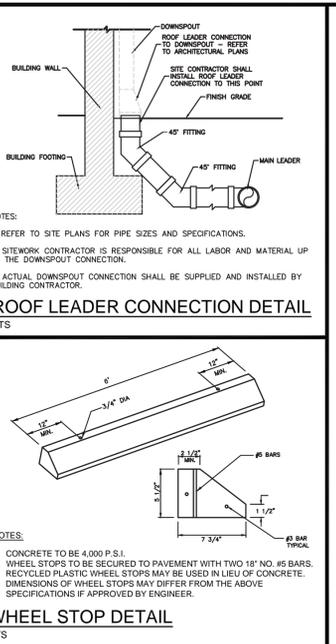
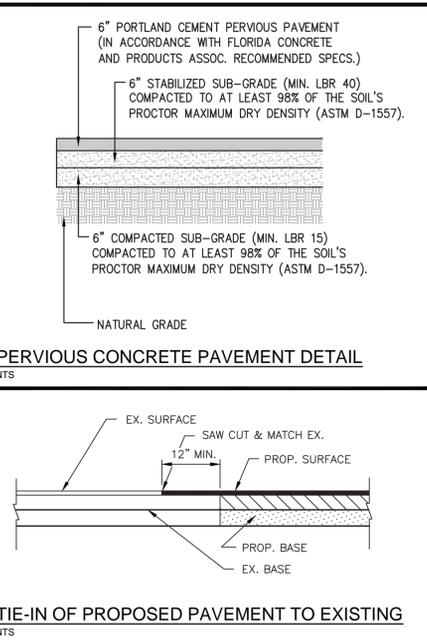
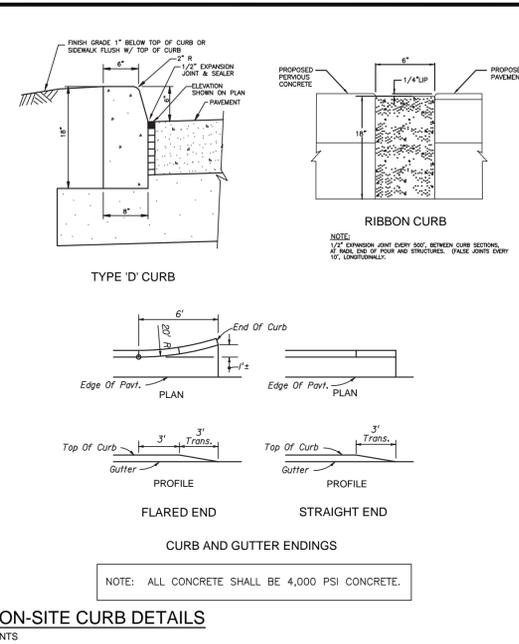
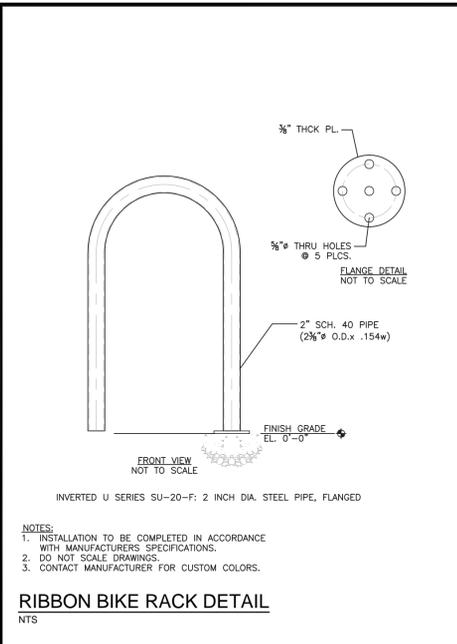
PROJECT NUMBER
 15-053



Matthew D. Campo 53988 03/01/2016
 NAME SEAL NO. DATE

SHEET TITLE
PAVING, GRADING & DRAINAGE PLAN

SHEET NUMBER
C5.1



CAMPO ENGINEERING, INC.
FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL. 33605
PHONE: (813) 215-7372
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OMNI AT THE SHOPPES AT TRINITY LAKES
PASCO COUNTY, FLORIDA

CLIENT
THE SHOPPES AT TRINITY LAKES, LLC
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50 SEMBLER YEARS Creating Retail Value.

REVISIONS

NO.	DESCRIPTION	DATE

ISSUE DATE: 12/2015
REVIEWED BY: MDC
DRAWN BY: BLM
DESIGNED BY: BLM

PROJECT NUMBER
15-053

MATTHEW D. CAMPO
LICENSE
No. 53988
STATE OF FLORIDA
PROFESSIONAL ENGINEER

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY MATTHEW D. CAMPO, PE ON 03/01/2016 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Matthew D. Campo 53988 03/01/2016
NAME SEAL NO. DATE

SHEET TITLE
PAVING, GRADING & DRAINAGE DETAILS

SHEET NUMBER
C5.2

G:\Projects\15-053 - Trinity Retail Lot 3\Drawings\Design\Construction\15-053 - PDD Detail.dwg - Printed Mar 01, 2016 - 8:35am by BonnieM

FIXTURE COUNT & FLOW REQUIREMENT

METER SIZE: 1" FIXTURE COUNT: 65 FLOW: 65 GPM
 FIRE FLOW ESTIMATED: 1,000 GPM

ACCORDING TO THE PASCO COUNTY CODE OF ORDINANCES, SECTION 46-56(4), THE WATER MAIN COMMERCIAL DEVELOPMENT SHALL BE DESIGNED TO DELIVER A MINIMUM FLOW OF 1,000 GALLONS PER MINUTE FOR A PERIOD OF NOT LESS THAN TWO HOURS WITH A RESIDUAL PRESSURE OF 20 POUNDS PER SQUARE INCH.

PASCO COUNTY UTILITIES DATA SHEET FOR SIZING WATER METERS

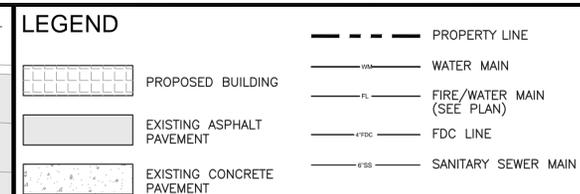
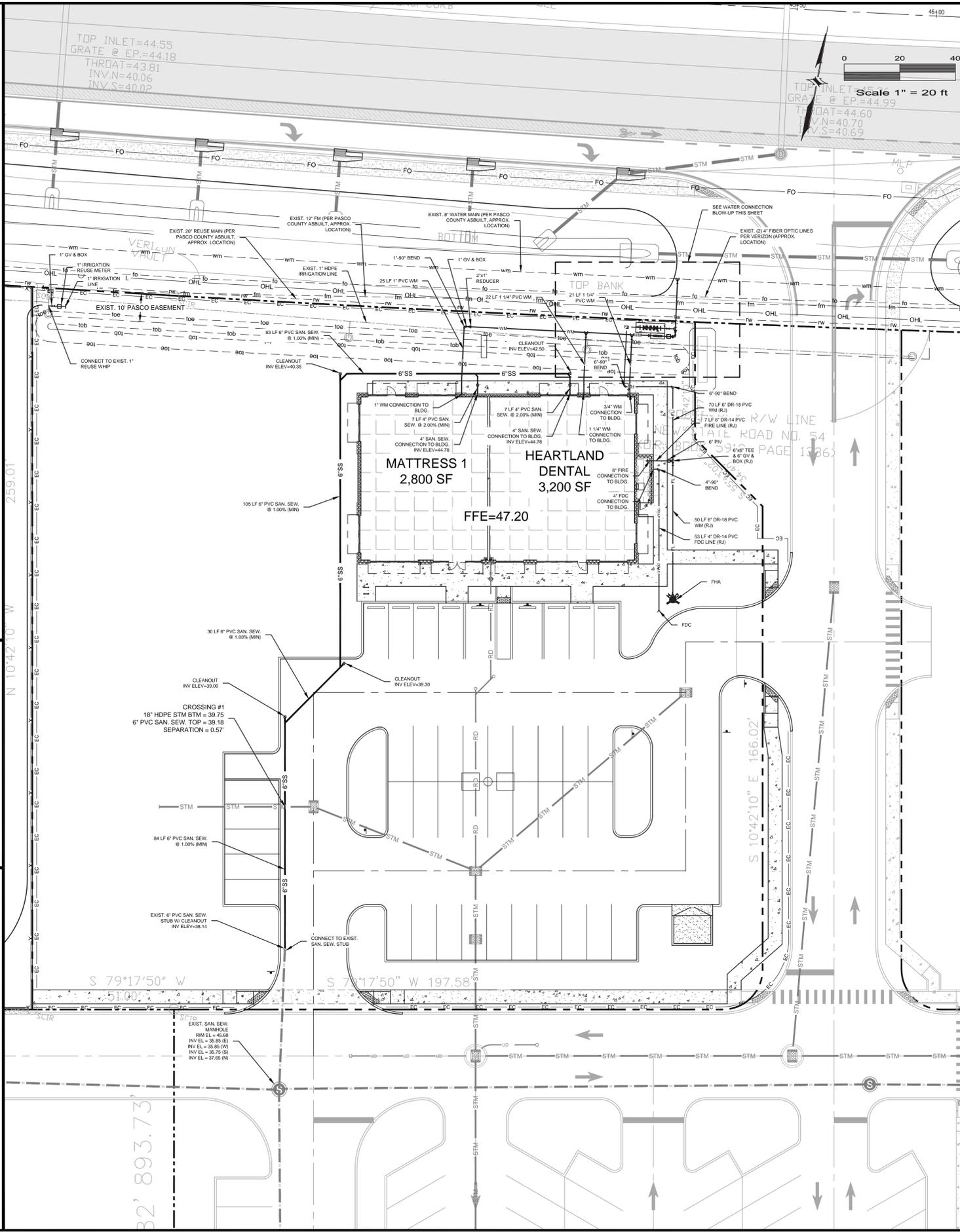
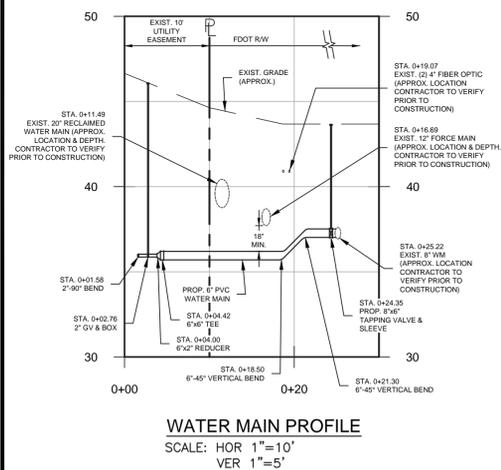
Fixture	Fixture Value	No. of Fixtures	Value
Refrigerator	8	1	8
Refrigerator	10	1	10
Commercial Sink & Tray	3	1	3
Dental Unit	1	1	1
Dental Laboratory	2	1	2
Drinking Fountain - Cooler	1	2	2
Drinking Fountain - Public	2	1	2
Kitchen Sink	3	1	3
- 1/2" connection	7	1	7
- 3/4" connection	2	1	2
Laboratory	3	6	18
- 3/8" connection	4	6	24
- 1/2" connection	3	6	18
- 3/4" connection	7	6	42
Showers (above only)	4	1	4
Service Sink	3	1	3
- 3/4" connection	7	1	7
Urinal - Pedestal Flush Valve	10	1	10
- Wall Flush Valve	10	1	10
- Trough (2 ft. Lin)	2	1	2
Wash Sink (each set of fixtures)	4	1	4
Waste Churn - Flush Valve	10	1	10
- Tank Type	3	6	18
Dishwasher	5	1	5
- 3/4" connection	10	1	10
- 1" connection	25	1	25
Washing Machine - 1/2" connection	5	1	5
- 3/4" connection	10	1	10
- 1" connection	25	1	25
House (50 ft.)	10	1	10
- 1/2" connection	6	1	6
- 3/4" connection	9	2	18
- 1" connection	12	1	12
Combined Fixture Value Total			65
Customer Peak Demand from Curves			47 gpm
Water Line Pressure and Friction Factor			
Customer Peak Demand from Curves X Friction Factor			65 gpm

PASCO COUNTY UTILITIES DATA SHEET FOR SIZING WATER METERS

Additional Equipment Peak Usage (gpm)	Value
1. Irrigation (separate meter served by reuse)	
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	
Total of Additional Usage	0 gpm
Irrigation Layout Zone or Combination of Zones	0 gpm
TOTAL OF CUSTOMER USAGE, EQUIPMENT & IRRIGATION	65 gpm

PASCO COUNTY - CONTRACTOR'S RESPONSIBILITIES

- 2" ONLY - THIS EXCAVATED TRENCH MUST BE DRY OF THE TRENCH WILL REQUIRE ROCK AND A PUMP TO BE IN PLACE, THE MINIMUM DISTANCE FROM THE FACE OF THE VALVE TO THE WALL OF THE TRENCH IS TO BE SIX FEET
- 3" AND LARGER - THE CONTRACTOR WILL SUPPLY A TAPPING SADDLE BEING EPOXY COATED, A TAPPING VALVE WITH MECHANICAL JOINT AND THE EQUIPMENT TO PROVIDE, AND CONDUCT A PRESSURE TEST. COUNTY PERSONNEL WILL WITNESS THE PRESSURE TEST WHICH MUST BE AT 150 PSI FOR DURATION OF THIRTY MINUTES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION BEFORE ANY COUNTY PERSONNEL WILL ENTER AN EXCAVATED AREA. IF THE TRENCH IS FOUR FEET IN DEPTH OR DEEPER, IT WILL REQUIRE A TRENCH BOX OR SLOPING, AND A LADDER ACCORDING TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
- THE TAPPING VALVE WILL REQUIRE A BLOCKING DEVICE MADE OF SUITABLE MATERIAL OR DEVICE. THIS BLOCKING DEVICE OR MATERIAL WILL BE PLACED UNDER THE VALVE AND REMAIN IN PLACE UNTIL THE TAP MACHINE IS REMOVED AND THE TAP IS COMPLETED.
- NOTE: IF THE CONTRACTOR HAS NOT FULFILLED HIS RESPONSIBILITIES, AS STATED ABOVE, PRIOR TO THE ARRIVAL OF PASCO COUNTY UTILITIES OPERATIONS AND MAINTENANCE TAPPING CREW, THERE WILL BE AN ADDITIONAL CHARGE OF \$95.00.
- IF THERE ARE ANY QUESTIONS REGARDING THIS INFORMATION, CONTACT NELSON D. HOLT, FIELD SUPERVISOR, UTILITIES SERVICE BRANCH, AT (727) 847-8145, OR EMAIL NHOLT@PASCOCOUNTYFL.NET

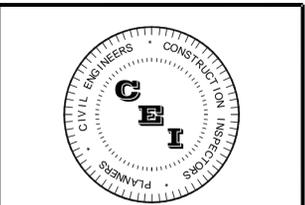
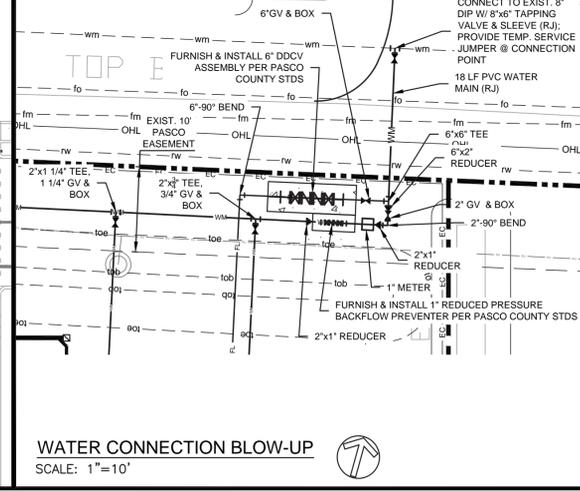


- ### GENERAL NOTES
- GRASS AND MULCH, OR SOLID SOD, ALL AREAS IN EXISTING RIGHT-OF-WAY DISTURBED BY CONSTRUCTION.
 - CONTRACTOR IS TO COORDINATE ALL WORK WITHIN, BUT NOT LIMITED TO PUBLIC RIGHT-OF-WAY WITH UTILITY COMPANIES IN ORDER TO PREVENT DAMAGE TO UTILITY LINES AND THE MAKING OF ADJUSTMENTS TO SAME, IF REQUIRED.
 - CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE OWNER PRIOR TO ANY CONSTRUCTION THAT MAY DAMAGE TREES.
 - FIRE HYDRANT, GATE VALVE AND BLOW-OFF VALVE ASSEMBLIES SHALL CONSIST OF ALL PIPE VALVES, TEES, FITTINGS, AND ANY AND ALL OTHER APPURTENANCES COMPRISING A COMPLETE, WORKING UNIT.
 - CONTRACTOR SHALL PROVIDE ANY DENWATERING FOR UTILITY INSTALLATION IF REQUIRED.
 - ADJUSTING MANHOLE TOPS TO MATCH GRADE AND SLOPE OF THE FINISH PAVING SHALL BE INCLUDED IN THE RESPECTIVE CONTRACT UNIT PRICE FOR MANHOLES. PAYMENT OF WHICH WILL CONSTITUTE FULL COMPENSATION FOR THE CONSTRUCTION AND COMPLETION OF THE MANHOLE, AND NO ADDITIONAL PAYMENT WILL BE ALLOWED OR MADE FOR ADJUSTING MANHOLE TOPS.
 - BENDS SHALL BE INSTALLED IN WATER MAIN TO AVOID UNFORESEEN CONFLICTS IN EXISTING OR PROPOSED STRUCTURES.
 - THE JOINT DEFLECTION METHOD SHALL BE USED WHERE PRACTICAL IN LIEU OF INSTALLING BENDS.
 - CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF EXISTING WATER AND SEWER LINES PRIOR TO BEGINNING CONSTRUCTION.
 - THE EXISTING UNDERGROUND UTILITY LINES SHOWN HEREON WERE TAKEN FROM DOCUMENTS FURNISHED BY OTHERS AND NOT FIELD VERIFIED. THEREFORE, THE ENGINEER CANNOT GUARANTEE THE ACCURACY OF SAME NOR ALL THAT ARE SHOWN. THE CONTRACTOR SHALL EXPOSE ALL UNDERGROUND UTILITY LINES IN COORDINATION WITH THE OWNERS TO HIS SATISFACTION AND MAKE ADJUSTMENTS TO SAME IN THE EVENT THERE ARE CONFLICTS WITH NEW CONSTRUCTION.

- ### CONSTRUCTION NOTES WITHIN RIGHT OF WAY
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE EXTENTS OF PAVEMENT RESTORATION BASED ON HIS MEANS AND METHODS OF INSTALLING WATER, SEWER AND STORMWATER INFRASTRUCTURE ADJACENT TO OR UNDER EXISTING PAVEMENT AREAS. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING LOCAL, MUNICIPALITY AND STATE STANDARDS WHEN RESTORING PAVEMENT AND NOT SOLELY RELY ON CIVIL PLANS.
 - CONTRACTOR MUST VERIFY ALL EXISTING WATER, SEWER AND STORM WATER INFRASTRUCTURE WITHIN THE RIGHT OF WAY PRIOR TO ORDERING STRUCTURES. THE CONTRACTOR SHALL PROVIDE THE ENGINEER VERTICAL AND HORIZONTAL LOCATIONS OF INFRASTRUCTURE IN ORDER TO VERIFY ANY POTENTIAL CONFLICTS PRIOR TO ORDERING STRUCTURES.

- ### EXISTING UTILITY LOCATION NOTES
- BEFORE BEGINNING SITE WORK, THE CONTRACTOR IS REQUIRED TO FIELD VERIFY THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES AND OTHER FEATURES. THE CONTRACTOR MAY CONSULT THE UTILITY OWNER'S RECORD DRAWINGS, BUT THE UTILITY OWNER AND THE ENGINEER DO NOT GUARANTEE, BY IMPLICATION OR OTHERWISE, THE ACCURACY OF THESE DRAWINGS. THE SITE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR ANY MODIFICATION REQUIRED, OTHER THAN SHOWN ON PLANS.
 - EXISTING WATER MAIN LOCATIONS SHOWN ARE APPROXIMATE BASED ON PASCO COUNTY ASBUILTS AND VILLAGES OF TRINITY LAKES PLANS BY LINKKS.

- ### PASCO COUNTY NOTES
- ALL UTILITY MATERIAL AND WORKMANSHIP MUST COMPLY WITH "STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER AND RECLAIMED WATER FACILITIES SPECS. JUNE 1995 EDITION."
 - CONNECTIONS INTO EXISTING COUNTY-OWNED SYSTEM SHALL BE VIA WET TAP. WET TAPS SHALL BE PERFORMED BY PASCO COUNTY UTILITIES BRANCH AT THE DEVELOPER'S EXPENSE. EXCAVATION, BACKFILL, AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MATERIAL FOR WET TAPS LARGER THAN 2" SHALL BE PROVIDED AND INSTALLED BY THE PROJECT CONTRACTOR.
 - THE PASCO COUNTY UTILITIES SERVICES BRANCH SHALL NOT OWN OR MAINTAIN WATER AND SEWER LINES OR FACILITIES ON-SITE.
 - PER NFPA-1, 16.4.3.1.3; WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
 - FIRE PROTECTION SHALL MEET THE REQUIREMENTS OF THE PASCO COUNTY CODE OF ORDINANCES, CHAPTER 46, FIRE PREVENTION AND PROTECTION, AND PLANS SHALL COMPLY WITH REFERENCED REQUIREMENTS.
 - ALL PROJECTS MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE NO. 46-51.
 - FIRE HYDRANTS MUST BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.
 - FIRE HYDRANTS SHALL BE FLOW-TESTED AND COLOR-CODED BASED ON FLOW RESULTS.
 - PER NFPA-1, 18.3.4.1; CLEARANCES OF 7 1/2 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4 FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.
 - GATED ENTRIES REQUIRE A SIREN OPERATING SYSTEM OR A 3M OPTICOM SYSTEM FOR EMERGENCY ACCESS.
 - IN CONSIDERATION OF PASCO COUNTY'S AGREEMENT TO PROVIDE POTABLE WATER AND/OR RECLAIMED WATER TO THE SUBJECT PROPERTY, DEVELOPER/OWNER, AND ITS SUCCESSORS AND ASSIGNS, AGREE TO THE FOLLOWING:
 - IN THE EVENT OF PRODUCTION FAILURE OR SHORTFALL BY TAMPA BAY WATER, AS SET FORTH IN SECTION 3.19 OF THE INTERLOCAL AGREEMENT CREATING TAMPA BAY WATER, DEVELOPER/OWNER SHALL TRANSFER TO PASCO COUNTY ANY AND ALL WATER USE PERMITS OR WATER USE RIGHTS THE DEVELOPER/OWNER MAY HAVE TO USE OR CONSUME SURFACE OR GROUND WATER WITHIN PASCO COUNTY.
 - PRIOR TO DEVELOPER/OWNER SELLING WATER OR WATER USE PERMITS OR WATER USE RIGHTS, DEVELOPER/OWNER SHALL NOTIFY PASCO COUNTY, AND PASCO COUNTY SHALL HAVE A RIGHT OF FIRST REFUSAL TO PURCHASE SUCH WATER OR WATER USE PERMITS OR WATER USE RIGHTS.
 - A SEPARATE PLAN AND PERMIT ISSUED TO A CONTRACTOR LICENSED BY THE FLORIDA STATE FIRE MARSHALL'S OFFICE, IS REQUIRED FOR THE INSTALLATION OF UNDERGROUND FIRE LINES.
 - PLANS AND CONSTRUCTION SHALL BE PER FLORIDA FIRE PREVENTION CODE FIFTH EDITION.



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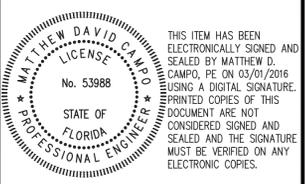
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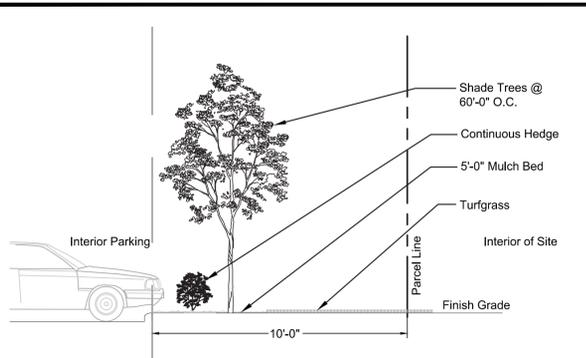


Matthew D. Campo 53988 03/01/2016
 NAME SEAL NO. DATE

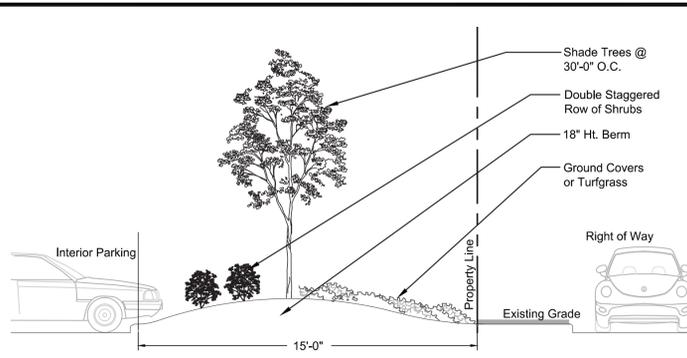
SHEET TITLE

UTILITY PLAN

SHEET NUMBER
C6.1



TYPE "A" BUFFER - 10'-0" WIDTH SECTION
Not To Scale



TYPE "D" BUFFER - 20'-0" WIDTH SECTION
Not To Scale

Landscape Areas Per Plant Species

Note: Shrub quantities are multiplied by the spacing squared for each plant for the area of each plant.

Overall Landscape Area: 4,326 S.F.
25% of Landscape Area: 1,082 S.F.

Sym.	S.F. / Plant	Total S.F.
* MFR	9	216
VOD	9	918
* IBN	9	450
REQ	9	126

Hedge Shrubs

* MFR	9	216
VOD	9	918
* IBN	9	450
REQ	9	126

Dwarf Shrubs

* VMS	4	46.4
RN	4	148
NDF	4	144

Ground Covers

* TJA	4	684
GCH	4	516

Ornamental Grasses

* NATIVE SPECIES	ALL PLANTS ARE LISTED IN THE FLORIDA FRIENDLY PLANT LIST.
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NOTE: No one plant species exceeds the 25% limit of required planting area.

Plant List

Qty.	Sym.	Botanical Name	Common Name	Specifications	Space	Drought Tolerant	Florida Friendly
3	QV	QUERCUS VIRGINIANA "BLDN"	CATHEDRAL LIVE OAK	10' H. x 4' spr. 2" CAL. 45 GAL.	A.S.	YES	YES
4	MG	MAGNOLIA G. "DD BLANCHARD"	"DD BLANCHARD" MAGNOLIA	10' H. x 4' spr. 2" CAL. 45 GAL.	A.S.	YES	YES
3	UP	ULMUS PARVIFOLIA "ELMER II"	ALICE ELM	10' H. x 4' spr. 2" CAL. 45 GAL.	A.S.	YES	YES
2	JB	JUNIPERUS SILICICOLA	RED CEDAR	10' H. x 4' spr. 2" CAL. 45 GAL.	A.S.	YES	YES
4	LI	LAGERSTROEMIA INDICA	CRAPPE MYRTLE "MUSKOGEE"	10' H. x 5' spr. 3" CALPER Single-Trunk, Matched	A.S.	YES	YES
2	ED	ELAEAGARBUS DECIPiens	JAPANESE BLUEBERRY	8'-9" H. x 3'-4" spr. 2" CAL. Standard, 30 GAL.	A.S.	YES	YES
5	MC	MYRICA CERIFERA	WAX MYRTLE	6' H. x 4' spr. 2" CALPER Multi-Trunk, 30 GAL.	A.S.	YES	YES
3	SP	SABAL PALMETTO	CABBAGE PALM	Smooth Trunk, B&B, 20'-24" O.A. Staggered	A.S.	YES	YES

Hedge Shrubs

124	MYR	MYRICANTHES FRAGRANS	SIMPSONS STOPPER	3 gal. 18" H. x 18" spr.	36"/A.S.	YES	YES
102	VOD	VIBURNUM ODORISSIMUM	SWEET VIBURNUM	3 gal. 18" H. x 18" spr.	36"/A.S.	YES	YES
20	IBN	ILEX BURFORDII "NANA"	DIARF BURFORD HOLLY	1 gal. 18" H. x 18" spr.	36"/A.S.	YES	YES
14	REQ	RIBESLIA EQUESETIFORMIS	FIRECRACKER PLANT	1 gal. 18" H. x 18" spr.	A.S.	YES	YES

NOTE: ALL HEDGE SHRUBS FOR REQUIRED LANDSCAPE TO BE 18" MIN. HT. AT PLANTING AND 24" HT. WITHIN 12 MONTHS OF PLANTING.

Dwarf Shrubs

116	VMS	VIBURNUM OBOVATUM "MRS. SCHILLINGS"	MRS. SCHILLINGS VIBURNUM	3 gal. 12" H. x 12" spr.	24"/A.S.	YES	YES
181	RN	RAPHIOLEPIS INDICA "ALBA"	DIARF INDIAN HAZEL	3 gal. 12" H. x 12" spr.	24"/A.S.	YES	YES
36	NDF	NANDINA DOMESTICA "FIRE POWER"	FIRE POWER NANDINA	3 gal. 12" H. x 12" spr.	24"/A.S.	YES	YES

NOTE: MIN. HT. 14" USE LARGER CONTAINER SIZE IF NECESSARY/ SPACED TO COVER IN 12 MONTHS. SPACING AS SHOWN.

Ground Covers

171	TJA	TRACHELOSPERMUM JASMINOIDES	CONFEDERATE JASMINE	1 gal. 12" H. x 12" spr.	24"/A.S.	YES	YES
144	GCH	GAFFOLEPIS CHRYSANTHEMOIDES	AFRICAN BUSH DAISY	1 gal. 12" H. x 12" spr.	24"/A.S.	YES	YES

NOTE: SPACE/MAINTAIN TO PROVIDE COMPLETE COVERAGE WITHIN 12 MONTHS OF PLANTING.

Ornamental Grasses

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Accents

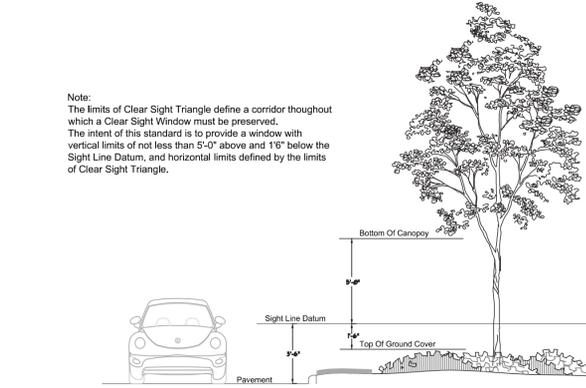
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Seasonal Color

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Turfgrass/Mulch

TBD	8F	ST. AUG.	Stenotaphrum secundatum "Floratan"	Floratan St. Augustine Grass	Solid Bod
TBD	8F	BAHIA	Paspalum notatum "Argentine"	Argentine Bahia Grass	Seed
TBD	8F	MULCH	PINE BARK MINI-NUGGETS	Grade "A"	3" Depth



CLEAR SIGHT WINDOW STANDARD SECTION
Not To Scale

Pasco County Landscaping Standard Notes (Pasco LDC 905.2)

- Maintenance Responsibility.** The County is not responsible for maintenance of any landscaping unless approved through a County maintenance agreement. (LDC 905.2-C.1.a)
- Clear-Sight Triangle.** Where a driveway/boosterway intersects a road right-of-way or where two (2) road right-of-way intersect, vegetation, structures, and non-vegetative visual screens shall not be located so as to interfere with the clear-sight triangle as defined in this Code or the Florida Department of Transportation, Manual of Uniform Minimum Standards, most recent edition (Green Book), whichever is more restrictive. (LDC 905.2-C.1.b)
- Sustainable Practices.** Landscaping shall be installed so that landscaping materials meet the concept of right material/right place. Installed trees and plants shall be grouped into zones according to water, soil, climate, and light requirements. Plant groupings based on water requirements are drought tolerant, natural, and oases. (LDC 905.2-C.1.c)
- Diversity.** A maximum of 50 percent of the plant materials used, other than trees, may be non-drought tolerant. A minimum of 30 percent of the plant materials, other than trees and turfgrass, used to fulfill the requirements of this subsection shall be native Floridian species, suitable for growth in the county. (LDC 905.2-C.1.d)
- Diversity.** No one plant species of shrubs or ground cover plants, excluding turfgrass, shall constitute more than 25 percent coverage of the overall landscape area. (LDC 905.2-C.1.d)
- Quality.** All plant materials shall be Florida No. 1 grade per "Grades and Standards for Nursery Plants," Florida Department of Agriculture and Consumer Services (FDACS), which is incorporated herein by reference. (LDC 905.2-C.2.a)
- Acid Assessments.** Trees shall not be planted within any easement so as to interfere with the use of that easement, nor under any present or planned overhead utility, nor in any rights-of-way without County approval through the associated review process. (LDC 905.2-C.3.c)
- Mulch.** Mulch shall be used in conjunction with living plant materials so as to cover exposed soil. Mulch shall be installed to a minimum depth of three (3) inches. The mulch should not be placed directly against the plant stem or tree trunk. Mulch shall not be required for annual beds. Stone or gravel may be used to cover a maximum of 20 percent of the landscaped area. (LDC 905.2-C.3.d)
- Quality Practices.** All landscaping shall be installed in accordance with standards and practices of the Florida Nursery, Growers, and Landscape Association and the Florida Chapter of the International Society of Arboriculture. (LDC 905.2-C.3.g)
- Site Triangles.** All portions of a lot upon which development has commenced, but not continued for a period of 30 days, shall be planted with a grass species or ground cover to prevent erosion and encourage soil stabilization. Adequate coverage, so as to suppress fugitive dust, shall be achieved within 45 days. (LDC 905.2-C.3.g)
- Quality Practices.** All required landscaping shall be maintained in a healthy condition in perpetuity in accordance with this Code. (LDC 905.2-E.2)
- Quality Practices.** Ongoing maintenance to prevent the establishment of prohibited exotic species is required. (LDC 905.2-E.4)

Existing Trees
There are no existing trees on the subject parcel. The existing trees located just outside the subject parcel shall be protected and preserved in accordance with Pasco County tree protection standards.

General Landscape Notes

- These plans respond to the criteria set forth in the most current Pasco County Tree Restoration and Protection and Landscape Codes.
- Related Information.** See Civil site work and plans regarding all survey, utility and site construction information.
- Plant Material Standards.** All plants are listed in the Florida Friendly plant list. All plant material installed on this project shall be classified "Florida #1" or better as defined by the latest edition of "Grades and Standards for Nursery Plants" and "Grades and Standards for Nursery Plants, Part II, Palms and Trees" published by the State of Florida Department of Agriculture and Consumer Services. Refer to details for further quality specifications.
- Planting Standards.** All recommended trees and plant material shall be planted in accordance with the specifications described in the latest edition of the State of Florida Department of Agriculture and Consumer Services, "Tree Protection Manual for Builders and Developers" and "American Nurseryman Standards."
- Curbing and Wheel Stops.** Curbing and/or wheel stops shall be installed to protect required plantings. Plantings adjacent such pavement edges shall be offset from back of curb 30' to allow for vehicle overhang.
- Utility Conflicts.** Plantings shall be placed in such a manner as to avoid conflicts with aboveground, underground, existing and proposed utilities.
- Sight Triangles.** Plantings shall be placed in such a manner as to provide clear visibility for drivers of vehicles at the intersections of the driveways and rights of way, in accordance with Pasco County standards.
- Landscape Coverage.** All areas of the site that are not covered by buildings, pavements, ponds or existing vegetation shall be covered with mulch, turf grass, ground covers, or shrubs.
- All planting beds and tree rings shall be covered with a 3" minimum depth of organic mulch material.
- In order to comply with the required limits on conventional irrigation, 50% of the greenspace comprised of the following areas shall be either non-irrigated or irrigated with micro-irrigation techniques: lake banks (bahia turf), all shrub bed areas (micro-irrigation), all mulch beds under trees (bubbler irrigation), all areas of existing vegetation (no irrigation).
- The Landscape Contractor shall review all landscape plans and specifications and perform an analysis of site conditions relative to the plans and specifications prior to construction. Report all discrepancies in site conditions and plans prior to commencing work. The landscape contractor shall be responsible for becoming familiar with all underground utilities, pipes, structures and line runs prior to construction.
- The Landscape Contractor shall be responsible for holding the fine grading of planting areas to insure positive drainage away from buildings and into drainage ways. In addition, the finish mulch elevation at the buildings shall be verified with the site work contractor and maintained at that level. Parking lot islands shall slope at 2% from center. Turf and planting beds shall meet sidewalks and flatwork at 2" below the flatwork.
- The Landscape Contractor shall coordinate work with other contractors to insure a timely flow of work.
- The Landscape Contractor shall be responsible for maintaining all plantings until final acceptance by the Owner. This maintenance includes keeping beds free of debris and weeds, all mechanical maintenance, fertilization, chemical treatments for disease or infestation, and watering.
- The Landscape Contractor is responsible for verifying the plant material quantities prior to bidding. Notify the Landscape Architect of any quantity discrepancies prior to construction. Plant quantity discrepancies discovered during construction shall be the responsibility of the Landscape Contractor.
- All edging shall be trench 4" deep x 6" wide at the edge of beds not otherwise bordered with structure or hardscape.
- All trees to be staked and guyed as shown in the details unless otherwise noted.
- All plant material shall be guaranteed for a period of one year from the date of final acceptance by the Owner.

Specific County Requirements

- A maximum of 50% of plant materials, other than trees, may be non drought-tolerant species.
- At least 30% of the plant species shall be native to Florida.
- No one plant species of shrubs or groundcover, excluding turf grass, shall constitute more than 25% of required overall landscape area.
- Minimum number of tree species shall be eight (8) for this project.
- Berm heights shall be measured from vehicular use area grade.
- For all buildings on the site, a minimum of ten percent (10%) of the building area shall be planted with trees (minimum 2"), shrubs and ground covers not including turfgrass in a 5'-0" minimum width bed within ten feet of the building perimeter.
- No more than 30% of required landscape areas may be grass; the balance must be shrubs or groundcover.

Vehicular Use Area Landscaping

- The total Vehicular Use Area is 18,497 square feet.
- Ten percent (10%) of the VUA, or 1,850 square feet, represents the required landscape area that is to be planted within the parking lot. Total Provided VUA Landscaping 3,555 square feet. (Note: See plan for notations of square footage at each VUA island.)
- The minimum number of trees to be planted in the required VUA landscape area is based on 1 tree per 200 s.f. of required landscape. The minimum number of trees to be planted within the VUA landscape area is 10. The number of VUA trees planted is 13.
- Single landscape islands must have one (1) 2" cal., tree and ground covers or shrubs. (Note: The term "ground cover" is not to be construed as turfgrass).

Buffer Requirements

- EAST BUFFER:** Type "A", 10'-0" wide, 218 I.F.
Shade Trees required at one (1) every 60'-0": Four (4) trees required.
A continuous row of evergreen shrubs planted at 18" height (min.).
- SOUTH BUFFER:** Type "A", 10'-0" wide, 216 I.F.
Shade Trees required at 60'-0": Four (4) trees required.
A continuous row of evergreen shrubs planted at 18" height (min.).
- WEST BUFFER:** Type "B", 10'-0" wide, 260 I.F.
Previously installed and approved.
- NORTH BUFFER:** Type "D", 10'-0" wide, 239 I.F.
Previously installed and approved.

Building Perimeter Landscaping

- Length of Perimeter Planting: At least 50% of the perimeter shall be planted within a minimum 5'-0" width bed. The perimeter of the building is 320 linear feet with a minimum requirement of 160 linear feet. The length provided is 174 linear feet.
- Minimum Perimeter Planting Area: At least 10% of the area of the building shall be planted along its perimeter within a minimum 5'-0" wide bed. The aggregate area of the building is 5,992 square feet. The minimum area of planting is 600 square feet. The area provided is 855 square feet.

Existing Tree Care Standards

- Flag all trees and palms to be saved in place. Provide barricading in accordance with local standards around trees to be saved in place prior to site demolition.
- All work shall be undertaken in the presence of a registered arborist employed by the landscape contractor. All trees and palms to be saved shall be examined for damage, disease and insect infestation. Parts of the tree showing these conditions shall be treated or pruned in accordance with the arborists recommendations. Remove all dead limbs and vines.
- Root prune all trees to be saved prior to grading around trees. Cut along lines offset from lines of development surrounding the tree, i.e. at building foundations, parking lots, etc.
- Treat all cuts with a fungicidal barrier. Backfill the trench, within 4 hours of digging, with a 1:1 mixture of site soil and sawdust or other fine organic material. Do not compact.
- Fertilize the plant as directed by the consulting arborist.
- The arborist shall visit the site periodically to assess the health of the trees and issue reports on the relative health of the trees and make recommendations for further treatments if necessary.

Irrigation Notes

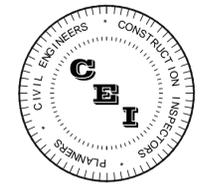
- An irrigation plan designed in accordance with Section 15.C of Pasco County Landscaping and Irrigation Ordinance 02-04 will be submitted for approval prior to construction.
- No more than 50% of the site greenspace will be irrigated with conventional spray heads. The remainder will be un-irrigated or utilize low volume microirrigation techniques.
- Turfgrass areas shall be irrigated on zones separate from trees, shrubs and ground covers.
- The irrigation system shall include a rain sensor to avoid watering during periods of sufficient rainfall.

Plantings Along Roadways

- Landscaping shall be planted in such a manner as not to impede the access for maintenance and the storm-water run-off flow to or in a ditch, swale, or pond.
- All the trees overhanging to the public Right Of Way or trees within the ROW shall be trimmed and pruned to maintain a minimum vertical clear height of 8' from the finished ground surface of the sidewalk to the bottom of canopy/ 16.6' clear height above the roadway path.

Landscape Maintenance

- The Owner of the property shall arrange for ongoing landscape maintenance to insure continued compliance with the Pasco County LDC with specific considerations for irrigation system performance, plant health and the health, safety and welfare of the occupants and users. Special attention shall be given to traffic and pedestrian visibility at points of ingress and egress to the property from rights of way, and any internal intersections where vehicular/pedestrian conflicts may occur.



CAMPO ENGINEERING, INC.

FBPR CERTIFICATE OF AUTHORIZATION NO.: 26726

1725 EAST 5TH AVENUE
TAMPA, FL. 33605
PHONE: (813) 215-7372
FAX: (813) 902-8782

PROJECT TITLE
OMNI AT THE SHOPPES AT TRINITY LAKES
PASCO COUNTY, FLORIDA
CLIENT



THE SHOPPES AT TRINITY LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE

ISSUE DATE: 12/2015
REVIEWED BY: MDC
DRAWN BY: BLM
DESIGNED BY: BLM

PROJECT NUMBER
15-053



GEORGE T. STURCH LA 00001295 03/01/2016
NAME SEAL NO. DATE

SHEET TITLE
LANDSCAPE PLAN
SHEET NUMBER
LS-1

TREE SYMBOL KEY

-  Quercus virginiana "SLDN"
Cathedral Live Oak
-  Magnolia g. "DD Blanchard"
D.D. Blanchard Magnolia
-  Ulmus parvifolia "Elmer II"
Alee Elm
-  Juniperus virginiana
Southern Red Cedar
-  Lagerstroemia Indica
Crape Myrtle "Muskogee"
-  Elaeocarpus decipiens
Japanese Blueberry
-  Myrica cerifera
Wax Myrtle
-  Sabal palmetto
Cabbage Palm

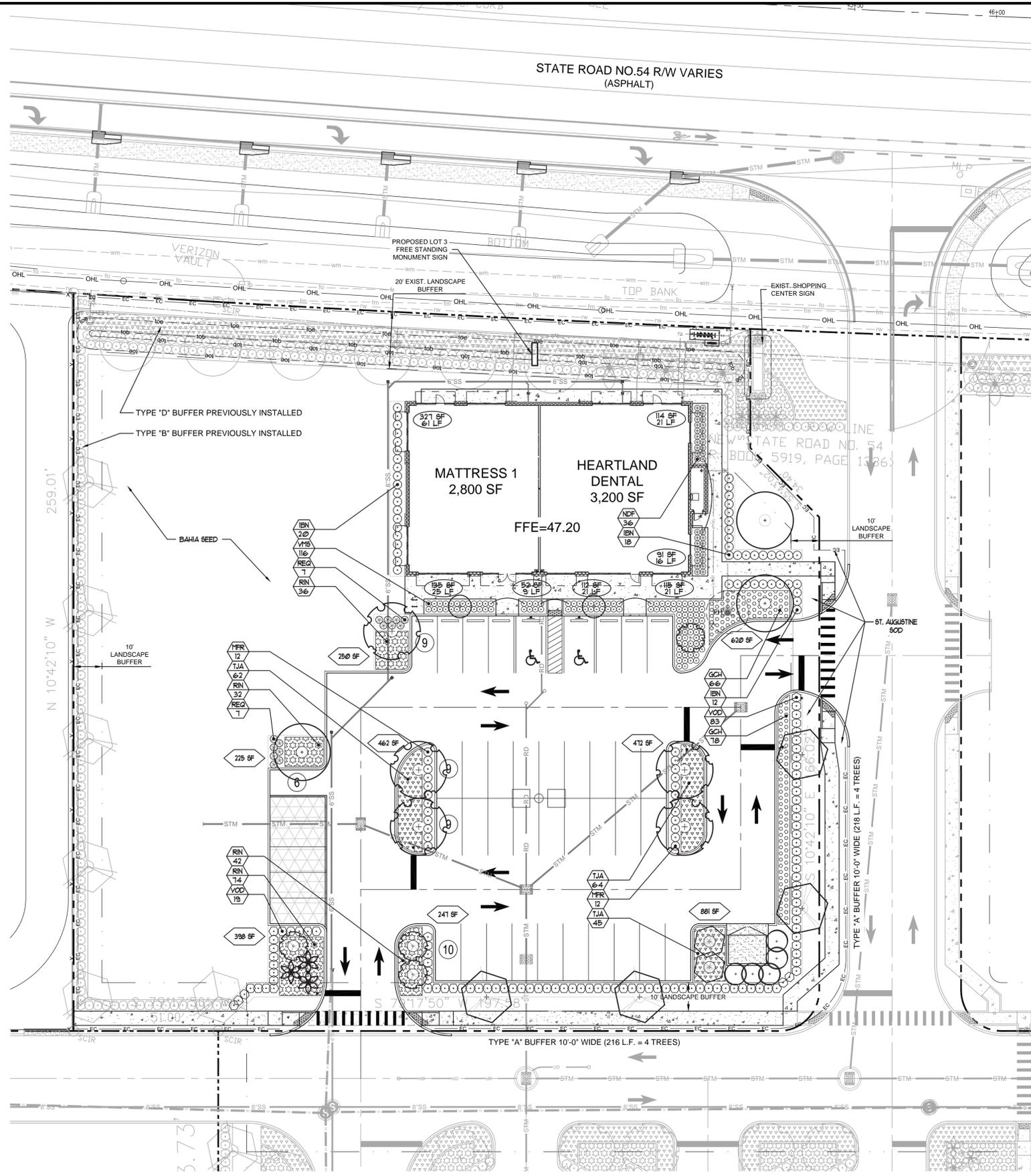
LANDSCAPE AREAS KEY

-  346 SF BUILDING PERIMETER LANDSCAPE AREA
-  439 SF VIA LANDSCAPE AREA

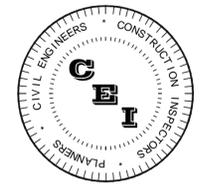
REQ. BLDG. PERM:
370 LF. @ 50% = 160 LF. MIN.
PROVIDED: 174 LF.

REQ. PLANTING AREA:
10% OF BUILDING AREA (5,992 SF.) 600 SF. MIN.
PROVIDED: 855 SF.

VIA PLANTING AREA:
VIA + 18,497 SF. X 10% = 1,850 SF. OF REQUIRED
VIA LANDSCAPE.
VIA LANDSCAPE AREA PROVIDED + 3,995 SF.



C:\Projects\15-053 - Trinity Retail Lot 3\Drawings\Design&Construction\15-053 - Landscape Plan.dwg - Printed Mar 01, 2016-8:36am by BonnieM



CAMPO
ENGINEERING, INC.

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TAMPA, FL. 33605
PHONE: (813) 215-7372
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PROJECT TITLE
**OMNI AT THE SHOPPES
AT TRINITY LAKES**

PASCO COUNTY, FLORIDA

CLIENT



THE SHOPPES AT TRINITY
LAKES, LLC
5858 CENTRAL AVENUE
ST. PETERSBURG, FL
(728) 384-6000

REVISIONS

NO.	DESCRIPTION	DATE

ISSUE DATE: 12/2015

REVIEWED BY: MDC

DRAWN BY: BLM

DESIGNED BY: BLM

PROJECT NUMBER
15-053



GEORGE T. STURCH LA 00001295 03/01/2016
NAME SEAL NO. DATE

SHEET TITLE
**LANDSCAPE
PLAN**

SHEET NUMBER
LS-2

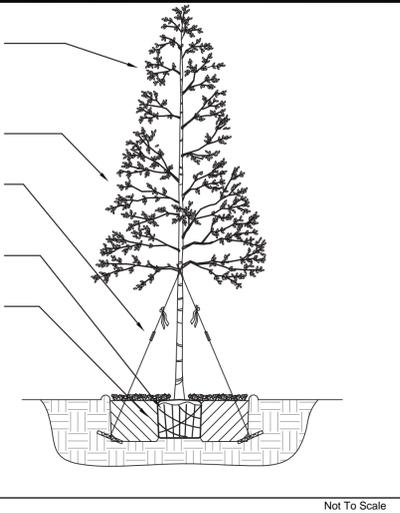
CROWN
Crown dimensions shall be as specified in the Plant Schedule. For all oak, holly and pine trees, branching shall have a single dominant leader with proportionate secondary branching and trunks shall be clear for not less than 14 the overall height of the tree (measured from top of root ball). For crape myrtle, ligustrum and wax myrtle trees, multiple trunk branching shall occur at the root ball. All trees shall have been pruned during growth to discourage "cross branching". Trees showing signs of recent cross branching or radical pruning will be rejected. No irregular or poorly-shaped trees nor crook-trunked trees will be accepted.

HANDLING
Do not move trees to site until site is prepared for planting. Plant all trees the day they are moved to the site. Cover crown during transportation. Spray with antidesiccant in accordance with the Written Specifications. Always Handle tree by the root ball. NEVER LIFT BY TRUNK.

STAKING AND GUYING
All trees between 2" and 9" in caliper shall be staked and guyed utilizing materials specified in the Written Specifications. Specified flags shall be tied to each guy wire at 3'-0" above the ground in plain view of passerby. Crape myrtle, ligustrum and wax myrtle shall be staked by buying one 2-pole 3'-0" deep, 2" outside of root ball and inside mulching, and tying the trunk to the pole with specified material.

ROOTBALL
Root ball shall be a firm ball of tree roots and natural soil sized per the Written Specifications. Tree shall be grown in container or irrigated field from liner stock by a professional nurseryman. No field collected trees will be accepted. No "grow bag" will be accepted.

PLANTING
Planting pit and backfill shall be as per the Written Specifications. Provide a compacted seat for root ball at the bottom of the pit at least 4" in height. Set tree straight and plumb so that the top of root ball is 2" above surrounding grade after setting. Provide 8" wide by 6" high watering ring around the circumference of the planting pit. Cover planting pit with 3" of specified mulch. Keep mulch at least 3" away from tree trunk.

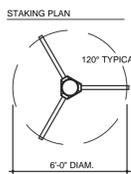


A TYPICAL TREE PLANTING

CROWN AND TRUNK
Palm fronds shall be tied up until after planting. Ties shall be removed as follows: Date Palm, one week; Washington Palm, immediately; Queen Palm, immediately; Sabal palms which are not "Hurricane Cut" shall remain tied for six months. Remove all dead or broken fronds. Never cut bud. All trunks shall be prepared prior to delivery. Date Palm trunks shall be "Class Cut". Sabal palms shall be booted or shaved as specified.

STAKING AND GUYING
Stake palms utilizing the "no nails" method. Wrap a triple layer of burlap 2" wide around the trunk at approximately 4' or above the ground. Strap two short 2x4 nailers at three locations 120 degrees apart to the trunk with packing straps. Drive 2x4 stake 3'-0" into ground 3'-0" from trunk in alignment with nailer. Nail 2x4 straps to nailer and stake.

PLANTING
Plant all palms in pure sand. Raise root ball so that it will be 2" above surrounding grade after setting. Provide watering ring 8" wide and 4" high around planting pit. Cover with 3" specified mulch. Keep mulch 3" away from trunk.

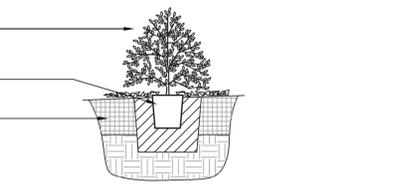


B TYPICAL PALM PLANTING

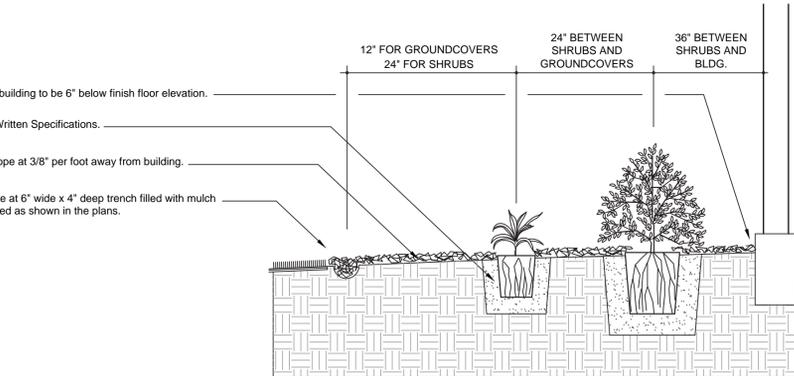
CROWN
Plant shall be equal or better than "Florida #1" as defined in the latest edition of "Grade and Standards for Nursery Plants" by Florida Department of Agriculture and Consumer Services. Plant shall be healthy, compact, dense and fully lush with leaves.

ROOTBALL
Container stock shall have been grown in container from liner stock so that roots hold soil ball together. No pot-bound or root-bound plants will be accepted.

PLANTING
Prepare planting bed, plant pit and backfill material in accordance with the Written Specifications. Slope the finish grade of the planting bed at 3/8" per foot to drain water. Set the plant so that top of ball is 1/8" the depth of the root ball above the finish grade of the planting bed. Align placement of each shrub and ground cover so that they are planted in straight rows, and are spaced equally as specified. Cover planting bed with specified depth of mulch. Keep mulch away from trunk of plant.



C TYPICAL SHRUB PLANTING



D TYPICAL BED PREPARATION

SECTION 2800 LANDSCAPE PLANTING

1. PART 1 - GENERAL

1.0 SCOPE: Furnish all materials, tools, equipment and labor necessary for the installation of all plant materials and accessories shown on the applicable drawings in accordance with all the requirements specified herein.

1.1 REFERENCES: The latest issues of the following documents form a part of this specification to the extent indicated:

- a. American National Standards Institute (ANSI): Joint Committee on Horticultural Nomenclature Standards: Standardized Plant Names (SPN) 1942 edition.
- b. American National Standards Institute (ANSI): Nursery Stock, Z 60.1
- c. American Society of Testing and Materials (ASTM): 601 Nursery Stock.
- d. Florida Department of Agriculture and Consumer Services (FDACS): Grades and Standards for Nursery Plants, Parts 1 and 1 (GSNS).

1.2 NOTIFICATION: Notify Owner's representative 48 hours in advance of planting to allow on site inspection of planting procedures and verification of plant material size.

1.3 SUBMITTALS:

1.3.1 At contract closeout submit all project record documents, operation and maintenance data warranty, and two copies of maintenance record.

1.3.2 Submit copies of soil test Certificates of Analysis as described herein prior to commencement of construction.

1.4 QUALITY ASSURANCE:

1.4.1 Qualifications: Contractor shall have not less than three years experience as a Landscape Contractor and have completed a minimum of 5 equivalent installations. Contractor shall submit a written description of ability including facilities, personnel and a list of similar completed work.

1.4.2 Regulatory Requirements: All suppliers of plant material shall comply with the Horticultural laws of the State of Florida as regulated by the Florida Department of Agriculture Division of Plant Industry.

1.4.3 Soil Testing: The Contractor shall perform and pay for soil testing as follows:

- a. Test two samples of stockpiled topsoil for pH level, sodium content, organic matter, nutrients and pathogens;
- b. Test two samples of imported, composted humus for pH level, sodium content, organic matter, nutrients and pathogens.

1.5 DELIVERY, STORAGE AND HANDLING

1.5.1 Packing and Shipping:

a. Balled and Burlapped (B&B) plants shall be dug and prepared for shipment in a manner that will not damage roots, branches, shape and future development after replanting. Dig root balls to sizes and ratios according to ANSI Z60.1, ball with firm, natural balls of soil, and wrap ball firmly with burlap and tie (ANSI Z60.1).

b. Specimen Plants shall be dug, wrapped and bound with care to assure safe loading, shipment and handling.

1.5.2 Acceptance at Site:

a. Deliver fertilizers, pesticides, organic mulches, soil amendments, and peat to site in original unopened containers bearing manufacturer's guaranteed chemical analysis, name, trade name, trade mark, and conformance to state law as applicable.

b. Do not deliver more plant materials than can be planted in one day.

c. Deliver plants with legible identification labels.

d. Protect during delivery to prevent damage to root ball, windburn, or wilting of leaves.

e. Notify Landscape Architect of delivery schedule in advance so plant material may be inspected upon arrival at job site.

1.5.3 Storage and Protection: Bare-root, or balled and burlapped plant stock shall be stored directly from nursery and heeled-in immediately upon delivery if not to be planted within four hours.

1.5.4 Handling: Do not drop plants; do not pile up container or balled plants by stems or trunks; all plants with crooked or mushroomed balls or with the plant loose in the ball will be rejected.

1.6 Project/Site Conditions: Planting season shall be in accordance with locally accepted practice. Perform actual planting only when weather and soil conditions are suitable in accordance with locally accepted practice as approved by the Landscape Architect.

1.7 Sequence and Scheduling: Planting to commence only when preceding work is complete to the point where other contractors do not need access to planting areas.

1.8 Landscape Architect may reject substandard materials discovered on the site at any point in the project.

1.9 Warranty: Guarantee that all plant materials shall be true to botanical name and variety and will replace them at no cost to the Owner regardless of the length of time it takes to make this determination.

2. PART 2 - PRODUCTS

2.1 PLANT MATERIALS:

2.1.1 Plant materials shall mean trees, shrubs, vines and plants of all descriptions that are required to be furnished for the project in accordance with the plant schedules.

2.1.2 QUALITY: All plant material furnished shall be healthy representatives, typical of their species or variety and shall have a normal habit of growth. They shall be full, well branched, well proportioned and have a vigorous, well developed root system. All plants shall be inspected and certified in compliance with State and Federal law by the State Nursery Inspector to be healthy vigorous plants free from harmful defects, decay, disfigured stems or roots, plant diseases, or insect pests.

2.1.3 NOMENCLATURE: (SPN, 1942) All plants shall be true to name and type in accordance with names used on plants. Substitutions shall be by consent of Landscape Architect.

2.1.4 STANDARDS: (ANSI Z60.1 or GSNS, whichever is more restrictive) All plants shall be "Florida #1 or better" and shall be nursery grown within plant hardiness zones 9 or 10. Collected material shall not be acceptable except as noted on plans.

2.1.5 Shade trees shall have trunks according to their habit of growth. The spread of the crown shall be in good overall proportion to the total height.

2.1.6 Canned stock shall be grown in a container such as pots or cans and have sufficient roots to hold earth together intact after removal, without being root bound.

2.1.7 Ornamental trees shall be well formed and have a crown typical of the species or variety; where a multi-stem is detailed on the Plant List, a plant having a minimum of two or more stems originating from a common base at the ground line shall be furnished.

2.1.8 Deciduous shrubs shall be well branched and have ample well-balanced root systems capable of sustaining vigorous growth. They shall have a height-width ratio typical of sufficient well-spaced side branches to give it proper weight and density.

2.1.9 Evergreen trees shall be of a form typical of their species or variety and not unnaturally sheared or color-treated. They shall have received sufficient pruning of interior branches to develop full bodies and substantial side branching.

2.1.10 Evergreen shrubs shall be well branched and have ample well-balanced root systems capable of sustaining vigorous growth. They shall have a compact form and dense branching typical of their species or variety.

2.1.11 Vines and ground covers shall be adequate length and density typical of their species or variety.

2.1.12 SPECIMEN STOCK: When detailed on the Plant Schedule, specimen shall mean exceptionally fully developed, bushy, and heavily branched plants that have been grown individually in the nursery. They shall surpass the normal standard for nursery stock in their density and maturity, and shall form a symmetrical, tightly knit plant or picturesque characteristic if indicated. Specimen stock shall be approved by Owner prior to installation.

2.1.13 TRANSPLANTED STOCK: Where indicated on the plan, existing material on the site is to be transplanted to a new location. This work shall be accomplished as specified by the Owner's registered arborist.

2.2 FERTILIZER:

2.2.1 For Summer Flowering Trees and Shrubs, fertilizer shall be granular form, 6-6-6 or similar analysis in ureaform or nitroform slow release formulation.

2.2.2 For Spring-Flowering Trees and Shrubs, fertilizer shall be granular form, 6-12-6 or similar analysis in ureaform or nitroform slow release formulation.

2.2.3 For Ground Cover and other Evergreen shrubs, fertilizer shall be a granular form, 18-6-12 fertilizer or similar analysis in ureaform or nitroform slow-release formulation.

2.2.4 For Evergreen Trees, fertilizer shall be a granular form fertilizer, 6-24-6 high phosphorous or similar analysis in ureaform or nitroform slow-release formulation.

2.3 Composted Humus material shall be as manufactured by a licensed composting facility as regulated by the Environmental Protection Agency. Composted Humus shall meet all EPA guidelines, be free of pathogens and insects, and have a pH of 7.0 to 7.5. Local source: Recycled Wood Products; Tampa, Florida (813/832-3634), or equal.

2.4 Weed Control shall be a granular pre-emergent, a weed control which kills weed seeds as they germinate, applied per package label instructions.

2.5 Organic Mulch shall be Grade "B" shredded cypress wood of uniform texture and size. Two.

2.6 GUYING AND STAKING MATERIAL:

- a. Anchors for ground guying of trees shall be Locoilia Malleable Iron Co., size 12" LA-12-120; or Duddell Earth Anchors, Foresight Industries, Inc.; or equal.
- b. Wire connections shall be Micropress Splice Clip, or equal.
- c. Safety Flags for guy wires shall be 3" x 12" wood or hard plastic painted white.
- d. Cables shall be three twisted strands of 9 gauge galvanized steel.
- e. Turnbuckles shall be 5/16" x 4-1/2" galvanized steel.
- f. Hose shall be new, 3/4" diameter, 2-ply black rubber.
- g. Root stakes for vertical staking of trees shall be Form type, pressure treated wood posts, 2-1/2" to 3" diameter, 8'-0" long, unweathered, uniform in color and appearance.
- h. Braces for palm trees shall be pressure treated 2" x 4" lumber.

2.7 PESTICIDES: Insecticide for plant material shall be an approved type for residential areas that may be used without halting construction activity. Application shall be according to package label specifications.

2.8 WATER: During the course of construction, the Contractor shall make, at his expense, whatever arrangements may be necessary to provide adequate irrigation of the planted area. Contractor shall furnish all necessary hose, equipment, attachments, accessories and labor.

2.9 TWINE: Shall be jute twine not less than two ply.

2.10 TOPSOIL: Shall be natural, friable, fertile, fine loam soil, which produces a heavy growth; free from subsoil objectionable weeds, litter, sods, stiff clay, stones larger than one inch in diameter, stumps roots, trash, toxic substances, or any other material which might be harmful to plant growth or hinder planting operations: between pH of more than 5.5 and less than 7.5.

2.11 EDGING: Where metal edging is indicated on the plan, it shall be green Permaco Aluminum Edging, 3/16" x 4", block (PH: 1-800-356-9660), or pre-bid approved equal.

2.12 SOIL AMENDMENTS:

a. Limes shall be agricultural grade, ground dolomitic limestone. At least 90% shall pass a U.S.S. No. 10 sieve, and at least 50% shall pass a U.S.S. No. 96 sieve. Any caked or damaged lime will be rejected.

b. Aluminum Sulfate shall be finely ground commercial grade aluminum sulfate.

2.13 LOCAL AVAILABILITY: Where specified items and/or materials, such as mulch, fertilizer types, analysis, or quantities, etc. are unavailable or drastically different from appropriate local practice, attach to bid a description of proposed substitute and effect of this bid price.

3. PART 3 - EXECUTION

3.1 EXAMINATION

3.1.1 Verify that final grades have been established prior to commencement of landscape construction operations.

3.1.2 Inspect trees, shrubs and ground covers for injury, insect infestation; and trees and shrubs for improper pruning. Do not plant injured, infested or improperly pruned trees, shrubs or ground covers.

3.2 PREPARATIONS

3.2.1 Stake out location of all trees and bed areas for Architect's approval prior to commencement of landscape construction.

3.2.2 Adhere to tree protection requirements regarding no digging within the protected root zone areas of existing trees as shown in the landscape drawings.

3.2.3 All planting shall be done when weather and soil conditions are suitable.

3.2.4 Take all proper precautions so as not to disturb or damage subsurface improvements. It shall be the Landscape Contractor's responsibility to locate electric cables, storage tanks, subsurface drains, and obstructions as encountered in the excavation of plant pits. Alternate locations may be selected with the approval of the Architect.

3.2.5 The Contractor shall at all times take reasonable and adequate precautions to protect the existing improvements during the course of the project. Any damage incurred shall be corrected by the Contractor at his expense.

3.2.6 BED PREPARATION: Bed Preparation shall be a layer of 4" of Composted Humus tilled 4" into the existing topsoil for an 8" bed depth. Begin by tilling the existing soil to a depth of 4". Rake out all debris. Apply a 4" layer of Composted Humus material over the entire bed area and till to 8" deep. Grade to drain toward points of natural outflow or toward storm sewer inlets. Grade of walks and curbs shall be 2" below the elevation of the pavement.

3.2.7 BED EDGING: Install specified edging per manufacturer's recommendations where shown in the landscape plans.

3.2.8 EXCAVATION: Plant pits shall be excavated with vertical sides sand flat bottoms as per the details on landscape drawings.

3.3 PLANTING INSTALLATION:

3.3.1 SETTING: All plants shall be set in pits excavated to a size of two times the diameter of plant ball and twelve (12") deeper than the height of the root ball and shall be set at such a level that the top of the root ball shall be 1/8 the depth of the root ball (or container) above the surrounding soil level. Each plant shall be planted in the center of an individual pit and set plumb and straight. All plants shall be adjusted to conform and align with surrounding plants and properly faced so as to give the best effect.

3.3.2 All burlap shall be left on the plants. Burlap shall be cut open or removed to below the mid-line prior to backfilling. Plants grown in metal, plastic, or peat pots, shall be removed from their containers.

3.3.3 Backfill material shall be the amended soil in the prepared bed of the plant.

3.4 FERTILIZING:

3.4.1 TREES: Shall have 1/2 cup for each 1/2" of the trunk caliper. Fertilizer shall be mixed into the backfill material prior to backfilling.

3.4.2 SHRUBS: Shall have 1/4 cup for each shrub under 12" in height and 1/2 cup for each shrub over 12" in height. Fertilizer shall be mixed into the backfill material prior to backfilling.

3.4.3 GROUNDCOVERS: Fertilizer shall be broadcast at the rate of 1.5 pounds of actual nitrogen per 1,000 square feet over the bed area and watered in prior to planting.

3.5 PLANTING FINISHES: Pruning shall retain the form typical of the plant. It shall include all dead or injured twigs and done according to standard horticultural practices.

3.5.1 Weed control shall be done by applying the approved granular pre-emergent throughout the bed area per label instructions prior to mulching. Apply the herbicide in all mulched areas except within root zones of the existing trees as shown in the landscape drawings.

3.5.2 For trees and palms, the planting mix shall be smoothed and shaped to form a shallow basin slightly larger than the pit. These basins shall then be mulched with a 3" layer of mulch. For bed plantings, the entire area shall be raked smooth and mulched to a depth of 3".

3.5.3 Trees and palms shall be staked and guyed in an upright position as soon as practical after planting, as shown on the detail drawings. Plants shall stand plumb after staking and guying is complete. Adjust all guys after settling has occurred to re-plumb trees and palms.

3.5.4 During course of planting, excess and waste materials shall be promptly removed, lawn areas kept clear and precautions taken to avoid damage to existing structures, plants and grass. When planting in an area has been completed, the area shall be thoroughly cleaned up. Debris, rubbish, subsoil and waste materials shall be removed from the site. All walks, drives, and patios trucked up with soil or materials from installation will be cleaned so far as practical.

3.5.5 Existing grass areas which have been injured by the work shall be regraded and sodded. The entire area, when completed, shall be neat and clean to the satisfaction of the Owner.

3.6 PLANT GUARANTEE AND REPLACEMENT:

3.6.1 GUARANTEE: Plants shall be guaranteed for 1 full year from the date of final acceptance.

3.6.2 REPLACEMENT: At the end of the guarantee period, inspection will be made by the Owner upon written request of the Contractor. Inspection shall be made by the Contractor at least ten days before the anticipated date. Any plant required under this contract that is dead or not in satisfactory growth, as determined by the Owner, shall be removed from the project site and these any plants missing, due to the Contractor's negligence, shall be replaced as soon as conditions permit, but during the normal planting season.

3.6.3 All replacements shall be plants of the same kind and size as specified in the plant schedule given on the project drawings. They shall be furnished and placed as specified under new planting; the cost shall be borne by the Contractor except for possible replacement resulting from removal, loss or damage due to occupancy of the project in any part, vandalism, or acts of neglect on the part of others, during the guarantee period offer acceptance.

3.7 MAINTENANCE:

3.7.1 Maintenance shall begin immediately after each portion of lawn and each plant is planted and shall continue in accordance with the following requirements. The landscape contractor shall provide and pay for maintenance.

3.7.2 Plant material shall be protected and maintained until installation of planting has been inspected and planting is accepted exclusive of the guarantee. Maintenance shall include watering, weeding, cultivating, mulching, tightening and repairing of guys, removal of dead material, resetting plants to proper grade or upright positions and restoring of the planting spacer and other necessary operations.

3.7.3 Maintenance shall be continued until the date of final acceptance.

3.7.4 The Contractor shall keep a record of landscape maintenance performed during the construction period noting the dates and types of mechanical and chemical maintenance. The record shall be submitted to the Owner upon project closeout.

END OF SECTION 2800 - LANDSCAPE PLANTING

SECTION 2930 SODDING ST. AUGUSTINE TURFGRASS

1. PART 1 - GENERAL

1.0 SCOPE: Furnish all materials, tools, equipment and labor necessary to completely install the lawn shown on the applicable drawings in accordance with all requirements specified herein.

2. PART 2 - PRODUCTS

2.1 SODDING MATERIALS

2.1.1 Sod shall be nursery grown, machine-cut St. Augustine sod harvested from cultivated agricultural land and grown specifically for sod purposes. It shall have received a high degree of maintenance including regular mowing, watering, and weed control treatments to maintain superior quality and uniformity. It shall be vigorous, well rooting, healthy turf, free from disease, insect pests, noxious weeds, stone and any other harmful or deleterious matter. It shall have a uniform thickness of at least 5/8". Broken or torn pads will be rejected. The sod pad shall be capable of supporting its own weight and retaining size and shape when supplier's standard size pad is suspended vertically from a firm grasp on the upper 10 percent of the pad. Store sod no longer than 24 hours on site in a cool shady location.

2.1.2 FERTILIZER: Shall be a complete ureaform or nitroform fertilizer, uniform in composition, free flowing, granular or pelleted, delivered in original unopened containers with the analysis, type and trade name attached to each container. Analysis shall be: Nitrogen 10%, Phosphorus 10%, Potash 10%. Applied at rate of 1 lb. of quickly available nitrogen per 1,000 sq. ft. Fertilizer shall not have been exposed to weather prior to delivery on the site and after delivery until used, it shall not be stored in direct contact with the ground.

2.1.3 WATER: Water suitable for the execution of the work shall be provided by the Owner.

2.1.4 TOPSOIL: Shall be natural, friable, fertile, fine loam soil, which produces a heavy growth; free from subsoil objectionable weeds, litter, sods, stiff clay, stones larger than one inch in diameter, stumps roots, trash, toxic substances, or any other material which might be harmful to plant growth or hinder planting operations: between pH of more than 5.5 and less than 7.5.

3. PART 3 - EXECUTION

3.1 All sodding shall be done when weather and soil conditions are suitable. Under extraordinary conditions, sodding may be done out of the above conditions at Owner's risk, however, only with Owner's written permission. Otherwise, Contractor is responsible.

3.2 When conditions are such, by reason of drought, high winds, excessive moisture, frozen ground, or other unfavorable factors, that satisfactory results are not likely to be obtained, work shall be halted. It shall not be resumed until desired results can be obtained or alternate or corrective measures and procedures can be used.

3.3 SOIL PREPARATION

3.3.1 After areas have been brought to the required grade and properly trimmed and cleared up by others, the soil shall be brought to a friable condition by harrowing, tilling or otherwise loosening and mixing to a depth of four inches including the addition of a two inch layer of topsoil. Do not harrow or fill within the root zone of existing trees as shown on the drawings.

3.3.2 Where no grades are shown, areas shall have a smooth and continual grade between existing or fixed controls (such as walks, curbs, catch basins, etc.).

3.3.3 The prepared soil shall be made smooth and uniform by raking and all lumps and soil clods over 2" in diameter shall be thoroughly broken and foreign materials removed.

3.4 SOD INSTALLATION:

3.4.1 Apply the specified fertilizer and irrigate the sod bed for one hour. Allow sod bed to settle for one day. The sod bed should be moist but not wet before sodding. Sodded areas shall be as per drawings. Sod shall be laid as soon as possible after it is unloaded. Sod shall be laid in straight lines, perpendicular to slope, and placed tightly against each other. Lateral joints shall be staggered and care shall be exercised to butt the joints tightly without overlapping. As sodding is completed in any one section, the entire area shall be lightly rolled. Sod laid on slopes steeper than 3 to 1 shall be held in place by wooden pegs driven through sod into soil until flush with top of sod. Water sod immediately after laying.

3.5 SOD MAINTENANCE AND GUARANTEE:

3.5.1 Sodded areas shall be protected and maintained by watering, mowing and reseeded as necessary until an acceptable stand is established and for a minimum of 60 days, when the normal growing season of the region.

3.5.2 Resodding shall be done the same as the original installation and done in a manner that will cause a minimum of disturbance to the existing stand. Any areas that have had the topsoil washed away shall be filled to match specified grade with topsoil before resodding.

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