

# PRELIMINARY SITE PLAN, CONSTRUCTION SITE PLAN & STORMWATER MANAGEMENT PLAN

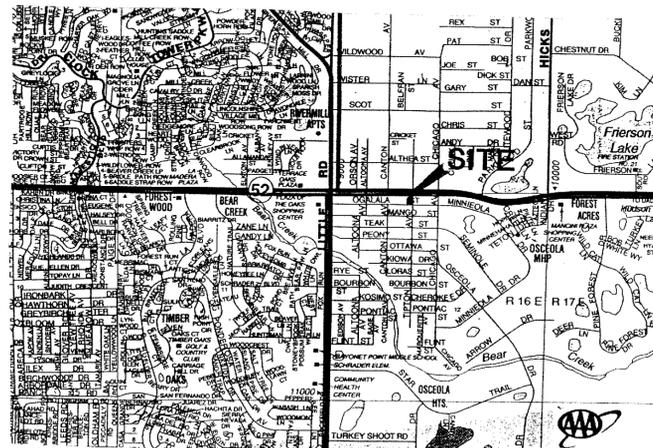
for  
**S. R. 52 RETAIL SITE**  
**S. R. 52 HIGHWAY**

Parcel No.: 12/25/16/0090/03100/0010  
Parcel No.: 12/25/16/0090/03100/0220  
Parcel No.: 12/25/16/0090/03100/0230



SITE AERIAL (2015)

N.T.S.



LOCATION MAP

## LEGAL DESCRIPTION

PARCEL 1: LOT 1, BLOCK 31, GRIFFIN PARK SUBDIVISION, CITY OF FIVAY, AS RECORDED IN PLAT BOOK 2, PAGE 78, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, TOGETHER WITH THAT PART OF THE NORTH 1/2 OF THE ALLEY LYING ADJACENT TO AND SOUTH OF SAID LOT 1 AS VACATED IN O. R. BOOK 1663, PAGE 1402 AND THAT PART OF THE WEST 1/2 OF INDIANA AVENUE LYING ADJACENT TO AND EAST OF SAID LOT 1 AS VACATED IN O. R. BOOK 1643, PAGE 404, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; LESS AND EXCEPT RIGHT-OF-WAY FOR STATE ROAD 52 LYING WITHIN 77.00 FEET OF THE BASELINE OF SURVEY AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP SECTION 14120-2521.

PARCEL 2: LOT 2, BLOCK 31, GRIFFIN PARK SUBDIVISION, CITY OF FIVAY, AS RECORDED IN PLAT BOOK 2, PAGE 78, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, TOGETHER WITH THAT PART OF THE NORTH 1/2 OF THE ALLEY LYING ADJACENT TO AND SOUTH OF SAID LOT 2 AS VACATED IN O. R. BOOK 1663, PAGE 1402, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; LESS AND EXCEPT RIGHT-OF-WAY FOR STATE ROAD 52 LYING WITHIN 77.00 FEET OF THE BASELINE OF SURVEY AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP SECTION 14120-2521.

PARCEL 3: LOT 3, BLOCK 31, GRIFFIN PARK SUBDIVISION, CITY OF FIVAY, AS RECORDED IN PLAT BOOK 2, PAGE 78, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, TOGETHER WITH THAT PART OF THE NORTH 1/2 OF THE ALLEY LYING ADJACENT TO AND SOUTH OF SAID LOT 3 AS VACATED IN O. R. BOOK 1663, PAGE 1402, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; LESS AND EXCEPT RIGHT-OF-WAY FOR STATE ROAD 52 LYING WITHIN 77.00 FEET OF THE BASELINE OF SURVEY AS SHOWN ON FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP SECTION 14120-2521.

PARCEL 4: ALL OF LOTS 23 AND 24, BLOCK 31, GRIFFIN PARK SUBDIVISION, CITY OF FIVAY, AS RECORDED IN PLAT BOOK 2, PAGE 78 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, TOGETHER WITH THAT PART OF THE SOUTH 1/2 OF THE ALLEY LYING ADJACENT TO AND NORTH OF SAID LOTS 23 AND 24 AS VACATED IN O. R. BOOK 1663, PAGE 1402 AND THAT PART OF THE WEST 1/2 OF INDIANA AVENUE LYING ADJACENT TO AND EAST OF LOT 24 AS VACATED IN O. R. BOOK 1643, PAGE 404, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

PARCEL 5: ALL OF LOT 22, BLOCK 31, GRIFFIN PARK SUBDIVISION, CITY OF FIVAY, AS RECORDED IN PLAT BOOK 2, PAGE 78 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, TOGETHER WITH THAT PART OF THE SOUTH 1/2 OF THE ALLEY LYING ADJACENT TO AND NORTH OF SAID LOT 22 AS VACATED IN O. R. BOOK 1663, PAGE 1402, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA.

## PASCO COUNTY DEVELOPMENT REVIEW STANDARD SITE PLAN NOTES

- ALL UTILITY CONSTRUCTIONS SHALL COMPLY WITH THE PASCO COUNTY STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES SPECIFICATIONS, LATEST ADDITION.
- ALL ON-SITE WATER AND SEWER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER/DEVELOPER.
- INSTALLATION OF UNDERGROUND STORAGE FUEL TANKS REQUIRES REVIEW AND APPROVAL BY THE FIRE MARSHALL AND THE ISSUANCE OF A SEPARATE BUILDING PERMIT. APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF THE LOCATION OF THE FUEL TANKS.
- ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED, AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY-APPROVED SITE PLAN. APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE.
- HANDICAP PARKING SPACES WILL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, OR OTHER APPLICABLE STANDARDS.
- THE ENGINEER CERTIFIES THAT THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.
- ALL ON-SITE PARKING SPACES WILL BE STRIPPED AND SIGNED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. PARKING SPACES, DIRECTIONAL ARROWS, AND STOP BARS SHALL BE STRIPED IN WHITE. IT SHALL BE THE OWNER/DEVELOPERS' RESPONSIBILITY TO PROPERLY SIGN AND STRIPE THE SITE IN ACCORDANCE WITH APPLICABLE STANDARDS.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THIS APPROVAL DOES NOT INCLUDE ANY WORK IN THE COUNTY RIGHT-OF-WAY. ALL RIGHT-OF-WAY WORK SHALL BE A FUNCTION OF AN APPROVED PASCO RIGHT-OF-WAY USE PERMIT.
- ALL CLEAR-SITE AREAS SHALL BE KEPT FREE OF ANY SIGNAGE, PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND -HALF (3-1/2) FEET IN HEIGHT.
- NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY COUNTY OR STATE RIGHT-OF-WAY WITHOUT ISSUANCE OF APPROPRIATE RIGHT-OF-WAY USE PERMIT.
- IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE AND FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE.
- IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES, INCLUDING BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OR SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATION, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORICAL RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE RESOURCES FOUND ON THE SITE.
- THERE SHALL BE NO LIGHT SPILLAGE OR GLARE BEYOND THE PROJECT SITE OR SHIELD LIGHT AWAY FROM ADJOINING RESIDENTIAL PREMISES AND RIGHTS-OF-WAYS.

NOT VALID UNLESS SIGNED & SEALED BY:

**GERALD P. GOULISH**  
FLORIDA PROFESSIONAL ENGINEER No. 21340

Prepared by:

**GERALD P. GOULISH**  
P. E. # 21340

272 Old East Lake Rd.  
Tarpon Springs, FL 34688

Ph (727) 934.0994, Fax (727) 934.0994

DATE: 12/21/2015  
SHEET: ST-1 OF 6 JOB NO. 98-007.13

DRAWING INDEX	
SHEET NO	SHEET DESCRIPTION
C-1	COVER SHEET
C-2	EXISTING SITE
C-3	PROPOSED SITE PLAN
C-4	PAVING, GRADING & DRAINAGE PLAN
C-5	LANDSCAPE PLAN
C-6	UTILITY PLAN

### ENGINEERING DATA:

TOTAL PROJECT AREA = 36,617 S.F.  
BUILDING AREA = 4,316 S.F.  
SIDEWALK = 1,516 S.F.  
PAVED AREA = 16,984 S.F.  
POND = 1,867 S.F.  
GRASS AREA = 11,934 S.F.

PARKING REQUIRED:  
COMMERCIAL 1 PER 200 SF = 2840/200 = 14.2 SPACES  
RESTAURANT 1 PER 150 SF = 1476/150 = 9.8 SPACES  
PARKING PROVIDED:  
23 REGULAR SPACES  
1 COMPACT SPACES  
HANDICAP SPACE

REQUIRED DRAINAGE:  
SWFWMD/PASCO CO. - TREATMENT OF FIRST 1/2" OF RUNOFF  
PASCO - ATTENUATION OF POST 25 YEAR STORM  
IMPROVEMENTS DO NOT IMPACT HISTORIC DRAINAGE PATTERNS  
FIRE STATION - #29  
SOIL TYPE: CANDLER FINE SAND; 0 TO 5% SLOPES  
ZONING: C-2 REZONING #6654 DATED 12/2007  
REZONING #6358 DATED 12/1908  
REZONING #6755 DATED 02/2008  
VARIANCE: #VAC07-277 DATED 9/13/07

LAND USE: RCR  
USAGE OF THIS SITE IS FOR OFFICES & RETAIL PROJECT TO BE COMPLETED IN (1) ONE PHASE.  
EXISTING VEGETATION CONSISTS OF GRASS & TREES.  
NO ON-SITE BURNING SHALL BE PERMITTED EXCEPT BY PERMIT.  
FLUTTING DUST TO BE CONTROLLED BY SPRINKLING BY THE GENERAL CONTRACTOR.  
FLOOD ZONE: ZONE: "X" PANEL 120230-01B3 DATED 9-26-2014  
BFE - 19.09 NAVD 28 PER BEAR CREEK FLOOD STUDY  
NO WETLANDS ON SITE  
FAR = 4,316/36,617 = 0.12

NO CUT OR FILL PROPOSED FOR SITE  
THE MAX. BUILDING HEIGHT IS 60 FT.  
ACTUAL BUILDING HEIGHT IS 25 FT.  
TOTAL SITE ACREAGE: 0.8406 ACRES  
REFUSE COLLECTION BY DUMPSTER

UTILITIES: WATER - PASCO COUNTY UTILITIES  
WASTE WATER - PASCO COUNTY UTILITIES  
POWER - DUKE ENERGY  
IRRIGATION BY UNDERGROUND SPRINKLER SYSTEM  
SITE LOCATED IN "C" EVACUATION ZONE

GENERAL DATA:  
ENGINEER: GERALD P. GOULISH, P.E. #21340  
GOULISH & ASSOCIATES, INC.  
272 OLD EAST LAKE ROAD  
TARPOON SPRINGS, FLORIDA 34688  
(727) 934-2839

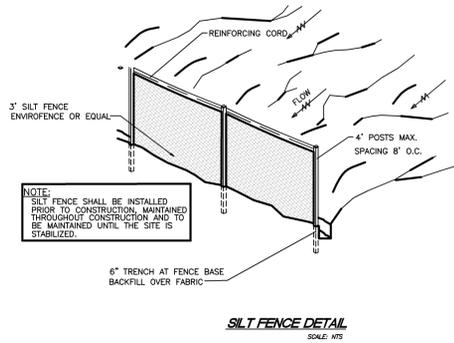
OWNER: GR BUILDING DEVELOPERS, INC.  
12954 SHADY HILLS ROAD  
SPRING HILL, FL 34610  
813-995-2330

SURVEYOR: MICHAEL BAKER ASSOCIATES  
220 SOUTH SAFFORD AVENUE  
TARPOON SPRINGS, FLORIDA 34689  
VOICE (727) 938-5026  
FAX (727) 938-2566

**GEO TECHNICAL NOTES**

SHOULD ANY NOTICEABLE SOIL SLUMPING OR SINKHOLE FORMATION BECOME EVIDENT, THE APPLICANT/DEVELOPER SHALL IMMEDIATELY NOTIFY THE COUNTY, TAMPA BAY WATER, AND THE SOUTHWEST WATER MANAGEMENT DISTRICT (SWFWMD) AND ADOPT ONE (1) OR MORE OF THE FOLLOWING PROCEDURES AS DETERMINED TO BE APPROPRIATE BY THE COUNTY AND SWFWMD:

1. IF THE SLUMPING OR SINKHOLE FORMATION BECOMES EVIDENT BEFORE OR DURING CONSTRUCTION ACTIVITIES, STOP ALL WORK (EXCEPT FOR MITIGATION ACTIVITIES) IN THE AFFECTED AREA AND REMAIN STOPPED UNTIL THE COUNTY AND SWFWMD APPROVE RESUMING CONSTRUCTION ACTIVITIES.
2. TAKE IMMEDIATE MEASURES TO ENSURE NO SURFACE WATER DRAINS INTO THE AFFECTED AREAS.
3. VISUALLY INSPECT THE AFFECTED AREA.
4. EXCAVATE AND BACKFILL OR GRUT, AS REQUIRED, TO FILL THE AFFECTED AREA AND PREVENT FURTHER SUBSIDENCE.
5. USE SOIL REINFORCEMENT MATERIALS IN THE BACKFILLING OPERATION WHEN APPROPRIATE.
6. IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA, MAINTAIN A MINIMUM DISTANCE OF TWO (2) FEET FROM BOTTOM OF THE RETENTION POND TO THE SURFACE OF THE LIMEROCK OR KARST CONNECTION.
7. IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA AND THE ABOVE METHODS DO NOT STABILIZE THE COLLAPSE, RELOCATE THE RETENTION AREA.



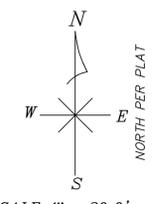
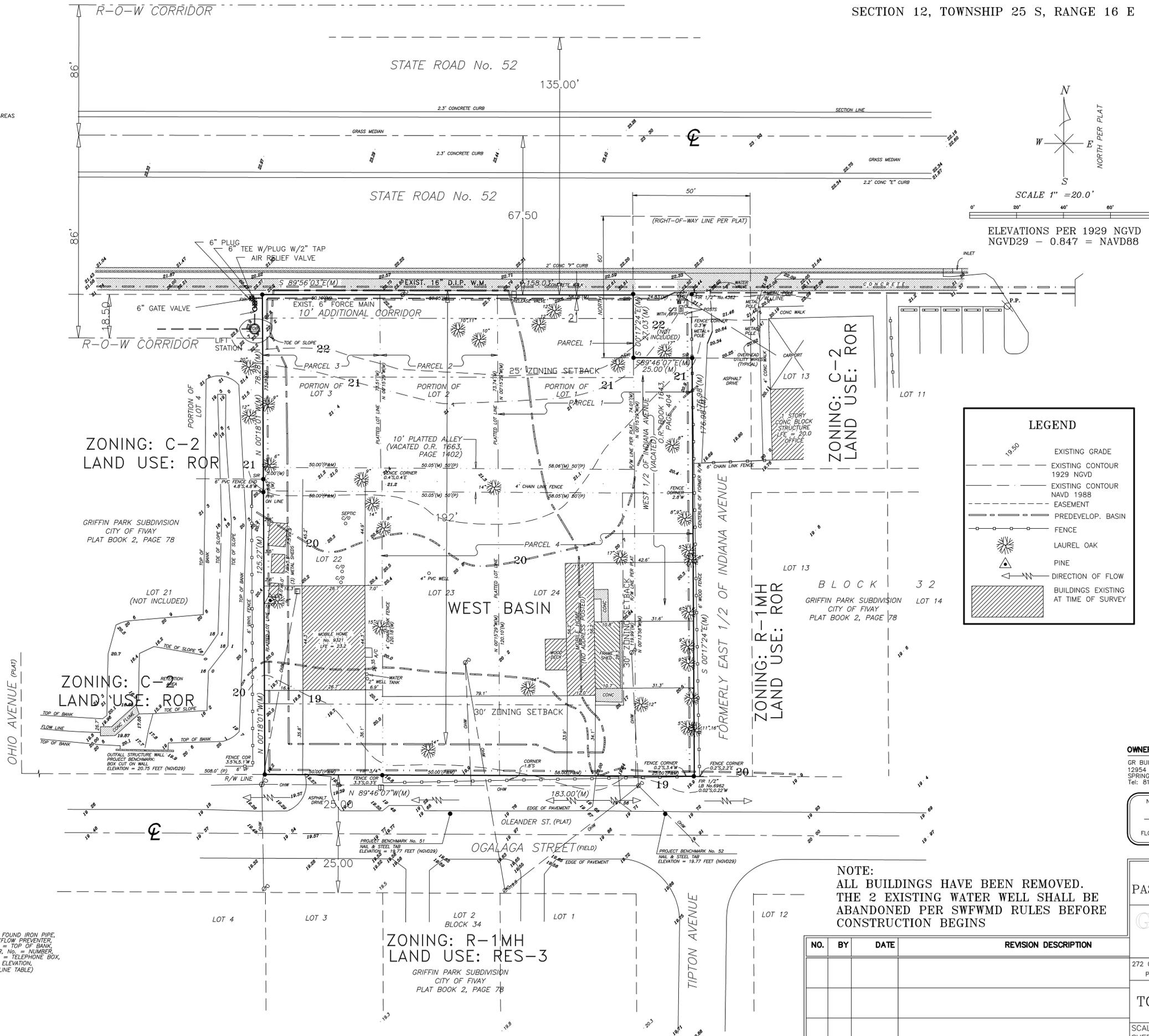
**NOTES**

- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMPLETE AND UP-TO-DATE TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST OTHER THAN AS SHOWN HEREON.
- THIS PARCEL APPEARS TO LIE IN FLOOD ZONE "X" PER FLOOD INSURANCE RATE MAP, COMMUNITY PANEL No. 120230 0185 D, MAP REVISED: SEPTEMBER 30, 1992, NATIONAL FLOOD INSURANCE PROGRAM, FEDERAL EMERGENCY MANAGEMENT AGENCY.
- BEARINGS ARE REFERENCED TO THE NORTH RIGHT-OF-WAY LINE OF OGALAGA STREET, BEING N 89°46'07"W (ASSUMED).
- ALL DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS OF FEET.
- ALL ELEVATIONS INDICATED HEREON ARE IN NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29).
- ELEVATIONS REFERENCED TO FLORIDA DEPARTMENT OF TRANSPORTATION BENCHMARK "BM25" LOCATED NORTH AND EAST OF THE NORTHEAST CORNER OF STATE ROAD No. 52 AND CANTON AVENUE. ELEVATION = 15.506 FEET (NGVD29).
- AREA OF SUBJECT PROPERTY = 0.7125 ACRES, MORE OR LESS.

**NOTE TO CONTRACTOR:**

- 1.) ALL ABOVE GROUND AND BELOW GROUND UTILITIES MUST BE LOCATED BEFORE STARTING ANY WORK ON SITE. CALL SUNSHINE AT (1-800-432-4770) FOR UTILITY LOCATIONS A MINIMUM OF 48 HOURS BEFORE STARTING ANY WORK.
- 2.) INSTALL SILT SCREEN AROUND PERIMETER OF CONSTRUCTION SITE BEFORE STARTING ANY WORK. SEE SILT SCREEN DETAIL ABOVE. SILT SCREEN LOCATION: \_\_\_\_\_
- 3.) EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION.

**LEGEND AND ABBREVIATIONS:**  
 C = CENTERLINE, FIR = FOUND IRON ROD, P = POWER POLE, F = FIRE HYDRANT, FIP = FOUND IRON PIPE, C/S = CONCRETE SLAB, (M) = MEASURED, (D) = PER DEED, (P) = PER PLAT, BFP = BACKFLOW PREVENTER, PCP = PERMANENT CONTROL POINT, A/C = AIR CONDITIONER, OHW = OVERHEAD WIRES, TOP = TOP OF BANK, R/W = RIGHT OF WAY, N = NORTH, S = SOUTH, E = EAST, W = WEST, W/M = WATER METER, No. = NUMBER, CONC = CONCRETE, SIR = SET 1/2" IRON ROD No. 4086, (BR) = BEARING REFERENCE, TEL = TELEPHONE BOX, W/C = WITNESS CORNER, PRM = PERMANENT REFERENCE MONUMENT, LFE = LOWEST FLOOR ELEVATION, 0.00 = .000 = EXISTING ELEVATION, LB = LICENSED BUSINESS, L1 = LINE NUMBER (SEE LINE TABLE)



**LEGEND**

- 19.50 EXISTING GRADE
- - - EXISTING CONTOUR 1929 NGVD
- - - EXISTING CONTOUR NAVD 1988
- - - EASEMENT
- - - PREDEVELOP. BASIN
- - - FENCE
- ☼ LAUREL OAK
- ▲ PINE
- DIRECTION OF FLOW
- ▨ BUILDINGS EXISTING AT TIME OF SURVEY

**OWNER/DEVELOPER:**  
 GR BUILDING DEVELOPERS, INC.  
 12954 SHADY HILLS ROAD  
 SPRING HILL, FLORIDA 34610  
 Tel: 813.995.2330

NOT VALID UNLESS SIGNED & SEALED BY:  
**GERALD P. GOULISH**  
 FLORIDA PROFESSIONAL ENGINEER No. 21340

SR 52 RETAIL SITE  
 PASCO COUNTY, FLORIDA

**GERALD P. GOULISH**  
 P. E. # 21340

272 Old East Lake Rd. Tarpon Springs, FL 34688  
 Ph (727) 938.2839, Fax (727) 934.0994

**TOPOGRAPHIC PLAN**

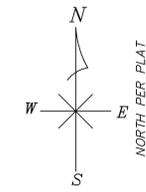
SCALE 1" = 20'  
 SHEET ST-2 OF 6

DATE: 12/21/2015  
 JOB NO. 98-007.13

**NOTE:**  
 ALL BUILDINGS HAVE BEEN REMOVED.  
 THE 2 EXISTING WATER WELL SHALL BE  
 ABANDONED PER SWFWMD RULES BEFORE  
 CONSTRUCTION BEGINS

NO.	BY	DATE	REVISION DESCRIPTION

**PRELIMINARY/CONSTRUCTION PLANS**



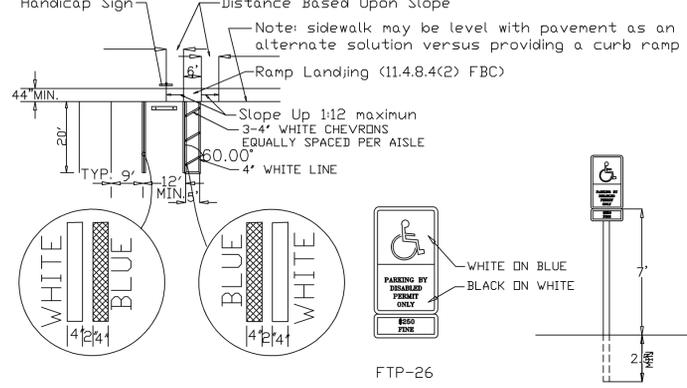
SCALE 1" = 30.0'

**LEGEND**

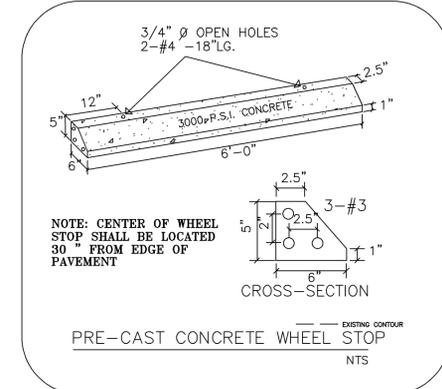
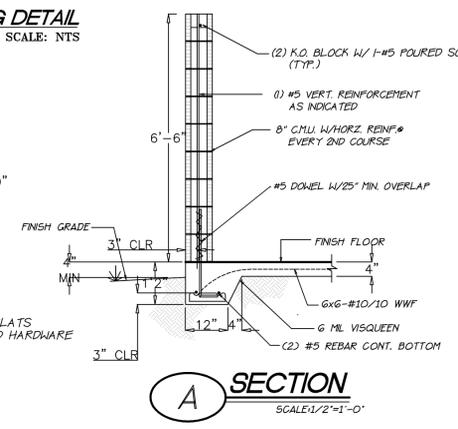
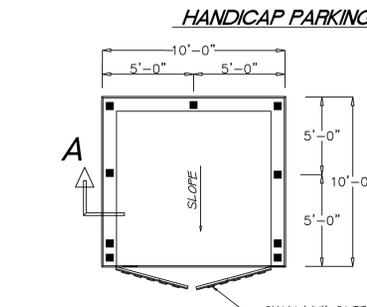
- EASEMENT
- FENCE

ELEVATIONS PER 1929 NGVD  
NGVD29 - 0.847 = NAVD88

- All space must be located on accessible route no less than 44" wide so that users will not be compelled to walk or wheel behind parked vehicles. (11.4.6.2(1) FBC)
- All parking space lines to be 4" wide and white unless otherwise noted.
- Use of pavement symbol in handicapped parking spaces is optional, but when used shall be 3 ft. to 5 ft. high and white in color.



- Handicap sign(s) may be affixed on permanent structures in lieu of installing on poles.
- Accessible parking spaces and access aisles shall be level with surface slopes not exceeding 1:50 (2%) in all directions (11.4.6.3 FBC)



**FIRE PROTECTION NOTES**

1. ALL PROJECTS MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE NO. 46-51
2. FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES
3. PER THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA-1, 16.4.3.1.3: WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK
4. PER NFPA-1, 18.3.4.1 CLEARANCES OF 7 1/2 FEET IN FRONT AND TO THE SIDES OF THE FIRE HYDRANT WITH A 4-FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.
5. GATED ENTRIES REQUIRE A SIREN OPERATION SYSTEM OF A 3M OPTICOM SYSTEM FOR EMERGENCY ACCESS.

**TRAFFIC NOTES:**

1. ALL TRAFFIC CONTROL DEVICES SHALL BE INSTALLED IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
2. STREET NAME SIGNS SHALL BE 9" ON ALL ROAD CLASSIFICATIONS. ALL SIGNS SHALL HAVE 6" SERIES B LETTERS. ALL STREET NAME SIGNS ON PRIVATE ROADS SHALL BE STANDARD D3 STREET NAME SIGNS WITH THE COLORS REVERSED. WHITE BACKGROUND WITH GREEN LETTERS AND BORDER. AT INTERSECTIONS WITH COUNTY OR STATE MAINTAINED ROADS; THE COUNTY OR STATE MAINTAINED ROAD SHALL BE GREEN BACKGROUND WITH WHITE LETTERS AND BORDER.
3. ANY TRAFFIC CONTROL DEVICES FOR A PRIVATE ROADWAY PLACED IN A COUNTY OR STATE RIGHT-OF-WAY SHALL BE INSTALLED IN THE APPROPRIATE BREAKAWAY POST ASSEMBLY.
4. ALL PARKING SPACES SHALL BE STRIPED IN WHITE.
5. TURN OUTS TO BE CONSTRUCTED IN ACCORDANCE WITH FDOT INDEX 515

NO.	BY	DATE	REVISION DESCRIPTION

**OWNER/DEVELOPER:**  
GR BUILDING DEVELOPERS, INC.  
12954 SHADY HILLS ROAD  
SPRING HILL, FLORIDA 34610  
Tel: 813.995.2330

NOT VALID UNLESS SIGNED & SEALED BY:  
**GERALD P. GOULISH**  
FLORIDA PROFESSIONAL ENGINEER No. 21340

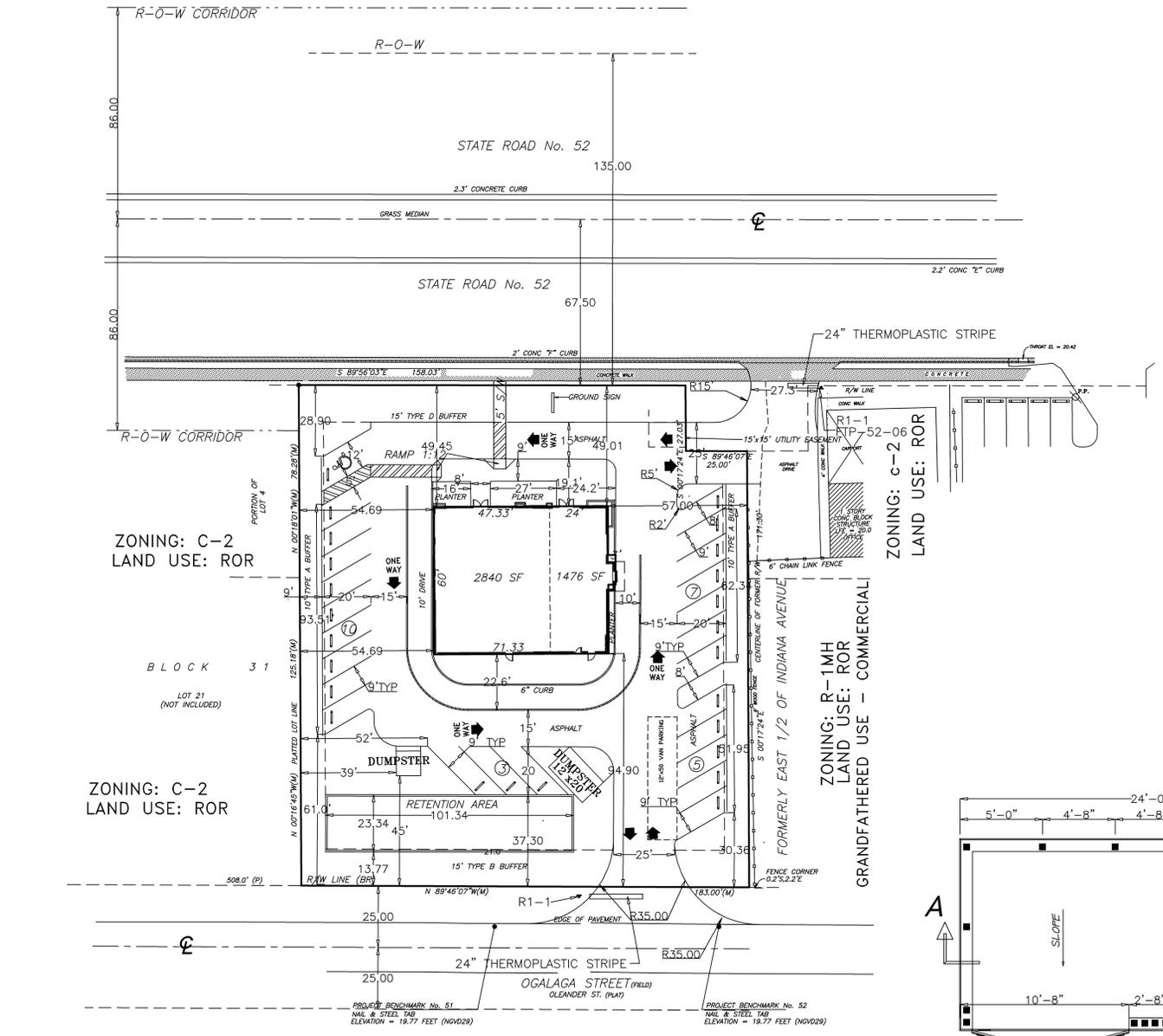
SR 52 RETAIL SITE  
PASCO COUNTY, FLORIDA

**GERALD P. GOULISH**  
P. E. # 21340

272 Old East Lake Rd. Tarpon Springs, FL 34688  
Ph (727) 938.2839, Fax (727) 934.0994

**SITE PLAN**

SCALE 1" = 30'  
SHEET ST-3 OF 6  
DATE: 12/21/2015  
JOB NO. 98-007.13



**GRADING AND DRAINAGE NOTES:**

1. ALL STUMPS, ROOTS AND DELETERIOUS MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) SHALL BE REMOVED FROM THE PROPOSED BUILDING AREA, PAVEMENT AREA AND EXCAVATIONS USED FOR THE INSTALLATION OF ANY PIPING. EXCAVATED AREAS ARE TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. ALL DELETERIOUS MATERIAL SHALL BE STOCKPILED AND REMOVED FROM THE SITE AS DIRECTED BY THE OWNER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING OR SHORING, AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED.
3. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CLASS IV (ASTM C-76) UNLESS OTHERWISE NOTED.
4. ALL STORM STRUCTURES SHALL BE GROUTED TO THE INVERT ELEVATION OF THE STORM PIPE. STORM PIPE SHALL BE SAW-CUT EVEN WITH THE STRUCTURE WALL. GROUT AROUND PIPES FOR A WATER TIGHT AND SMOOTH FINISH.
5. ALL DRAINAGE STRUCTURE GRATES AND COVERS WITHIN TRAFFIC AREAS SHALL BE TRAFFIC RATED FOR H-20 LOADINGS.
6. THE CONTRACTOR IS TO SOD THE RETENTION/DETENTION POND WITH SAND GROWN BAHIA GRASS IMMEDIATELY FOLLOWING CONSTRUCTION OF THE POND.
7. MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY AND/OR LATEST FDOT DESIGN STANDARDS.
8. ALL ELLIPTICAL REINFORCED CONCRETE PIPE JOINTS UNDER PAVEMENT, DRIVEWAYS AND SIDEWALKS SHALL BE WRAPPED WITH MIRAFI 140N FILTER FABRIC OR EQUAL. FABRIC TO BE A MIN. OF 30" IN WIDTH AND CENTERED ON PIPE'S JOINT.

**PAVING NOTES:**

1. PAVEMENT FOR THE PROJECT SHALL CONSIST OF 1-1/2" ASPHALT, TYPE S-1, OVER 8" LIMEROCK BASE COMPACTED TO 98% DENSITY, AASHTO T-190, 8"-SUBGRADE COMPACTED TO 98% DENSITY.
2. ALL PAVEMENT MARKINGS SHALL BE MADE WITH TRAFFIC PAINT IN ACCORDANCE TO FDOT STANDARD SPECIFICATIONS 971-12. PARKING STALL STRIPING TO BE 4" WIDE PAINTED WHITE, UNLESS STATED OTHERWISE.
3. STANDARD INDEXES REFER TO THE LATEST EDITION OF FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS".
4. PAVING SHALL BE 1/2" BELOW BUILDING FLOOR GRADE AT BUILDING.

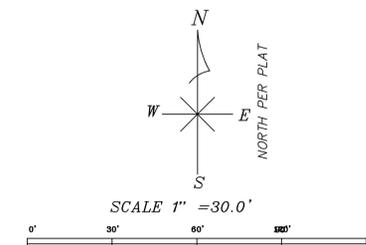
**PAVING, GRADING + DRAINAGE TESTING AND INSPECTION REQUIREMENTS:**

1. THE CONTRACTOR SHALL MAINTAIN THE STORM DRAINAGE SYSTEM UNTIL FINAL ACCEPTANCE OF THE PROJECT.
2. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE APPLICABLE TESTING WITH THE SOILS ENGINEER. TESTS WILL BE REQUIRED PURSUANT WITH THE TESTING REQUIREMENTS FOUND IN THE ENGINEERING CONSTRUCTION DRAWINGS. UPON COMPLETION OF THE WORK, THE SOILS ENGINEER MUST SUBMIT CERTIFICATIONS TO THE OWNER'S ENGINEER, STATING THAT ALL REQUIREMENTS HAVE BEEN MET.

**NPDES Standard Notes**

1. All temporary sediment and erosion control devices shall be installed prior to commencement of construction activities and maintained until permanent stabilization is complete.
2. A temporary construction entrance mat shall be provided at all points of vehicular ingress and egress. The entrance(s) shall be maintained in a condition that will prevent tracking or flow of soils onto public rights-of-way. The contractor shall daily remove mud/soil from pavement as may be required.
3. If necessary, slopes, which exceed eight (8) vertical feet should be stabilized with synthetic or vegetative mats, in addition to hydro-seeding. All sodded slopes over 4 (H) : 1 (V) shall be installed with sod pegs. It may be necessary to install temporary slope drains during construction. Temporary berms may be needed until the slope is brought to grade.
4. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than twenty-one (21) days after work has ceased, except as stated below. Where construction activity on a portion of the Site is temporarily ceased, and earth-disturbing activities will be resumed within 21 days, temporary stabilization measures do not have to be initiated on that portion of the Site.
5. All sediment and erosion control devices shall be inspected at least once every seven (7) calendar days and within 24 hours of the end of a storm event of 0.5 inches or greater. If site inspections identify BMPs that are damaged or are not operating effectively, maintenance must be performed as soon as practical or as reasonably possible and before the next storm event whenever practicable.
6. Provide silt fence and/or other control devices, as may be required, to control soil erosion from leaving the site during construction. All disturbed areas shall be cleaned, graded, and stabilized with vegetation immediately upon completion. Fill, cover, and temporary seeding at the end of each day are recommended. If water is encountered during construction, the water should be filtered to remove any sediments before being pumped back into any waters of the State.
7. Sediment filters or excavated impounding areas shall be installed around all impacted storm drain inlets.
8. All erosion control devices shall be properly maintained during all phases of construction until the completion of all construction activities and all disturbed areas have been stabilized. Additional control devices may be required during construction in order to control erosion and/or offsite sedimentation. All temporary control devices shall be removed once construction is complete and the site is stabilized.
9. Temporary diversion berms and/or ditches will be provided as needed during construction to protect work areas from upslope runoff and/or to divert sediment-laden water to appropriate traps or stable outlets.
10. All waters of the State (WoS), including wetlands, are to be flagged or otherwise clearly marked in the field. A double row of silt fence is to be installed in all areas where a 50-foot buffer can't be maintained between the disturbed area and all WoS. A 10-foot buffer should be maintained between the last row of silt fence and all WoS.
11. Provide irrigation and/or other control devices, as may be required, to control fugitive dust from leaving the site during construction activities.
12. Litter, construction debris, oils, fuels, and building products with significant potential for impact (such as stockpiles of freshly treated lumber) and construction chemicals that could be exposed to storm water must be prevented from becoming a pollutant source in storm water discharges.
13. All construction debris and materials shall be disposed of in strict compliance with all current local, state, and federal regulations.

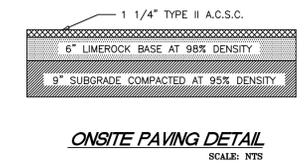
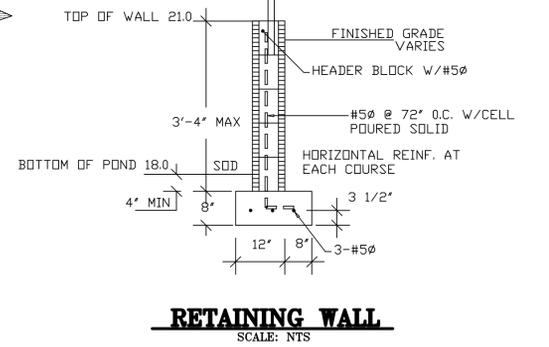
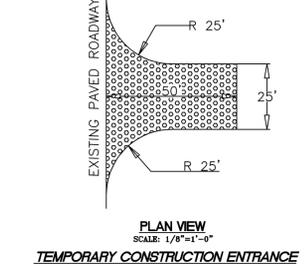
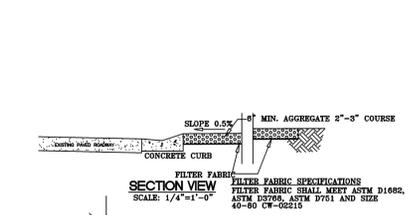
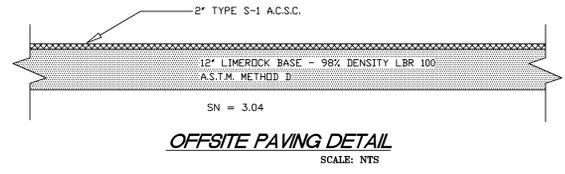
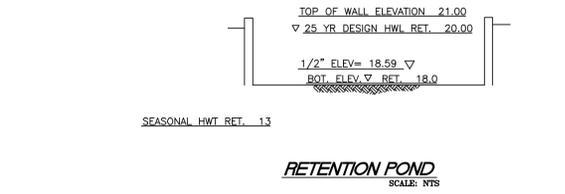
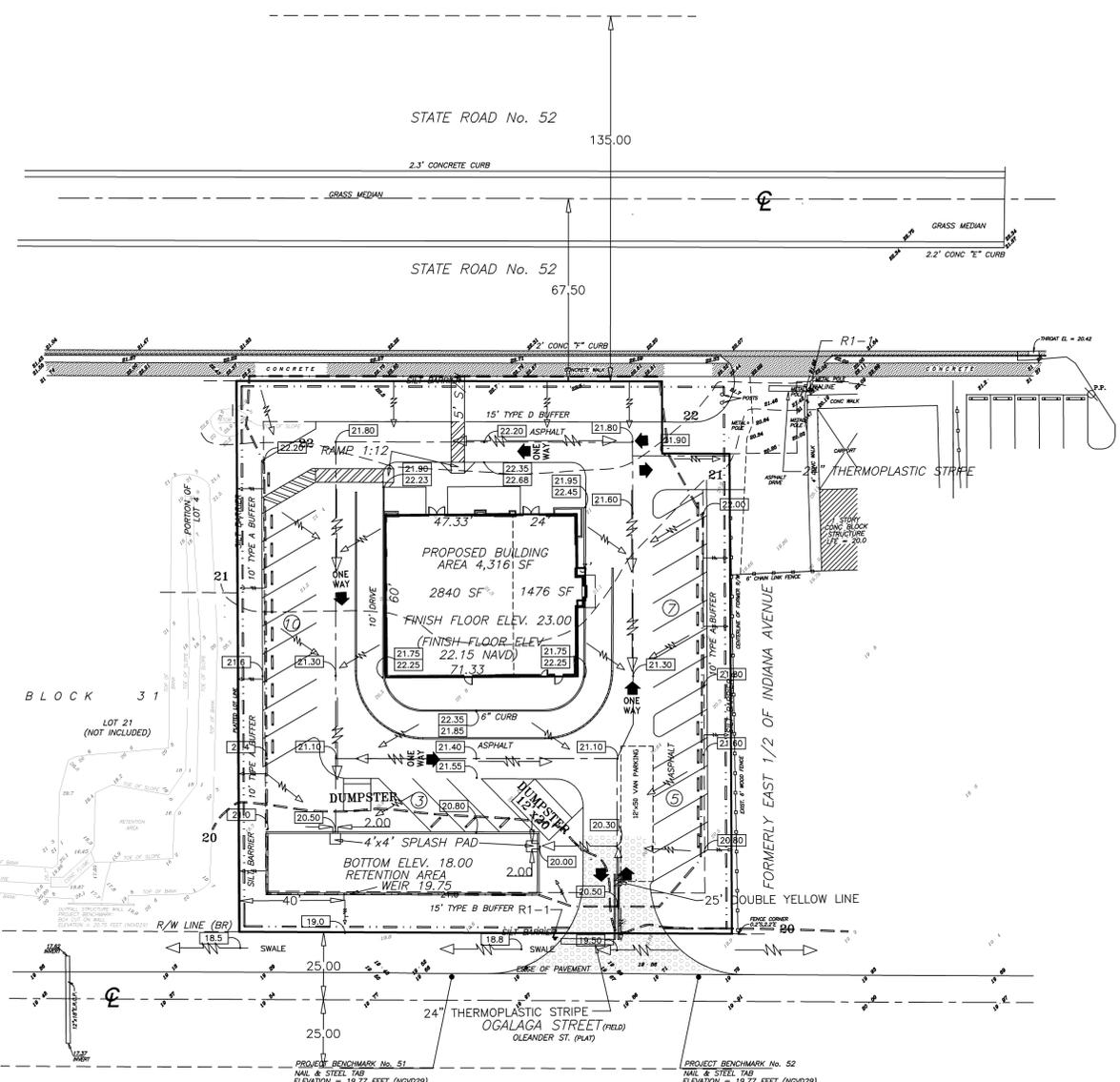
PRELIMINARY/CONSTRUCTION PLANS



ELEVATIONS PER 1929 NGVD  
NGVD29 - 0.847 = NAVD88

**LEGEND**

19.80	EXISTING GRADE
00.00	PROPOSED GRADE
- - - - -	EXISTING CONTOUR
- - - - -	PROPOSED CONTOUR
- - - - -	EASEMENT
- - - - -	POSTDEVELOP. BASIN
←	DIRECTION OF FLOW
---	SILT BARRIER
—○—○—	FENCE



**NOTES**

ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR BETTER. MAINTENANCE OF TRAFFIC ON THE PROJECT IS TO BE DONE IN ACCORDANCE WITH F.D.O.T. DESIGN STANDARD INDEX #602, OF THE 1996 ROADWAY AND TRAFFIC DESIGN STANDARDS. ALL MITTERED END SECTIONS ARE CONSTRUCTED ACCORDING TO FOOT DESIGN STANDARD INDEX #272 OF THE 2008 ROADWAY AND TRAFFIC DESIGN STANDARDS.

**MAINTENANCE AND OPERATION INSTRUCTIONS FOR ON-SITE STORM WATER FACILITIES**

- UPON COMPLETION THE OWNER IS RESPONSIBLE FOR KEEPING ALL STORM WATER STRUCTURES IN PROPER WORKING CONDITION.
- ONCE A MONTH REMOVE ANY DEBRIS WHICH HAS ACCUMULATED IN THE RETENTION POND AND DRAINAGE INLETS.
- ANNUALLY INSPECT THE RETENTION POND FOR THE FOLLOWING AND REPAIR AS NEEDED.
  - DETERMINE THE BOTTOM ELEVATION OF RETENTION POND. IF RETENTION HAS ACCUMULATED MORE THAN FOUR (4) INCHES OF MATERIAL, THEN REMOVE EXCESS MATERIAL.
  - DETERIORATION OF OUT FALL WEIR AND DRAINAGE STRUCTURES.
- IT IS THE OWNERS RESPONSIBLE TO INSPECT AND MAINTAIN THE WATER RETENTION SYSTEM ON A REGULAR BASIS.

**STORM WATER CONSTRUCTION INSTRUCTIONS:**

- DETENTION AREAS AND SWALES SHALL BE ROUGHED IN INITIALLY TO GENERATE SITE FILL AND INTERCEPT CONSTRUCTION RUNOFF.
- CARE SHALL BE EXERCISED TO PREVENT DISTURBANCE TO THE NATURAL VEGETATION IN AREAS NOT PROPOSED FOR IMMEDIATE CONSTRUCTION. AS SOON AS PRACTICAL, ALL DRESSED SLOPES AND DISTURBED AREAS SHALL BE SODDED OR SEEDED AND MULCHED TO PREVENT EROSION.
- HAY BALES AND/OR SILT SCREENS SHALL BE INSTALLED ADJACENT TO THE WORK AREAS TO PREVENT SEDIMENT TRANSPORT PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
- ANY SILT OR OTHER MATERIAL THAT COLLECTS IN THE POND BOTTOM DURING CONSTRUCTION SHALL BE REMOVED PRIOR TO FINAL GRADING AND SODDING.
- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED.

**OWNER/DEVELOPER:**  
GR BUILDING DEVELOPERS, INC.  
12954 SHADY HILLS ROAD  
SPRING HILL, FLORIDA 34610  
Tel: 813.995.2330

NOT VALID UNLESS SIGNED & SEALED BY:  
**GERALD P. GOULISH**  
FLORIDA PROFESSIONAL ENGINEER No. 21340

SR 52 RETAIL SITE  
PASCO COUNTY, FLORIDA

**GERALD P. GOULISH**  
P. E. # 21340

272 Old East Lake Rd. Tarpon Springs, FL 34688  
Ph (727) 938.2839, Fax (727) 934.0994

**PAVING AND DRAINAGE PLAN**

SCALE 1" = 30'  
SHEET ST-4 OF 6

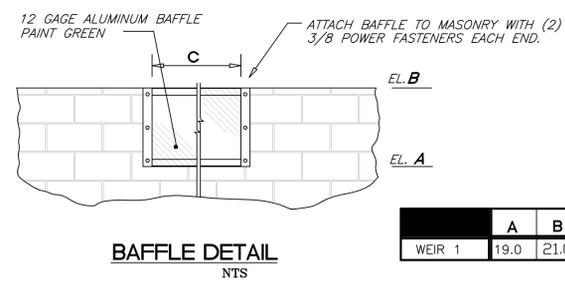
DATE: 12/21/2015  
JOB NO. 98-007.13

**KEY**

A	BOTTOM OF BAFFLE
B	TOP OF STRUCTURE
C	WIDTH OF BAFFLE
D	OVERFLOW ELEVATION
E	WEIR OPENING

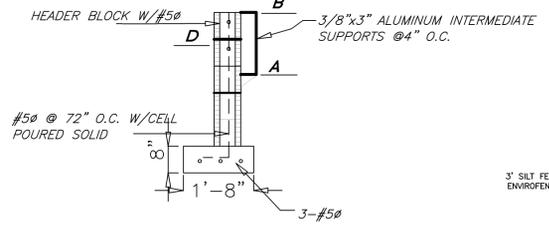
**NOTE:**

- CONCRETE 3000 PSI (MIN)
- STEEL REINFORCED 40 KSI
- HORIZONTAL REINFORCEMENT BETWEEN EACH COURSE

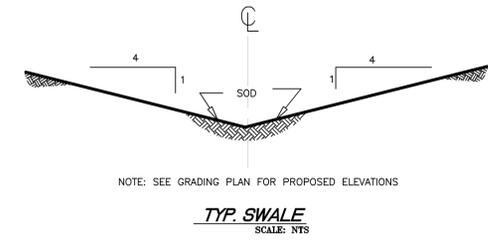


	A	B	C	D	E
WEIR 1	19.0	21.0	2'	19.75	12"

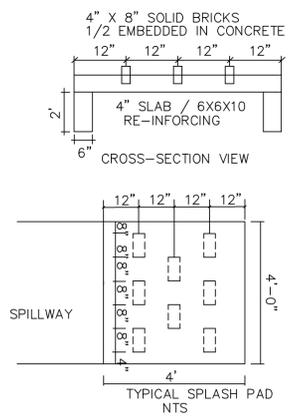
**OUTFLOW WEIR**  
N.T.S.



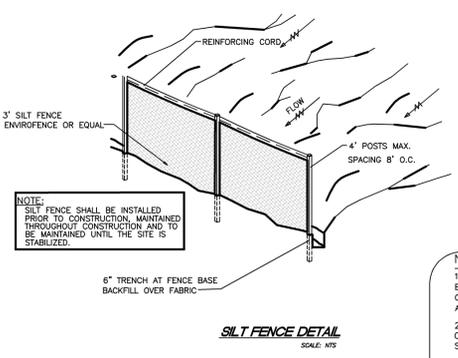
**CROSS SECTION**  
N.T.S.



**TYP. SWALE**  
SCALE: N.T.S.



**SPLASH PAD DETAIL**  
N.T.S.

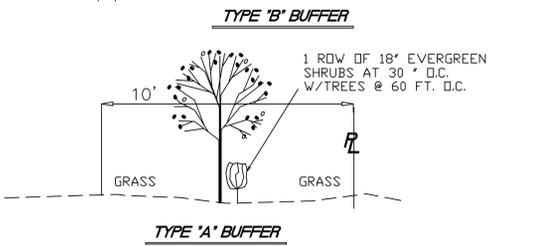
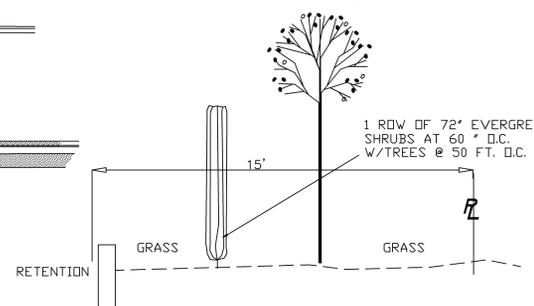
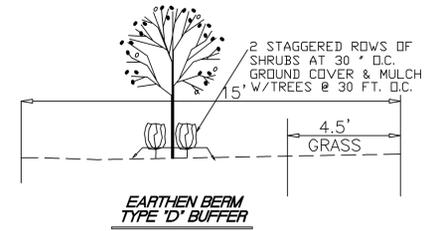
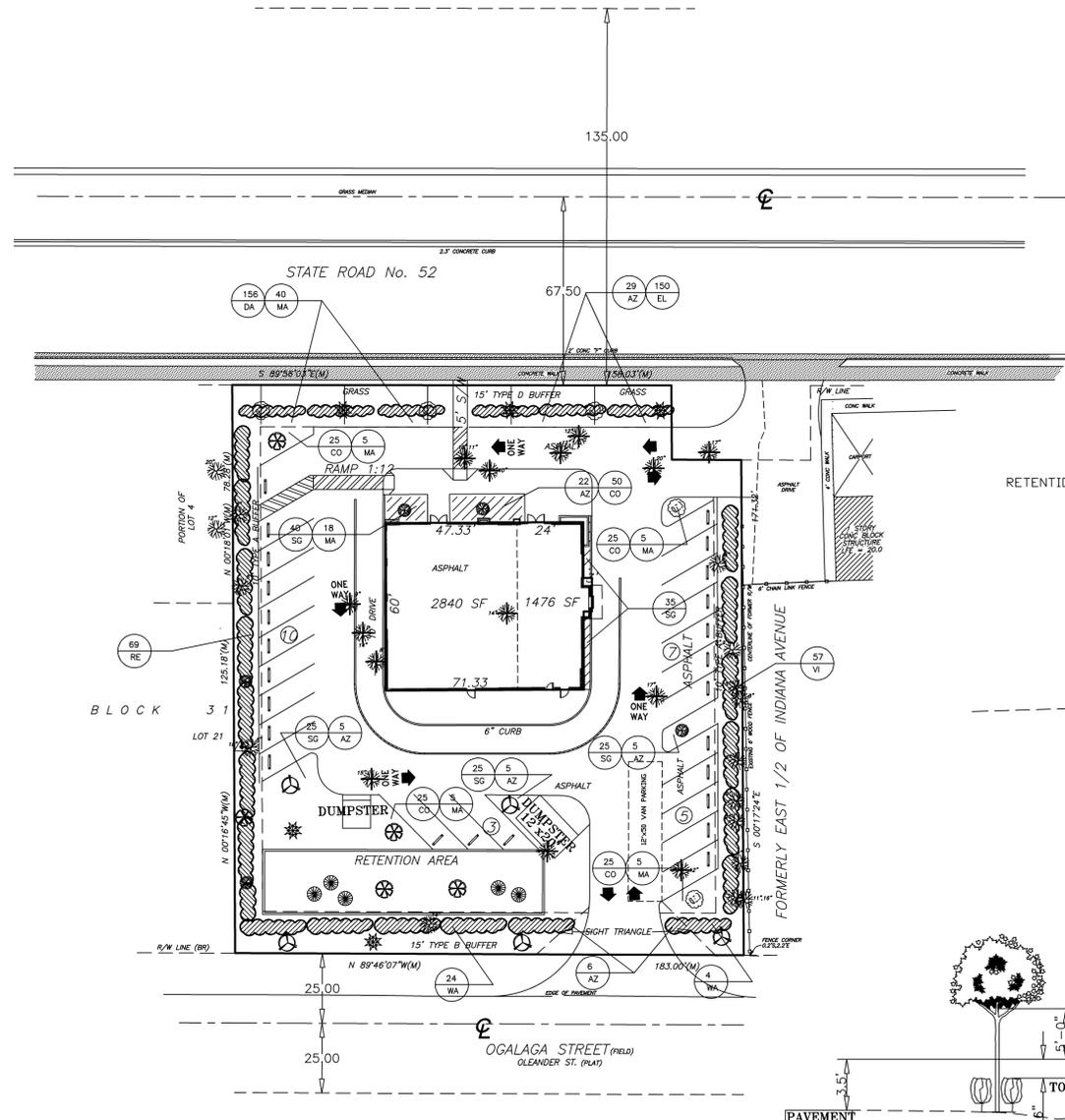


**CURB DETAIL**  
SCALE: N.T.S.

**NOTE TO CONTRACTOR:**

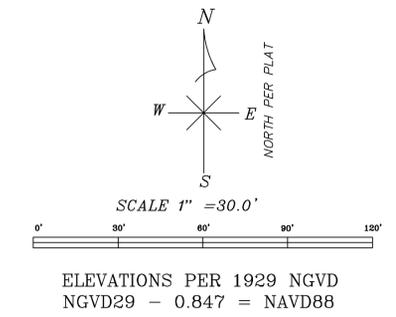
- ALL ABOVE GROUND AND BELOW GROUND UTILITIES MUST BE LOCATED BEFORE STARTING ANY WORK ON SITE. CALL SUNSHINE AT (1-800-432-4770) FOR UTILITY LOCATIONS A MINIMUM OF 48 HOURS BEFORE STARTING ANY WORK.
- INSTALL SILT SCREEN AROUND PERIMETER OF CONSTRUCTION SITE BEFORE STARTING ANY WORK. SEE SILT SCREEN DETAIL ABOVE.
- EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION.

**PRELIMINARY/CONSTRUCTION PLANS**



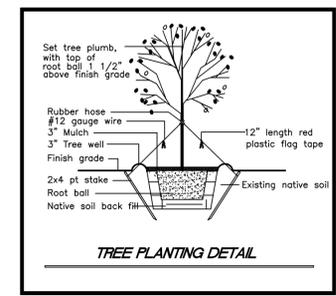
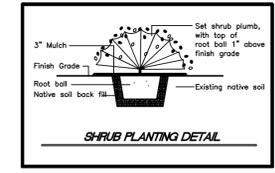
**LEGEND:**

- EXISTING TREES
  - LAUREL OAK
  - PINE
  - TREES TO BE REMOVED
- PROPOSED HEDGE
- BUILDING PERIMETER LANDSCAPING



**TREE INVENTORY TABLE**

SIZE-TYPE	NUMBER	NUMBER REMOVED	BOTANICAL
5" LAUREL OAK	1		Quercus hemisphaerica
6" LAUREL OAK	2		Quercus hemisphaerica
8" LAUREL OAK	4	1	Quercus hemisphaerica
9" LAUREL OAK	5	1	Quercus hemisphaerica
10" LAUREL OAK	2	2	Quercus hemisphaerica
11" LAUREL OAK	3	1	Quercus hemisphaerica
12" LAUREL OAK	3	3	Quercus hemisphaerica
14" LAUREL OAK	4	3	Quercus hemisphaerica
15" LAUREL OAK	1	1	Quercus hemisphaerica
17" LAUREL OAK	2	2	Quercus hemisphaerica
20" LAUREL OAK	1	1	Quercus hemisphaerica
18" PINE	1		Pinus elliotii



**TREE REMOVAL + REPLACEMENT**

TREES TO BE REMOVED

Size (Inches)	No.	Total (Inches)	No.	Total (Inches)
10			2	20
11			1	11
12			3	36
14			3	42
15			1	15
17			2	34
20			1	20

**Total Oaks 0**      **Total Others at 1/3 59**

TREES TO BE PLANTED

Size (Inches)	No.	Total (Inches)	No.	Total (Inches)
2			30	60

**NET INCHES**  
Live Oaks: 0      Other Trees: 1

**LANDSCAPE REQUIREMENTS:**

**INTERIOR LANDSCAPE:**  
REQUIRED: 16,984 x 0.1 = 1,698 SF  
PROVIDED: 3,915 SF  
TREES REQUIRED = 1,698/200 = 8.5 EA

**ROAD FRONTAGE TREES:**  
TREES REQUIRED = 1 PER 30 FEET = 141/30 = 4.7  
TREES REQUIRED = 1 PER 60 FEET = 155/60 = 2.6

**TREES:**  
REQUIRED: BUILDING PERIMETER = 5  
BUFFERS = 315/50 = 6  
INTERIOR = 9  
ROAD FRONTAGE = 9  
POND 245/50 = 5  
TOTAL = 29  
EXISTING = 18  
NEW = 11

**PERIMETER BUFFERS-SHRUBS:**  
TYPE "A" 24" HT. MIN. @ 30" O.C. 3 GALLON  
NUMBER REQUIRED = 315/2.5 = 126  
DROUGHT TOLERANT NATIVE = 38  
DROUGHT TOLERANT NON NATIVE = 25  
NON DROUGHT TOLERANT NOT NATIVE = 63

**PERIMETER BUFFERS-SHRUBS:**  
TYPE "B" 72" HT. MIN. @ 60" O.C. MAX  
NUMBER REQUIRED = 140/3 = 28  
TYPE "A" 24" HT. MIN. @ 30" O.C. MAX  
NUMBER REQUIRED = 152/2.5 = 61  
DROUGHT TOLERANT NATIVE = 19  
DROUGHT TOLERANT NON NATIVE = 12  
NON DROUGHT TOLERANT NOT NATIVE = 30

**LANDSCAPE 5' BUFFER-GROUND COVER:**  
AREA OF BUFFER = 775 SF  
AREA OF SHRUBS = 240 SF  
AREA OF GROUND COVER = 775 - 240 = 535 SF  
DROUGHT TOLERANT NATIVE = 92  
DROUGHT TOLERANT NON NATIVE = 61  
NON DROUGHT TOLERANT NOT NATIVE = 153

**LANDSCAPE ISLANDS:**  
ISLAND TYPE "A":  
5-24"HT 3 GAL SHRUBS NATIVE DROUGHT TOLERANT  
25-GROUND COVER NATIVE DROUGHT TOLERANT  
ISLANDS TYPE "B":  
5-24"HT 3 GAL SHRUBS NON NATIVE DROUGHT TOLERANT  
25-GROUND COVER NON NATIVE DROUGHT TOLERANT

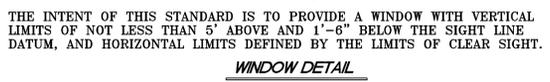
**BUILDING PERIMETER LANDSCAPING:**  
AREA REQUIRED = 4,316 x 0.1 = 432 SF  
AREA PROVIDED 552 SF  
20 - 24"HT 3 GAL SHRUBS NATIVE DROUGHT TOLERANT  
20 - 24"HT 3 GAL SHRUBS NON NATIVE DROUGHT TOLERANT  
40 - GROUND COVER NATIVE DROUGHT TOLERANT  
40 - GROUND COVER NON NATIVE DROUGHT TOLERANT

ALL SOD TO BE BAHIA  
ALL NON LANDSCAPED AREAS TO BE SOODED.  
IRRIGATION TO BE BY SPRINKLER SYSTEM  
DRIP IRRIGATION WHERE APPLICABLE.

**PLANT LIST**

QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE REQUIREMENTS	NATIVE FLORIDA	DROUGHT ROLERANT
5	TREES	Acer rubrum	RED MAPLE	2" CALIPER, MIN. 10' HT.	YES	YES
5	TREES	Ilex opaca	HOLLY	2" CALIPER, MIN. 10' HT.	YES	YES
5	TREES	Juniperus silicicola	RED CEDAR	2" CALIPER, MIN. 10' HT.	YES	YES
5	TREES	Ulmus alata	ELM, WINGED	2" CALIPER, MIN. 10' HT.	YES	YES
5	TREES	Magnolia grandiflora	MAGNOLIA, SOUTHERN	2" CALIPER, MIN. 10' HT.	YES	YES
5	TREES	Taxodium reticulata	BALD CYPRESS	2" CALIPER, MIN. 10' HT.	YES	YES
25	SHRUBS	Myrica cerifera	WAX MYRTLE	72" HT.	YES	YES
72	SHRUBS	Rhododendron spp.	AZALEAS (NATIVE)	3 GAL., 24" HT.	YES	YES
69	SHRUBS	Ilex vomitoria	HOLLY, dwarf yaupon	3 GAL., 24" HT.	YES	YES
70	SHRUBS	Savia bahamensis	MAIDENBLUSH	3 GAL., 24" HT.	YES	YES
57	SHRUBS	Viburnum obovatum	VIBURNUM, WALTERS	3 GAL., 18" HT.	YES	YES
50	GROUND COVERS	Hemerocallis hybrida	DAYLILLY	1 GAL.,	NO	YES
75	GROUND COVERS	Tulbaghia violacea	SOCIETY GARLIC	1 GAL.,	NO	YES
122	GROUND COVERS	Zamia pumila	COONIE	1 GAL.,	YES	YES
122	GROUND COVERS	Ernodea littoralis	GOLDEN CREEPER	1 GAL.,	YES	YES
	TURF GRASS	PASPALUM NOTATUM	ARGENTINE BAHIA GRASS	TIGHT, WEED FREE PADS		

TURF GRASS SHALL NOT EXCEED 30% OF ANY LANDSCAPED AREA



- GENERAL LANDSCAPE NOTES**
- All plant materials shall be Florida #1 or better per "Grades and Standards for Nursery Plants" Florida Department of Agriculture and Consumer Services (FDACS), which is incorporated herein by reference.
  - All plants shall be container grown except as noted on plan.
  - All palms and trees shall have straight trunks with no twists, knotting or other defective characteristics.
  - Mulch shall be used in conjunction with living plant materials so as to cover exposed soil. Mulch shall be installed to a minimum depth of three (3) inches. The mulch should not be placed directly against the plant stems or tree trunk. Mulch shall not be required for annual beds. Stone or gravel may be used to cover a maximum of 20 percent of the landscaped area.
  - Sod shall be 95% weed free Bahia, installed with tight joints.
  - All dimensions shall be field checked by the Landscape Contractor prior to construction with any discrepancies reported to the Contractor.
  - All materials shall be as specified on the plans. If materials, labor or installation techniques do not adhere to the specifications, they will be rejected by the Contractor with specified materials and installation carried out by the Landscape Contractor at no additional cost.
  - No substitutions of materials or changes to the drawings or specifications shall be made.
  - All required permits are to be provided by the installing contractor unless specifically stated otherwise in the specifications.
  - Contractor identification signs shall not be allowed on the project.
  - Contractor shall be responsible for all items as shown or described on this plan and specifications.
  - Landscape Contractor shall provide all necessary site preparation required to ready the site for planting as specified.
  - The Landscape Contractor shall warranty and guarantee all materials and labor for a period of 90 days for shrubs and ground cover, palms and trees. Warranty and guarantee period shall begin upon date of completion.
  - All repairs and/or replacements shall be made by the Landscape Contractor within 10 working days upon notification of any deficiencies by the owner or their representative.
  - No more than 30% of landscape areas may be grass; the balance shall be shrubs or groundcover.
  - Omitted
  - The County is not responsible for maintenance of any landscaping unless approved through a County maintenance agreement. The property owner shall be responsible for landscape maintenance.
  - Where a driveway/accessway intersects a road right-of-way or where two (2) road right-of-ways intersect, vegetation, structures, and not-vegetative visual screens shall not be located so as to interfere with the clearsite triangle as defined in this Code or the Florida Department of Transportation, Manual of Uniform Minimum Standards, most recent edition (Green Book), whichever is most restrictive.

- Landscaping shall be installed so that landscaping materials meet the concept of right material/right place. Installed trees and plants shall be grouped into zones according to water, soil, climate, and light requirements.
- Plant groupings based on water requirements are drought tolerant, natural, and oasis.
- A maximum of 50 percent of the plant materials used, other than trees, may be non-drought tolerant. A minimum of 30 percent of the plant materials, other than trees and turfgrass, used to fulfill the requirements of this subsection shall be native Florida species, suitable for growth in the county.
- No one plant species of shrubs or ground cover plants, excluding turfgrass, shall constitute more than 25 percent coverage of the overall landscape area.
- Trees shall not be planted within any easement so as to interfere with the use of that easement, nor under any present or planned overhead utility, nor in any rights-of-way without County approval through the associated review process.
- All landscaping shall be installed in accordance with standards and practices of the Florida Nursery, Growers, and Landscape Association and the Florida Chapter of the International Society of Arboriculture.
- All portions of a lot upon which development has commenced, but not continued for a period of 30 days shall be planted with a grass species or ground cover to prevent erosion and encourage soil stabilization. Adequate coverage, so as to suppress fugitive dust, shall be achieved within 45 days.
- All required landscaping shall be maintained in a healthy condition in perpetuity in accordance with this Code.
- Ongoing maintenance to prevent the establishment of prohibited exotic species is required.
- Irrigation by underground sprinkler system.

**FERTILIZATION**

Shrubs and Trees  
All trees and shrubs shall be fertilized with "Agriform" 20-15-5 planting tablets at time of planting and prior to installation of plant pit back fill. Tablets shall be placed uniformly around the root ball at a depth that is between the middle and bottom of the root ball.  
Application Rate:  
1 Gallon Container: 1 - 21 gram tablet      7 Gallon Container: 4 - 21 gram tablets  
3 Gallon Container: 2 - 21 gram tablets      Trees: 3 tablets per each 1/2" caliper of trunk  
5 Gallon Container: 3 - 21 gram tablets

Ground cover Areas  
All ground cover areas shall receive fertilization with "Ozmocote" time release fertilizer per manufacturer's specifications.

NOT VALID UNLESS SIGNED & SEALED BY:  
**GERALD P. GOULISH**  
FLORIDA PROFESSIONAL ENGINEER No. 21340

SR 52 RETAIL SITE  
PASCO COUNTY, FLORIDA

**GERALD P. GOULISH**  
P. E. # 21340

272 Old East Lake Rd. Tarpon Springs, FL 34688  
Ph (727) 938.2839, Fax (727) 934.0994

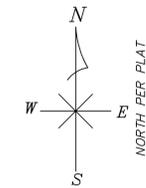
**LANDSCAPE PLAN**

SCALE 1" = 30'  
SHEET ST-5 OF 6

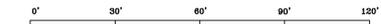
DATE: 12/21/2015  
JOB NO. 98-007.13

NO.	BY	DATE	REVISION DESCRIPTION

PRELIMINARY/CONSTRUCTION PLANS



SCALE 1" = 30.0'



**LEGEND**

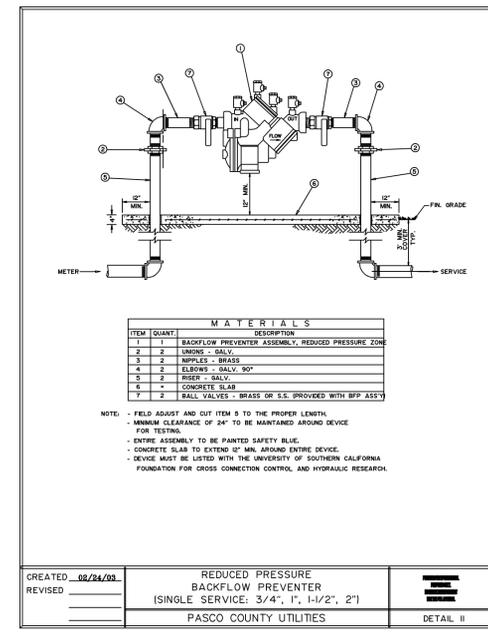
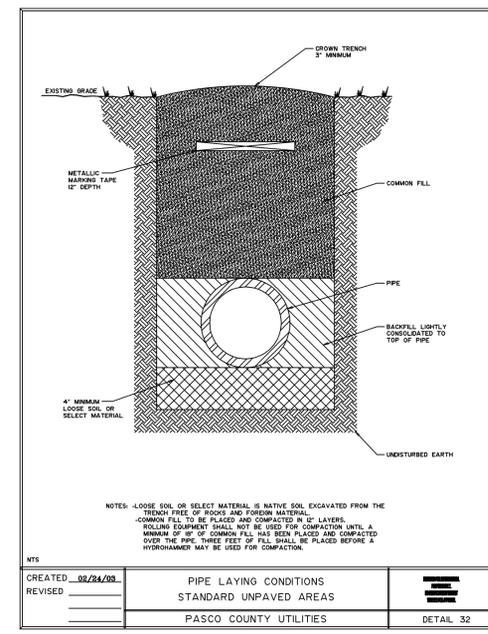
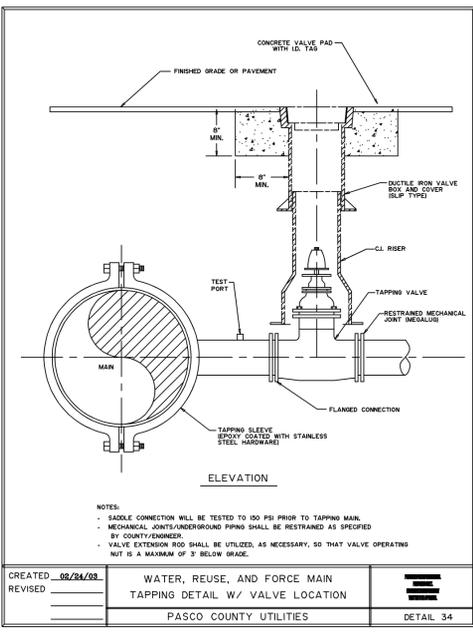
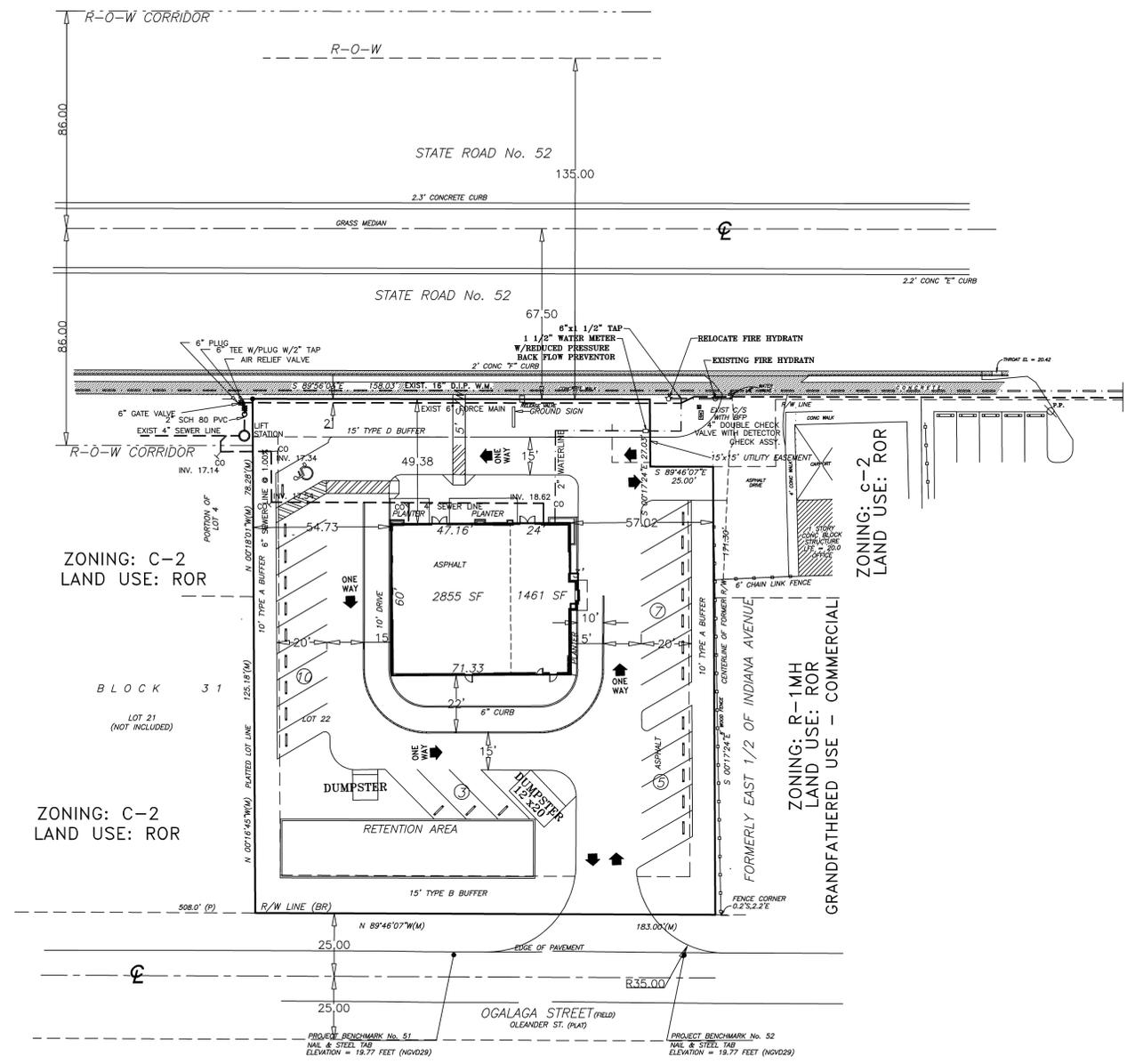
- EASEMENT
- FENCE
- WATER LINE
- SEWER LINE

ELEVATIONS PER 1929 NGVD  
NGVD29 - 0.847 = NAVD88

**NOTES:**

1. ALL UTILITY MATERIAL AND WORKMANSHIP MUST COMPLY WITH THE "STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER AND RECLAIMED FACILITIES" FOR PASCO COUNTY, JUNE 1995 ADDITION.
2. SEWER LINES OR FACILITIES ON-SITE.
3. CONNECTIONS INTO EXISTING COUNTY-OWNED SYSTEM SHALL BE BY VIA WET TAP. THE WET TAP SHALL BE PERFORMED BY THE PASCO COUNTY UTILITIES SERVICES BRANCH AT THE DEVELOPER'S EXPENSE. MATERIALS FOR WET TAPS LARGER THAN 2" SHALL BE PROVIDED AND INSTALLED BY THE PROJECT CONTRACTOR. EXCAVATION, BACKFILL AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
4. FIRE HYDRANTS SHALL BE FLOW TESTED AND COLOR CODED BASED ON FLOW RESULTS.
5. IN CONSIDERATION OF PASCO COUNTY'S AGREEMENT TO PROVIDE POTABLE WATER TO THE SUBJECT PROPERTY, AND ITS SUCCESSORS AND ASSIGNS, AGREE TO THE FOLLOWING:
  - (a) IN THE EVENT OF PRODUCTION FAILURE OR SHORTFALL BY TAMPA BAY WATER, AS SET FORTH IN SECTION 3.1.9 OF THE INTERLOCAL AGREEMENT CREATING TAMPA BAY WATER, DEVELOPER/OWNER SHALL TRANSFER TO PASCO COUNTY ANY AND ALL WATER USE RIGHTS THE DEVELOPER/OWNER MAY HAVE TO USE OR CONSUME SURFACE OR GROUND WATER WITHIN PASCO COUNTY.
  - (b) PRIOR TO DEVELOPER/OWNER SELLING WATER OR WATER USE RIGHTS, DEVELOPER/OWNER SHALL NOTIFY PASCO COUNTY, AND PASCO COUNTY SHALL HAVE A RIGHT OF FIRST REFUSAL TO PURCHASE SUCH WATER OR WATER USE PERMITS OR WATER USE RIGHTS.
6. FIRE PROTECTION SHALL MEET THE REQUIREMENTS OF THE PASCO COUNTY CODE OF ORDINANCES, CHAPTER 46, FIRE PREVENTION AND PROTECTION, AND PLANS SHALL COMPLY WITH REFERENCED REQUIREMENTS.
7. A GREASE TRAP AND/OR AN OIL/GREASE SEPARATOR WILL BE INSTALLED IF/WHEN THE PROJECT REQUIRES IT.
8. THE SANITARY SEWER PLUGS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION BY THE CONTRACTOR AND SHALL REMAIN IN PLACE UNTIL THE SYSTEM HAS BEEN CLEANED, INSPECTED, AND APPROVED BY THE UTILITY SERVICES BRANCH. WHEN THE SYSTEM HAS BEEN APPROVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE PLUGS.
9. 2" ONLY THIS EXCAVATED TRENCH MUST BE DRY OR THE TRENCH WILL REQUIRE ROCK AND A PUMP TO BE IN PLACE. THE MINIMUM DISTANCE FROM THE FACE OF THE VALVE TO THE WALL OF THE TRENCH IS TO BE SIX FEET. 3" AND LARGER THE CONTRACTOR WILL SUPPLY A TAPPING SADDLE BEING EPOXY COATED, A TAPPING VALVE WITH MECHANICAL JOINT AND EQUIPMENT TO PROVIDE AND CONDUCT A PRESSURE TEST. COUNTY PERSONAL WILL WITNESS THE PRESSURE TEST WHICH MUST BE AT 150 PSI FOR DURATION OF 30 MINUTES. THE CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION BEFORE ANY COUNTY PERSONAL WILL ENTER AN EXCAVATED AREA. IF THE TRENCH IS FOUR FEET IN DEPTH OR DEEPER, IT WILL REQUIRE A TRENCH BOX OR SLOPING, AND A LADDER ACCORDING TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS. THE TAPPING VALVE WILL REQUIRE A BLOCKING DEVICE MADE OF SUITABLE MATERIAL OR DEVICE THIS BLOCKING DEVICE OR MATERIAL WILL BE PLACED UNDER THE VALVE AND REMAIN IN PLACE UNTIL THE TAP MACHINE IS REMOVED AND THE TAP IS COMPLETED. NOTE: IF THE CONTRACTOR HAS NOT FULFILLED HIS RESPONSIBILITIES, AS STATED ABOVE, PRIOR TO THE ARRIVAL OF PASCO COUNTY UTILITIES OPERATIONS AND MAINTENANCE TAPPING CREW, THERE WILL BE AN ADDITIONAL CHARGE OF \$95.00.
10. THE PASCO COUNTY UTILITY SERVICES BRANCH SHALL NOT OWN OR MAINTAIN SEWER LINES OR FACILITIES ON-SITE.
11. FIXTURE UNITS FOR PROJECT = UNKNOWN
12. FIRE FLOW = UNKNOWN
13. A SEPARATE PLAN AND PERMIT, ISSUED TO A CONTRACTOR LICENSED BY THE FLORIDA STATE FIRE MARSHAL'S OFFICE, IS REQUIRED FOR THE INSTALLATION OF THE UNDERGROUND FIRE LINES.

FIXTURE	FIXTURE VALUE	NO. FIXTURES	FIXTURE VALUE
DRINKING FOUNTAIN - COOLER	2	2	4
LAVATORY - 3/8"	2	5	10
WATER CLOSET - TANK	3	4	12
HOSE CONNECTION	6	1	6
THREE COMPARTMENT SINK	4	1	4
MOP SINK	3	1	3
URINAL	10	1	10
<b>TOTAL FIXTURE COUNT</b>			<b>49</b>
<b>CUSTOMER PEAK DEMAND</b>			<b>40 GPM</b>
<b>DOMESTIC WATER METER</b>			<b>1 1/2"</b>
<b>FIRE FLOW REQUIRED</b>			<b>1500 GPM</b>



**OWNER/DEVELOPER:**  
GR BUILDING DEVELOPERS, INC.  
12954 SHADY HILLS ROAD  
SPRING HILL, FLORIDA 34610  
Tel: 813.995.2330

NOT VALID UNLESS SIGNED & SEALED BY:  
**GERALD P. GOULISH**  
FLORIDA PROFESSIONAL ENGINEER No. 21340

SR 52 RETAIL SITE  
PASCO COUNTY, FLORIDA

**GERALD P. GOULISH**  
P. E. # 21340

272 Old East Lake Rd. Tarpon Springs, FL 34688  
Ph (727) 938.2839, Fax (727) 934.0994

**UTILITY PLAN**

SCALE 1" = 30'  
SHEET ST-6 OF 6  
DATE: 12/21/2015  
JOB NO. 98-007.13

NO.	BY	DATE	REVISION DESCRIPTION

PRELIMINARY/CONSTRUCTION PLANS