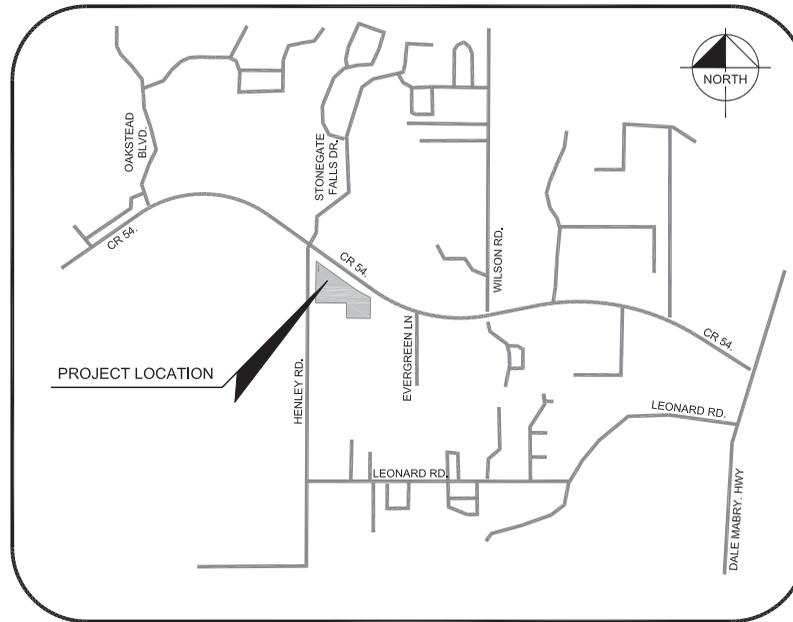


MPUD PLAN FOR CROSS PARK DEVELOPMENT

PARCEL ID: 26-26-18-0000-02500-0000
PASCO COUNTY, FLORIDA

PREPARED FOR

CROSS PARK PROPERTIES, LLC
6909 ARABIAN ROAD
ODESSA, FL 33556
813-926-1143



VICINITY MAP

LEGAL DESCRIPTION

PART OF THE SOUTHWEST ¼ OF THE NORTHWEST ¼ AND PART OF THE NORTHWEST ¼ OF THE SOUTHWEST ¼ ALL IN SECTION 26, TOWNSHIP 26 SOUTH, RANGE 18 EAST, PASCO COUNTY FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE EAST-WEST ¼ LINE OF SECTION 26 AND THE EASTERLY RIGHT-OF-WAY LINE OF HENLEY ROAD FOR THE POINT OF BEGINNING OF THIS DESCRIPTION:

THENCE ALONG SAID HENLEY ROAD RIGHT-OF-WAY THE FOLLOWING 3 COURSES AND DISTANCES: (1) N 00°35'58" E, A DISTANCE OF 548.25 FEET; (2) S 89°15'44" E, A DISTANCE OF 6.56 FEET; (3) N 00° 44' 16" E, A DISTANCE OF 143.14 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD 54; THENCE ALONG SAID STATE ROAD 54; RIGHT-OF-WAY THE FOLLOWING 2 COURSES AND DISTANCES: (1) S 54°12'32" E, A DISTANCE OF 1,049.80 FEET; (2) SOUTHEASTERLY 501.11 FEET ALONG THE ARC OF A CURVE CONCAVE TO THE NORTHEAST, SAID CURVE HAVING A RADIUS OF 2416.50 FEET, A CENTRAL ANGLE OF 11°52'53"; A CHORD BEARING OF S 60°08'59" E, AND A CHORD DISTANCE OF 500.21 FEET TO A POINT ON THE EASTERLY LINE OF THE NORTHWEST ¼ OF THE SOUTHWEST ¼ OF SECTION 26; THENCE S 00°34' 11" W, ALONG THE EAST LINE OF SAID NORTHWEST ¼ OF THE SOUTHWEST ¼ OF SECTION 26, A DISTANCE OF 500.88 FEET; THENCE DEPARTING SAID EASTERLY LINE, N 89°22' 18" W, A DISTANCE OF 566.20 FEET TO THE SOUTHEAST CORNER OF THOSE LANDS AS DESCRIBED OFFICIAL RECORDS BOOK 7268, PAGE 1460; THENCE ALONG THE EASTERN AND NORTHERN BOUNDARIES OF THE AFOREMENTIONED PARCEL THE FOLLOWING 2 COURSES AND DISTANCES: (1) N 00°34' 15" E, A DISTANCE OF 358.40 FEET; (2) N 89°22' 18" W, A DISTANCE OF 735.00 TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF HENLEY ROAD; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE N 00°34' 15" E, A DISTANCE OF 299.85 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION.

CONTAINING 20.91 AC. MORE OR LESS.

SITE DATA TABLE

EXISTING ZONING: AC
EXISTING LAND USE: VACANT
EXISTING FUTURE LAND USE: RES-6
PROPOSED ZONING: MPUD
USE DESIGNATION: FD (PLANNED DEVELOPMENT)

TOTAL ACREAGE: 20.91 AC.
TOTAL UPLANDS: 15.77 AC.
TOTAL WETLANDS: CLASS 1 - 5.14 AC.
CLASS 2 - 0.00 AC.
CLASS 3 - 0.00 AC.
TOTAL - 5.14 AC.

PROPOSED USES:
OFFICE/ALF/REHAB. CENTER 145,000 SF (SEE NOTES 1 AND 2)
COMMERCIAL 30,000 SF (SEE NOTE 2)

SETBACKS:
FRONT - 35 FT
SIDE - 15 FT
REAR - 15 FT

MAXIMUM BUILDING HEIGHT: 75 FT
MAXIMUM BUILDING COVERAGE: 100 %

FEMA MAP PANEL: 12101C0403F
UPDATED 9-26-14

SERVICE PROVIDERS

WATER: PASCO COUNTY UTILITIES
SEWER: PASCO COUNTY
FIRE: PASCO COUNTY FIRE RESCUE
ELECTRIC: TAMPA ELECTRIC COMPANY

OWNER / APPLICANT

CROSS PARK PROPERTIES, LLC
6909 ARABIAN ROAD
ODESSA, FLORIDA 33556
813-926-1143

LEGAL COUNSEL

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TAMPA, FLORIDA 33602
813-223-3338

ENGINEER

WRA, INC
4260 WEST LINEBAUGH AVE.
TAMPA, FLORIDA 33624
813-265-3130

NOTES:

- 145,000 SF OF OFFICE/ASSISTED LIVING (ALF)/REHABILITATION CENTER IS SUBJECT TO 100,000 SF LIMITATION ON ALF AND REHABILITATION
- PERMITTED OFFICE USES ARE AS FOLLOWS: (A) ALL USES ALLOWED BY THE PD-2 PROFESSIONAL OFFICE DISTRICT IN THE LDC (INCLUDING ANY SPECIAL EXCEPTION USES); (B) GOVERNMENTAL OR PUBLIC USE; (C) MEDICAL OFFICE OR CLINIC; AND (D) BANKS AND FINANCIAL INSTITUTIONS. PERMITTED OFFICE USES INCLUDE, WITHOUT LIMITATION, PROFESSIONAL SERVICES, SUCH AS ACCOUNTING, MEDICAL, LEGAL, DENTAL, ENGINEERING, LAND SURVEYING, CLERICAL, BOOKKEEPING, CONSULTANT, DRAFTING, RESEARCH, REAL ESTATE, INVESTMENT, TAX AND FINANCIAL, TITLE AND ABSTRACT, STOCK BROKERAGE, BONDING, AND OTHER SIMILAR SERVICES, AND USES AS DEFINED PURSUANT TO LDC, SECTION 522.8.D.1.C, TARGETED PRIMARY BUSINESS, A DAY-CARE CENTER IS ALLOWED AS A SUPPORTING/ANCILLARY USE TO THE OFFICE USES. PERMITTED OFFICE USES ALSO INCLUDE, WITHOUT LIMITATION, MEDICAL OFFICES, SUCH AS DIAGNOSTIC IMAGING, REHABILITATION SERVICES, WELLNESS CENTERS, INSTITUTIONAL MEDICAL OFFICE, CANCER RESEARCH/CENTER, URGENT CARE, DENTAL SERVICES, SPORTS MEDICINE, EYE CENTER/CLINIC, WEIGHT-LOSS CLINIC, SLEEPINESS CENTER, SPINE & ORTHOTEDIC, HYPERTENSIVE MEDICINE, RESEARCH CENTER, GENERAL MEDICAL OFFICES, SURGERY CENTER AND ALL HEALTH-RELATED OFFICES.
 - PERMITTED ALF USES AND FACILITIES INCLUDE ASSISTED LIVING FACILITIES, SKILLED LIVING FACILITIES AND SIMILAR USES AND FACILITIES, INCLUDING, BUT NOT LIMITED TO, EXTENDED CARE, INDEPENDENT LIVING AND REHABILITATION TREATMENT AND SERVICES FOR ADULTS AND CHILDREN, TO INCLUDE, WITHOUT LIMITATION TO, OCCUPATIONAL THERAPY, PHYSICAL THERAPY, VOCATIONAL TRAINING, SPEECH THERAPY, NEUROLOGICAL DEVELOPMENT TREATMENT, DRUG ABUSE TREATMENT, WEIGHTLESS TREATMENT AND RESEARCH AND EDUCATION CENTER.
 - PERMITTED REHABILITATION USES INCLUDE WITHOUT LIMITATION, OCCUPATIONAL THERAPY, PHYSICAL THERAPY, VOCATIONAL TRAINING, SPECIAL TRAINING (SUCH AS SPEECH THERAPY), HUMAN SERVICES, REHABILITATION AND INDEPENDENT LIVING UNITS, REHABILITATION AND CONTINUING CARE FOR CHILDREN AND ADULTS, NEUROLOGICAL DEVELOPMENT, DRUG ABUSE TREATMENT, AGED AND EXTENDED CARE, REHABILITATION EDUCATION CENTERS, WEIGHT LOSS CENTERS AND RESEARCH CENTER.
 - PERMITTED COMMERCIAL USES SHALL BE ALL USES ALLOWED BY THE C1 NEIGHBORHOOD COMMERCIAL ZONING DISTRICT OF THE LDC AS WELL AS PHARMACIES WITH DRIVE THRU'S, BANKS AND COMMERCIAL TOWERS.
 - SETBACKS SHALL BE INCLUSIVE OF ANY REQUIRED LANDSCAPE BUFFER TRACTS.
 - THE MAXIMUM FLOOR AREA FOR THE ASSISTED LIVING FACILITY (ALF)/REHABILITATION FACILITY SHALL NOT EXCEED 100,000 SQUARE FEET OF GROSS FLOOR AREA, INCLUDING OUT-PARCELS TO DEVOTED TO SUCH USES.
 - THE MAXIMUM FLOOR AREA FOR THE COMMERCIAL PORTION SHALL NOT EXCEED 30,000 SQUARE FEET OF GROSS FLOOR AREA, INCLUDING OUT-PARCELS.
 - PARCELS MAY BE DEVELOPED OUT OF NUMERICAL SEQUENCE AND IN MULTIPLES AS LONG AS THE PARCELS BEING DEVELOPED DO NOT RELY UPON INFRASTRUCTURE CONSTRUCTION OF FUTURE PARCELS.
- WATER AND SEWER IS AVAILABLE IN PROJECT VICINITY AND WILL BE PROVIDED BY PASCO COUNTY
- DIRECTION OF EXISTING SURFACE DRAINAGE IS INDICATED BY FLOW ARROWS ON THE SITE PLAN. EXISTING SURFACE DRAINAGE FLOWS TO THE SOUTHEAST TOWARDS THE EXISTING WETLANDS
- ECO AND UTILITY EASEMENT LOCATIONS ARE SUBJECT TO CHANGE, AND MAY BE RELOCATED OR VACATED BY DEVELOPER.
- ROADWAY ALIGNMENTS AND INTERNAL ACCESS POINTS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING THE PERMITTING PROCESS WITHOUT REQUIRING AN MPUD MODIFICATION.

PREPARED BY



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NO.	DATE	DESCRIPTION
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DRAWING

MPUD COVER

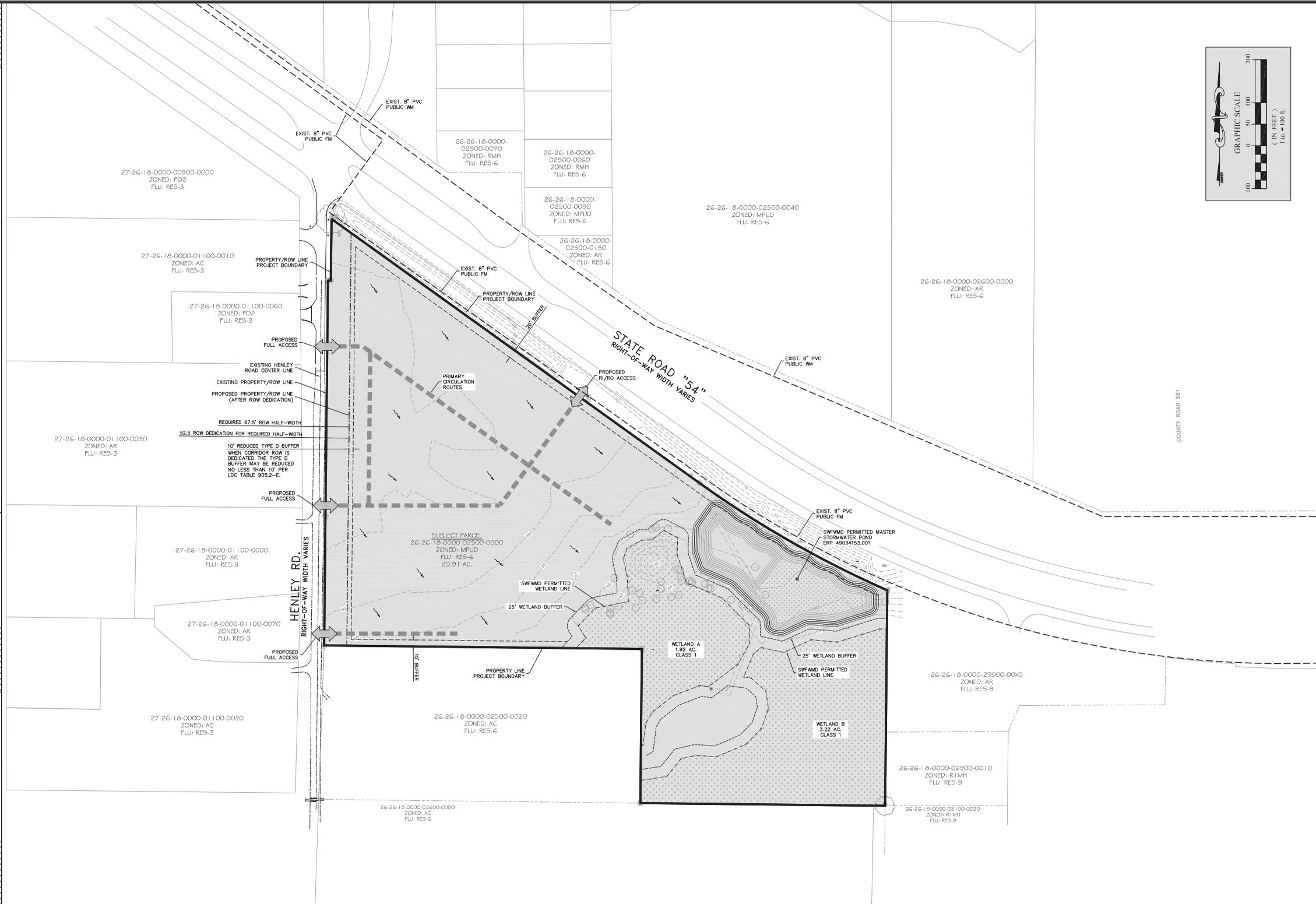
PROJECT

CROSS PARK DEVELOPMENT

JOSEPH A. CHAVINO
P.L.E.# 07240

Original Date: 06-02-15

2015 WEA
 FILE # 06-2015-0524-04A
 CAD FILE NAME: S:\PROJECT FILES - FENDING NEW CLIENTS\ROSS PARK\MPUD\MPUD PLAN\MPUD PLAN.WXDWG



REVISIONS

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DRAWING

MPUD PLAN

PROJECT

CROSS PARK DEVELOPMENT

JOSEPH A. CUMMINS
 FILE # 06240

Original Date: 06-02-15