

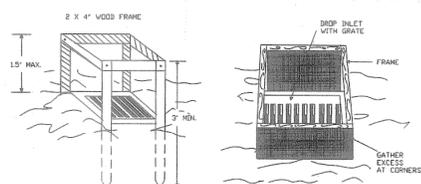
**STANDARD FIRE PROTECTION NOTES:**

- All projects must comply with Pasco County Fire Hydrant Ordinance No. 46-51.
- Fire hydrants must be installed and in service prior to the accumulation of combustibles.
- Per National Fire Protection Association, NFPA 1; 16.4.3.1.3: Where underground water mains and hydrants are to be provided, they shall be installed, completed and in service prior to construction work.
- Per NFPA-1, 18.3.4.1: Clearances of 7 1/2 feet in front of and to the sides of the fire hydrant with a 4 foot clearance to the rear must be maintained at all times.
- Gated entries require a Siren Operating System or a 3M Opticom system for emergency access.

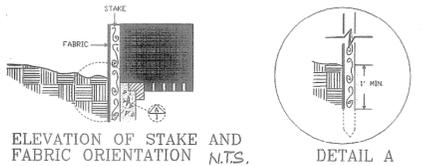
Fire Hydrant Located at the corner of Laura Lane. 170 ft from property limit.

**Standard Site Plan Notes**

- All utility construction shall comply with the Pasco County Standards for Design and Construction of Water and Wastewater Facilities Specifications, latest edition.
- All on-site water and sewer facilities shall be owned and maintained by the owner. Plans submitted by others.
- All proposed signs must be applied for, approved, and permitted on an individual basis apart from any ultimately approved site plan. Approval of this site plan doesn't constitute approval of any signage.
- Handicap parking space will be properly signed and striped in accordance with Florida Statute 316 the Manual on Uniform Traffic Control Devices, or other applicable standards.
- The engineer/architect certifies that the site has been designed in accordance with the Americans with Disabilities Act.
- All on-site parking spaces will comply with the Manual on Uniform Traffic Control Devices, latest edition. It shall be the responsibility of the owner to properly sign and stripe in accordance with applicable standard.
- The owner acknowledges that this approval plans does not include any work in the US 301 right of way.
- All clear-site areas shall be kept free of any signage planting, trees, etc. In excess of 3'-6" height.
- No Environmental Resource Permit (ERP) is required. The South Western Florida Water Management District evaluated on January 26, 2016, that the construction of the building (approximately 1,260 s.f.) will not require ERP based on Rule 62-330, F.A.C. Letter file #722366.
- The owner acknowledge that all structures, including buffer walls, retaining walls, signage, leaching field, etc. require building permits.
- New Building, designed by others. Minimum distance from existing building is 15 feet. 12.00 s.f. PFE = 10.5 ft. MAIN Purpose Use. One-story.
- Over head power line to be relocated. By other.
- Temporary Gravel Entrance (Manual Hose Tire Wash Detail) will be 30' x 10' x 8" with course aggregate of 3" to 6" in diameter.

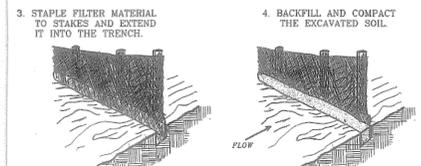
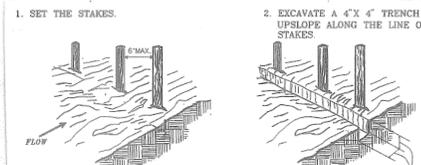


PERSPECTIVE VIEWS

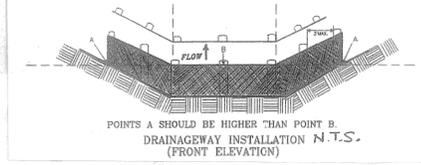


ELEVATION OF STAKE AND FABRIC ORIENTATION N.T.S.

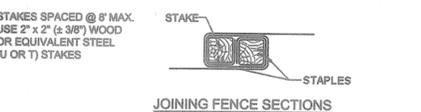
DETAIL A



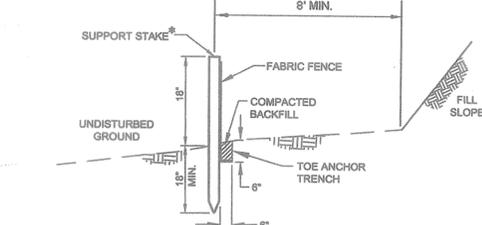
SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)



POINTS A SHOULD BE HIGHER THAN POINT B. DRAINAGEWAY INSTALLATION N.T.S. (FRONT ELEVATION)



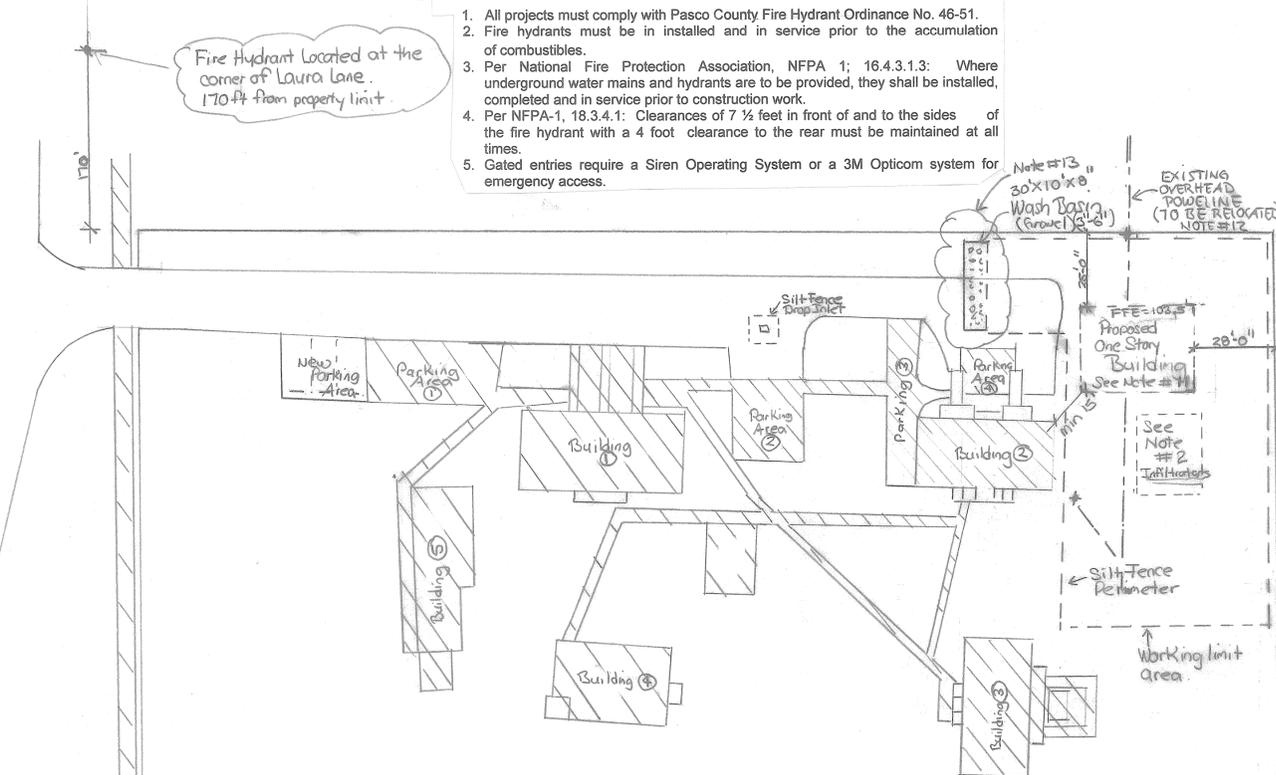
JOINING FENCE SECTIONS



ELEVATION VIEW N.T.S.

**Silt Fence Best Practice**

- Install silt fence on a relatively level contour.
- Turn the end of the fence upslope to prevent ponded water from escaping around the end.
- The bottom of the site fence must be keyed in or water may flow underneath. A trench should be excavated along the proposed layout line of the fence. After the silt fence stakes have been driven into the trench, backfill over the fence fabric and compact.
- Perform inspection before and after rain events, every 24 hours during extended rain events, and weekly throughout the rainy season.
- Should silt fence fabric tear or decompose, replace immediately.
- Remove sediments deposits when the sediment accumulation reaches 1/2 if the barrier height.



STATE ROAD 301

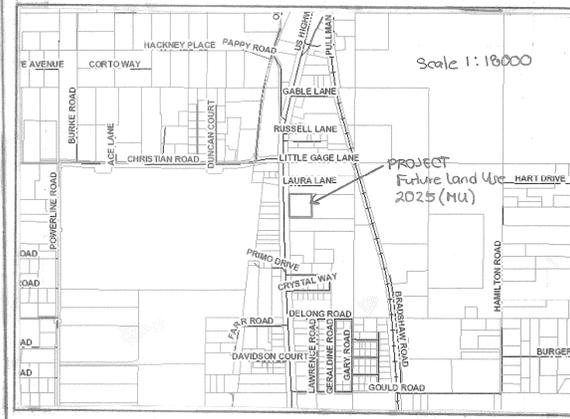
| Parking Table Description        | AREA (s.f.) | PARKING REQUIRED                   | Notes                          |
|----------------------------------|-------------|------------------------------------|--------------------------------|
| BUILDING 1 (OFFICE AREA)         | 672.00      | 2.0                                |                                |
| BUILDING 1 (DRINKING, KITCHEN)   | 672.00      | 1.0                                |                                |
| BUILDING 2 (DORMS, HOUSING)      | 1128.00     | 1.0                                | Users not allowed to have cars |
| BUILDING 3 (DORMS, HOUSING)      | 1128.00     | 1.0                                | Users not allowed to have cars |
| BUILDING 4 (DORMS, HOUSING)      | 1128.00     | 1.0                                | Users not allowed to have cars |
| BUILDING 5 (STORAGE)             | 1000.00     | 1.0                                |                                |
| NEW BUILDING (Multipurpose)      | 1280.00     | 2.0                                |                                |
| <b>Total of parking required</b> |             | <b>9.0</b>                         |                                |
| <b>Parking provided by Area</b>  |             | <b>Provided (Existing and New)</b> |                                |
| Parking Area 1 (Existing)        |             | 4                                  | Asphalt                        |
| Parking Area 2 (Existing)        |             | 2                                  | Asphalt Use to comply with ADA |
| Parking Area 3 (Existing)        |             | 2                                  | Asphalt                        |
| Parking Area 4 (Existing)        |             | 2                                  | Asphalt                        |
| Parking Area (New)               |             | 3                                  | Asphalt                        |
| <b>Total of parking provided</b> |             | <b>13</b>                          |                                |

**Legend**

= Existing Sidewalks + Structures (Not to be altered)

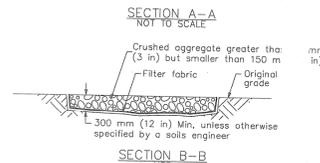
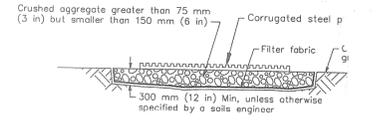
Water Facilities - Tap into existing 1" line next to building #2  
 Electrical Facilities - WREC. Customer Responsible of coordinating.  
 Sewer Facilities - See note #2  
 Storm Water - See note #9  
 \* Owner is responsible of coordinating connections

Land Use (MU)  
 5-492 CU92-12 Assisted Living



**INDEX**

| PAGE | DESCRIPTION                   |
|------|-------------------------------|
| 1    | SITE PLAN                     |
| 2    | LANDSCAPING PLAN              |
| 3    | BOUNDARY AND TOPOGRAPHIC PLAN |

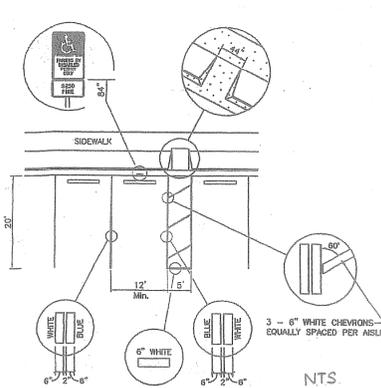


NOTE: Many designs can be field fabricated, or fabricated units may be used.



AERIAL VIEW 1:2000

**PASCO COUNTY HANDICAP PARKING STALL STANDARDS**



NTS

| REVISIONS | BY |
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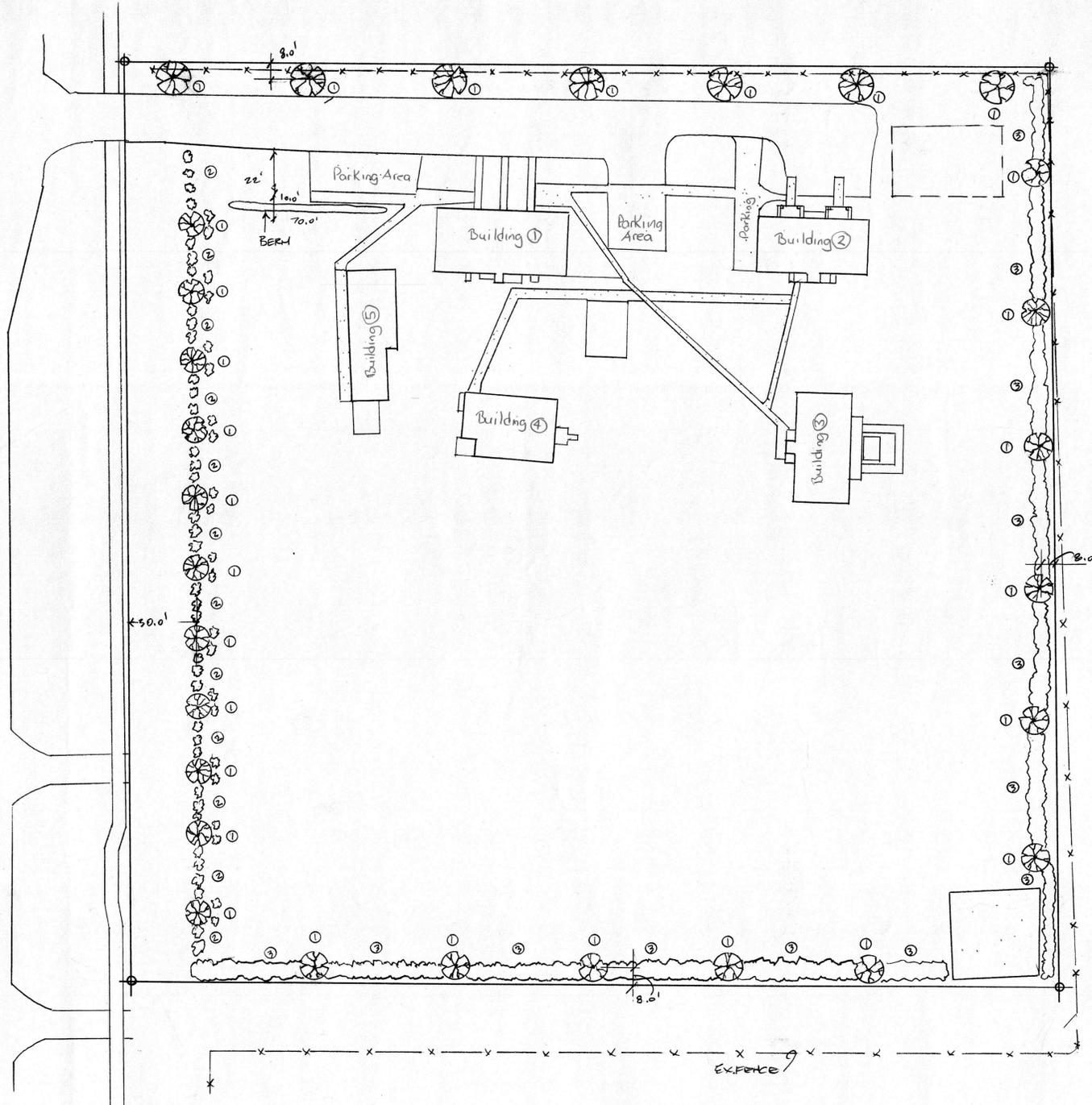
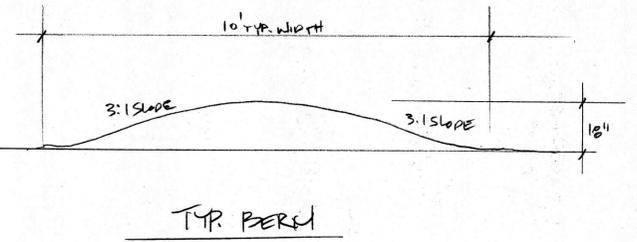
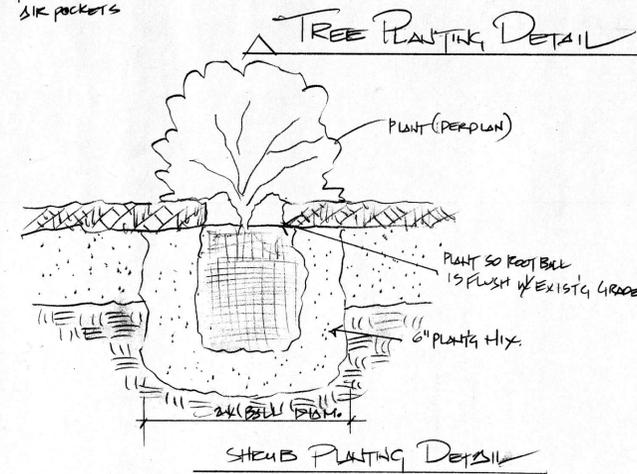
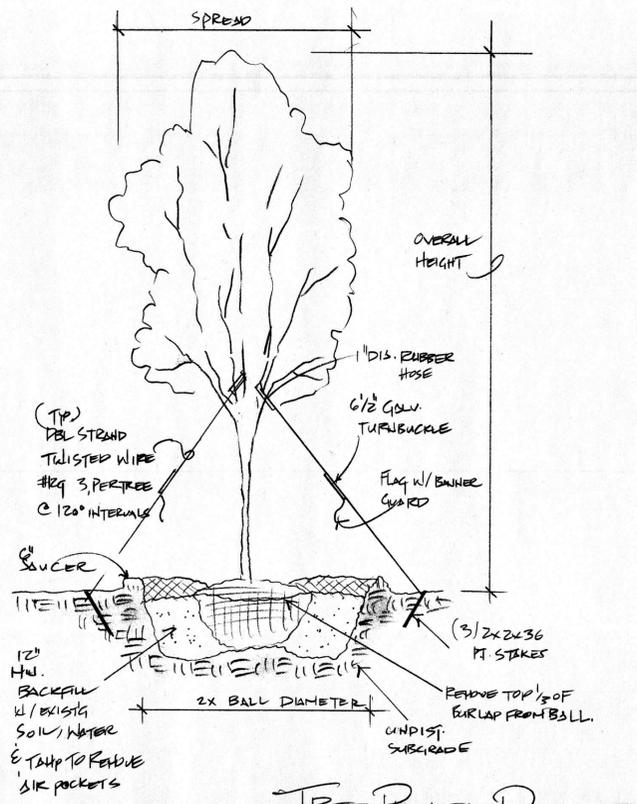
Eng. Gil Cuevas  
 PO Box 7005  
 Wesley Chapel, FL  
 Tel. 813-527-1941  
 Email: gilscos2008@gmail.com  
 Lic # 67256 PE

**SITE PLAN**

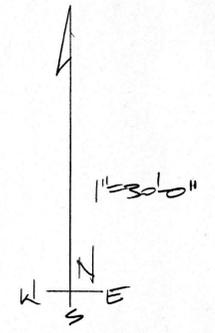
Loving Hands Ministries Inc.  
 18840 US Highway Dade City, FL  
 Parcel ID: 03-24-21-0000-0040-0010

|                 |
|-----------------|
| DRAWN           |
| CHECKED         |
| DATE            |
| SCALE 1"=30'-0" |
| JOB NO.         |
| SHEET 1         |
| OF 3 SHEETS     |





- LEGEND**
- ① LIVE OAK (*QUERCUS VIRGINIANA*) NATIVE, 10'-15' SPREAD. 29 PER 29 PROVIDED
  - ② VIBURNUM (*VIBURNUM OBOVATUM*) NATIVE, 18" HGT, 3CAL, 4B'F., 5 PER TREE.
  - ③ PITTOSPORUM (VARIEGATED PITTOSPORUM) 36" H., 3' SPREAD, CONTINUOUS HEDGE (ROW).
- SOUTH - 10' WIDE @ 60' OF  
 NORTH - 15' WIDE @ 60' OF  
 WEST - 10' WIDE @ 60' OF  
 WEST - 10' WIDE @ 30' OF



| REVISIONS | BY |
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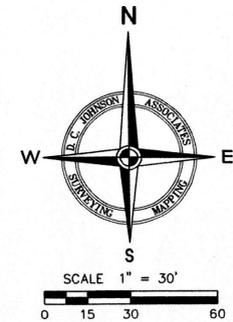
Eng. Gil Cuevas  
 PO Box 7005  
 Wesley Chapel, FL  
 Tel. 813-527-1841  
 Email: gilco2008@gmail.com  
 Lic # 67256 PE

# LANDSCAPE PLAN

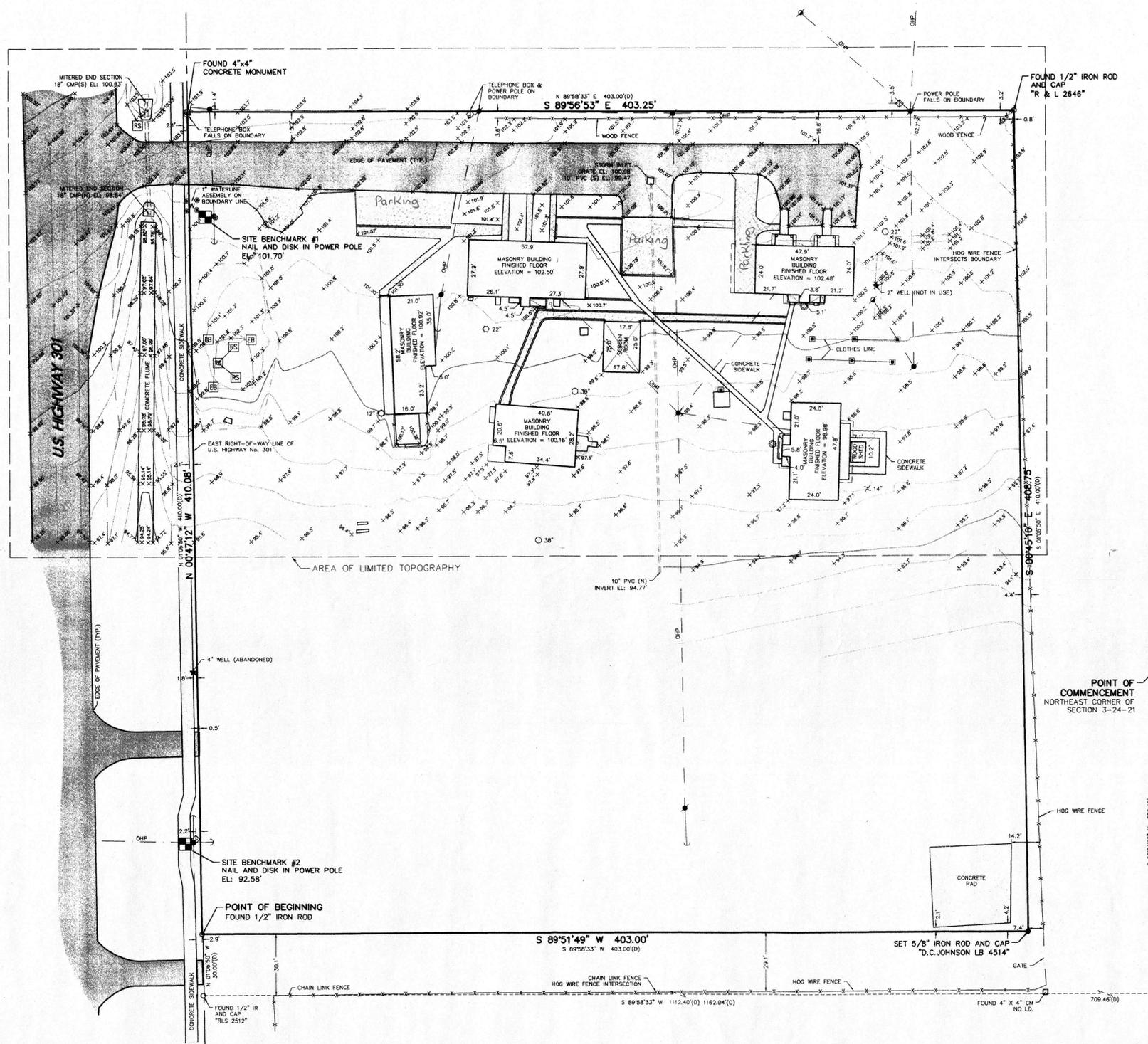
Loving Hands Ministries Inc.  
 18840 US Highway Dade City, FL  
 Parcel ID: 03-24-21-0000-0040-0010

|             |
|-------------|
| DRAWN       |
| CHECKED     |
| DATE        |
| SCALE       |
| JOB NO.     |
| SHEET       |
| 2           |
| OF 3 SHEETS |

A PORTION OF  
SECTION 3, TOWNSHIP 24 SOUTH, RANGE 21 EAST  
PASCO COUNTY, FLORIDA



- LEGEND**
- IP, IR = IRON PIPE, IRON ROD
  - CM = CONCRETE MONUMENT
  - (F) = FIELD DERIVED MEASUREMENT
  - (P) = MEASUREMENT PER PLAT
  - (D) = MEASUREMENT PER DESCRIPTION
  - E.C. = PROPERTY LINE, CENTERLINE
  - R/W = RIGHT OF WAY
  - = FOUND IR (SIZE & REGISTRATION NUMBER AS NOTED)
  - = FOUND IP (SIZE & REGISTRATION NUMBER AS NOTED)
  - = SET 5/8" IR "D.C. JOHNSON LB 4514"
  - = FOUND CM (SIZE & REGISTRATION NUMBER AS NOTED)
  - = SET 4"x4" CM "LB 4514"
  - ⊕ = VERTICAL CONTROL BENCHMARK
  - ⊕ = POWER POLE
  - ⊕ = GUY POLE
  - ⊕ = GUY ANCHOR
  - ⊕ = TELEPHONE EQUIPMENT BOX
  - ⊕ = WELL (SIZE AS NOTED)
  - ⊕ = ELECTRICAL EQUIPMENT BOX
  - ⊕ = ROAD SIGN
  - ⊕ = WATER LINE
  - ⊕ = TELEPHONE LINE MARKER
  - ⊕ = BOLLARD
  - ⊕ = OAK TREE (SIZE AS NOTED)
  - ⊕ = CAMPHOR TREE (SIZE AS NOTED)
  - ⊕ = TREE (UNKNOWN VARIETY, SIZE AS NOTED)
  - OMP = CORRUGATED METAL PIPE
  - PVC = POLY-VINYL CHLORIDE PIPE
  - OHP = OVERHEAD POWERLINE
  - FF = FINISHED FLOOR
  - EL = ELEVATION
  - ASPHALT
  - CONCRETE
  - ROCK/GRAVEL
  - PAVERS/BRICK



**DESCRIPTION** (per Official Records Book 8755, Page 1991, of the Public Record of Pasco County, Florida)

COMMENCE at the Northeast corner of Section 3, Township 24 South, Range 21 East, Pasco County, Florida as a point of reference; thence S.00°04'12"W., 999.45 feet, thence S.89°58'33"W. 1112.40; thence N.01°06'50"W., 30.00 feet for a POINT OF BEGINNING; thence continue N.01°06'50"W., 410.00 feet; thence N.89°58'33"E., 403.00 feet, thence S.01°06'50"E., 410.00 feet; thence S.89°58'33"W., 403.00 feet to the POINT OF BEGINNING.

**SURVEYOR'S NOTES:**

1. Use of this survey for purposes other than intended, without written verification, will be at the user's sole risk and without liability to the surveyor. Nothing herein shall be construed to give any rights or benefits to anyone other than those certified to.
2. This survey was prepared without an abstract of title; therefore the undersigned makes no guarantees or representations regarding information shown hereon pertaining to easements, rights-of-way, setback lines, agreements, reservations, or other similar matters.
3. No underground installations, improvements or encroachments, have been located except those shown hereon.
4. No instruments of record reflecting easements, right-of-ways and/or ownership were furnished to the undersigned except as shown.
5. Bearings shown hereon are based on the an assumed bearing for the East right-of-way line of U.S. Highway No. 301 lying in Section 3, Township 24 South, Range 21 East, Pasco County, Florida. Said line bears N.00°47'12"W.
6. Subject property may contain lands that are subject to jurisdiction or restriction by one or more of the following agencies: Army Corp. of Engineers, Southwest Florida Water Management District (S.W.F.W.M.D.) or Florida Department of Environmental Protection (F.D.E.P.).
7. Elevations shown hereon are based upon North American Vertical Datum of 1988 (NAVD88), National Geodetic Survey benchmark "X 630", located along U.S. Highway 301 in Dade City, Florida, Published elevation = 91.92' (NAVD88).
8. Subject property appears to lie in Flood Zone "X" according to F.I.R.M. Community Panel 12101C0115F, dated September 26, 2014.
9. Bearings and distances shown hereon are field measured, unless otherwise indicated.
10. Topography is limited to the area determined by client.
11. The description for the Subject Property was based on client information and the Pasco County Property Appraiser's website. The Surveyor was unable to obtain a deed matching client information and the Pasco County Property Appraiser's website.
12. Subject Property contains 3.824 acres, more or less.

Date of Field Survey: 5/29/15

|         |  |     |
|---------|--|-----|
| 7/28/15 | INCREASE LIMITS OF TOPOGRAPHY PER CLIENT REQUEST | ARG |
| DATE    | REVISION   | BY  |

|  |  |  |
|--|--|--|
|  | <b>Boundary &amp; Topographic Survey</b>   |  |
|  | PREPARED FOR<br><b>Loving Hands Ministries, Inc.</b><br><b>Loving Hands Ministries</b> |  |

|                                |                 |
|--------------------------------|-----------------|
| PROJECT NO.: 1994-003A01.00001 | SCALE: 1" = 30' |
| DRAWN BY: LJ/AG                | 5/26/15 SHEET   |
| CHECKED BY: CHX                | 5/26/15 3 OF 3  |

For D.C. Johnson & Associates, Inc.  
Christopher H. Xynides  
Florida Registered Surveyor and Mapper No. 5566  
Florida Licensed Business Number 4514  
Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.