

# PRELIMINARY SITE / CONSTRUCTION PLANS

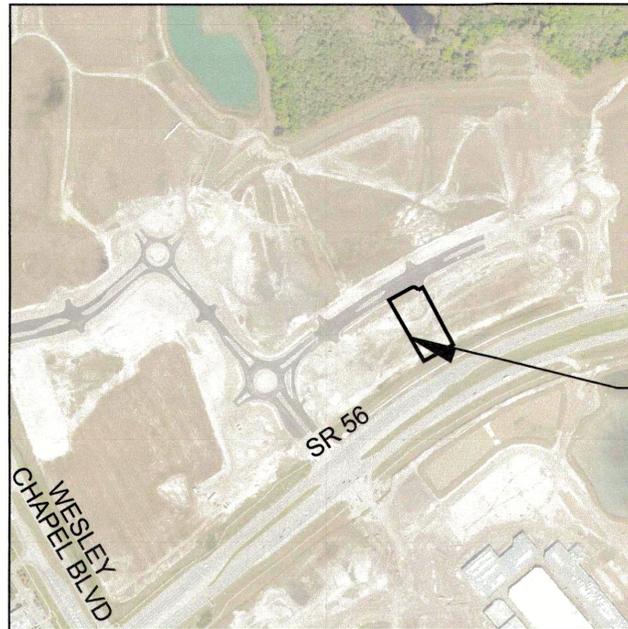


FOR  
**TACO BELL**  
AT CYPRESS CREEK TOWN CENTER NORTH

STATE ROAD 56  
LUTZ, FLORIDA 33559-7200

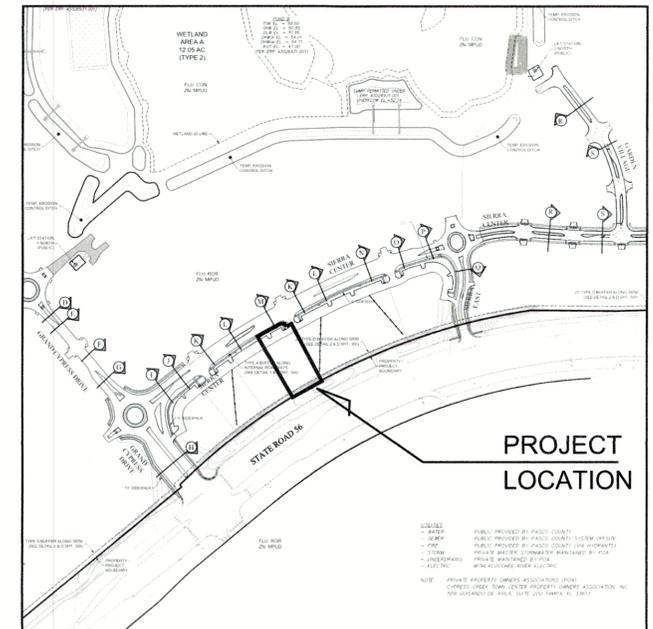
PARCEL I.D. NUMBER: 27-26-19-0010-00000-0010; 27-26-19-0010-00000-0012

PASCO COUNTY, FLORIDA



PROJECT  
LOCATION

AERIAL



PROJECT  
LOCATION

APPROVED PDP



## LEGAL DESCRIPTION:

(AS PROVIDED BY SURVEYOR):

COMMENCE AT THE NORTHEAST CORNER OF SECTION 27, TOWNSHIP 26 SOUTH, RANGE 19 EAST, PASCO COUNTY, FLORIDA; THENCE ALONG THE NORTH BOUNDARY OF SAID SECTION 27, S 89°48'49" W, A DISTANCE OF 2276.76 FEET; THENCE LEAVING THE NORTH BOUNDARY OF SAID SECTION 27, S 00°11'02" E, A DISTANCE OF 1896.95 FEET TO THE POINT OF BEGINNING; THENCE S 30°35'29" E, A DISTANCE OF 312.23 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF STATE ROAD NUMBER 56, SAID POINT BEING ON A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 2708.48 FEET, A CENTRAL ANGLE OF 02°52'27", A CHORD LENGTH OF 135.85 FEET AND A CHORD BEARING OF N 60°39'46" E, THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 135.86 FEET; THENCE LEAVING SAID NORTHERLY RIGHT OF WAY LINE, N 28°05'46" W, A DISTANCE OF 288.32 FEET; THENCE S 61°05'44" W, A DISTANCE OF 19.72 FEET, TO A POINT OF CURVATURE OF A CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 33.00 FEET, A CENTRAL ANGLE OF 73°32'42", A CHORD DISTANCE OF 39.51 FEET AND A CHORD BEARING OF N 81°54'20" W; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 42.36 FEET TO A POINT OF COMPOUND CURVE, CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 2518.00 FEET, A CENTRAL ANGLE OF 2°13'35", A CHORD DISTANCE OF 97.84 FEET AND A CHORD BEARING OF S 60°30'36" W; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 97.84 FEET TO THE POINT OF BEGINNING.

CONTAINS 1 ACRES, MORE OR LESS (M).

## PROJECT TEAM

### DEVELOPER:

GUERRIERI MANAGEMENT, INC.  
CONTACT: GORDON GUERRIERI  
1128 COUNTRY CLUB ROAD  
CAPE CORAL, FL 33990  
PHONE: (239) 573-3674  
EMAIL: TACOGORDY@AOL.COM

### CIVIL ENGINEER:

CORNELISON ENGINEERING & DESIGN, INC.  
CONTACT: CRAIG L. CORNELISON, PE  
38039 OLD 5TH AVENUE  
ZEPHYRHILLS, FL 33542  
PHONE: (813) 788-7835  
EMAIL: CRAIG@CORNELISON-ENG.COM

### ARCHITECT:

GLMV ARCHITECTURE  
CONTACT: CARMEN ONKEN, RLA, ASLA  
1525 E. DOUGLAS  
WICHITA, KS 67211  
PHONE: (316) 265-9367  
EMAIL: CONKEN@GLMV.COM

### LAND OWNER:

PASCO RANCH, INC.  
CONTACT: MICHAEL SIERRA  
509 GUISSANDO DE AVILA, ST. 200  
TAMPA, FL 33613  
PHONE: (813) 963-5856  
EMAIL: MSIERRA@SIERRA-PROPERTIES.COM

### SURVEYOR:

WILLIAM C. WARD, PLS.  
310 PINELLAS BAYWAY  
SUITE 5201  
ST. PETERSBURG, FL  
PHONE: (813) 817-1115  
EMAIL: WCWPLS4815@HOTMAIL.COM

### LANDSCAPE ARCHITECT:

ANDERSON LESNIAK LIMITED, INC.  
CONTACT: ALYSON UTTER  
4921 S. WESTSHORE BOULEVARD  
TAMPA, FL 33611  
PHONE: (813) 831-9595  
EMAIL: ANDERSON.LESNIAK@TAMPABAY.RR.COM

## UTILITY PROVIDERS

### WATER:

PASCO COUNTY UTILITIES DEPARTMENT  
CONTACT: DAVID PARADIS  
19420 CENTRAL BOULEVARD  
LAND O' LAKES, FL 34637  
PHONE: (727) 867-8142

### GAS:

TECO GAS  
CONTACT: BETTY TRUEBLOOD  
1400 CHANNELSIDE DRIVE  
TAMPA, FL 33605  
PHONE: (813) 299-7342

### POWER:

WITHLACOCOCHEE RIVER ELECTRIC  
COOPERATIVE, INC.  
CONTACT: COREY LITTLEFIELD  
30461 COMMERCE DRIVE  
SAN ANTONIO, FL 33567  
PHONE: (352) 588-5115

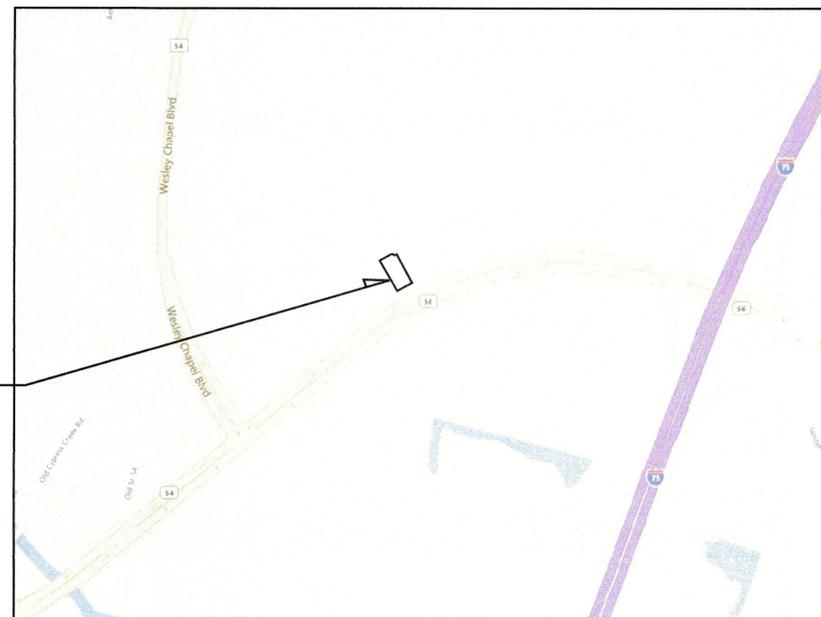
### SEWER:

PASCO COUNTY UTILITIES DEPARTMENT  
CONTACT: MARY THOMON  
19420 CENTRAL BOULEVARD  
LAND O' LAKES, FL 34637  
PHONE: (727) 867-8142

### PHONE:

VERIZON  
CONTACT: DAVID WYNNS  
27835 WESLEY CHAPEL BLVD, ST. 100  
WESLEY CHAPEL, FL 33544  
PHONE: (813) 907-8511

PROJECT  
LOCATION



LOCATION MAP

SCALE: 1" = 800'

SECTION 27 - TOWNSHIP 26S - RANGE 19E

## REVISIONS

PREPARED BY



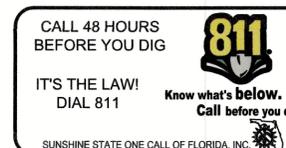
© 2016 CORNELISON ENGINEERING & DESIGN, INC.  
38039 OLD 5TH AVE, ZEPHYRHILLS, FL 33542  
TEL: 813-788-7835 • FAX: 813-788-7062  
WWW.CORNELISON-ENG.COM  
CERTIFICATE OF AUTHORIZATION 28928

## SHEET INDEX

| REVISION | SHEET NO. | SHEET DESCRIPTION                  |
|----------|-----------|------------------------------------|
|          | C01       | COVER SHEET                        |
|          | C02       | GENERAL NOTES                      |
|          | C03       | EXISTING CONDITIONS/ DEMO PLAN     |
|          | C04       | SITE PLAN                          |
|          | C05       | PAVING, GRADING, AND DRAINAGE PLAN |
|          | C06       | UTILITY PLAN                       |
|          | C07       | EROSION CONTROL PLAN               |
|          | C08       | EROSION CONTROL DETAILS            |
|          | C09       | CONSTRUCTION DETAILS               |
|          | C10       | CONSTRUCTION DETAILS               |
|          | C11       | UTILITY DETAILS                    |
|          | C12       | UTILITY DETAILS                    |
|          | C13       | TACO BELL STANDARD DETAILS         |
|          | C14       | PHOTOMETRIC PLAN                   |
|          | LA-1      | LANDSCAPE PLAN                     |

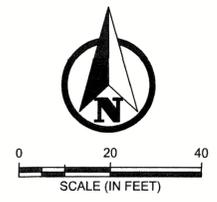
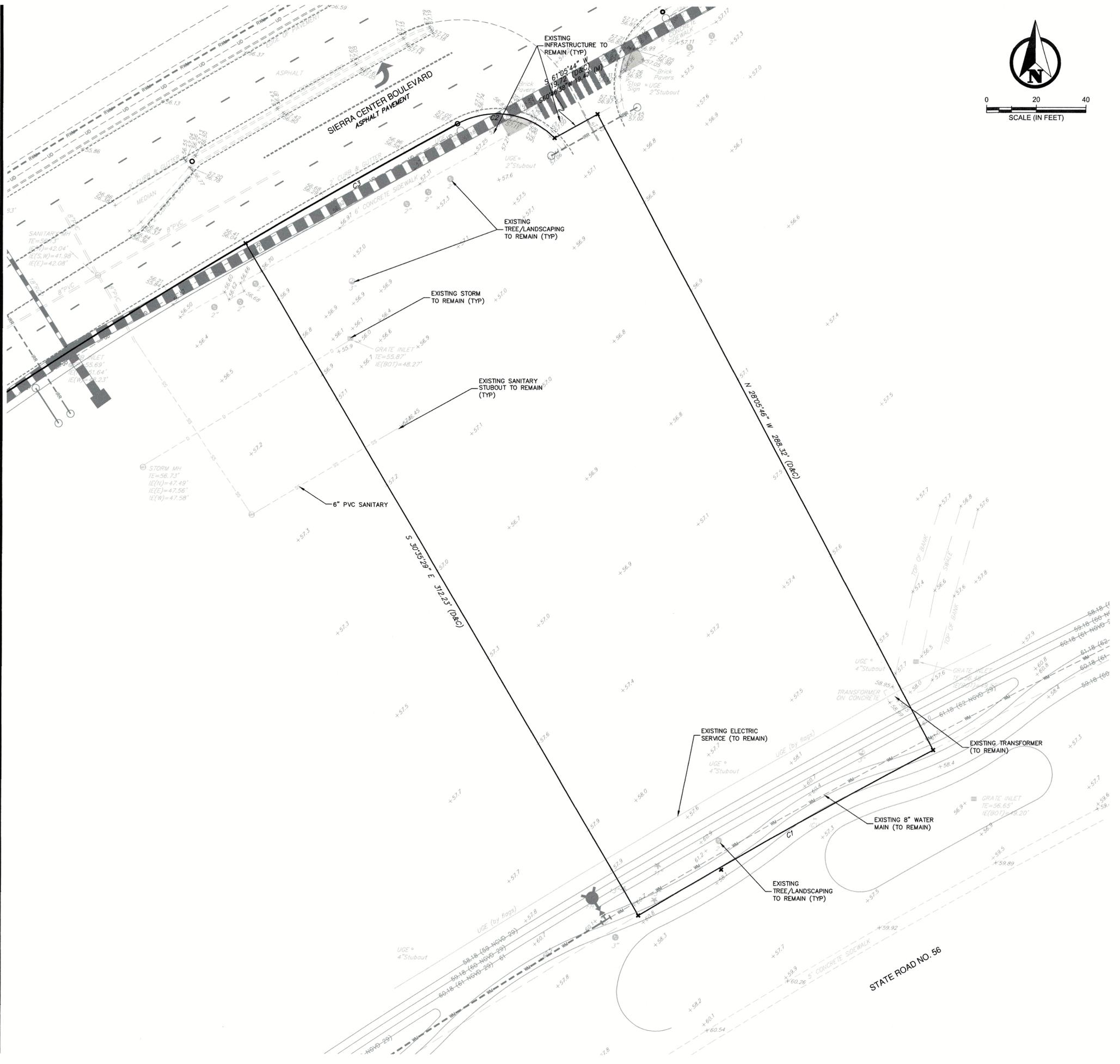
### PASCO COUNTY PROJECT HISTORY

| TYPE            | NUMBER | DATE       | STATUS   |
|-----------------|--------|------------|----------|
| REZONING (MPUD) | RZ6288 | 12/09/2004 | APPROVED |
| DRI RESOLUTION  | 252    | 4/26/2005  | APPROVED |



8-15-16  
CRAIG L. CORNELISON, P.E.  
FL PE# 55433





**DEMOLITION/PHASING NOTES:**

- UNLESS OTHERWISE INDICATED ON PLANS, EXISTING SITE FEATURES TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING ABOVE-GROUND, UNDERGROUND, AND ON THE SURFACE STRUCTURES AND UTILITIES AGAINST ANY CONSTRUCTION OPERATION THAT MAY CAUSE DAMAGE TO SAID FACILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSEQUENTIAL DAMAGES RESULTING FROM LACK OF PROTECTION.
- SOME, BUT NOT NECESSARILY ALL, EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL DEVIATIONS.
- THE CONTRACTOR SHALL GIVE ADEQUATE NOTIFICATION TO ALL AFFECTED UTILITY OWNERS FOR REMOVAL, RELOCATION, AND ALTERATION OF THEIR EXISTING FACILITIES.
- WHERE ENCOUNTERED, UNSUITABLE MATERIAL SHALL BE REMOVED TO A DEPTH AND AREA DETERMINED BY THE ENGINEER AND BACKFILLED WITH CLEAN GRANULAR SAND OR SELECT MATERIAL APPROVED BY THE ENGINEER. BACKFILLING SHALL BE IN LAYERS NOT GREATER THAN 8" THICKNESS AND COMPACTED TO 100 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99-C.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ACTUAL SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF THE LOCAL, COUNTY, OR STATE AUTHORITIES REGARDING CLOSING OR RESTRICTING THE USE OF PUBLIC STREETS OR HIGHWAYS.
- TRAFFIC CONTROL ON ALL LOCAL, COUNTY AND STATE HIGHWAY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE LOCAL, COUNTY OR STATE AGENCY HAVING JURISDICTION.

**LEGEND**

- PROPERTY LINE
- EXISTING WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING TREE TO REMAIN
- EXISTING STORM PIPE

**BENCHMARK**

ELEVATIONS SHOWN HEREON PER NAVD '88

**CORNELISON & DESIGN, INC.**  
**CED**  
 © 2016 CORNELISON ENGINEERING & DESIGN, INC.  
 39039 OLD 5TH AVENUE, WESLEY CHAPEL, FL 33542  
 TEL: 813-788-7835 FAX: 813-788-7062  
 WWW.CORNELISON-ENG.COM  
 CERTIFICATE OF AUTHORIZATION 28928

**CRAIG L. CORNELISON**  
 No. 38438  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER IN CIVIL  
 8-15-16  
 CRAIG L. CORNELISON, P.E.  
 FLORIDA LICENSE NUMBER:  
 PE55433

REVISIONS:

|  |  |
|--|--|
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |

CONTRACT DATE:  
 BUILDING TYPE: MED-40LM EXP DR  
 PLAN VERSION:  
 SITE NUMBER:  
 STORE NUMBER:

**TACO BELL**  
 STATE ROAD 56  
 LUTZ, FLORIDA 33559

**TACO BELL**  
**LIVE MAS**  
 MED-40 EXP DR  
**EXISTING**  
**CONDITIONS/**  
**DEMO PLAN**

C03  
 PLOT DATE: 8-15-16

UNLESS OTHERWISE INDICATED ON PLANS, EXISTING ABOVE AND BELOW GROUND STRUCTURES, UTILITIES, APPURTENANCES, PAVING, BASE MATERIAL, LANDSCAPING, ETC. WITHIN THE PROPERTY LIMITS TO REMAIN

CALL 48 HOURS BEFORE YOU DIG  
**811**  
 IT'S THE LAW! DIAL 811  
 Know what's below. Call before you dig.  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

Drawing name: \\CEDSERVER\Shared\Folders\Project\1204010 - TB SR 56 - Wesley Chapel\Cadd\Construction\04-TB WESLEY CHAPEL - SITE PLAN.dwg CO4 Aug 15, 2016 2:16pm by: CraigCornelison

PASCO RANCH, INC.  
 PARCEL NUMBER: 27-26-19-0010-00000-0010  
 27-26-19-0010-00000-0012  
 FLUID: ROR  
 ZONING: MPUD

PASCO RANCH, INC.  
 PARCEL NUMBER: 27-26-19-0010-00000-0010  
 27-26-19-0010-00000-0012  
 FLUID: ROR  
 ZONING: MPUD

**SITE DATA:**  
 LEASE AREA: 43,827 SF (1.00 AC)  
 PARCEL NUMBER: 27-26-19-0010-00000-0010  
 27-26-19-0010-00000-0010  
 EXISTING ZONING: MPUD - (MASTER PLANNED UNIT DEVELOPMENT)  
 FUTURE LAND USE DESIGNATION: ROR - (RETAIL/OFFICE/RESIDENTIAL)  
 EXISTING USE: UNDEVELOPED  
 PROPOSED USE: FAST FOOD RESTAURANT  
 TOTAL BUILDING AREA: 2,519 SF + 270 SF PATIO = 2,789 SF TOTAL  
 PROPOSED ISR: 75.0%  
 MAXIMUM FAR: 60%  
 PROPOSED FAR: 0.64  
 PROPOSED BUILDING HEIGHT: 25'-6" (1 STORY)  
 FLOOD ZONE: X  
 FEMA MAP NUMBER: 12101C0409F (9/26/14)

**IMPERVIOUS AREA CALCULATIONS:**  
 EXISTING IMPERVIOUS AREA = 784 SF (1.8%)  
 PROPOSED IMPERVIOUS AREA = 32,891 SF (75.0%)

**PROJECT AREAS:**  
 BUILDING AREA: 2,789 SF (6.4%)  
 PERVIOUS AREA: 10,936 SF (25.0%)  
 SIDEWALKS: 2,508 SF (5.7%)  
 VEHICULAR USE AREA (VUA): 27,594 SF (62.9%)  
 TOTAL AREA: 43,827 SF (100.0%)

**REQUIRED BUILDING SETBACKS:**  
 DIRECTION: REQUIRED PROVIDED  
 NORTH (FRONT): 25' SIERRA CENTER BLVD 236.2'  
 SOUTH (REAR): 0' STATE ROAD 56 41.46'  
 EAST (SIDE): 0' 29.6'  
 WEST (SIDE): 0' 31.08'

**REQUIRED PARKING:**  
 RESTAURANT (ON-PREMISES WITH DRIVE-THROUGH)  
 1 SPACE PER 150 SQUARE FEET OF GROSS FLOOR AREA UP TO 6,000 GROSS SF.

VEHICLE PARKING REQUIRED = 2,789 / 150 = 18.6 (19 SPACES)

BICYCLE PARKING = .02 PER PROVIDED SPACE = 1 SPACE

**PARKING PROVIDED:**  
 REGULAR PARKING SPACES: 35 SPACES  
 ACCESSIBLE PARKING SPACES: 2 SPACES  
 TOTAL PARKING PROVIDED = 37 SPACES

BICYCLE PARKING SPACES: 2 SPACES

**NOTES:**

1. A REGISTERED LAND SURVEYOR SHALL REPLACE SURVEY MONUMENTS OR BENCHMARKS, WHICH HAVE TO BE DISTURBED BY THIS WORK, UPON COMPLETION OF WORK.
2. HANDICAP PARKING SPACES SHALL BE MARKED BY THE INTERNATIONAL HANDICAP SYMBOL AND EACH SPACE SHALL BE PROVIDED WITH A SIGN STATING "PARKING BY DISABLED PERMIT ONLY." ALL HANDICAP ACCESS POINTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE HANDICAP CODES.
3. ALL CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS AND STANDARDS OF PASCO COUNTY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION.
4. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS AND/OR EASEMENTS BEFORE BEGINNING CONSTRUCTION.
6. UNLESS OTHERWISE INDICATED ON PLANS, ALL PARKING LOT DIMENSIONS ARE TO THE FACE OF THE CURB AND/OR CENTER OF STRIPING.
7. ALL BUILDING DIMENSIONS ARE TO THE EXTERIOR FACE OF CMU WALL.
8. LIGHTING TO BE NON-GLARE AND AVOID SPILLAGE ONTO ADJACENT PROPERTY.
9. MAINTENANCE OF TRAFFIC (MOT) SET UP MUST BE SUPERVISED BY A CERTIFIED MOT PERSON.
10. AS-BUILT PLANS CERTIFIED BY A LICENSED SURVEYOR ARE REQUIRED BY CONTRACTOR AT TIME OF COMPLETION. GRADING, UTILITY, AND STORMWATER AS-BUILTS ARE REQUIRED TO THE ENGINEER IN BOTH SIGNED AND SEALED PAPER FORM AS WELL AS ELECTRONIC AUTOCAD FORMAT. AT A MINIMUM, THE GRADING AS-BUILTS ARE TO INCLUDE ALL CENTERLINE HIGH POINTS AND LOW POINTS, CHANGES IN GRADE, INTERSECTIONS, PAVEMENT AND SIDEWALK GRADES AT H.C. RAMPS, HANDICAP PARKING SPACES AND ACCESS AISLES, HANDICAP PATHS OF TRAVEL, AND ALL GRADES AS INDICATED ON THE PAVING, GRADING, AND DRAINAGE PLAN. UTILITY AND STORMWATER AS-BUILTS SHALL INCLUDE LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL APPURTENANCES, INCLUDING, BUT NOT LIMITED TO PIPES, MANHOLES, VALVES, ETC.
11. ALL PROPOSED SIDEWALKS AND HANDICAP RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE HANDICAP CODE. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DEVIATIONS.
12. SIGNAGE SHALL BE SUBMITTED AND PERMITTED SEPARATELY.
13. NO OBSTRUCTION SHALL BE PLACED WITHIN ANY SIGHT DISTANCE TRIANGLE.
14. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK WITHIN FDOT RIGHT OF WAY.
15. FOR ALL ON-SITE RAMPS (OUTSIDE FDOT RIGHT OF WAY) REFERENCED PER FDOT INDEX 304, DETECTABLE WARNING (TRUNCATED DOMES) ARE NOT REQUIRED PER ADA GUIDELINES AND THE FLORIDA ACCESSIBILITY CODE.
16. ALL DISTURBED AREAS IN FDOT RIGHT-OF-WAY SHALL BE SODED.

THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

| FLOOD ZONE | COMMUNITY    | NUMBER | PANEL NUMBER | SUFFIX | MAP EFFECTIVE DATE | MAP NUMBER  |
|------------|--------------|--------|--------------|--------|--------------------|-------------|
| X          | PASCO COUNTY | 120230 | 0409         | F      | SEP 26, 2014       | 12101C0409F |

- LEGEND:**
- LANDSCAPE BUFFER
  - BUILDING SETBACK
  - PAVEMENT CENTER LINE
  - PROPERTY LINE
  - PROPOSED CONCRETE
  - ↑ INDICATES SLOPE OF HANDICAP RAMP
  - INDICATES DIRECTION OF TRAFFIC FLOW
  - ⊙ NUMBER OF PARKING SPACES IN AREA
  - ⊙ FDOT CURB RAMP TYPE PER FDOT INDEX 304

**CURVE TABLE**

| CURVE    | RADIUS   | DELTA ANGLE | ARC LENGTH | CHORD BEARING | CHORD LENGTH |
|----------|----------|-------------|------------|---------------|--------------|
| C1 (D&C) | 2708.48' | 02°52'27"   | 135.86'    | N 60°39'48" E | 135.85'      |
| C2 (D&C) | 33.00'   | 73°32'41"   | 42.36'     | N 81°54'20" W | 39.51'       |
| C3 (D&C) | 2518.00' | 02°13'35"   | 97.85'     | S 60°30'36" W | 97.84'       |

**PASCO COUNTY PROJECT HISTORY**

| TYPE            | NUMBER | DATE       | STATUS   |
|-----------------|--------|------------|----------|
| REZONING (MPUD) | RZ6288 | 12/09/2004 | APPROVED |
| DRI RESOLUTION  | 252    | 4/26/2005  | APPROVED |

**PASCO COUNTY DEVELOPMENT REVIEW - STANDARD SITE PLAN NOTES**

1. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE PASCO COUNTY STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES SPECIFICATIONS, LATEST EDITION.
2. ALL ON-SITE WATER AND SEWER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER-DEVELOPER.
3. INSTALLATION OF FUEL STORAGE TANKS REQUIRES REVIEW AND APPROVAL BY THE FIRE MARSHAL AND THE ISSUANCE OF A SEPARATE BUILDING PERMIT. APPROVAL OF THE SITE PLAN DOES NOT CONSTITUTE APPROVAL OF THE LOCATION OF THE FUEL TANKS.
4. ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED, AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY-APPROVED SITE PLAN. APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE.
5. HANDICAP PARKING SPACES WILL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, OR OTHER APPLICABLE STANDARDS.
6. THE ENGINEER CERTIFIES THAT THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.
7. ALL ON-SITE PARKING SPACES WILL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. PARKING SPACES, DIRECTIONAL ARROWS, AND STOP BARS SHALL BE STRIPED IN WHITE. IT SHALL BE THE OWNER/DEVELOPER'S RESPONSIBILITY TO PROPERLY SIGN AND STRIPE IN ACCORDANCE WITH APPLICABLE STANDARDS.
8. THE OWNER/DEVELOPER ACKNOWLEDGES THAT THIS APPROVAL DOES NOT INCLUDE ANY WORK IN THE COUNTY RIGHT-OF-WAY. ALL RIGHT-OF-WAY WORK SHALL BE A FUNCTION OF AN APPROVED PASCO RIGHT-OF-WAY USE PERMIT.
9. ALL CLEAR-SIGHT AREAS SHALL BE KEPT FREE OF ANY SIGNAGE PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND-A-HALF (3-1/2) FEET IN HEIGHT.
10. NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY COUNTY OR STATE RIGHT-OF-WAY WITHOUT ISSUANCE OF APPROPRIATE RIGHT-OF-WAY USE PERMIT.
11. THE OWNER/DEVELOPER ACKNOWLEDGES THAT THE SITE AND ITS SUBSEQUENT BUILDING PERMITS SHALL COMPLY WITH ALL REZONING/MPUD/PUD CONDITIONS.
12. ALL STRUCTURES, INCLUDING BUFFER WALLS, RETAINING WALLS, SIGNAGE, ETC. REQUIRE BUILDING PERMITS.

**CORNELISON & DESIGN, INC.**  
**CED**  
 © 2016 CORNELISON ENGINEERING & DESIGN, INC.  
 38039 OLD 5TH AVENUE, ZEPHYRHILLS, FL 33542  
 TEL: 813-788-7835 FAX: 813-788-7062  
 WWW.CORNELISON-ENG.COM  
 CERTIFICATE OF AUTHORIZATION 28928

**CRAIG L. CORNELISON, P.E.**  
 FLORIDA LICENSE NUMBER: PE55433  
 8-15-16

**REVISIONS:**

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |
|     |      |             |

CONTRACT DATE: \_\_\_\_\_  
 BUILDING TYPE: MED-40LM EXP DR  
 PLAN VERSION: \_\_\_\_\_  
 SITE NUMBER: \_\_\_\_\_  
 STORE NUMBER: \_\_\_\_\_

**TACO BELL**  
 STATE ROAD 56  
 LUTZ, FLORIDA 33559



**LIVE MAS**  
 MED-40 EXP DR

**SITE PLAN**  
 C04

PLOT DATE: \_\_\_\_\_ 8-15-16

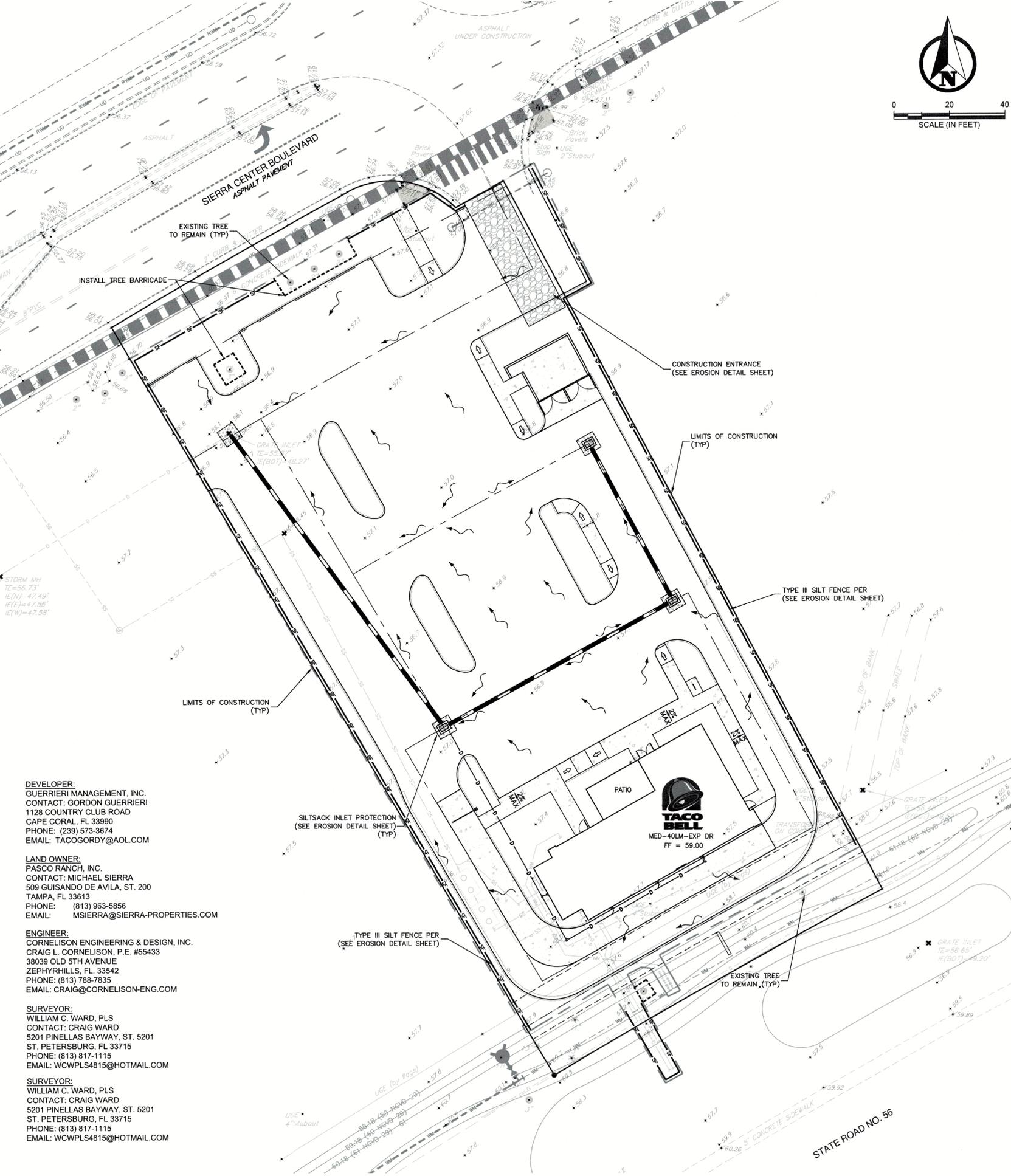
CALL 48 HOURS BEFORE YOU DIG  
**811**  
 IT'S THE LAW! DIAL 811  
 Know what's below. Call before you dig.  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of any improper reliance on this document without written authorization and adaptation by Cornelison Engineering & Design, Inc. and shall be without liability to Cornelison Engineering & Design, Inc.





Drawing name: \\CEDSERVER\Shared Folders\Project\1204010 - TB SR 56 - Wesley Chapel\Cadd Construction\C07-TB WESLEY CHAPEL - EROSION PLAN.dwg C07 Aug 15, 2016 1:20pm by: CraigCornelison



**DEVELOPER:**  
GUERRIERI MANAGEMENT, INC.  
CONTACT: GORDON GUERRIERI  
1128 COUNTRY CLUB ROAD  
CAPE CORAL, FL 33990  
PHONE: (239) 573-3874  
EMAIL: TACOGORDY@AOL.COM

**LAND OWNER:**  
PASCO RANCH, INC.  
CONTACT: MICHAEL SIERRA  
509 GUISSANDO DE AVILA, ST. 200  
TAMPA, FL 33613  
PHONE: (813) 963-5856  
EMAIL: MSIERRA@SIERRA-PROPERTIES.COM

**ENGINEER:**  
CORNELISON ENGINEERING & DESIGN, INC.  
CRAIG L. CORNELISON, P.E. #55433  
38039 OLD 5TH AVENUE  
ZEPHYRHILLS, FL 33542  
PHONE: (813) 788-7835  
EMAIL: CRAIG@CORNELISON-ENG.COM

**SURVEYOR:**  
WILLIAM C. WARD, PLS  
CONTACT: CRAIG WARD  
5201 PINELLAS BAYWAY, ST. 5201  
ST. PETERSBURG, FL 33715  
PHONE: (813) 817-1115  
EMAIL: WCWPLS4815@HOTMAIL.COM

**SURVEYOR:**  
WILLIAM C. WARD, PLS  
CONTACT: CRAIG WARD  
5201 PINELLAS BAYWAY, ST. 5201  
ST. PETERSBURG, FL 33715  
PHONE: (813) 817-1115  
EMAIL: WCWPLS4815@HOTMAIL.COM



**CLEARING AND SITE PREPARATION NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF THE EROSION CONTROL DEVICES, AS SHOWN ON THE CONSTRUCTION PLANS. PRIOR TO ANY SITE CLEARING AND/OR DEMOLITION, REFER TO THE "EROSION CONTROL NOTES" SECTION CONTAINED HEREIN FOR ADDITIONAL REQUIREMENTS. NOT ALL NOTES MAY BE APPLICABLE.
2. PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN, AS INDICATED ON THE CONSTRUCTION PLANS, SHALL BE PROTECTED IN ACCORDANCE WITH LOCAL TREE ORDINANCES AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREE(S) SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND THE LOCAL AGENCY HAVING JURISDICTION OVER THESE ACTIVITIES.
3. THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. ALL DISTURBED AREAS MUST BE SEEDED, MULCHED, SODED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
4. THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING ACTIVITIES SHALL BE STOCKPILED TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY THE OWNER. REMAINING EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE, PROVIDED THE MATERIAL IS DEEMED SUITABLE BY THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO EITHER BE STOCKPILED ON-SITE, AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING ANY EXCESS MATERIAL FROM THE SITE.
5. ALL EXISTING DEBRIS (ABOVE OR BELOW GROUND), CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OFF-SITE BY THE CONTRACTOR, IN ACCORDANCE WITH APPLICABLE REGULATORY REQUIREMENTS.
6. THE CONTRACTOR IS TO PREPARE THE SITE IN ACCORDANCE WITH THE SOILS REPORT, COPIES OF WHICH ARE AVAILABLE THROUGH THE OWNER OR SOILS TESTING COMPANY DIRECTLY.
7. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY CONSTRUCTION FENCE AROUND ENTIRE PERIMETER OF PROPERTY. TYPE OF FENCE IS TO BE SUBMITTED BY CONTRACTOR TO ENGINEER FOR APPROVAL.
8. THE CONTRACTOR SHALL REMOVE ALL VEGETATION, SURPLUS SOIL, DEMOLITION RUBBLE, AND OTHER UNDESIRABLE MATERIALS. SUCH MATERIALS SHALL BE PROMPTLY HAULED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH GOVERNING LAWS AND CODES.

**EROSION AND SILTATION CONTROL:**

1. GENERAL: ALL EROSION AND SILTATION CONTROL METHODS SHALL BE IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION. DURING CONSTRUCTION, CLEARED AREAS SHALL BE COVERED BY MULCHES SUCH AS STRAW, HAY AND FILTER FABRIC. ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS OR HAY BALES. THESE SHALL BE MAINTAINED AND MODIFIED DURING THE CONSTRUCTION PROCESS TO MINIMIZE DOWNSTREAM SILTATION. WHEN CONSTRUCTION IS COMPLETED, DETENTION AREAS WILL BE RESHAPED, CLEANED OF SILT, MUD AND DEBRIS, AND RE-SODED TO PROPERLY DETAIN THE INTENDED STORM QUANTITIES.
2. PROTECTION AND STABILIZATION OF ON-SITE SOIL STOCKPILES: FILL MATERIAL STOCKPILES SHALL BE PROTECTED AT ALL TIMES BY ON-SITE DRAINAGE CONTROLS THAT PREVENT EROSION OF THE STOCKPILED MATERIAL. CONTROL OF DUST FROM SUCH STOCKPILES MAY BE REQUIRED, DEPENDING UPON THEIR LOCATION AND THE EXPECTED LENGTH OF TIME THE STOCKPILES WILL BE PRESENT. IN NO CASE SHALL ANY UNSTOCKPILED MATERIAL REMAIN MORE THAN THIRTY (30) CALENDAR DAYS AFTER SUBSTANTIAL PROJECT COMPLETION.
3. PROTECTION OF EXISTING STORM SEWER SYSTEMS: DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SECURED HAY BALES, SOD, STONE, ETC., WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS, AND WHICH MUST BE APPROVED BY THE ENGINEER BEFORE INSTALLATION.
4. SEDIMENT BASINS AND SEDIMENT TRAPPING MEASURES: PERIMETER BERMS, SEDIMENT BARRIERS, VEGETATIVE BUFFERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT AND/OR PREVENT THE TRANSPORT OF SEDIMENT ONTO ADJACENT PROPERTIES, OR INTO EXISTING BODIES OF WATER, MUST BE INSTALLED, CONSTRUCTED OR, IN THE CASE OF VEGETATIVE BUFFERS, PROTECTED FROM DISTURBANCE, AS A FIRST STEP IN THE LAND ALTERATION PROCESS. SUCH SYSTEMS SHALL BE FULLY OPERATIVE BEFORE ANY OTHER DISTURBANCE OF THE SITE BEGINS. EARTHEN STRUCTURES, INCLUDING BUT NOT LIMITED TO BERMS, EARTH FILTERS, DAMS OR DIKES SHALL BE STABILIZED AND PROTECTED FROM DRAINAGE DAMAGE OR EROSION WITHIN ONE WEEK OF INSTALLATION.
5. SWALES, DITCHES AND CHANNELS: CHANNELS LEADING FROM THE SITE SHALL BE SODED WITH ARIZONA BAHIA WITHIN THREE (3) DAYS OF EXCAVATION.
6. UNDERGROUND UTILITY CONSTRUCTION: UNDERGROUND UTILITY LINES AND OTHER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
  - A. NO MORE THAN 500 LINEAR FEET OF TRENCH SHALL BE OPEN AT ANY ONE TIME.
  - B. EXCAVATED MATERIAL SHALL BE CAST TO THE UPHILL SIDE OF TRENCHES AS LONG AS SAFETY AND SPACE CONSIDERATION ALLOW. TRENCH MATERIAL SHALL NOT BE CAST INTO, (OR ONTO THE SLOPE OF) ANY STREAM, CHANNEL, ROAD, DITCH OR WATERWAY.
7. ALL EROSION AND SILTATION CONTROL DEVICES: SHALL BE REGULARLY INSPECTED AND MAINTAINED, (ESPECIALLY AFTER EACH RAINFALL) AND WILL BE CLEANED OUT AND/OR REPAIRED AS REQUIRED.
8. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO RAIN SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE STORMWATER SYSTEM.
9. APPLICATION RATES AND METHODS FOR USE OF FERTILIZERS AND PESTICIDES AT THE CONSTRUCTION SITE SHALL CONFORM WITH ALL LOCAL AND STATE ORDINANCES. NUTRIENTS SHALL BE APPLIED ONLY AT RATES NECESSARY TO ESTABLISH AND MAINTAIN VEGETATION SUCH THAT DISCHARGES WILL NOT CAUSE OR CONTRIBUTE TO VIOLATIONS OF STATE SURFACE OR GROUNDWATER QUALITY STANDARDS.
10. OFF-SITE VEHICLE TRACKING OF SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED BY CONTRACTOR.

**DEWATERING NOTES:**

1. DURING THE EXCAVATION OF THE STORMWATER PONDS, THE CONTRACTOR MUST CONSTRUCT A SEDIMENT BASIN TO PROVIDE A DISCHARGE POINT FOR DEWATERING. THE SEDIMENT BASIN CAN BE A CELL IN THE PROPOSED EXCAVATION AREA OF A POND OR IT CAN BE A BERMED AREA ABOVE GROUND. ALL DEWATERING MUST BE HELD IN THE SEDIMENT AREA UNTIL THE WATER IS CLEAN SUCH THAT THERE WOULD BE NO TURBID DISCHARGE.
2. DURING EXCAVATION THE CONTRACTOR SHALL NOT PENETRATE THE EXISTING CLAY LAYER IF PRESENT. IF THE CONTRACTOR ENCOUNTERS THE CLAY LAYER, HE/SHE IS TO PLACE A MINIMUM OF 2 FEET OF SANDY MATERIAL OVER THE CLAY AND TERMINATE THE DEPTH OF THE EXCAVATION.
3. IF CONTRACTOR ENCOUNTERS SILTY/CLAY SAND, WHICH CAUSE THE WATER TO BECOME TURBID, HE/SHE SHALL TREAT THE SEDIMENT BASIN WITH A CHEMICAL ADDITIVE SUCH AS ALUM IN ORDER TO PROMOTE THE COAGULATION AND SETTLEMENT OF THE PARTICLES FOR THE WATER TO BECOME LESS TURBID. IF TURBID WATER IS ENCOUNTERED DURING EXCAVATION OF THE PONDS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY TO DETERMINE THE COURSE OF ACTION THAT IS APPROPRIATE TO ELIMINATE THE TURBIDITY AND ALLOW DISCHARGE THAT MEETS WATER QUALITY STANDARDS.
4. THE CONTRACTOR SHALL SEQUENCE THE EXCAVATION OF THE STORMWATER PONDS SUCH THAT A SEDIMENT BASIN WILL BE AVAILABLE AT ALL TIMES. THE SEDIMENT BASIN CAN BE RELOCATED AS NECESSARY TO ENSURE THE WATER WITHIN THE SEDIMENT BASIN BECOMES NON-TURBID AND ACCEPTABLE FOR DISCHARGE OFF-SITE.

**BEST MANAGEMENT PRACTICES:**

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH APPROPRIATE CONDITIONS OF LOCAL, STATE, AND FEDERAL REGULATIONS. THE PLAN ADDRESSES THE FOLLOWING AREAS:

1. GENERAL EROSION CONTROL
2. PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION.
3. CONTROL OF WIND EROSION.

THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMP(S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FDOT INDEX #102 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION.

**DEMOLITION NOTES (IF NECESSARY):**

1. CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
2. EXTENT OF SITE CLEARING IS SHOWN ON DRAWINGS.
3. SITE DEMOLITION WORK INCLUDES, BUT IS NOT LIMITED TO:
  - A) ROADWAY
  - B) DRAINAGE AREA
  - C) SITE UTILITIES

- D) LANDSCAPING
4. CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
5. PROVIDE PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS INDICATED ON PLAN AS "EXISTING TO REMAIN."
6. RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
7. REMOVE WASTE MATERIALS AND EXCESS TOPSOIL FROM PROPERTY AND DISPOSE OF OFF-SITE IN A LEGAL MANNER.
8. LOCATE EXISTING ABOVE-GROUND AND UNDERGROUND UTILITIES IN AREAS OF WORK. UTILITIES ARE TO REMAIN IN PLACE. PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING DEMOLITION OPERATION.
9. SHOULD UNCHARTED, OR INCORRECTLY CHARTED, PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING DEMOLITION, CONSULT PROJECT ENGINEER AND UTILITY OWNER FOR IMMEDIATE ACTION.
10. DEMOLISH AND COMPLETELY REMOVE FROM SITE MATERIAL INDICATED ON PLAN OR NOTES "TO BE REMOVED."
11. PROTECT: STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, OTHER FACILITIES FROM DAMAGE CAUSED BY: SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, OTHER HAZARDS CREATED BY THE DEMOLITION OPERATION.
12. FOR SELECTIVE CLEARING REFER TO LANDSCAPE PLAN.
13. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EXISTING CONDITIONS, OR BETTER. FURTHERMORE, CONTRACTOR SHALL PROVIDE TO THE ENGINEER A PHOTOGRAPH OF PRE-CONSTRUCTION CONDITIONS AND POST-CONSTRUCTION CONDITIONS AS NOTED ON PLANS.
14. CONTRACTOR SHALL MAINTAIN STORMWATER MANAGEMENT SYSTEM TO INSURE NO DAMAGE TO ADJACENT PROPERTIES OCCURS DURING 100-YEAR STORM EVENTS.

**GENERAL NOTES:**

1. SITE DEVELOPER TO PROVIDE GRADING TO 0.1 FT PRIOR TO PAVING.
2. ONCE SITE IS CLEARED, EROSION CONTROL MEASURES (I.E., SEED AND MULCH) WILL BE IMPLEMENTED IN ACCORDANCE WITH THIS PLAN.
3. ALL ROADWAYS SHALL BE MAINTAINED/SWEPT DAILY TO REMOVE ANY DIRT TRANSPORTED ONTO THE EXISTING PAVED ROADWAYS.

**SECTION 1 GENERAL EROSION CONTROL:**

- 1.1 GENERAL EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND POTENTIAL POND SLOPE FAILURES. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION ACTIVITIES.
- 1.2 CLEARED AREAS NOT CONTINUALLY USED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY AND/OR OVER SEEDED AND SUFFICIENTLY WATERED TO STABILIZE THE TEMPORARY GROUND COVER.
- 1.3 BANKS OF RETENTION/DETENTION PONDS SHALL NOT BE CONSTRUCTED STEEPER THAN 4H:1V FROM TOP OF BANK TO TWO FEET BELOW THE CONTROL ELEVATION.
- 1.4 NOT 11-FOOT WIDE SOD SHALL BE PLACED ALONG ALL CURBING AND AROUND ALL INLETS. SOD SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED.
- 1.5 THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOD, OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING COMPLETION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER REGARDING THE TYPE OF MATERIAL, LANDSCAPING AND IRRIGATION REQUIREMENTS.

**SECTION 2 PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION:**

- 2.1 SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BEST MANAGEMENT PRACTICES IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.
- 2.2 WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES.
- 2.3 EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY, WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:
  - A. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
  - B. STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION AS INDICATED. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SOODING AROUND INLETS IS COMPLETED.
- 2.4 HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DIKES, HAY BALES OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN SUCH AREAS TO CONTAIN SPILLS OF OIL, GREASE OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND USE ABSORBENT FILTER PADS TO CLEAN UP SPILLS AS SOON AS POSSIBLE, AFTER OCCURRENCE.
- 2.5 SILT BARRIERS: ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.
- 2.6 PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE BY INSTALLING A TEMPORARY SEDIMENT SUMP AS REQUIRED. THE TEMPORARY SEDIMENT SUMP SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED ON THE GROUND DRAINING TO THE SUMP.

**SECTION 3 CONTROL OF WIND EROSION:**

- 3.1 WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE:
  - A. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.
  - B. AS SOON AS PRACTICAL AFTER COMPLETION OF CONSTRUCTION, BARE EARTH AREAS SHALL BE VEGETATED.
  - C. ANY TIME DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION IS NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR THE TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS MAY INCLUDE ERECTION OF DUST CONTROL FENCES.

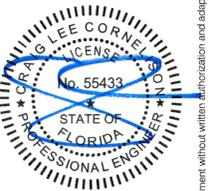
EROSION CONTROL MEASURES SHOWN HEREIN ARE THE RECOMMENDED MINIMUM EROSION CONTROL MEASURES. CONTRACTOR IS RESPONSIBLE TO IMPLEMENT ALL EROSION CONTROL MEASURES AND TO MODIFY AS NECESSARY TO ENSURE COMPLIANCE WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES).

**LEGEND**

- PROPOSED STORM PIPE
- WATER FLOW
- EXISTING STORM INLET
- PROPOSED STORM INLET
- PROPOSED SILT FENCE
- PROPOSED INLET PROTECTION
- CONSTRUCTION ENTRANCE

AREA OF DISTURBANCE = 0.94 ACRES

**CORNELISON ENGINEERING & DESIGN, INC.**  
**CED**  
© 2016 CORNELISON ENGINEERING & DESIGN, INC.  
38039 OLD 5TH AVENUE, ZEPHYRHILLS, FL 33542  
TEL: 813-788-7835  
WWW.CORNELISON-ENG.COM  
CERTIFICATE OF AUTHORIZATION 28928



8-15-16  
CRAIG L. CORNELISON, P.E.  
FLORIDA LICENSE NUMBER: P55433

REVISIONS:

| NO. | DESCRIPTION |
|-----|-------------|
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |
|     |             |

CONTRACT DATE: \_\_\_\_\_  
BUILDING TYPE: MED-40LM EXP DR  
PLAN VERSION: \_\_\_\_\_  
SITE NUMBER: \_\_\_\_\_  
STORE NUMBER: \_\_\_\_\_

**TACO BELL**  
STATE ROAD 56  
LUTZ, FLORIDA 33559



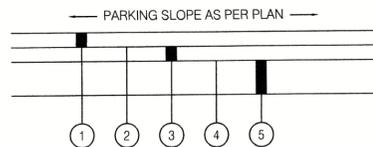
**LIVE MAS**  
MED-40 EXP DR  
**EROSION CONTROL PLAN**

**C07**





Drawing name: \\CEDSERVER\Shared\Folders\Project\1204010 - TB SR 56 - Wesley Chapel\Cadd\Construction\C10-TB WESLEY CHAPEL - CONSTR DETAILS.dwg C10 Aug 15, 2016 1:23pm by: CraigCornelison

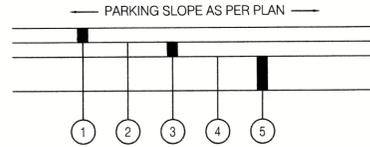


- ① 2" TYPE S ASPHALT
- ② TACK COAT
- ③ 8" LIMEROCK (LBR = 100) COMPACTED TO 98 PERCENT OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557).
- ④ PROOFROLL SUBGRADE (PER SOILS REPORT)
- ⑤ 12" STABILIZED SUBGRADE (LBR=40) COMPACTED TO 95 PERCENT OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557).

### HEAVY DUTY ASPHALT PAVING DETAIL

NOTE: THIS DETAIL TO BE UTILIZED IN AREAS OUTSIDE OF PARKING SPACES.

SEE SOILS REPORT FOR PAVEMENT DESIGN INFORMATION

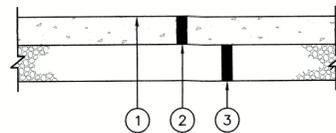


- ① 1.5" TYPE S ASPHALT
- ② TACK COAT
- ③ 6" LIMEROCK (LBR = 100) COMPACTED TO 98 PERCENT OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557).
- ④ PROOFROLL SUBGRADE (PER SOILS REPORT)
- ⑤ 12" STABILIZED SUBGRADE (LBR=40) COMPACTED TO 95 PERCENT OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557).

### LIGHT DUTY ASPHALT PAVING DETAIL

NOTE: THIS DETAIL TO BE UTILIZED IN CAR PARKING SPACES ONLY.

SEE SOILS REPORT FOR PAVEMENT DESIGN INFORMATION

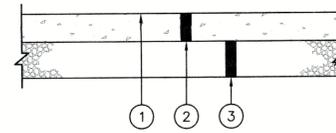


- ① MEDIUM BROOM FINISH
- ② 8" CONCRETE PAVEMENT, 28 DAY MIN COMPRESSION STRENGTH OF 4,000 PSI FIBER REINFORCED
- ③ 12" SUB-GRADE, LBR=40, COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR PROCEDURE (ASTM D1557) (SECTIONS 160 & 914).

### HEAVY DUTY CONCRETE PAVEMENT DETAIL NTS

NOTE: THIS DETAIL TO BE UTILIZED IN AREAS SUBJECT TO HIGH WHEEL LOADS INCLUDING ENTRANCE DRIVES AND DUMPSTER APPROACH.

SEE SOILS REPORT FOR PAVEMENT DESIGN INFORMATION



- ① MEDIUM BROOM FINISH
- ② 6" CONCRETE PAVEMENT, 28 DAY MIN COMPRESSION STRENGTH OF 4,000 PSI FIBER REINFORCED
- ③ 12" SUB-GRADE, LBR=40, COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR PROCEDURE (ASTM D1557) (SECTIONS 160 & 914).

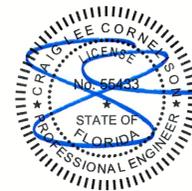
### LIGHT DUTY CONCRETE PAVEMENT DETAIL NTS

NOTE: THIS DETAIL TO BE UTILIZED IN DRIVE THRU LANES AND ALL OTHER AREAS NOT SUBJECT TO HIGH WHEEL LOADS.

SEE SOILS REPORT FOR PAVEMENT DESIGN INFORMATION

#### TYPICAL NOTES:

1. RECORD DRAWINGS AND CERTIFICATION OF COMPLETION SHALL BE SUBMITTED, SIGNED, SEALED AND DATED BY THE ENGINEER OF RECORD. THE DRAWINGS SHALL INDICATE ANY DEPARTURES FROM THE APPROVAL FROM THE APPROVED PLANS DURING CONSTRUCTION SHALL BE SUPPLIED BY THE CONTRACTOR. ASBUILT DRAWINGS SHALL BE CERTIFIED BY A FLORIDA LICENSED SURVEYOR.
2. THE HIGHEST GROUNDWATER WITHIN THE ROADWAY SHALL BE AT LEAST 1.5 FEET BELOW THE LIMEROCK BASE.
3. GOVERNING SPECIFICATIONS: STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION DESIGN STANDARD SPECIFICATIONS, LAST EDITION.
4. CONSTRUCTION DETAILS SHALL BE IN ACCORDANCE WITH STATE OF FLORIDA, DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS, LAST EDITION.
5. ANY NGVD-'29 MONUMENT WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF IN DANGER OF DAMAGE, THE CONTRACTOR SHALL NOTIFY: GEODETIC INFORMATION CENTER ATTN: MARK MAINTENANCE SECTION N/CG-162 6001 EXECUTIVE BOULEVARD ROCKVILLE, MARYLAND 20852 TELEPHONE NO. 301/443-8319
6. THE LOCATION OF THE EXISTING UTILITIES SHOWN IN THE PLANS ARE APPROX. ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF "OTHER" UTILITIES (NOT SHOWN IN THE PLANS) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE UTILITY CONFLICTS, THE CONTRACTOR SHALL INFORM THE RESPECTIVE UTILITY OWNERS TO RESOLVE UTILITY CONFLICTS AND ADJUSTMENTS, AS REQUIRED.
7. THE APPROPRIATE UTILITY COMPANY SHALL BE NOTIFIED BY THE CONTRACTOR 48 HOURS IN ADVANCE OF ANY EXCAVATION INVOLVING THEIR UTILITIES SO THAT A COMPANY REPRESENTATIVE CAN BE PRESENT.
8. THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS WHERE OVERHEAD TRANSMISSION LINES OR UNDERGROUND UTILITIES.
9. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE.
10. THE CONTRACTOR SHALL CALL SUNSHINE STATE ONE CALL OF FLORIDA (811) FOR FIELD LOCATIONS 48 HOURS BEFORE DIGGING NEAR UNDERGROUND UTILITIES.
11. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, THE CONTRACTOR SHALL COMPLY W/ FLA. STATUTE 553.851 FOR THE PROTECTION OF UNDERGROUND GAS PIPELINES.
12. DESIGN ELEVATIONS ARE BASED ON THE SURVEY PREPARED BY OTHERS.
13. BACKFILL FOR ALL UTILITY AND STORM LINES AND AROUND STRUCTURES SHALL BE COMPACTED WITH NO LESS THAN 95% DENSITY. A COPY OF TEST REPORT SHALL BE SUBMITTED TO THE COUNTY ENGINEER.
14. APPURTENANCES FOR STORM SEWER, SANITARY SEWER, WATER AND OTHER UTILITY SYSTEM, SUCH AS MANHOLE COVERS, VALVE BOX COVER, ETC., WHICH ARE LOCATED WITHIN AN EXISTING OR PROPOSED PAVEMENT SUCH AS A ROADWAY OR SIDEWALK, SHALL BE AT GRADE WITH THE FINAL PAVEMENT. ACCEPTABLE TOLERANCE IS 3/8 INCH. A DEFICIENCY IN ASPHALT ROADWAY SHALL BE CORRECTED EITHER BY ADJUSTING THE APPURTENANCE OR THE PLACEMENT OF ASPHALT FOR A LENGTH EXTENDING FROM THE APPURTENANCE AT A SLOPE OF 50:1.



8-15-16  
CRAIG L. CORNELISON, P.E.  
FLORIDA LICENSE NUMBER:  
PE56433

REVISIONS:

|  |  |
|--|--|
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |

CONTRACT DATE:  
BUILDING TYPE: MED-40LM EXP DR  
PLAN VERSION:  
SITE NUMBER:  
STORE NUMBER:

TACO BELL

STATE ROAD 56  
LUTZ, FLORIDA 33559



LIVE MAS  
MED-40 EXP DR

CONSTRUCTION  
DETAILS

C10

PLOT DATE: 8-15-16

**CORNELISON ENGINEERING & DESIGN, INC.**  
**CED**  
2016, CORNELISON ENGINEERING & DESIGN, INC.  
38039 OLD 5TH AVENUE, ZEPHYRHILLS, FL 33542  
TEL: 813-788-7835 FAX: 813-788-7062  
WWW.CORNELISON-ENG.COM  
CERTIFICATE OF AUTHORIZATION 28928

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Cornelison Engineering & Design, Inc. and shall be without liability to Cornelison Engineering & Design, Inc.

Drawing name: \\CEDSERVER\Shared Folders\Project\1204010 - TB SR 56 - Wesley Chapel\Cadd\Construction\C11-TB MESLEY CHAPEL - UTILITY DETAILS.dwg C11 Aug 15, 2016 1:24pm by: CraigCornelison

| MATERIALS |       |   |
|-----------|-------|---|
| ITEM      | QUANT | DESCRIPTION   |
| 1         | 1     | BACKFLOW PREVENTER ASSEMBLY, REDUCED PRESSURE ZONE    |
| 2         | 2     | UNIONS - GALV.  |
| 3         | 2     | NIPPLES - BRASS                                       |
| 4         | 2     | ELBOWS - GALV. 90°                                    |
| 5         | 2     | RISE - GALV.  |
| 6         | *     | CONCRETE SLAB   |
| 7         | 2     | BALL VALVES - BRASS OR S.S. (PROVIDED WITH BFP ASS'Y) |

NOTE: - FIELD ADJUST AND CUT ITEM 5 TO THE PROPER LENGTH.  
 - MINIMUM CLEARANCE OF 24" TO BE MAINTAINED AROUND DEVICE FOR TESTING.  
 - ENTIRE ASSEMBLY TO BE PAINTED SAFETY BLUE.  
 - CONCRETE SLAB TO EXTEND 12" MIN. AROUND ENTIRE DEVICE.  
 - DEVICE MUST BE LISTED WITH THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH.

|         |          |  |  |
|---------|----------|--|--|
| CREATED | 02/24/03 | REDUCED PRESSURE BACKFLOW PREVENTER (SINGLE SERVICE: 3/4", 1", 1-1/2", 2") | PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL. |
| REVISED |          |  |  |
|         |          | PASCO COUNTY UTILITIES   | DETAIL 12  |

| MATERIALS |       |  |
|-----------|-------|--|
| ITEM      | QUANT | DESCRIPTION  |
| 1         | 1     | BOX VALVE CAST IRON SLIP TYPE  |
| 2         | *     | 4" & LARGER PIPE, PVC (DR-18) OR D.I.P. (CLASS 50)                     |
| 3         | 2     | 1 1/2", 2" CURB STOP BALL VALVE W/ LOCK WINGS (FIP x FIP OR FIP x CTS) |
| 4         | 3     | 1 1/2", 2" NIPPLE, BRASS OR STAINLESS STEEL                            |
| 5         | 1     | 1 1/2", 2" SADDLE, SERVICE (I.P. THREADS)                              |
| 6         | 2     | 1 1/2", 2" ADAPTER (PVC SCH 40 / SLIP x FPT OR BRASS MIP x CTS)        |
| 7         | 2     | 1 1/2", 2" 90° ELBOW (SLIP x SLIP) SCH 40 (NOT REQUIRED FOR HDPE)      |
| 8         | *     | 1 1/2", 2" PIPE, PVC (SCH 40) OR HDPE (3408) - LENGTH VARIES           |
| 9         | 1     | 1 1/2", 2" PLUG, THREADED (W/ TEFLON TAPE)                             |
| 10        | 1     | 2" x 4" P.T. MARKER STAKE  |
| 11        | 1     | 2" GATE VALVE, IRON BODY W/ SQUARE NUT                                 |
| 12        | 1     | VALVE EXTENSION ROD, AS REQUIRED (3" MAX. BELOW GRADE)                 |

NOTE: - A VALVE BOX SHALL BE REQUIRED ON ALL GATE VALVES.  
 - SERVICE SADDLES SHALL BE INSTALLED ON ALL TAPS TO P.V.C. (DR-18) WATER MAINS.  
 - 2" GATE VALVE TO BE RESILIENT WEDGE IRON BODY TYPE WITH 2" OPERATING UNIT.  
 - SADDLES 4" AND LARGER TO BE DUCTILE IRON DUAL STRAP TYPE.  
 - 1 1/2" BRASS REDUCER BUSHING REQUIRED WITH ITEM NO. 11 FOR 1 1/2" SERVICE.  
 - MARKER STAKES PAINTED SAFETY BLUE FOR WATER, PURPLE FOR REUSE.  
 - 4" DIAMETER CASING REQUIRED FOR ROAD CROSSINGS

|         |          |  |  |
|---------|----------|--|--|
| CREATED | 02/24/03 | WATER AND REUSE LATERAL SERVICE 1 1/2" OR 2" SERVICE LATERAL PVC (SCHEDULE 40) | PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL. |
| REVISED |          |  |  |
|         |          | PASCO COUNTY UTILITIES   | DETAIL 21  |

TREE CLEAR ZONE EXTENDS 7.5' TO EITHER SIDE OF PROPERTY LINE THAT IS PERPENDICULAR TO THE ROW LINE AND EXTENDS FROM THE EDGE OF ROADWAY PAVEMENT TO A DEPTH OF 5.0' BEYOND THE EDGE OF RIGHT-OF-WAY.

TREES AND SHRUBS MUST NOT BE PLANTED IN THE TREE CLEAR ZONE. TREE CLEAR ZONES ARE ESTABLISHED TO PROTECT WATER SERVICE LINES AND SEWER LATERALS FROM DAMAGE CAUSED BY GROWTH OF ROOT SYSTEMS.

|         |          |   |  |
|---------|----------|---|--|
| CREATED | 02/15/06 | METER INSTALLATION/SEWER LATERAL TREE CLEAR ZONE - RESIDENTIAL DEVELOPMENTS | PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL. |
| REVISED |          |   |  |
|         |          | PASCO COUNTY UTILITIES  | DETAIL 22  |

| MATERIALS |       |  |
|-----------|-------|--|
| ITEM      | QUANT | DESCRIPTION  |
| 1         | 1     | BOX VALVE CAST IRON SLIP TYPE  |
| 2         | *     | 4" & LARGER PIPE, PVC (DR-18) OR D.I.P. (CLASS 50)                     |
| 3         | 2     | 1 1/2", 2" CURB STOP BALL VALVE W/ LOCK WINGS (FIP x FIP OR FIP x CTS) |
| 4         | 3     | 1 1/2", 2" NIPPLE, BRASS OR STAINLESS STEEL                            |
| 5         | 1     | 1 1/2", 2" SADDLE, SERVICE (I.P. THREADS)                              |
| 6         | 2     | 1 1/2", 2" ADAPTER (PVC SCH 40 / SLIP x FPT OR BRASS MIP x CTS)        |
| 7         | 2     | 1 1/2", 2" 90° ELBOW (SLIP x SLIP) SCH 40 (NOT REQUIRED FOR HDPE)      |
| 8         | *     | 1 1/2", 2" PIPE, PVC (SCH 40) OR HDPE (3408) - LENGTH VARIES           |
| 9         | 1     | 1 1/2", 2" PLUG, THREADED (W/ TEFLON TAPE)                             |
| 10        | 1     | 2" x 4" P.T. MARKER STAKE  |
| 11        | 1     | 2" GATE VALVE, IRON BODY W/ SQUARE NUT                                 |
| 12        | 1     | VALVE EXTENSION ROD, AS REQUIRED (3" MAX. BELOW GRADE)                 |

NOTE: - A VALVE BOX SHALL BE REQUIRED ON ALL GATE VALVES.  
 - SERVICE SADDLES SHALL BE INSTALLED ON ALL TAPS TO P.V.C. (DR-18) WATER MAINS.  
 - 2" GATE VALVE TO BE RESILIENT WEDGE IRON BODY TYPE WITH 2" OPERATING UNIT.  
 - SADDLES 4" AND LARGER TO BE DUCTILE IRON DUAL STRAP TYPE.  
 - 1 1/2" BRASS REDUCER BUSHING REQUIRED WITH ITEM NO. 11 FOR 1 1/2" SERVICE.  
 - MARKER STAKES PAINTED SAFETY BLUE FOR WATER, PURPLE FOR REUSE.  
 - 4" DIAMETER CASING REQUIRED FOR ROAD CROSSINGS

|         |          |  |  |
|---------|----------|--|--|
| CREATED | 02/24/03 | WATER AND REUSE LATERAL SERVICE 1 1/2" OR 2" SERVICE LATERAL PVC (SCHEDULE 40) | PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL. |
| REVISED |          |  |  |
|         |          | PASCO COUNTY UTILITIES   | DETAIL 21  |

TYPICAL CONCRETE VALVE PAD

VALVE BOX DETAIL

NOTE: OPERATING NUT TO BE WITHIN 12" OF GROUND LEVEL WHEN COVER EXCEEDS 4'-0" (TYP. ALL VALVES) WITH AN EXTENSION AND CENTERING DISK.

|         |          |                            |  |
|---------|----------|----------------------------|--|
| CREATED | 02/24/03 | VALVE BOX DETAIL SLIP TYPE | PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL. |
| REVISED |          |                            |  |
|         |          | PASCO COUNTY UTILITIES     | DETAIL 30  |

**CORNELISON ENGINEERING & DESIGN, INC.**  
**CED**  
 © 2016 CORNELISON ENGINEERING & DESIGN, INC.  
 38039 OLD 5TH AVENUE, ZEPHYRHILLS, FL 33542  
 TEL: 813-946-0000 FAX: 813-946-7062  
 CERTIFICATE OF AUTHORIZATION 28928

CRAIG L. CORNELISON  
 LICENSE No. 55433  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 8-15-16  
 CRAIG L. CORNELISON, P.E.  
 FLORIDA LICENSE NUMBER: PE55433

REVISIONS:

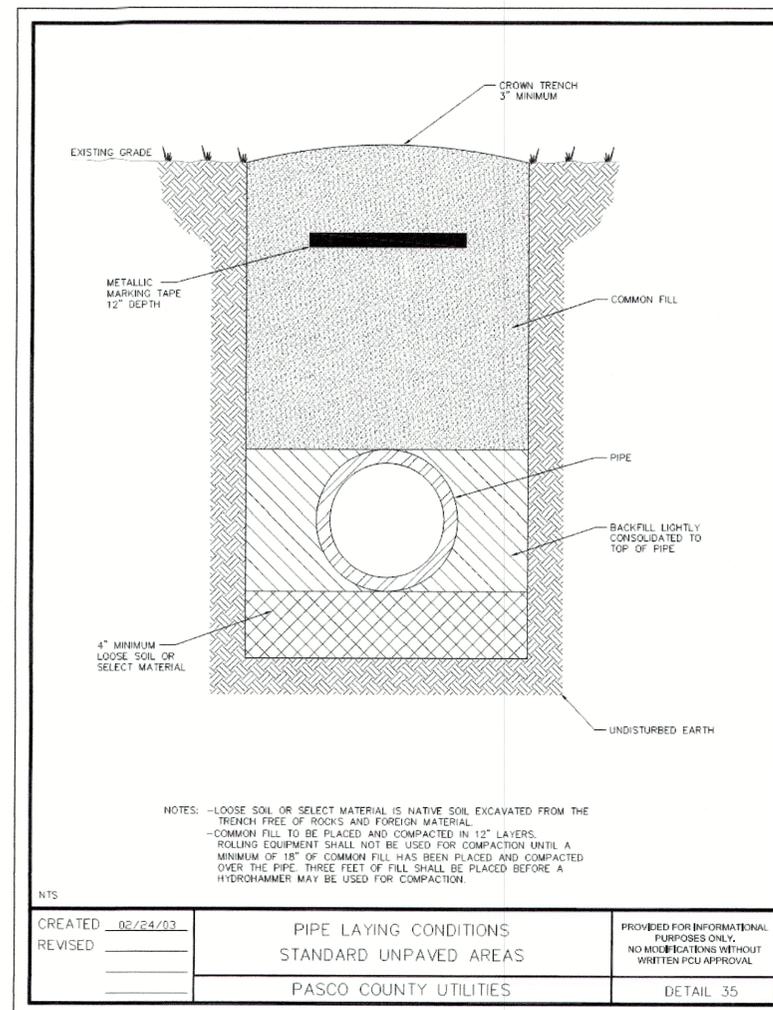
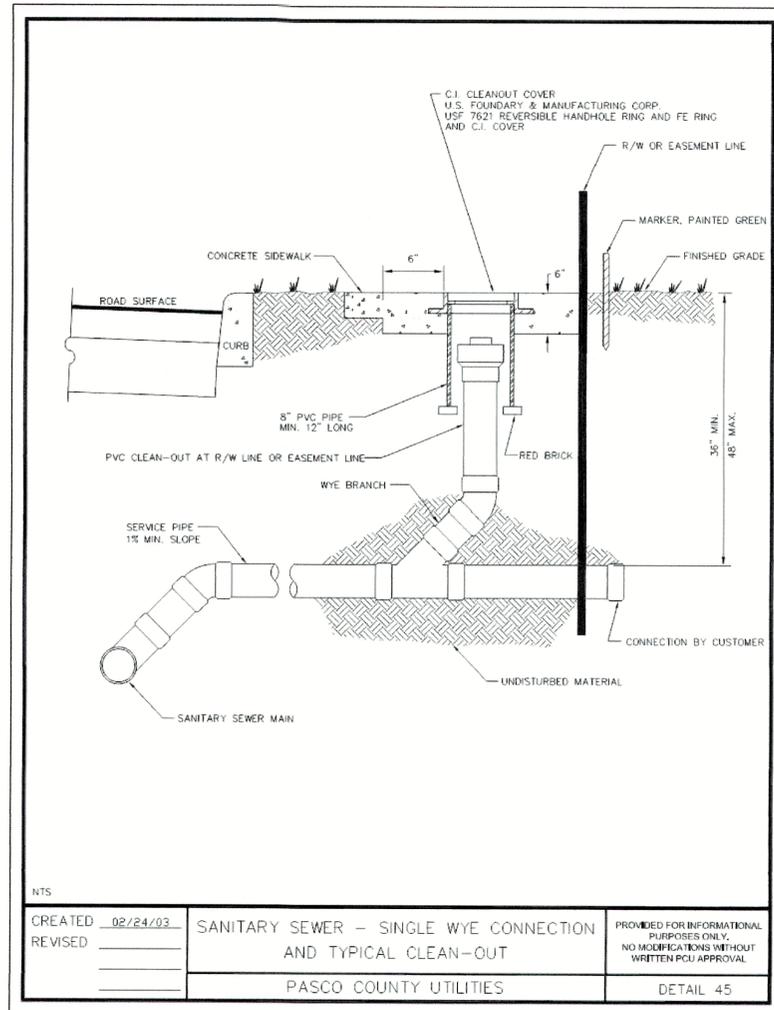
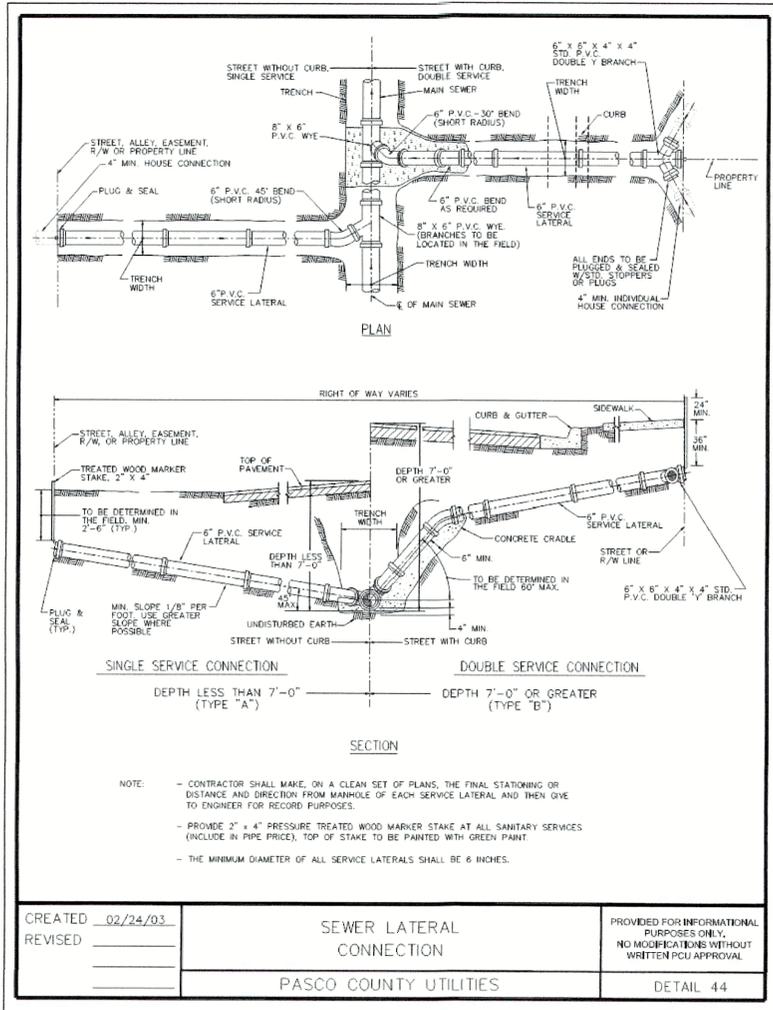
CONTRACT DATE:  
 BUILDING TYPE: MED-40LM EXP DR  
 PLAN VERSION:  
 SITE NUMBER:  
 STORE NUMBER:

TACO BELL  
 STATE ROAD 56  
 LUTZ, FLORIDA 33559

**TACO BELL**  
**LIVE MAS**  
 MED-40 EXP DR  
**UTILITY DETAILS**

C11  
 PLOT DATE: 8-15-16

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Cornelison Engineering & Design, Inc. and shall be without liability to Cornelison Engineering & Design, Inc.



**CORNELISON ENGINEERING & DESIGN, INC.**  
**CED**  
© 2016, CORNELISON ENGINEERING & DESIGN, INC.  
39039 OLD 5TH AVENUE, SEFFNER, FL 34517  
TEL: 813-788-7635 FAX: 813-788-7062  
WWW.CORNELISON-ENG.COM  
CERTIFICATE OF AUTHORIZATION 28928

CRAIG LEE CORNELISON  
No. 55433  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
8-15-16  
CRAIG L. CORNELISON, P.E.  
FLORIDA LICENSE NUMBER: PE55433

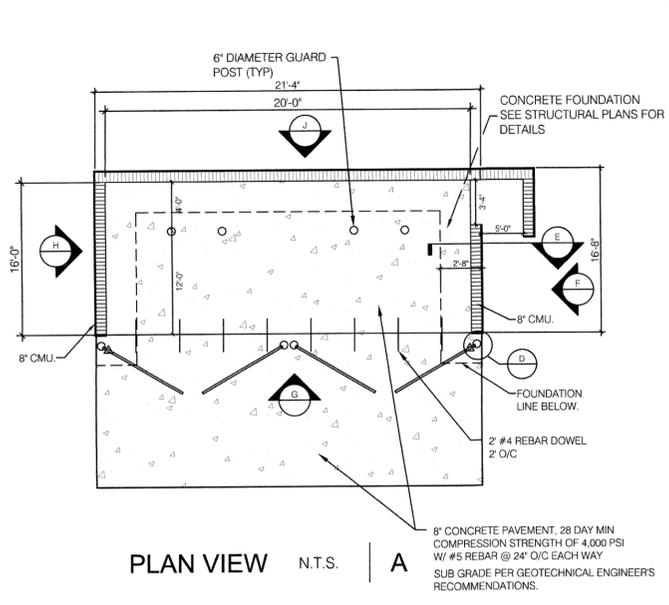
REVISIONS:

CONTRACT DATE:  
BUILDING TYPE: MED-40LM EXP DR  
PLAN VERSION:  
SITE NUMBER:  
STORE NUMBER:

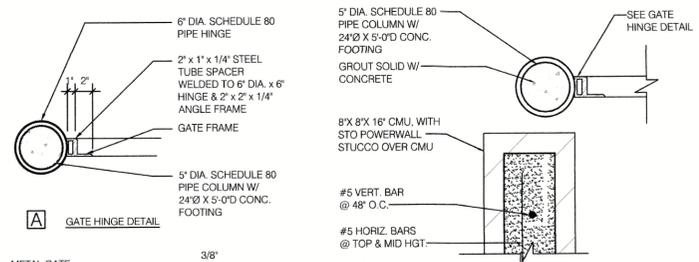
TACO BELL  
STATE ROAD 56  
LUTZ, FLORIDA 33559

**TACO BELL**  
LIVE MAS  
MED-40 EXP DR  
UTILITY  
DETAILS

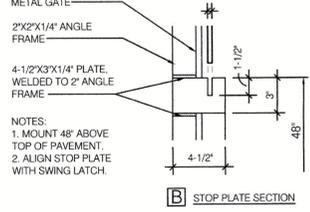
Drawing name: \\CEDSERVER\Shared\Folders\Project\1204010 - TB SR 56 - Wesley Chapel\Cadd\Construction\C13-TB WESLEY CHAPEL - TACO BELL DETAILS.dwg C13 Aug 15, 2016 1:26pm by: CraigCornelison



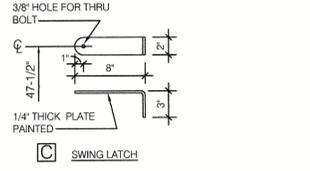
PLAN VIEW N.T.S. | A



A GATE HINGE DETAIL

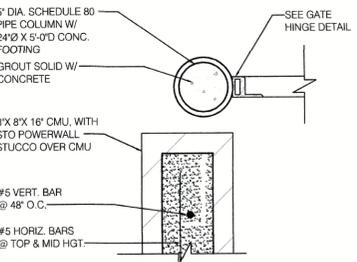


B STOP PLATE SECTION

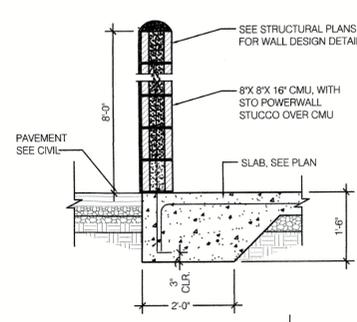


C SWING LATCH

GATE DETAILS N.T.S. | C

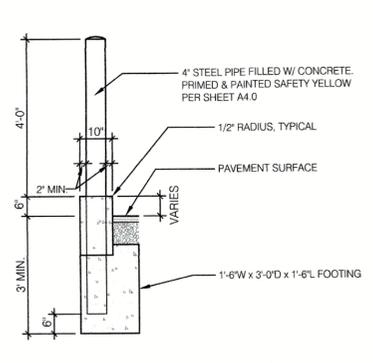


JAMB DETAIL N.T.S. | D

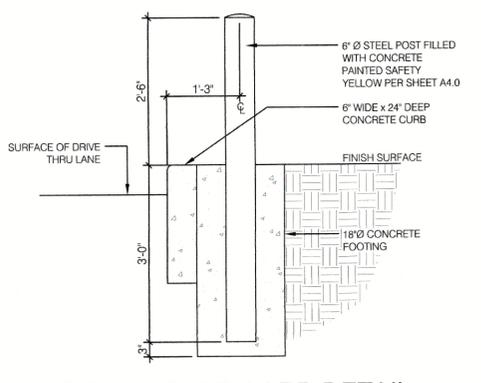


SECTION N.T.S. | E

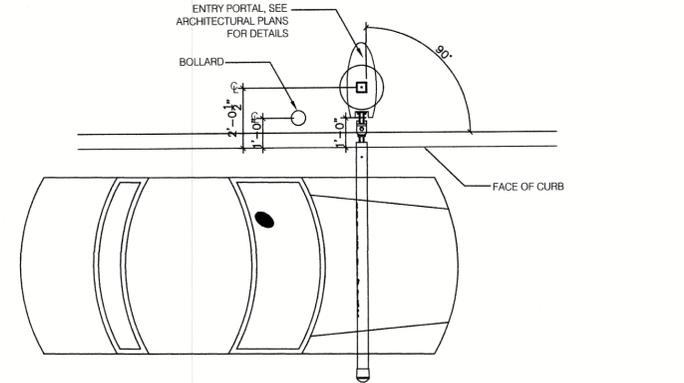
GUARDPOST BOLLARD DETAIL FOR USE WITHIN DUMPSTER ENCLOSURE N.T.S.



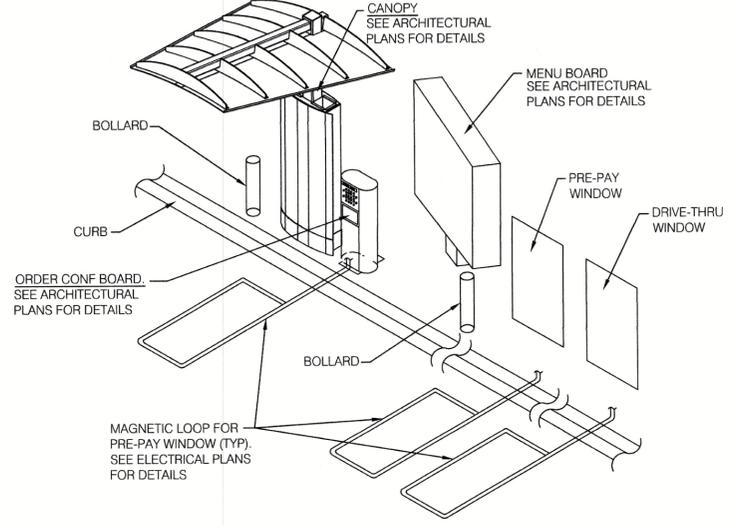
BOLLARD IN CURB N.T.S.



D/T EQUIP BOLLARD DETAIL N.T.S.

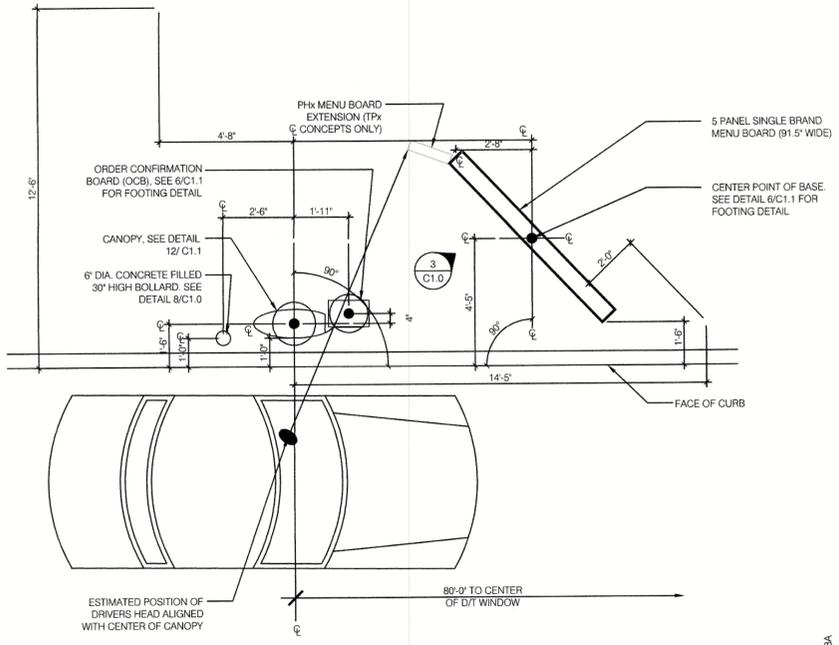


ENTRY PORTAL (CLEARANCE BAR) LOCATION DETAIL

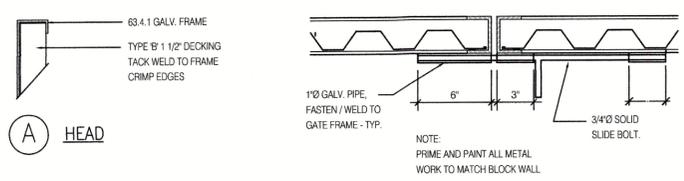


DRIVE THRU DETAILS

NOTE: EQUIPMENT SHOWN FOR REFERENCE ONLY. SEE ARCHITECTURAL, SIGNAGE AND ELECTRICAL PLANS FOR DETAILS.



DRIVE THRU DETAILS



A HEAD

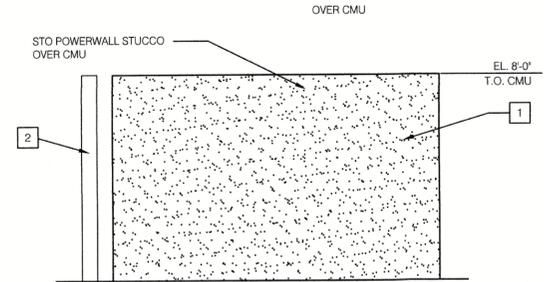


B LATCH

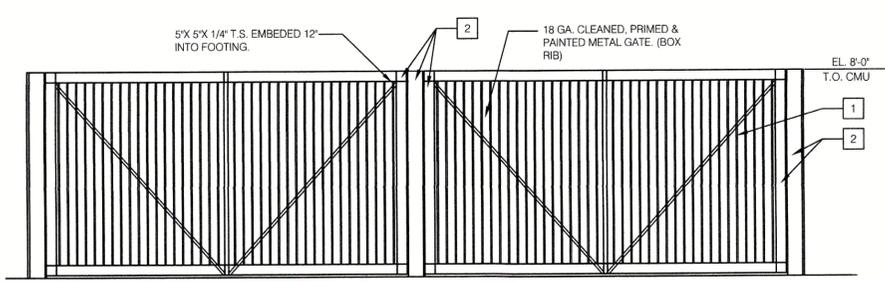
GATE DETAILS N.T.S. | B

**GATE HARDWARE:**  
 1. ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY GALVANIZED.  
 2. GATE STOP - MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.

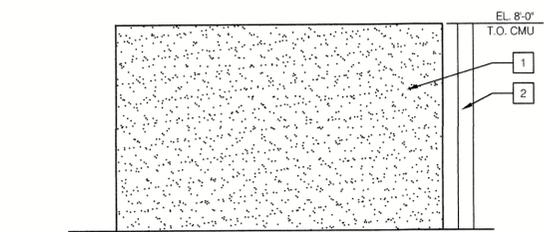
**GATE NOTES:**  
 (1) EQUAL 8'-0" HIGH MTL. GATES, TYPE 'B' 1 1/2" DECKING, 22GA. W/T.S. 5 X 5 X .1875 BAR CROSS BRACING WELD AND GRIND SMOOTH ALL CONNECTIONS, TYP. PRIME AND PAINT COLOR TO MATCH PLASTER.



ELEVATION N.T.S. | F



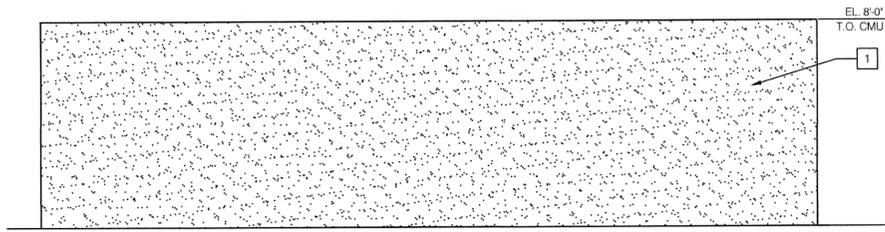
ELEVATION N.T.S. | G



ELEVATION N.T.S. | H

DUMPSTER DETAIL

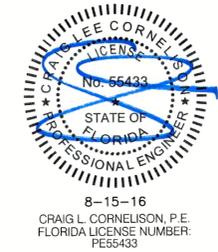
WALL TO BE DESIGNED BY OTHERS.  
**NOTES:**  
 1. DUMPSTERS SHALL BE WALLED WITH MATERIALS THAT ARE LIKE-KIND TO THE PRINCIPAL BUILDING(S) ON THE SITE.  
 2. DUMPSTERS SHALL BE ENCLOSED AND HAVE OPAQUE DOORS. THE DOORS SHALL REMAIN CLOSED AT ALL TIMES OTHER THAN DURING GARBAGE DISPOSAL OR COLLECTION.



ELEVATION N.T.S. | J

| SYMBOL | AREA                        | MANUFACTURER     | COLOR            | ALTERNATE MFR. | ALTERNATE COLOR |
|--------|-----------------------------|------------------|------------------|----------------|-----------------|
| 1      | TACO BELL MAIN WALL COLOR   | SHERWIN WILLIAMS | 6122 'CAMELBACK' |                |                 |
| 2      | TACO BELL ACCENT BAND COLOR | SHERWIN WILLIAMS | 6146 'UMBER'     |                |                 |

FINISHES N.T.S. | K



15046.020

REVISIONS:

|  |  |
|--|--|
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |
|  |  |

CONTRACT DATE:  
 BUILDING TYPE: LIVE MAS MED-40  
 PLAN VERSION: NOVEMBER 2015  
 SITE NUMBER: 311972  
 ENTITY NUMBER: 439467

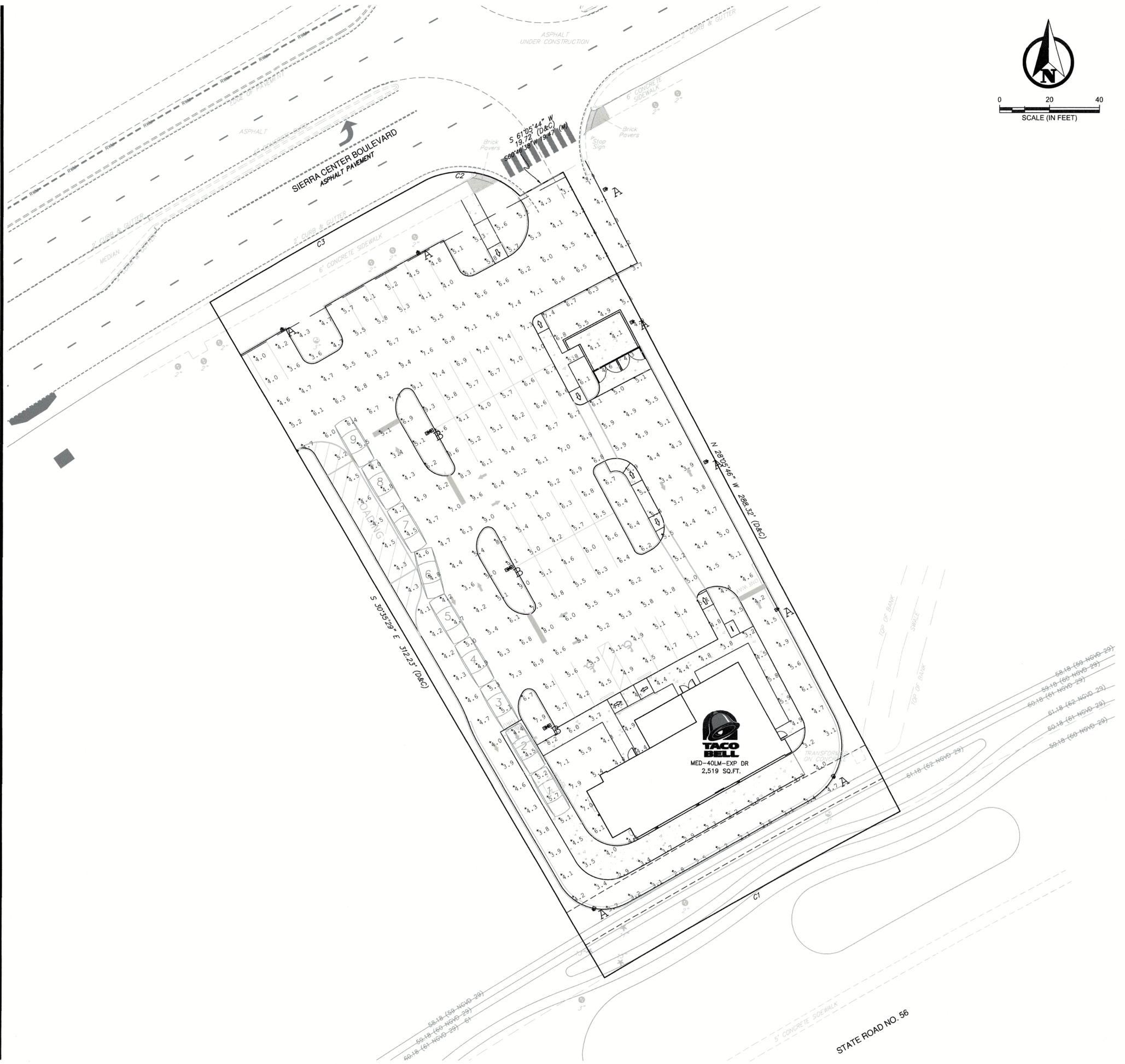
TACO BELL  
 9934 US HIGHWAY 441  
 LEESBURG, FL 34788



LIVE MAS MED-40  
 TACO BELL STANDARD DETAILS

C13  
 PLOT DATE: 8-15-16

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Cornelison Engineering & Design, Inc. and shall be without liability to Cornelison Engineering & Design, Inc.



StatArea\_1

Illuminance (Fc)  
 Average = 5.33  
 Maximum = 9.6  
 Minimum = 2.1  
 Avg/Min Ratio = 2.54  
 Max/Min Ratio = 4.57

MOUNTING HEIGHT 25'

| Luminaire Schedule |     |                      |
|--------------------|-----|----------------------|
| Symbol             | Qty | Description          |
| ☐                  | 8   | A XLCM-FTE-LED-HO-CW |
| ☐                  | 3   | B XLCM-FTE-LED-HO-CW |

**CORNELISON & DESIGN, INC.**  
**DESIGN, INC.**  
**CED**  
 © 2016 CORNELISON ENGINEERING & DESIGN, INC.  
 38039 OLD 5TH AVENUE, FLEMINGVILLE, TN 38542  
 TEL: 813-788-7835 FAX: 813-788-7062  
 WWW.CORNELISON-ENG.COM  
 CERTIFICATE OF AUTHORIZATION 28928



REVISIONS:

|  |  |  |
|--|--|--|
|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |
|  |  |  |

CONTRACT DATE:  
 BUILDING TYPE: MED-40LM EXP DR  
 PLAN VERSION:  
 SITE NUMBER:  
 STORE NUMBER:

**TACO BELL**  
 STATE ROAD 56  
 LUTZ, FLORIDA 33559



**PHOTOMETRIC PLAN**  
 C14