

PRELIMINARY SITE/ CONSTRUCTION PLANS

FOR

WESLEY CHAPEL

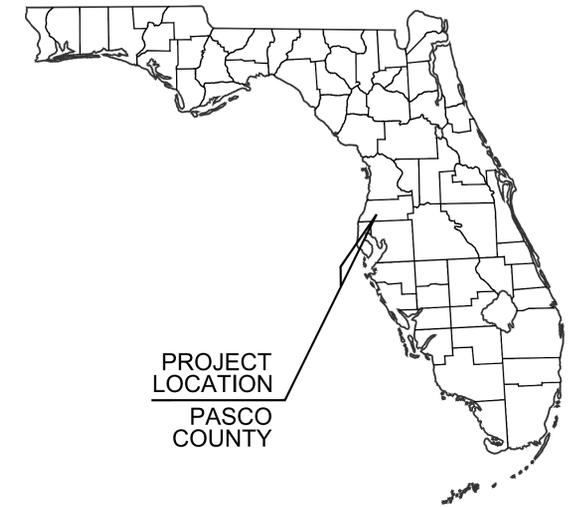
SEVENTH DAY ADVENTIST CHURCH

COMMUNITY SERVICES BUILDING

33420 STATE ROAD 54
PASCO COUNTY, FLORIDA

PARCEL ID NUMBER: 13-26-20-0110-00000-5380

AUGUST 2016

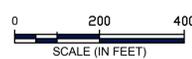


PROJECT LOCATION
PASCO COUNTY



PROJECT LOCATION

AERIAL



LEGAL DESCRIPTION:

(AS PROVIDED BY SURVEYOR):

DESCRIPTION (derived from Official Records Book 4753, Page 996, Official Records Book 3545, Page 1796, Official Records Book 8539, Page 3280 and Official Records Book 9252, Page 3098, all of the Public Records of Pasco County, Florida.)

A portion of the Northerly 68.00 feet of Tract 539, WILLIAMS NEW RIVER ACRES No. 5, unrecorded, being described as follows:

Commence at the Southwest corner of Section 13, Township 26 South, Range 20 East, Pasco County, Florida; thence N.89°56'41"E., along the South boundary of said section, 1927.83'; thence N.33°04'27"E., 710.93'; thence N.56°55'33"W., 318.93'; thence N.25°51'41"E., 63.74'; thence N.53°27'15"E., 170.34'; thence N.07°57'05"E., 329.06' for a POINT OF BEGINNING; thence continue N.07°57'05"E., 33.70'; thence S.82°02'55"E., 10.00'; thence N.07°57'05"E., 10.00'; thence N.82°02'55"W., 10.00'; thence N.07°57'05"E., 24.30' to the North boundary of said Tract 539; thence along said boundary S.82°02'55"E., 285.00'; thence S.07°57'05"W., 68.00'; thence N.89°02'55"W., 285.00' to the POINT OF BEGINNING.

AND

Tract 538 of an unrecorded subdivision, lying in the South 1/2 of Section 13, Township 26 South, Range 20 East, Pasco County, Florida, more particularly described as follows:

Begin at the Southwest corner of stated Section 13; thence N.89°56'47"E., along the South boundary of stated Section 13, a distance of 1927.83'; thence N.33°04'27"E., a distance of 1034.45 feet; thence N.07°57'05"E., a distance of 419.58 feet; thence N.82°02'55"W., a distance of 285.00 feet; thence N.07°57'05"E., a distance of 162.42 feet; thence S.82°02'55"E., a distance of 105.50 feet; thence S.71°53'51"E., a distance of 182.35 feet; thence S.07°57'05"W., a distance of 130.28 feet to the POINT OF BEGINNING;

LESS AND EXCEPT right-of-way as described as Parcel 171 Part "B" in Official Records Book 9252, Page 3098, of the Public Records of Pasco County, Florida, being more particular described as follows:

Commence at the South 1/4 corner of said Section 13; thence N.00°40'55"W., 1439.02 feet along the East line of the Southwest 1/4 of said Section 13 to the existing Southerly right-of-way line of State Road 54, as depicted on the Florida State Road Department Right of Way Map Section 1409-150; thence along said existing Southerly right-of-way line the following three (3) courses: (1) N.82°02'45"W., 47.26 feet; (2) S.07°57'15"W., 10.00 feet; (3) N.82°02'45"W., 239.50 feet to a point on the Northerly line of Tract 538 of said unrecorded plat of WILLIAMS NEW RIVER ACRES No. 5, said point also being the POINT OF BEGINNING; thence along said Northerly line of Tract 538 and the existing Southerly right-of-way of State Road 54, as described in Official Records Book 3545, Pages 1796 and 1798 and Official Records Book 4753, Page 996, Public Records of Pasco County, Florida, S.71°53'51"E., 56.75 feet; thence departing said Northerly line of Tract 538, N.82°02'45"W., 161.37 feet to a point on the Easterly right-of-way line of Lado Drive, as described in Official Records Book 639, Page 697, Public Records of Pasco County, Florida; thence along said Easterly right-of-way line for Lado Drive, N.07°57'15"E., 10.00 feet to a point on the existing Southerly right-of-way of State Road 54, as depicted on the Florida State Road Department Right of Way Map, Section 1409-150, said point also being the Northwest corner of said Tract 539; thence along said existing Southerly right-of-way line, S.82°02'45"E., 105.50 feet to the POINT OF BEGINNING.

AND

A portion of Tract 539, WILLIAMS NEW RIVER ACRES No. 5, unrecorded subdivision, being more particularly described as follows: Commence at the Southwest corner of Section 13, Township 26 South, Range 20 East, Pasco County, Florida; thence N.89°56'47"E., along the South line thereof, 1927.83 feet; thence N.33°04'27"E., 1034.45 feet; thence N.07°54'05"E., 257.16 feet for a POINT OF BEGINNING; thence N.82°02'55"W., 285.00 feet; thence N.07°57'05"E., 94.42 feet; thence S.82°02'55"E., 285.00 feet; thence S.07°57'05"W., 94.42 feet to the POINT OF BEGINNING; LESS AND EXCEPT Parcel 171 Part "A" described in Official Records Book 9252, Page 3098, of the Public Records of Pasco County, Florida, being more particularly described as follows: Commence at the South 1/4 corner of said Section 13; thence N.00°40'55"W., 1439.02 feet along the East line of the Southwest 1/4 of said Section 13 to the existing Southerly right-of-way line of State Road 54, as depicted on the Florida State Road Department Right of Way Map, Section 1409-150; thence along said existing Southerly right-of-way line the following three (3) courses: (1) N.82°02'45"W., 47.26 feet; (2) S.07°57'15"W., 10.00 feet; (3) N.82°02'45"W., 239.42 feet along the extension of the Easterly line of Tracts 538 and 539 of said WILLIAMS NEW RIVER ACRES No. 5 to the POINT OF BEGINNING; thence continue along the Easterly line of said Tract 539, S.07°57'15"W., 94.42 feet to the Northeast corner of Tract 540 of said WILLIAMS NEW RIVER ACRES No. 5; thence along the North line of said Tract 540, N.82°02'45"W., 285.00 feet to a point on the Easterly right-of-way line for Lado Drive, as described in Official Records Book 639, Page 697, Public Records of Pasco County, Florida, said point also being on the West line of said Tract 540; thence N.54°05'55"E., 136.28 feet; thence S.82°02'45"E., 186.73 feet to the POINT OF BEGINNING.

PROJECT TEAM

DEVELOPER:

GRIFFIN CONSTRUCTION
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LAND OWNER:

WESLEY CHAPEL SEVENTH DAY ADVENTIST CHURCH
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CIVIL ENGINEER:

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SURVEYOR:

D.C. JOHNSON & ASSOCIATES, INC.
CONTACT: DANIEL C. JOHNSON, RLS
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SAN ANTONIO, FL 33576
PHONE: (352) 588-2788

UTILITY PROVIDERS

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GAS:

TECO PEOPLES GAS
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PHONE:

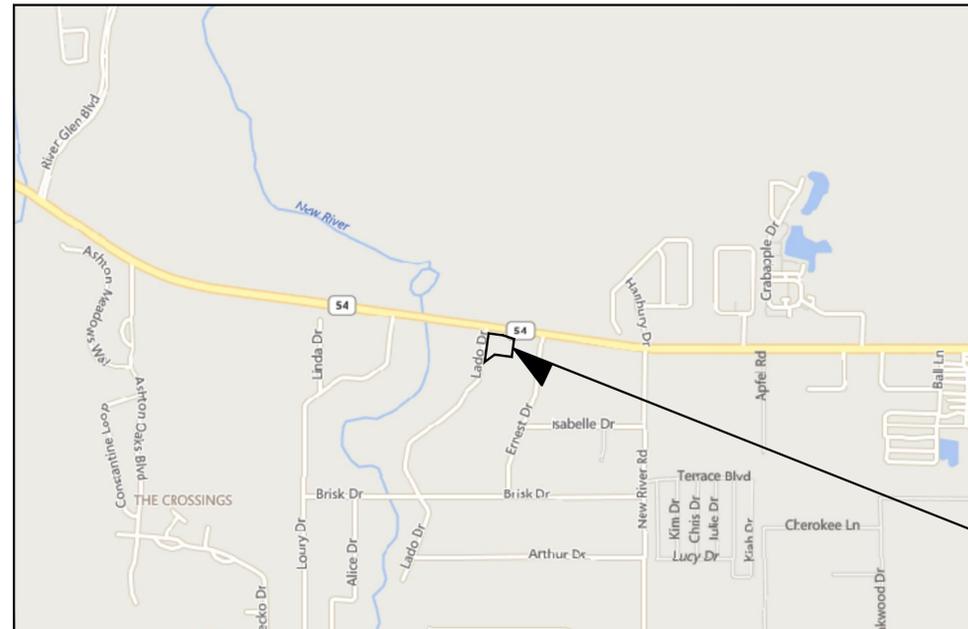
VERIZON
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PHONE: (813) 731-5964

SEWER:

PASCO COUNTY UTILITIES
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POWER:

WITHLACOCOCHEE RIVER ELECTRIC COOP., INC.
CONTACT:
14651 21ST STREET
DADE CITY, FL 33523
PHONE: (352) 567-5133



PROJECT LOCATION

SECTION 13, TOWNSHIP 26 SOUTH, RANGE 20 EAST

LOCATION MAP

N.T.S.

REVISIONS

PREPARED BY:



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CERTIFICATE OF AUTHORIZATION 28928

SHEET INDEX

SHEET NO.	DESCRIPTION
C01	COVER SHEET
C02	GENERAL CONDITIONS
C03	EXISTING CONDITIONS/ DEMO PLAN
C04	SITE PLAN
C05	GRADING AND DRAINAGE PLAN
C06	UTILITY PLAN
C07	EROSION CONTROL PLAN
C08	EROSION DETAILS
C09	CONSTRUCTION DETAILS
C10	UTILITY DETAILS
C11	LIFT STATION DETAILS
L-1	LANDSCAPE PLAN
S-1	BOUNDARY AND TOPOGRAPHIC SURVEY



9-15-16
CRAIG L. CORNELISON, P.E.
FL PE# 55433

Drawing name: \\CEDSERVER\Shared Folders\Projects\1510001 - Wesley Chapel 7th Day Adventist Church\Cadd\Construction\C02-WC 7TH DAY ADVENTIST - GEN NOTES.dwg CO2 Aug 15, 2016 3:14pm by: GeraldHarrison
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GENERAL

- IT IS INTENDED THAT THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) BE USED WHERE APPLICABLE FOR VARIOUS WORK, AND THAT WHERE SUCH WORDING THEREIN REFERS TO THE STATE OF FLORIDA AND ITS DEPARTMENT OF TRANSPORTATION AND PERSONNEL, SUCH WORDING IS INTENDED TO BE REPLACED WITH THAT WORDING WHICH WOULD PROVIDE PROPER TERMINOLOGY, THEREBY MAKING SUCH "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AS THE STANDARD SPECIFICATIONS FOR THIS PROJECT. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK.
- IF WITHIN THAT PARTICULAR SECTION ANOTHER SECTION, ARTICLE OR PARAGRAPH IS REFERRED TO, IT SHALL BE PART OF THE STANDARD SPECIFICATIONS ALSO.
- ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER AND SHALL CONFORM WITH ALL APPLICABLE CITY, COUNTY, STATE AND FEDERAL REGULATIONS AND/OR CODES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED TO BEGIN WORK.
- THE CONTRACTOR SHALL GIVE THE ENGINEER 48 HOURS NOTICE PRIOR TO REQUESTING REQUIRED INSPECTIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY TO PROPERLY TEST AND OBSERVE THE COMPLETED WORK. THE CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF PROJECT ACCEPTANCE, DURING WHICH TIME ALL FAULTY CONSTRUCTION AND/OR MATERIALS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THESE PLANS DO NOT INCLUDE ANY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION SITE SAFETY INCLUDING MEANS AND METHODS.
- ALL ELEVATIONS SHOWN ON THESE PLANS BASED ON BENCHMARK AS ESTABLISHED BY THE PROJECT SURVEYOR, UNLESS OTHERWISE INDICATED. SEE SURVEY FOR BENCHMARK INFORMATION.

GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING ABOVE-GROUND, UNDERGROUND, AND ON THE SURFACE STRUCTURES AND UTILITIES AGAINST ANY CONSTRUCTION OPERATION THAT MAY CAUSE DAMAGE TO SAID FACILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSEQUENTIAL DAMAGES RESULTING FROM LACK OF PROTECTION.
- SOME, BUT NOT NECESSARILY ALL, EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL GIVE ADEQUATE NOTIFICATION TO ALL AFFECTED UTILITY OWNERS FOR REMOVAL, RELOCATION, AND ALTERATION OF THEIR EXISTING FACILITIES.
- WHERE ENCOUNTERED, UNSUITABLE MATERIAL SHALL BE REMOVED TO A DEPTH AND AREA DETERMINED BY THE ENGINEER AND BACKFILLED WITH CLEAN GRANULAR SAND OR SELECT MATERIAL APPROVED BY THE ENGINEER. BACKFILLING SHALL BE IN LAYERS NOT GREATER THAN 8" THICKNESS AND COMPACTED TO 100 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99-C.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ACTUAL SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
- STREET OR HIGHWAY RESTORATION WORK IS TO BE DONE AS PER LOCAL, COUNTY OR STATE AGENCY HAVING JURISDICTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF THE LOCAL, COUNTY, OR STATE AUTHORITIES REGARDING CLOSING OR RESTRICTING THE USE OF PUBLIC STREETS OR HIGHWAYS.
- TRAFFIC CONTROL ON ALL LOCAL, COUNTY AND STATE HIGHWAY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE LOCAL, COUNTY OR STATE AGENCY HAVING JURISDICTION.

BURNING

- PRIOR TO BURNING ANY MATERIAL ON SITE, CONTRACTOR SHALL OBTAIN PERMIT FROM PROPER AUTHORITY AND SUBMIT TO ENGINEER.

DISTURBED AREAS

- ALL AREAS DISTURBED WITHIN RIGHT OF WAY BY CONSTRUCTION SHALL BE SEEDED AND MULCHED OR SODDED AS SPECIFIED BELOW.

SEEDING AND MULCHING:

UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL, AFTER FINAL GRADING AND CLEANUP OF ALL DISTURBED AREAS, ESTABLISH A STAND OF GRASS BY SEEDING AND MULCHING IN ACCORDANCE WITH SECTION 570 OF THE STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL WATER THE SEEDED AREA TO MAINTAIN MOISTURE LEVELS FOR OPTIMUM GROWTH FOR AT LEAST 2 WEEKS OR UNTIL THE GRASS IS ESTABLISHED.

SODDING:

WITHIN THE LIMITS DELINEATED IN THE PLANS, THE CONTRACTOR SHALL, AFTER FINAL GRADING AND CLEANUP, ESTABLISH A STAND OF GRASS BY FURNISHING AND PLACING SOD IN ACCORDANCE WITH SECTION 575 OF THE STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL WATER THE SODDED AREA TO MAINTAIN MOISTURE LEVELS FOR OPTIMUM GROWTH TO ASSURE A HEALTHY STAND OF GRASS. SOD SHALL BE ROLLED AND TOP DRESSED AS REQUIRED BY THE ENGINEER.

GRADING

- REFER TO PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING.
- THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE, AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- ALL MATERIALS USED FOR BACKFILL SHALL BE FREE OF WOOD, ROOTS, ROCKS, BOULDERS OR ANY OTHER NON-COMPATIBLE SOIL TYPE MATERIAL. UNSATISFACTORY MATERIALS ALSO INCLUDE MAN-MADE FILLS AND REFUSE DEBRIS DERIVED FROM ANY SOURCE.
- PROPOSED CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS ARE TO BE USED IN CASE OF DISCREPANCY.

STAKING

- IF CONSTRUCTION STAKING IS PERFORMED BY THE OWNER, LOSS OR DISTURBANCE OF CONTROL POINTS DUE TO NEGLIGENCE BY THE CONTRACTOR WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

STABILIZING

- STABILIZED SUBGRADE SHALL BE CONSTRUCTED TO THE FLORIDA BEARING VALUE (FBV) OR LIMEROCK BEARING RATIO (LBR) AS PER PLAN FOR THE DEPTH AND LIMITS SHOWN ON THE PLAN AND AS SPECIFIED BY THE GEOTECHNICAL ENGINEER. STABILIZED SUBGRADE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 160 OF THE STANDARD SPECIFICATIONS.
- ALL STABILIZED AREAS SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.

ROCK BASE

- ROCK BASE SHALL BE CONSTRUCTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION OF EITHER LIMEROCK MATERIAL IN ACCORDANCE WITH SECTION 911 OF THE STANDARD SPECIFICATIONS.
- LIMEROCK BASE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 200
- ROCK BASE SHALL BE CONSTRUCTED TO THE DEPTH AND LIMITS AS SHOWN ON THE PLAN AND AS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. THE ROCK BASE SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180 AND SHALL BE PRIMED.

PRIME AND TACK COAT

- PRIME AND TACK COATS FOR THE BASE COURSE SHALL BE IN ACCORDANCE WITH SECTION 300 OF THE STANDARD SPECIFICATIONS.

ASPHALTIC CONCRETE SURFACE COURSE (ACSC)

- ACSC (SEE PLAN FOR TYPES) SHALL BE CONSTRUCTED TO THE DEPTH AND LIMITS SHOWN ON THE PLAN IN ACCORDANCE WITH SECTIONS 320, 330, AND 331 OF THE STANDARD SPECIFICATIONS UNLESS OTHERWISE SPECIFIED.

SIGNING AND PAVEMENT MARKING

- ALL PARKING SPACES, WITH THE EXCEPTION OF THE HANDICAPPED PARKING SPACES, SHALL BE MARKED IN WHITE, RETRO-REFLECTIVE TRAFFIC PAINT AND BE IN ACCORDANCE WITH SECTION 710 OF THE STANDARD SPECIFICATIONS.
- ALL HANDICAPPED PARKING SPACES SHALL BE PROPERLY SIGNED AND MARKED IN ACCORDANCE WITH THE FDOT STANDARD INDEX 17346.
- WHERE APPLICABLE, ALL COMPACT SPACES SHALL BE MARKED "COMPACT" ON THE STALL OR WHEEL STOP.

PAVEMENT TESTING

1. THE CONTRACTOR SHALL RETAIN THE SERVICES OF AN OWNER APPROVED INDEPENDENT TESTING LABORATORY TO CONDUCT ALL REQUIRED TESTS ON SUBGRADE, BASE AND SURFACE COURSE MATERIALS. TEST RESULTS MUST BE SUBMITTED PRIOR TO ANY REQUEST FOR PAYMENT ON THE ABOVE ITEMS.

THE SCHEDULE FOR TESTING THE PAVEMENT SHALL BE AS FOLLOWS:

SUBGRADE:

- FLORIDA BEARING VALUE, OR LIMEROCK BEARING RATIO (LBR) TESTS SHALL BE TAKEN AT INTERVALS OF NOT MORE THAN 200 FEET, OR CLOSER AS MAY BE REQUIRED IN THE EVENT OF VARIATIONS IN SUBSOIL CONDITIONS.
- DENSITY TESTS SHALL BE TAKEN AT INTERVALS OF NOT MORE THAN 200 FEET OR CLOSER AS MAY BE REQUIRED.

BASE:

- DENSITY TESTS SHALL BE TAKEN AT INTERVALS OF NOT MORE THAN 500 FEET OR CLOSER AS MAY BE REQUIRED.
- ALL TESTING SHALL BE TAKEN IN A STAGGERED SAMPLING PATTERN FROM A POINT 12 INCHES INSIDE THE LEFT EDGE, TO THE CENTER, TO A POINT 12 INCHES INSIDE THE RIGHT EDGE OF THE ITEM TESTED.
- IF ANY TEST INDICATES THAT THE WORK DOES NOT MEET THE SPECIFICATIONS, THE SUBSTANDARD ITEM SHALL BE REWORKED OR CORRECTED AND RETESTED, AT THE CONTRACTOR'S EXPENSE, UNTIL THE PROVISIONS OF THESE SPECIFICATIONS ARE MET.
- ALL TESTS SHALL BE PAID FOR BY THE CONTRACTOR.

SHOP DRAWING SUBMITTALS

THE FOLLOWING INFORMATION AND/OR DRAWINGS SHALL BE SUBMITTED TO THE PROJECT ENGINEER AND JURISDICTIONAL AGENCY PRIOR TO BEGINNING WORK:

- INFORMATION ON THE PIPE AND CULVERTS, INDICATING THE TYPE, CLASS, SIZE AND OTHER RELEVANT INFORMATION.
- ASPHALT AND CONCRETE MIX DESIGN.
- DOCUMENTATION ON ALL OTHER MATERIALS BEING USED INCLUDING, BUT NOT LIMITED TO, FILTER FABRIC, GUARDRAILS, CONCRETE, STEEL POSTS, CURING COMPOUND AND JOINT MATERIAL, INLETS, MANHOLES, PRESSURE PIPE, FITTINGS, LIFT STATION, HYDRANTS, ETC.
- MAINTENANCE OF TRANSPORTATION, "MOT", IF REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A MAINTENANCE OF TRAFFIC PLAN IN ACCORDANCE WITH THE LOCAL, COUNTY AND STATE GUIDELINES AND SECURING THE APPROPRIATE APPROVALS FROM THE JURISDICTIONAL AGENCIES TO IMPLEMENT THE PLAN.

DRAINAGE SPECIFICATIONS

- STORM INLETS AND MANHOLES SHALL BE CONSTRUCTED IN GENERAL ACCORDANCE WITH SECTION 425 OF THE STANDARD SPECIFICATIONS.
- ALL REINFORCING STEEL TO BE ASTM A 615 (LATEST REVISION) GRADE 40 FYP=40,000 PSI, AND SHALL BE HANDLED AND PLACED IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (ACI) 318 (LATEST REVISION).
- PRECAST CONCRETE MANHOLES AND STORM INLETS ARE TO BE USED (ONLY AFTER THE ENGINEER'S REVIEW OF THE MANUFACTURER'S SHOP DRAWINGS).
- STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTION 430 AND RELATED SECTIONS OF THE STANDARD SPECIFICATIONS.
- THE LOCATIONS OF STORM SEWER STRUCTURES SHOWN ON THESE PLANS (AND PROVIDED IN ASSOCIATED AUTOCAD FILES) ARE APPROXIMATE. THE CONTRACTOR SHALL STAKE ALL CURB INLET STRUCTURES SUCH THAT INLET TOPS ALIGN HORIZONTALLY WITH PROPOSED CURB LOCATIONS.

CONCRETE

- UNLESS OTHERWISE SPECIFIED OR INDICATED, ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI. ALL WORK SHALL COMPLY WITH THE CURRENT EDITION OF THE AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE AND THE APPLICABLE BUILDING CODES HAVING JURISDICTION IN THE AREA.

PRECAST INLETS

- ALL STORM INLETS SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH THE DETAILS SHOWN HEREIN. TYPE II PORTLAND CEMENT SHALL BE USED IN THE CONCRETE MIX. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 4000 PSI.

CULVERT PIPES

- REINFORCED CONCRETE PIPE (RCP) SHALL BE IN ACCORDANCE WITH SECTION 941 OF THE STANDARD SPECIFICATIONS.
- CORRUGATED ALUMINUM PIPE (CAP) SHALL BE IN ACCORDANCE WITH SECTION 945 OF THE STANDARD SPECIFICATIONS.
- HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE IN ACCORDANCE WITH SECTION 948 OF THE STANDARD SPECIFICATIONS.

CONSTRUCTION OBSERVATION

THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, AN INDEPENDENT TESTING LABORATORY AND THE APPLICABLE JURISDICTIONS AT LEAST 48 HOURS PRIOR TO PERIODS OF THE FOLLOWING CONSTRUCTION ACTIVITIES:

DRAINAGE

- LAYING OF PIPE (BEFORE BACKFILL).
- ALL DRAINAGE STRUCTURES AND PIPE LAYING COMPLETED.
- CONSTRUCTION AND STABILIZATION OF RETENTION AREAS AND SWALES.
- SEEDING, MULCH, AND SODDING IN AREAS WHERE EROSION IS EVIDENT OR WHERE PLANS SO IDENTIFY.

UTILITIES

- LAYING OF PIPE (BEFORE BACKFILL).
- JACK AND BORING OR DIRECTIONAL BORING.

CONCRETE

- COMPLETION OF FORMING FOR CURBING, SIDEWALK, AND RETAINING WALLS BEFORE PLACEMENT OF CONCRETE.

PAVEMENT

- LINE AND GRADE (CERTIFICATION).
- SUB-BASE (PRIOR TO ADDING BASE MATERIAL).
- BASE (PRIOR TO PRIMING AND SAND SEAL).
- BASE (AFTER PRIMING, SAND SEAL, AND BEFORE PLACING ASPHALT).
- ASPHALT OR CONCRETE PAVING.
- TURN OUT CONSTRUCTION ON TO CITY, COUNTY OR STATE ROAD (ABOVE INSPECTIONS APPLY).

CLEAN-UP

- THE CONTRACTOR MUST PROVIDE CLEAN-UP OF EXCESS CONSTRUCTION MATERIAL UPON COMPLETION OF THE PROJECT. THE SITE MUST BE LEFT IN A NEAT, CLEAN, GRADED CONDITION.

EROSION CONTROL NOTES

- THE STORMWATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THIS EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
- EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS. REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS FOR SEEDING AND MAINTENANCE REQUIREMENTS.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

MAINTENANCE

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CY/ACRE.
- ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

RECORD DRAWINGS

- THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON THE PROJECT SITE AT ALL TIMES WHICH SHALL BE ANNOTATED BY THE CONTRACTOR DEPICTING ANY CHANGES MADE IN THE FIELD WHICH DIFFER FROM THE CONTRACT DRAWINGS.
- RECORD DRAWINGS SHALL INCLUDE, BUT NOT BE LIMITED TO, CULVERT LENGTHS, INVERT AND TOP ELEVATIONS OF STORM SEWER INLETS, STORM AND SANITARY SEWER MANHOLES, LIFT STATIONS, WEIRS AND CONTROL STRUCTURES. A RECORD DRAWING, IF REQUIRED, OF THE TOP ELEVATION OF THE BASE MATERIAL GRADING AT ALL LOCATIONS OF THE PROPOSED FINAL GRADES SHALL BE PREPARED AND SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO THE INSTALLATION OF ASPHALT OR FINAL SURFACE. THE CONTRACTOR SHALL PREPARE A RECORD DRAWING VERIFYING ALL PROPOSED GRADES OF EACH STORM WATER BODY AND CONTAIN A MINIMUM OF (2) CROSS SECTIONS IN EACH STORM WATER BODY.
- THE CONTRACTOR SHALL SUBMIT COMPLETE AND FINAL RECORD DRAWINGS TO THE ENGINEER UPON COMPLETION OF THE PROJECT AND PRIOR TO FINAL INSPECTION AND FINAL PAYMENT. RECORD DRAWINGS SHALL BE CERTIFIED BY A SURVEYOR REGISTERED IN THE STATE OF FLORIDA.

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PROJECT NAME
WESLEY CHAPEL 7th DAY ADVENTIST CHURCH- COMMUNITY SERVICES BUILDING

SHEET NAME
GENERAL CONDITIONS

SCALE AS NOTED
DESIGNED BY
DRAWN BY
CHECKED BY

DATE

REVISIONS

No.

STATE OF FLORIDA
PROFESSIONAL ENGINEER

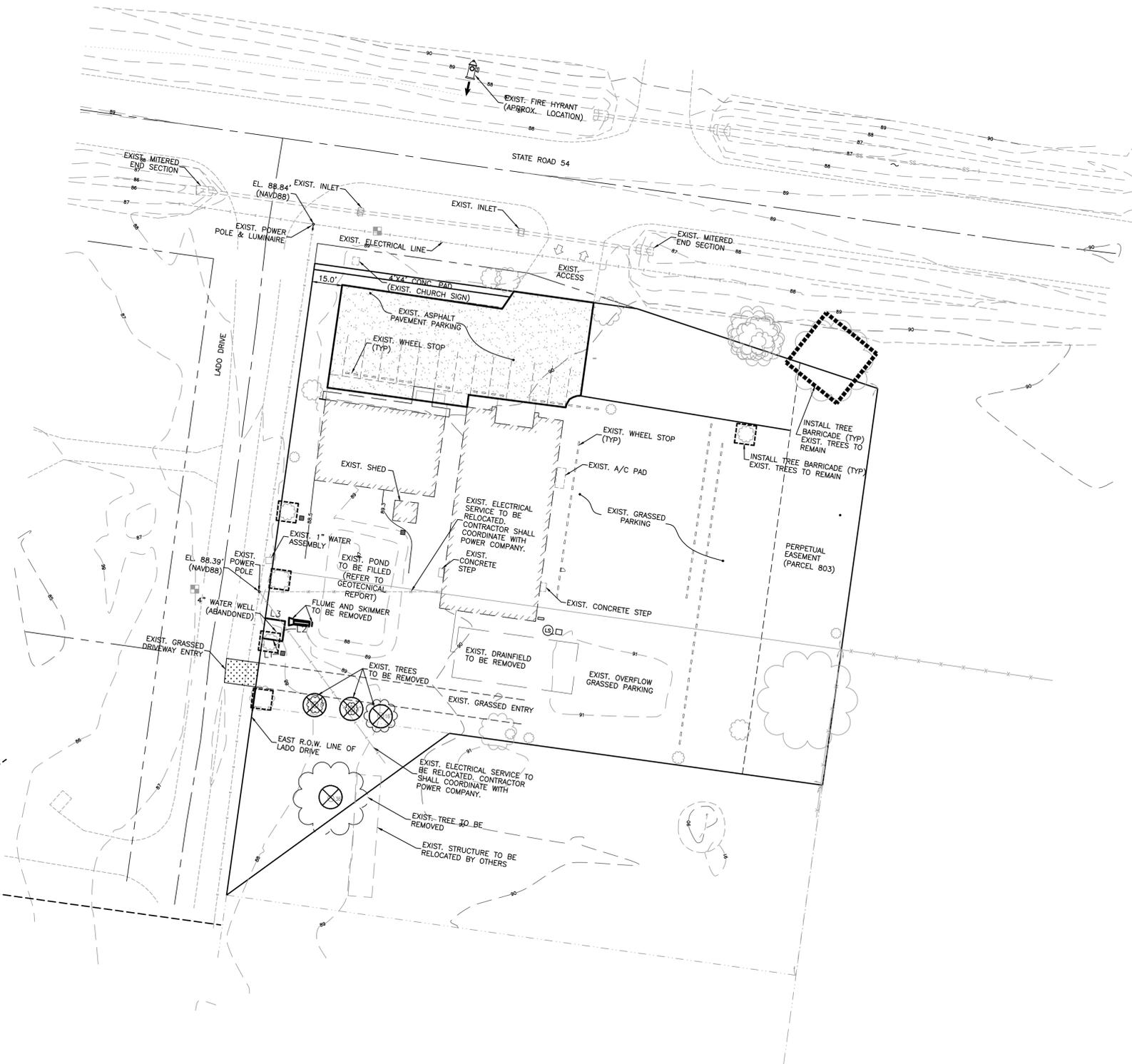
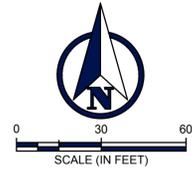
CORNELISON, P.E.
FLORIDA PE NO.55433

DATE
8-15-16

PROJECT NO.
1510001

SHEET NUMBER
C02

Drawing name: \C:\EDSERVERS\Shared Folders\Project\1510001 - Wesley Chapel 7th Day Adventist Church\Cadd Construction\C03.WC 7TH DAY ADVENTIST - EXIST COOND.dwg C03 Aug 15, 2016 7:29pm by: MarciaCornelison
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DEMOLITION/PHASING NOTES:

- UNLESS OTHERWISE INDICATED ON PLANS, EXISTING SITE FEATURES TO BE REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING ABOVE-GROUND, UNDERGROUND, AND ON THE SURFACE STRUCTURES AND UTILITIES AGAINST ANY CONSTRUCTION OPERATION THAT MAY CAUSE DAMAGE TO SAID FACILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSEQUENTIAL DAMAGES RESULTING FROM LACK OF PROTECTION.
- SOME, BUT NOT NECESSARILY ALL, EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL DEVIATIONS.
- THE CONTRACTOR SHALL GIVE ADEQUATE NOTIFICATION TO ALL AFFECTED UTILITY OWNERS FOR REMOVAL, RELOCATION, AND ALTERATION OF THEIR EXISTING FACILITIES.
- WHERE ENCOUNTERED, UNSUITABLE MATERIAL SHALL BE REMOVED TO A DEPTH AND AREA DETERMINED BY THE ENGINEER AND BACKFILLED WITH CLEAN GRANULAR SAND OR SELECT MATERIAL APPROVED BY THE ENGINEER. BACKFILLING SHALL BE IN LAYERS NOT GREATER THAN 8" THICKNESS AND COMPACTED TO 100 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99-C.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ACTUAL SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF THE LOCAL, COUNTY, OR STATE AUTHORITIES REGARDING CLOSING OR RESTRICTING THE USE OF PUBLIC STREETS OR HIGHWAYS.
- TRAFFIC CONTROL ON ALL LOCAL, COUNTY AND STATE HIGHWAY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE LOCAL, COUNTY OR STATE AGENCY HAVING JURISDICTION.
- CONTRACTOR IS RESPONSIBLE TO LOCATE UTILITY LINES WITHIN THE LIMITS OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY OF ANY EXISTING SERVICE LINES (ELECTRIC, WATER, ETC.) WHICH CROSS THE SITE.

LEGEND

- PROPERTY LINE
- TREE BARRICADE
- EXISTING CONCRETE TO REMAIN
- EXISTING ASPHALT TO REMAIN
- EXISTING TREE TO BE REMOVED

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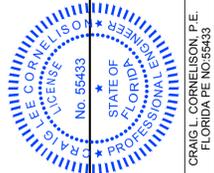
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 CERTIFICATE OF AUTHORIZATION 28928

PROJECT NAME: WESLEY CHAPEL 7th DAY ADVENTIST CHURCH- COMMUNITY SERVICES BUILDING
 CLIENT: GRIFFIN CONSTRUCTION, LLC

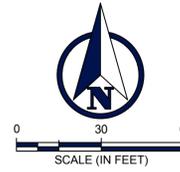
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 DESIGNED BY: C/LC
 DRAWN BY: C/LC
 CHECKED BY: C/LC

DATE: _____
 REVISIONS: _____

DATE: 8-15-16
 PROJECT NO.: 1510001
 SHEET NUMBER: C03



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SITE DATA:
 SITE AREA: 62,726 SF (1.44 AC)
 PARCEL NUMBER: 13-26-20-0110-0000-5380
 EXISTING ZONING: C2/AR
 FUTURE LAND USE DESIGNATION: RESIDENTIAL 3
 EXISTING USE: CHURCH
 PROPOSED USE: CHURCH
 TOTAL BUILDING AREA: 7,124 SF (EXIST.)
 2,373 SF (PROP.)
 9,497 SF (TOTAL)
 PROPOSED BUILDING HEIGHT: 18' (1 STORY)
 FAR: 0.151
 FLOOD ZONE: X - SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD ZONE
 FEMA MAP NUMBER 12101C0432F (9/26/14)

IMPERVIOUS AREA CALCULATIONS:
 EXISTING IMPERVIOUS AREA = 14,717 SF (23%)
 PROPOSED IMPERVIOUS AREA = 17,090 SF (27%)

PROJECT AREAS:
 BUILDING AREA: 9,497 SF 15.1%
 PERVIOUS AREA: 45,686 SF 72.8%
 SIDEWALK AREA: 1,199 SF 1.19%
 PAVEMENT AREA: 6,344 SF 10.1%
 TOTAL AREA: 62,726 SF 100.0%

REQUIRED BUILDING SETBACKS:
 FRONT 25'
 SIDE 15' AND 30'
 REAR 25'

REQUIRED PARKING:
 RELIGIOUS ASSEMBLY
 1 SPACE PER 3 SEATS WITHIN MAIN ASSEMBLY BUILDING
 236 SEATS
 PARKING REQUIRED = 236 SEATS X 1 SPACE/3 SEATS = 79 SPACES

PARKING PROVIDED:
 8 PAVED PARKING SPACES
 2 HANDICAP PARKING SPACES
 77 GRASS PARKING SPACES
 88 PARKING SPACES

PASCO COUNTY DEVELOPMENT REVIEW - STANDARD SITE PLAN NOTES

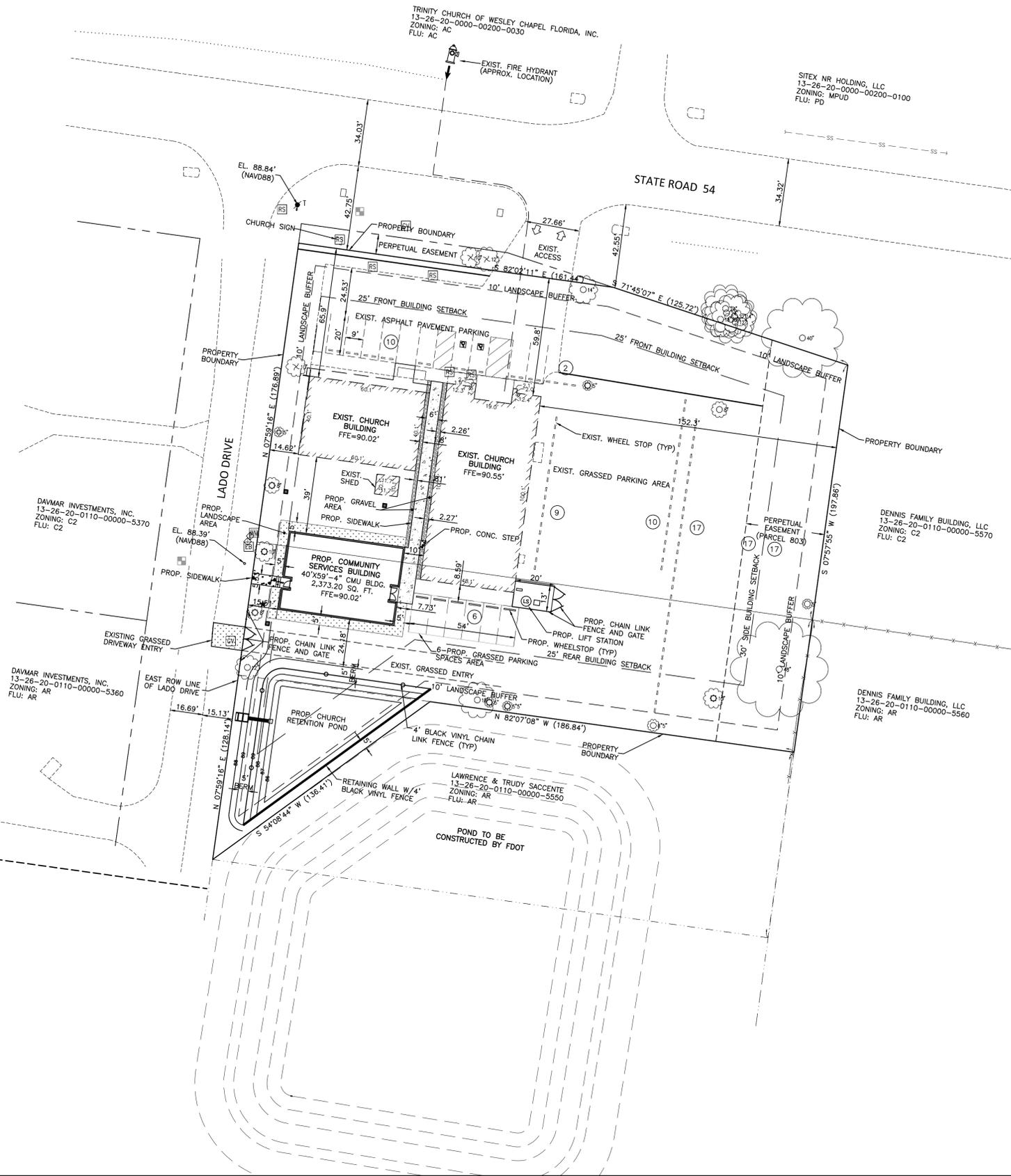
- ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE PASCO COUNTY STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES SPECIFICATIONS, LATEST EDITION.
- ALL ON-SITE WATER AND SEWER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER-DEVELOPER.
- INSTALLATION OF FUEL STORAGE TANKS REQUIRES REVIEW AND APPROVAL BY THE FIRE MARSHAL AND THE ISSUANCE OF A SEPARATE BUILDING PERMIT. APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF THE LOCATION OF THE FUEL TANKS.
- ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED, AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY-APPROVED SITE PLAN. APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE.
- HANDICAP PARKING SPACES WILL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, OR OTHER APPLICABLE STANDARDS.
- THE ENGINEER CERTIFIES THAT THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.
- ALL ON-SITE PARKING SPACES WILL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. PARKING SPACES, DIRECTIONAL ARROWS, AND STOP BARS SHALL BE STRIPED IN WHITE. IT SHALL BE THE OWNER/DEVELOPER'S RESPONSIBILITY TO PROPERLY SIGN AND STRIPE IN ACCORDANCE WITH APPLICABLE STANDARDS.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THIS APPROVAL DOES NOT INCLUDE ANY WORK IN THE COUNTY RIGHT-OF-WAY. ALL RIGHT-OF-WAY WORK SHALL BE A FUNCTION OF AN APPROVED PASCO RIGHT-OF-WAY USE PERMIT.
- ALL CLEAR-SIGHT AREAS SHALL BE KEPT FREE OF ANY SIGNAGE PLANTINGS, TREES, ETC. IN EXCESS OF THREE-AND-A-HALF (3-1/2) FEET IN HEIGHT.
- NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY COUNTY OR STATE RIGHT-OF-WAY WITHOUT ISSUANCE OF APPROPRIATE RIGHT-OF-WAY USE PERMIT.
- THE OWNER/DEVELOPER ACKNOWLEDGES THAT THE SITE AND ITS SUBSEQUENT BUILDING PERMITS SHALL COMPLY WITH ALL REZONING/MPUF/PUD CONDITIONS.
- ALL STRUCTURES, INCLUDING BUFFER WALLS, RETAINING WALLS, SIGNAGE, ETC. REQUIRE BUILDING PERMITS.

LEGEND:
 - - - BUILDING SETBACK
 - - - LANDSCAPE BUFFER
 - - - PROPERTY LINE
 [Pattern] PROPOSED CONCRETE
 (10) INDICATES NUMBER OF PARKING SPACES IN ROW

THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

FLOOD ZONE	COMMUNITY	MAP NUMBER	PANEL NUMBER	SUFFIX	MAP EFFECTIVE DATE
X	PASCO	120230	0432	F	SEPT. 26, 2014

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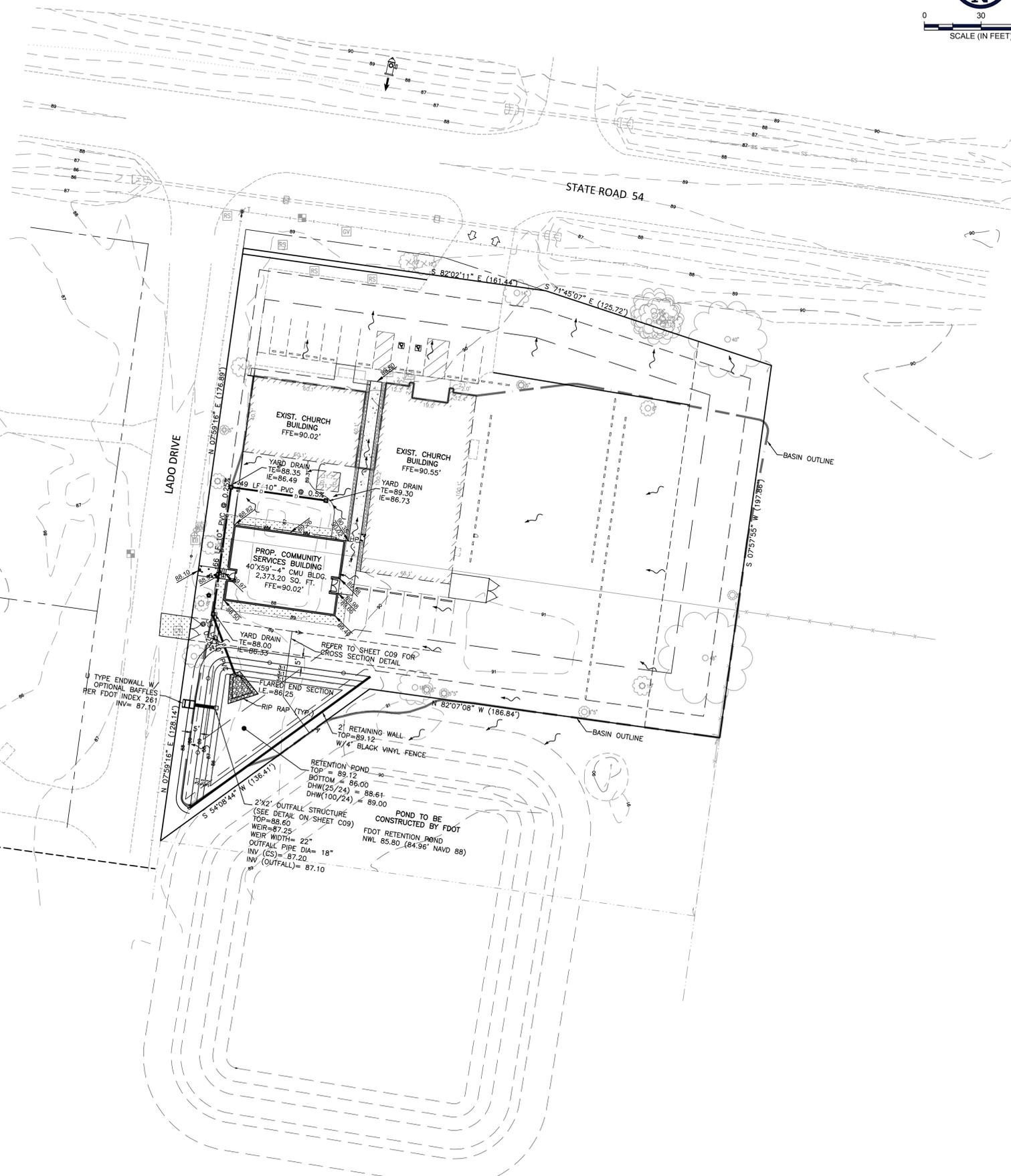
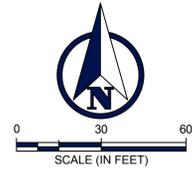
PROJECT NAME: WESLEY CHAPEL 7th DAY ADVENTIST CHURCH- COMMUNITY SERVICES BUILDING
 SHEET NAME: SITE PLAN
 CLIENT: GRIFFIN CONSTRUCTION, LLC

SCALE AS NOTED	DESIGNED BY	DATE	REVISIONS
C/LC	C/LC		No.
	C/LC		
	C/LC		
	C/LC		

CRAIG L. CORNELISON, P.E.
 FLORIDA PE NO. 55433

DATE: 8-16-16
 PROJECT NO: 1510001
 SHEET NUMBER: C04

Drawing name: \CEDSERVER\Shared Folders\Projects\1510001 - Wesley Chapel 7th Day Adventist Church\Cadd Construction\C05-WC 7TH DAY ADVENTIST - PGD PLAN.dwg C05 Aug 16, 2016 8:08am by: CraigCornelison
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GENERAL NOTES:

1. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE RIGHTS-OF WAY.
2. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
3. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.
4. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
5. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. SIGNED AND SEALED AS-BUILT DRAWINGS PREPARED BY A REGISTERED FLORIDA LAND SURVEYOR SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION. CONTRACTOR SHALL PROVIDE ENGINEER AS-BUILT ELEVATIONS OF ALL PIPES, STRUCTURES, ETC. 48 HOURS PRIOR TO PLACEMENT OF ANY PAVEMENT.
6. NOTIFY PASCO COUNTY UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W: 811.
7. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR PRIOR TO FINAL AS-BUILT SIGN OFF FROM THE COUNTY.
8. IN ALL HANDICAP AREAS (PARKING SPACES AND ACCESS AISLE) MAXIMUM SLOPE/GRADE IS 2% IN ALL DIRECTIONS. IN ADDITION, ALL RAMPS HAVE A MAXIMUM SLOPE OF 1 TO 12.
9. TRANSITION CURB AND GUTTER AT HANDICAP RAMPS TO A MAXIMUM 2.0% CROSS SLOPE. ALL CROSS WALKS SHALL HAVE A MAXIMUM 2.0% CROSS SLOPE.
10. ALL DRAINAGE PIPE JOINTS SHALL BE FILTER FABRIC WRAPPED PER FDOT # 280.
11. SEE SURVEY FOR BENCHMARK DATA.
12. ALL PAVEMENT CROSS SLOPES AT CROSS WALKS (SLOPES PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL) SHALL BE A MAXIMUM OF 2%. ALL ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1 IN 12. ALL LANDINGS AT STAIRS AND RAMPS SHALL HAVE A MAXIMUM SLOPE OF 2% (ALL DIRECTIONS). ALL ACCESSIBLE WALKWAYS SHALL HAVE A MAXIMUM SLOPE LESS THAN 5% IN THE DIRECTION OF TRAVEL. ALL MAXIMUM SLOPES ARE ABSOLUTE AND SUPERSEDE CONSTRUCTION TOLERANCES. THE CONTRACTOR HAS THE OPTION OF ADJUSTING GRADES TO ALLOW FOR CONSTRUCTION TOLERANCE BUT SHALL NOT ADJUST GRADES TO LESS THAN 1% SLOPE. THE CONTRACTOR SHALL CONTACT THE ENGINEER/ARCHITECT REGARDING ANY GRADE REVISIONS PRIOR TO CONSTRUCTION OF THE PAVEMENT AREAS. THE PAVEMENT SLOPES SHALL BE REVIEWED AFTER CONSTRUCTION AND PAVEMENT OVER THE MAXIMUM SLOPES SPECIFIED ABOVE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
13. ALL TRIMMING UNDERTAKEN ON A PROTECTED TREE SHALL BE IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.
14. TO MINIMIZE SOIL EROSION, PROPOSED LAND ALTERATION ACTIVITIES SHALL NOT UNNECESSARILY REMOVE EXISTING VEGETATION AND ALTER EXISTING TOPOGRAPHY. ADEQUATE PROTECTION MEASURES (I.E., HAY BALES, BAFFLES, SODDING AND SANDBAGGING) SHALL BE PROVIDED, AS NECESSARY, TO MINIMIZE EROSION AND DOWNSTREAM SEDIMENTATION CAUSED BY SURFACE WATER RUN-OFF ON EXPOSED LAND SURFACES.
15. ANY AREAS SUBJECT TO EROSION MUST BE ADEQUATELY STABILIZED WITH VEGETATIVE MATERIAL THAT SHALL, WITHIN A REASONABLE TIME FRAME, DETER SOIL DISTURBANCE. SODDING, PLUGGING, SPRIGGING OR SEEDING IS ACCEPTABLE FOR STABILIZATION; HOWEVER, SODDING MAY BE REQUIRED IN AREAS OF EROSION-PRONE SOILS OR WHERE SLOPES ARE GREATER THAN 5:1. VEGETATION OTHER THAN GRASS IS ACCEPTABLE UNLESS OTHERWISE SPECIFIED.

LEGEND

- PROPOSED STORM PIPE
- EXISTING CONTOURS
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- INDICATES DIRECTION OF SURFACE WATER FLOW
- PROPOSED INLET
- PROPOSED CONCRETE

THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

FLOOD ZONE	COMMUNITY	NUMBER	PANEL NUMBER	SUFFIX	MAP EFFECTIVE DATE
X	PASCO COUNTY	120230	0360	D	SEPT. 30, 1992

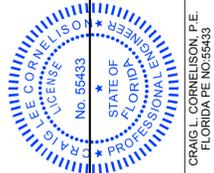
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 CERTIFICATE OF AUTHORIZATION 28928

PROJECT NAME: WESLEY CHAPEL 7th DAY ADVENTIST CHURCH- COMMUNITY SERVICES BUILDING

SHEET NAME: GRADING AND DRAINAGE PLAN

CLIENT: GRIFFIN CONSTRUCTION, LLC

SCALE AS NOTED: C.L.C.

DESIGNED BY: C.L.C.

DRAWN BY: C.L.C.

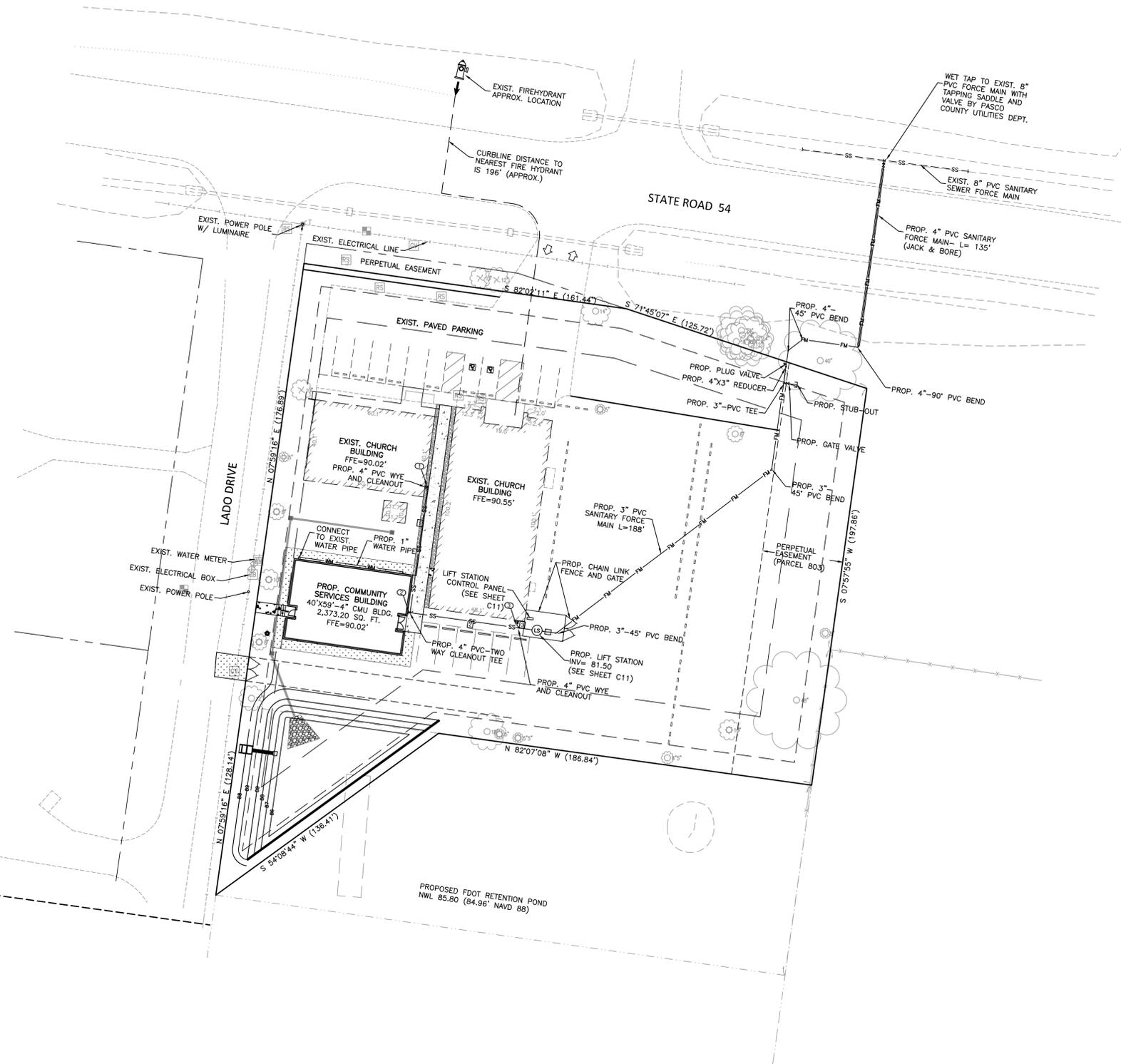
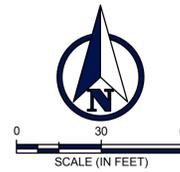
CHECKED BY: C.L.C.

DATE: 8-16-16

PROJECT NO: 1510001

SHEET NUMBER: C05

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UTILITY NOTES:

- ALL UTILITY WORK SHALL CONFORM TO PASCO COUNTY UTILITY DEPARTMENT STANDARDS. THE MOST CURRENT STANDARDS AND SPECIFICATIONS IN FORCE AT THE TIME OF CONSTRUCTION SHALL BE USED.
- ALL VALVES, SERVICES, HYDRANTS, FITTINGS, ETC. ARE NOT DRAWN TO SCALE BUT ARE SHOWN FOR SCHEMATIC PURPOSES ONLY.
- ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE RE-GRADED AND SODDED TO PRE-CONSTRUCTION CONDITIONS.
- THE LOCATION OF THE EXISTING UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY IF "OTHER" UTILITIES (NOT SHOWN IN THE PLANS) EXIST WITHIN THE AREA OF CONSTRUCTION. SHOULD THERE BE UTILITY CONFLICTS, THE CONTRACTOR SHALL INFORM THE RESPECTIVE UTILITY OWNERS TO RESOLVE UTILITY CONFLICTS AND ADJUSTMENTS, AS REQUIRED.
- THE APPROPRIATE UTILITY COMPANY SHALL BE NOTIFIED BY THE CONTRACTOR 72 HOURS IN ADVANCE OF ANY EXCAVATION INVOLVING THEIR UTILITIES SO THAT A COMPANY REPRESENTATIVE CAN BE PRESENT.
- LANDSCAPE AREAS SHALL BE IRRIGATED, IRRIGATION SYSTEM TO BE DESIGNED BY OTHERS.
- ALL PVC WATER LINES SHALL BE BLUE IN COLOR ONLY.
- ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL CONFORM TO CURRENT FDEP STANDARDS FOR LEAD CONTENT.
- ALL PIPE AND FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE COLOR CODED OR MARKED IN ACCORDANCE WITH SUB-PARAGRAPH 62-555.320(21)(B)3, F.A.C., USING BLUE AS A PREDOMINANT COLOR FOR WATER. UNDERGROUND PLASTIC PIPE SHALL BE SOLID-WALL BLUE PIPE.
- THE WATER SYSTEMS SHALL BE CONSTRUCTED TO PROVIDE ALL APPLICABLE STANDARDS IN CHAPTER 62-550, F.A.C. AND THE REQUIREMENTS OF CHAPTER 62-555, F.A.C.
- THE DRINKING WATER PIPING AND APPURTENANCES MUST COMPLY WITH STANDARDS, REGULATIONS, OR REQUIREMENTS OF THE AMERICAN WATER WORKS ASSOCIATION STANDARDS AS INCORPORATED INTO RULE 62-555.330, F.A.C., IF APPLICABLE. THE DEPARTMENT SHALL ALLOW USE OF PIPE AND APPURTENANCES THAT DO NOT CONFORM TO THESE STANDARDS ONLY IF DOCUMENTATION IS PROVIDED IN ACCORDANCE WITH PARAGRAPH 62-555.320(21)(C), F.A.C.
- THE DRINKING WATER PIPING AND APPURTENANCES MUST COMPLY WITH STANDARDS, REGULATIONS, OR REQUIREMENTS OF THE NSF INTERNATIONAL STANDARD 61 AS ADOPTED IN RULE 62-555.335, F.A.C., OR OTHER STANDARDS, REGULATIONS, OR REQUIREMENTS REFERENCED UNDER PARAGRAPH 62-555.320(3)(D), F.A.C., IF APPLICABLE. THE DEPARTMENT SHALL ALLOW EXCEPTIONS TO CONFORMANCE WITH THESE STANDARDS, REGULATIONS OR REQUIREMENTS ONLY IF DOCUMENTATION AND ASSURANCE IS PROVIDED IN ACCORDANCE WITH PARAGRAPH 62-555.320(3)(D), F.A.C.
- CONTRACTOR TO COORDINATE WITH WITHLACOCHE RIVER ELECTRIC COOP. INC. FOR SERVICE AND CONDUIT LOCATIONS, TYPES, ETC.

SEWER NOTES:

- SEWER LINE IN R/W IS CONTROLLED BY PASCO COUNTY, CONTACT KEVIN BROTHERTON @ (813) 235-6189.
- PROVIDE A CLEANOUT FOR SANITARY SEWER LINE FOR ALL BUILDINGS.
- NEW 4" SEWER LINE SHALL HAVE A MINIMUM OF 36" COVER @ 1% SLOPE.

WATER NOTES:

- PASCO COUNTY UTILITIES WILL MAKE NECESSARY POTABLE WATER MAIN TAPS & BACKFLOW PREVENTION DEVICES (WITHIN THE ROW) OR CONTAINED WITHIN A PUBLIC EASEMENT AT THE EXPENSE OF THE DEVELOPER.
- THE CONTRACTOR SHALL NOT OPERATE OR PRESSURE TEST AGAINST ANY PASCO COUNTY UTILITIES INSTALLED VALVES OR FITTINGS.
- PROVIDE GATE VALVES FOR WATER & FIRE LINES FOR ALL BUILDINGS.

LEGEND

- BUILDING SETBACK
- PROPERTY LINE
- CONCRETE
- PROPOSED WHEEL STOP
- FM — PROPOSED FORCE MAIN
- SS — PROPOSED SANITARY PIPE
- WM — PROPOSED WATER PIPE

THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

FLOOD ZONE	COMMUNITY	MAP NUMBER	PANEL NUMBER	SUFFIX	MAP EFFECTIVE DATE
X	PASCO	120230	0360	D	SEPT. 30, 1992

SANITARY CLEANOUT LEGEND:

- ① INVERT = 88.49
- ② INVERT = 87.26
- ③ INVERT = 86.20

SANITARY PIPE LEGEND:

- ① 63' LF 4" PVC @ 2.0%
- ② 63' LF 4" PVC @ 2.0%
- ③ 3' LF 4" PVC @ 2.0%

IMPORTANT NOTE: CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SANITARY PIPE FROM BUILDING TOWARD SITE AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO THE INSTALLATION OF PROP. SANITARY PIPES AND CLEAN OUTS.

ESTIMATED WATER/SEWER FLOW (PER CHAPTER 64F-6, FAC)

PROPOSED SEATS = 236
 INSTITUTIONAL-CHURCH: 3 GPD PER SEAT.
 ESTIMATED FLOW = 236 SEATS X 3 GPD/SEAT = 708 GPD
 DESIGN FLOW = 808 GPD

CALL 48 HOURS BEFORE YOU DIG

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Know what's below. Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

CORNELISON ENGINEERING & DESIGN, INC.
 CED
 38039 OLD 37th AVE., ZEPHYRUS, FL 33542
 TEL: 813-788-7835 • FAX: 813-788-7842
 CERTIFICATE OF AUTHORIZATION 28928

PROJECT NAME: WESLEY CHAPEL 7th DAY ADVENTIST CHURCH- COMMUNITY SERVICES BUILDING
 SHEET NUMBER: UTILITY PLAN
 CLIENT: GRIFFIN CONSTRUCTION, LLC

SCALE AS NOTED	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
C/LC		C/LC	C/LC	C/LC

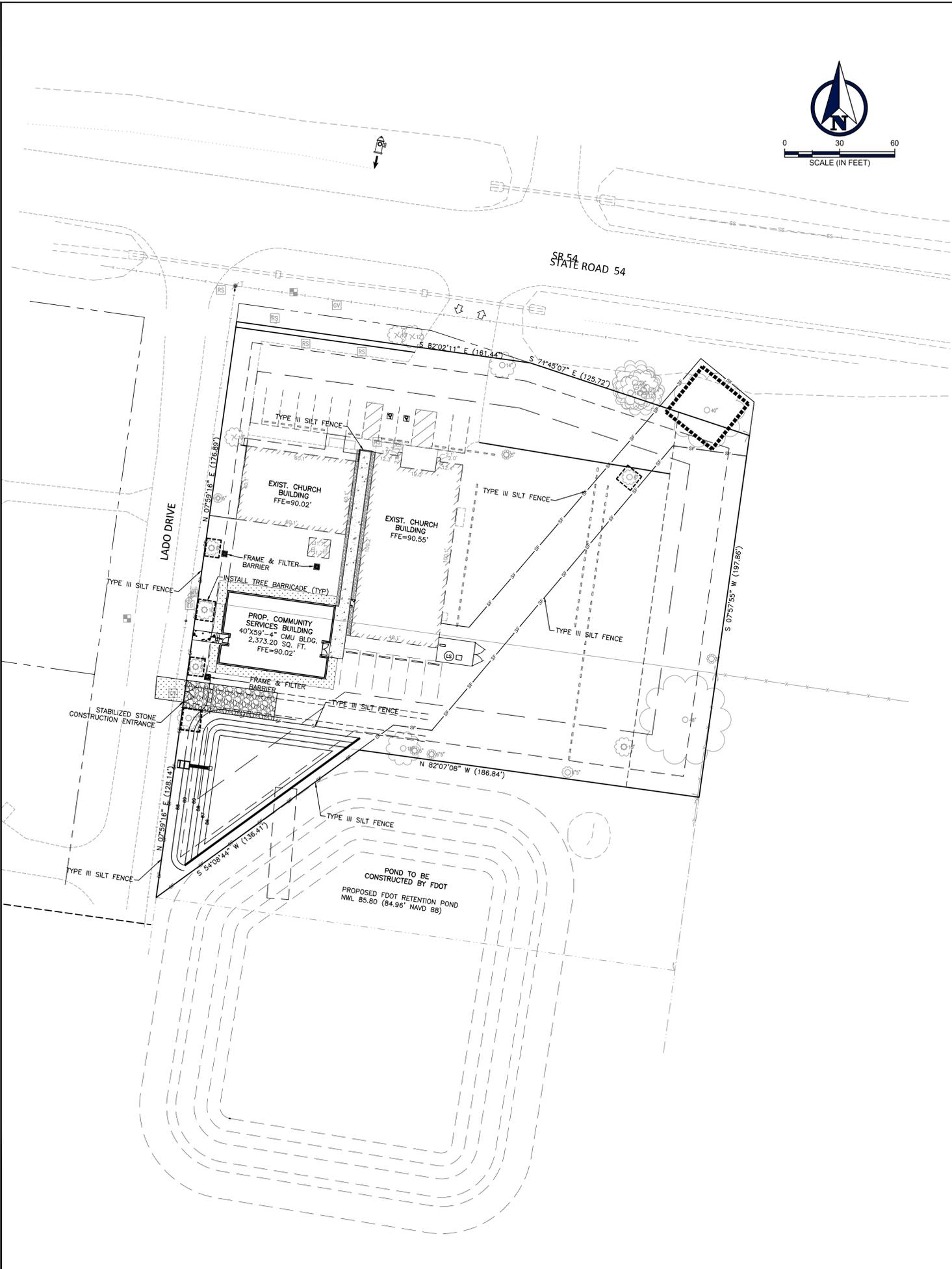
REVISIONS

No.	REVISIONS

CRAIG L. CORNELISON, P.E.
 LICENSE NO. 55433
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 FLORIDA PE NO. 55433

DATE: 8-16-16
 PROJECT NO.: 1510001
 SHEET NUMBER: C06

Drawing name: \CEDSERVERS\Shared Folders\Projects\1510001 - Wesley Chapel 7th Day Adventist Church\Construction\07-WC 7TH DAY ADVENTIST - EROSION PLAN.dwg 07 Aug 16, 2016 8:16am by: CraigCornelison
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CLEARING AND SITE PREPARATION NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION OF THE EROSION CONTROL DEVICES, AS SHOWN ON THE CONSTRUCTION PLANS. PRIOR TO ANY SITE CLEARING AND/OR DEMOLITION, REFER TO THE "EROSION CONTROL NOTES" SECTION CONTAINED HEREIN FOR ADDITIONAL REQUIREMENTS. NOT ALL NOTES MAY BE APPLICABLE.
2. PRIOR TO ANY SITE CLEARING, ALL TREES SHOWN TO REMAIN, AS INDICATED ON THE CONSTRUCTION PLANS, SHALL BE PROTECTED IN ACCORDANCE WITH LOCAL TREE ORDINANCES AND DETAILS CONTAINED IN THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE TREES IN GOOD CONDITION. NO TREES SHOWN TO REMAIN SHALL BE REMOVED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND THE LOCAL AGENCY HAVING JURISDICTION OVER THESE ACTIVITIES.
3. THE CONTRACTOR SHALL CLEAR AND GRUB ONLY THOSE PORTIONS OF THE SITE NECESSARY FOR CONSTRUCTION. ALL DISTURBED AREAS MUST BE SEED, MULCHED, SODDED OR PLANTED WITH OTHER APPROVED LANDSCAPE MATERIAL IMMEDIATELY FOLLOWING CONSTRUCTION.
4. THE TOP 4" TO 6" OF GROUND REMOVED DURING CLEARING AND GRUBBING ACTIVITIES SHALL BE STOCKPILED, TO BE USED FOR LANDSCAPING PURPOSES, UNLESS OTHERWISE DIRECTED BY THE OWNER. REMAINING EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE, PROVIDED THE MATERIAL IS DETERMINED SUITABLE BY THE OWNER'S SOILS TESTING COMPANY. EXCESS MATERIAL IS TO EITHER BE STOCKPILED ON-SITE, AS DIRECTED BY THE OWNER OR OWNER'S ENGINEER, OR REMOVED FROM THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING ANY EXCESS MATERIAL FROM THE SITE.
5. ALL EXISTING DEBRIS (ABOVE OR BELOW GROUND), CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR, IN ACCORDANCE WITH APPLICABLE REGULATORY AGENCY REQUIREMENTS.
6. THE CONTRACTOR IS TO PREPARE THE SITE IN ACCORDANCE WITH THE SOILS REPORT, COPIES OF WHICH ARE AVAILABLE THROUGH THE OWNER OR SOILS TESTING COMPANY DIRECTLY.
7. CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION OF TEMPORARY CONSTRUCTION FENCE AROUND ENTIRE PERIMETER OF PROPERTY. TYPE OF FENCE IS TO BE SUBMITTED BY CONTRACTOR TO ENGINEER FOR APPROVAL.
8. THE CONTRACTOR SHALL REMOVE ALL VEGETATION, SURPLUS SOIL, DEMOLITION RUBBLE, AND OTHER UNDESIRABLE MATERIALS. SUCH MATERIALS SHALL BE PROMPTLY HAULED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH GOVERNING LAWS AND CODES.

EROSION AND SILTATION CONTROL:

1. GENERAL: ALL EROSION AND SILTATION CONTROL METHODS SHALL BE IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION. DURING CONSTRUCTION, CLEARED AREAS SHALL BE COVERED BY MULCHES SUCH AS STRAW, HAY AND FILTER FABRIC. ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS OR HAY BALES. THESE SHALL BE MAINTAINED AND MODIFIED DURING THE CONSTRUCTION PROCESS TO MINIMIZE DOWNSTREAM SILTATION. WHEN CONSTRUCTION IS COMPLETED, DETENTION AREAS WILL BE RESHAPED, CLEANED OF SILT, MUD AND DEBRIS, AND RE-SODDED TO PROPERLY DETAIN THE INTENDED STORM QUANTITIES.
2. PROTECTION AND STABILIZATION OF ON-SITE SOIL STOCKPILES: FILL MATERIAL STOCKPILES SHALL BE PROTECTED AT ALL TIMES BY ON-SITE DRAINAGE CONTROLS THAT PREVENT EROSION. CONTROL OF DUST FROM SUCH STOCKPILES MAY BE REQUIRED, DEPENDING UPON THEIR LOCATION AND THE EXPECTED LENGTH OF TIME THE STOCKPILES WILL BE PRESENT. IN NO CASE SHALL ANY UNSTOCKPILED MATERIAL REMAIN MORE THAN THIRTY (30) CALENDAR DAYS AFTER SUBSTANTIAL PROJECT COMPLETION.
3. PROTECTION OF EXISTING STORM SEWER SYSTEMS: DURING CONSTRUCTION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS SECURED HAY BALES, SOD, STONE, ETC., WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS, AND WHICH MUST BE APPROVED BY THE ENGINEER BEFORE INSTALLATION.
4. SEDIMENT BASINS AND SEDIMENT TRAPPING MEASURES: PERIMETER BERMS, SEDIMENT BARRIERS, VEGETATIVE BUFFERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT AND/OR PREVENT THE TRANSPORT OF SEDIMENT ONTO ADJACENT PROPERTIES, OR INTO EXISTING BODIES OF WATER, MUST BE INSTALLED, CONSTRUCTED OR, IN THE CASE OF VEGETATIVE BUFFERS, PROTECTED FROM DISTURBANCE, AS FIRST STEP IN THE LAND ALTERATION PROCESS. SUCH SYSTEMS SHALL BE FULLY OPERATIVE BEFORE ANY OTHER DISTURBANCE OF THE SITE BEGINS. EARTHEN STRUCTURES, INCLUDING BUT NOT LIMITED TO, BERMS, EARTH FILTERS, DAMS, OR DIKES SHALL BE STABILIZED AND PROTECTED FROM DRAINAGE DAMAGE OR EROSION WITHIN ONE WEEK OF INSTALLATION.
5. SWALES, DITCHES AND CHANNELS: CHANNELS LEADING FROM THE SITE SHALL BE SODDED WITH ARGENTINE BAHIA WITHIN THREE (3) DAYS OF EXCAVATION.
6. UNDERGROUND UTILITY CONSTRUCTION: UNDERGROUND UTILITY LINES AND OTHER STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 - A. NO MORE THAN 500 LINEAR FEET OF TRENCH SHALL BE OPEN AT ANY ONE TIME;
 - B. EXCAVATED MATERIAL SHALL BE CAST TO THE UPHILL SIDE OF TRENCHES AS LONG AS SAFETY AND SPACE CONSIDERATION ALLOW. TRENCH MATERIAL SHALL NOT BE CAST INTO, (OR ONTO THE SLOPE OF) ANY STREAM, CHANNEL, ROAD, DITCH OR WATERWAY.
7. ALL EROSION AND SILTATION CONTROL DEVICES: SHALL BE REGULARLY INSPECTED AND MAINTAINED, (ESPECIALLY AFTER EACH RAINFALL) AND WILL BE CLEANED OUT AND/OR REPAIRED AS REQUIRED.
8. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO RAIN SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE STORMWATER SYSTEM.
9. APPLICATION RATES AND METHODS FOR USE OF FERTILIZERS AND PESTICIDES AT THE CONSTRUCTION SITE SHALL CONFORM WITH ALL LOCAL AND STATE ORDINANCES. NUTRIENTS SHALL BE APPLIED ONLY AT RATES NECESSARY TO ESTABLISH AND MAINTAIN VEGETATION THAT DISCHARGES WILL NOT CAUSE OR CONTRIBUTE TO VIOLATIONS OF STATE SURFACE OR GROUNDWATER QUALITY STANDARDS.
10. OFF-SITE VEHICLE TRACKING OF SEDIMENTS AND THE GENERATION OF DUST SHALL BE MINIMIZED BY CONTRACTOR.

DEWATERING NOTES:

1. DURING THE EXCAVATION OF THE STORMWATER PONDS, THE CONTRACTOR MUST CONSTRUCT A SEDIMENT BASIN TO PROVIDE A DISCHARGE POINT FOR DEWATERING. THE SEDIMENT BASIN CAN BE A CELL IN THE SEDIMENT AREA OF A POND OR IT CAN BE A BERMED AREA ABOVE GROUND. ALL DEWATERING MUST BE HELD IN THE SEDIMENT AREA UNTIL THE WATER IS CLEAN SUCH THAT THERE WOULD BE NO TURBID DISCHARGE.
2. DURING EXCAVATION, THE CONTRACTOR SHALL NOT PENETRATE THE EXISTING CLAY LAYER IF PRESENT. IF THE CONTRACTOR ENCOUNTERS THE CLAY LAYER, HE/SHE IS TO PLACE A MINIMUM OF 2' OF SANDY MATERIAL OVER THE CLAY AND TERMINATE THE DEPTH OF THE EXCAVATION.
3. IF CONTRACTOR ENCOUNTERS SILTY/CLAY SAND, WHICH CAUSE THE WATER TO BECOME TURBID, HE/SHE SHALL TREAT THE SEDIMENT BASIN WITH A CHEMICAL ADDITIVE SUCH AS ALUM TO PROMOTE THE COAGULATION AND SETTLEMENT OF THE PARTICLES FOR THE WATER TO BECOME CLEARER. IF TURBID WATER IS ENCOUNTERED DURING EXCAVATION OF THE POND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY TO DETERMINE THE COURSE OF ACTION THAT IS APPROPRIATE TO ELIMINATE THE TURBIDITY AND ALLOW DISCHARGE THAT MEETS WATER QUALITY STANDARDS.
4. THE CONTRACTOR SHALL SECURE THE EXCAVATION OF THE STORMWATER PONDS SUCH THAT A SEDIMENT BASIN WILL BE AVAILABLE AT ALL TIMES. THE SEDIMENT BASIN CAN BE RELOCATED AS NECESSARY TO ENSURE THE WATER WITHIN THE SEDIMENT BASIN BECOMES NON-TURBID AND ACCEPTABLE FOR DISCHARGE OFF-SITE.

BEST MANAGEMENT PRACTICES:

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH APPROPRIATE CONDITIONS OF LOCAL, STATE, AND FEDERAL REGULATIONS. THE PLAN ADDRESSES THE FOLLOWING AREAS:

1. GENERAL EROSION CONTROL
2. PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION
3. CONTROL OF WIND EROSION

THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMP(S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FDOT INDEX #102 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION.

DEMOLITION NOTES (IF NECESSARY):

1. CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
2. EXTENT OF SITE CLEARING IS SHOWN ON DRAWINGS.
3. SITE DEMOLITION WORK INCLUDES, BUT IS NOT LIMITED TO:
 - A. ROADWAY
 - B. DRAINAGE AREA
 - C. SITE UTILITIES
 - D. LANDSCAPING
4. CONDUCT SITE DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES; DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
5. PROVIDE PROTECTION NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS INDICATED ON PLAN AS "EXISTING TO REMAIN."
6. RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
7. REMOVE WASTE MATERIALS AND UNSUITABLE AND EXCESS TOPSOIL FROM PROPERTY AND DISPOSE OF OFF-SITE IN A LEGAL MANNER.
8. LOCATE EXISTING ABOVE-GROUND AND UNDERGROUND UTILITIES IN AREAS OF WORK. IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING DEMOLITION OPERATION.
9. SHOULD UNCHARTED, OR INCORRECTLY CHARTED, PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING DEMOLITION, CONSULT PROJECT ENGINEER AND UTILITY OWNER FOR IMMEDIATE ACTION.
10. DEMOLISH AND COMPLETELY REMOVE FROM SITE MATERIAL INDICATED ON PLAN OR NOTES "TO BE REMOVED."
11. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PARKING LOTS, OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, OTHER HAZARDS CREATED BY THE DEMOLITION OPERATION.
12. FOR SELECTIVE CLEARING REFER TO LANDSCAPE PLAN.
13. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO EXISTING CONDITIONS, OR BETTER. FURTHERMORE, CONTRACTOR SHALL PROVIDE TO THE ENGINEER A PHOTOGRAPHY OF PRE-CONSTRUCTION CONDITIONS AND POST-CONSTRUCTION CONDITIONS AS NOTED ON PLANS.
14. CONTRACTOR SHALL MAINTAIN STORMWATER MANAGEMENT SYSTEM TO ENSURE NO DAMAGE TO ADJACENT PROPERTIES OCCURS DURING 100-YEAR STORM EVENTS.

GENERAL NOTES:

1. SITE DEVELOPER TO PROVIDE GRADING TO 0.1 FT PRIOR TO PAVING.
2. ONCE SITE IS CLEARED, EROSION CONTROL MEASURES (I.E., SEED AND MULCH) WILL BE IMPLEMENTED IN ACCORDANCE WITH THIS PLAN.
3. ALL ROADWAYS SHALL BE MAINTAINED/SWEPT DAILY TO REMOVE ANY DIRT TRANSPORTED ONTO THE EXISTING PAVED ROADWAYS.

SECTION 1 GENERAL EROSION CONTROL:

- 1.1 GENERAL EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND POTENTIAL POND SLOPE FAILURES. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION ACTIVITIES.
- 1.2 CLEARED SITE DEVELOPMENT AREAS NOT CONTINUALLY USED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY AND/OR OVERSEEDED AND SUFFICIENTLY WATERED TO STABILIZE THE TEMPORARY GROUND COVER.
- 1.3 BANKS OF RETENTION/DETENTION PONDS SHALL NOT BE CONSTRUCTED STEEPER THAN 4H:1V FROM TOP OF BANK TO TWO FEET BELOW THE CONTROL ELEVATION.
- 1.4 A 1-FOOT WIDE STRIP OF SOD SHALL BE PLACED ALONG ALL CURBING AND AROUND ALL INLETS. SOD SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED.
- 1.5 THE CONTRACTOR WILL STABILIZE BY SEED AND MULCH, SOD, OR OTHER APPROVED MATERIALS ANY DISTURBED AREAS WITHIN ONE WEEK FOLLOWING COMPLETION OF THE UTILITY SYSTEMS AND PAVEMENT AREAS. CONTRACTOR SHALL MAINTAIN SUCH AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER REGARDING THE TYPE OF MATERIAL, LANDSCAPING AND IRRIGATION REQUIREMENTS.

SECTION 2 PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION:

- 2.1 SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BEST MANAGEMENT PRACTICES IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.
- 2.2 WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES.
- 2.3 EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:
 - A. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
 - B. STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION AS SHOWN IN FDOT INDEX 102. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS COMPLETE.
- 2.4 HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DIKES, HAY BALES OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN SUCH AREAS TO CONTAIN SPILLS OF OIL, GREASE OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND USE ABSORBENT FILTER PADS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURRENCE.
- 2.5 SILT BARRIERS: ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.
- 2.6 PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE BY INSTALLING A TEMPORARY SEDIMENT SUMP AS REQUIRED. THE TEMPORARY SEDIMENT SUMP SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED ON THE GROUND DRAINING TO THE SUMP.

SECTION 3 CONTROL OF WIND EROSION:

- 3.1 WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE:
 - A. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EROSION PROTECTED. WATERING IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.
 - B. AS SOON AS PRACTICAL AFTER COMPLETION OF CONSTRUCTION, BARE EARTH AREAS SHALL BE VEGETATED.
 - C. ANY TIME DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION IS NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR THE TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS MAY INCLUDE ERECTION OF DUST CONTROL FENCES. DUST CONTROL FENCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FDOT INDEX 102, EXCEPT THE MINIMUM HEIGHT SHALL BE 4 FEET.

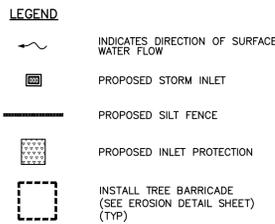
DEVELOPER:
GRIFFIN CONSTRUCTION
KEN GRIFFIN
11932 DUJOK LAKE CANAL RD
DADE CITY, FL 33525
PHONE: (352) 206-1841
EMAIL: KEN@BUILDINGWITHGRIFFIN.COM

ENGINEER:
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OWNER:
WESLEY CHAPEL SDA CHURCH
WIN WHEELER
33420 SR-54
WESLEY CHAPEL, FL 33543
PHONE: (813) 779-7171
EMAIL: WINGRAPHICS@TAMPABAY.RR.COM

SURVEYOR:
DC JOHNSON & ASSOC., INC.
DANIEL C. JOHNSON
11911 SOUTH CURLEY ST.
SAN ANTONIO, FL 33576
PHONE: (352) 588-2768

THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE	COMMUNITY	MAP NUMBER	PANEL NUMBER	SUFFIX	MAP EFFECTIVE DATE
X	PASCO	120230	0360	D	SEPT. 30, 1992



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15015 W. US HWY 90, SUITE 100, ZEPHYRHILLS, FL 33542
TEL: 813-788-7835 • FAX: 813-788-7835
CERTIFICATE OF AUTHORIZATION 28928

CLIENT: WESLEY CHAPEL 7th DAY ADVENTIST CHURCH - COMMUNITY SERVICES BUILDING

SHEET NAME: EROSION PLAN

SCALE AS NOTED	DATE	DESIGNED BY	DRAWN BY	CHECKED BY

NO.	REVISIONS

DATE: 8-16-16
PROJECT NO: 1510001
SHEET NUMBER: C07

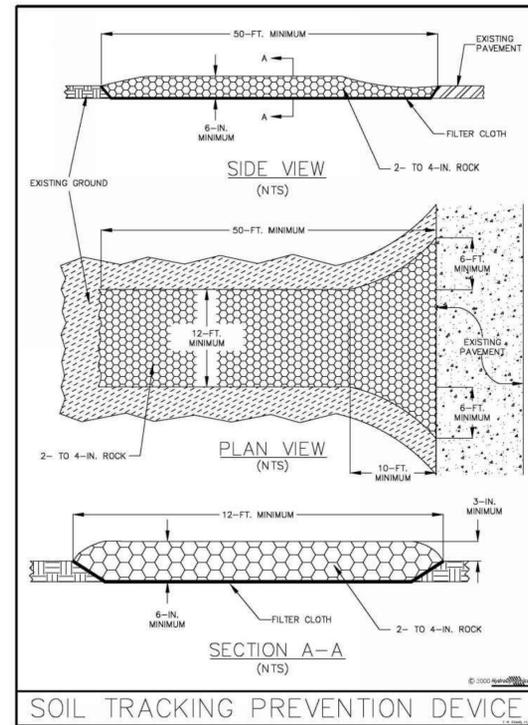


Figure V-52: Illustration of a Soil Tracking Prevention Device

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V-31

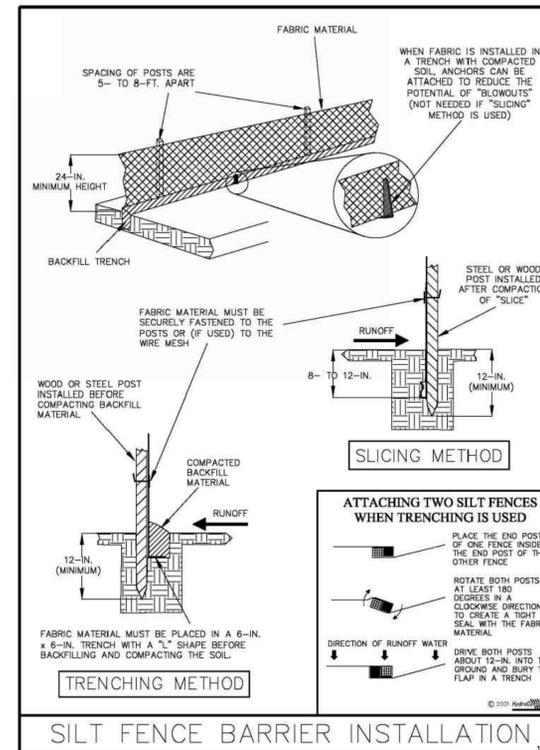
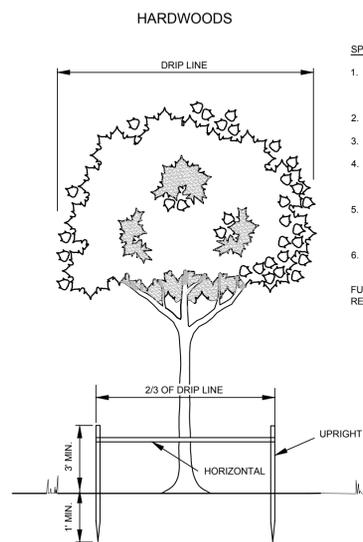


Figure V-40: Illustration of a Silt Fence Barrier

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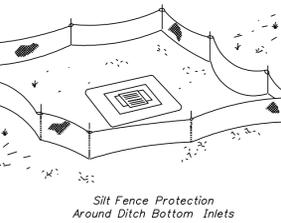
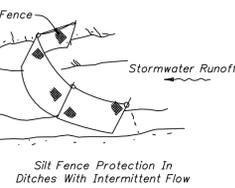
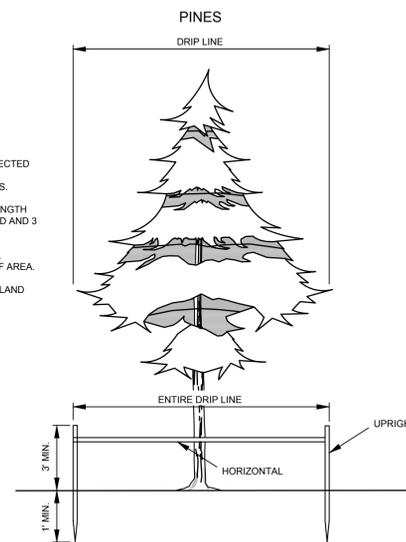
V-7



SPECIFICATIONS - WOOD BARRIER

- MINIMUM RADIUS TO BE PROTECTED:
 - HARDWOODS - 2/3 DRIPLINE
 - CONIFERS & SABAL PALMS - ENTIRE DRIPLINE
 - UPRIGHTS - NO LESS THAN 2" X 4" LUMBER.
 - HORIZONTALS - NO LESS THAN 1" X 4" LUMBER.
 - BARRIERS SHALL BE ERECTED AROUND ALL PROTECTED TREES AND PALMS, AND INSPECTED BY CITY REPRESENTATIVE BEFORE CONSTRUCTION BEGINS.
 - UPRIGHT POSTS ARE TO BE AT LEAST 4 FEET IN LENGTH WITH A MINIMUM OF 1 FOOT ANCHORED IN GROUND AND 3 FEET ABOVE GROUND.
 - BARRIERS TO REMAIN IN PLACE UNTIL ALL PAVING, CONSTRUCTION AND HEAVY EQUIPMENT IS OUT OF AREA.
- FURTHER INFORMATION MAY BE OBTAINED FROM THE LAND RESOURCE SPECIALIST AT 562-4741.

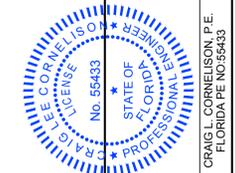
TREE BARRICADES
N.T.S.



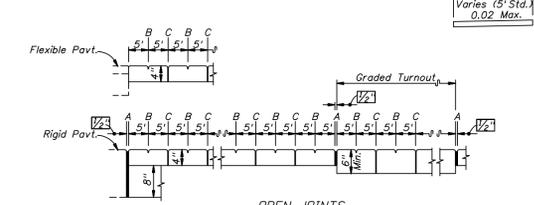
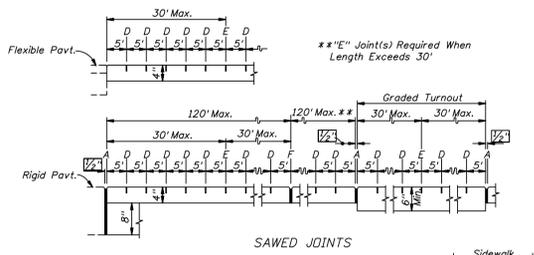
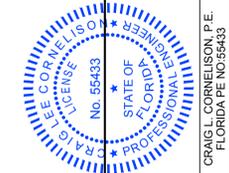
SILT FENCE APPLICATIONS
N.T.S.

Drawing name: \CEDSERVER\Shared\Folders\Project\1510001 - Wesley Chapel 7th Day Adventist Church\Cadd\Construction\C08-WC 7TH DAY ADVENTIST - EROSION DETAILS.dwg C08 Aug 15, 2016 6:34pm by: MircaCornelison
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No.	REVISIONS



Drawing name: \CEDSERVER\Shared Folders\Projects\1510001 - Wesley Chapel 7th Day Adventist Church\Cadd Construction\09.WC 7TH DAY ADVENTIST - CONSTRUCTION DETAILS.dwg C09 Aug 16, 2016 8:44am by: CraigCornelison
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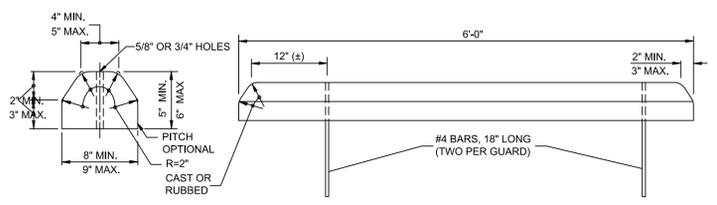


OPEN JOINTS
EXAGGERATED SCALE
LONGITUDINAL SECTIONS
SIDEWALK JOINTS

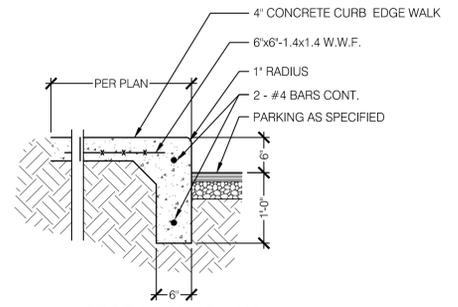
- JOINT LEGEND**
- A- 1/2" Expansion Joints (Preformed Joint Filler)
 - B- 1/8" Dummy Joints, Tooled
 - C- 3/16" Formed Open Joints
 - D- 1/8" Saw Cut Joints, 1 1/2" Deep (96 Hour) Max. 5' Centers
 - E- 1/2" Saw Cut Joints, 1 1/2" Deep (12 Hour) Max. 30' Centers
 - F- 1/2" Expansion Joint When Run Of Sidewalk Exceeds 120'. Intermediate locations when called for in the plans or at locations as directed by the Engineer.

- NOTES FOR CONCRETE SIDEWALKS ON UNCURBED ROADWAYS**
- Sidewalks shall be constructed in accordance with Section 522 of the FDOT Standard Specification
 - Provide detectable warnings that extend the fullwidth of the sidewalk and 24" deep from the edge of pavement where sidewalks adjoin the following vehicular ways:
 - side roads and streets
 - driveways with signalized entrances
 - driveways with entrance volumes greater than 600vpd
 - driveways with entrance speeds of 25 mph or greater
 - right in-right out composite driveways
 Detectable warning surfaces shall conform to the requirements described in the General Notes of Index 304. To the extent practical, the rows of truncated domes in a detectable warning surface should be aligned to be perpendicular or radial to the street, roadway, or driveway, as applicable.
 - For sidewalks continuous through driveways, detectable warning surfaces are not required.
 - For turnouts see Index No. 515.
 - Construct sidewalks with 1" thick Edge Beam through the limits of any surface mounted Pedestrian/Bicycle Picket Rolling or Pipe Gulerail shown in the plans. See Sheet 1 for details.

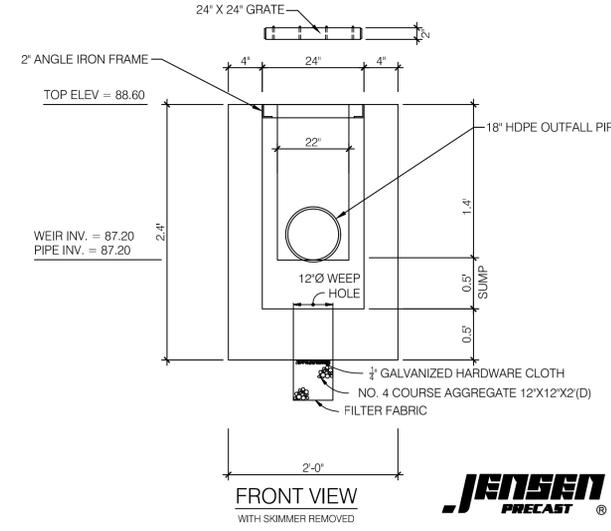
SIDEWALK DETAIL
N.T.S.



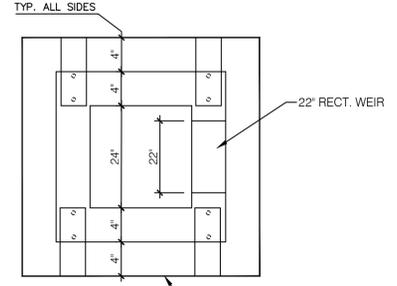
CONCRETE BUMPTER GUARD
CONCRETE WHEELSTOP PER FDOT INDEX 300
 N.T.S.



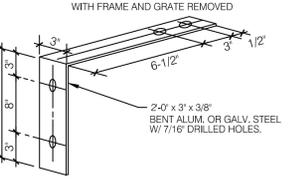
INTEGRAL CURB AND SIDEWALK DETAIL
N.T.S.



FRONT VIEW
WITH SKIMMER REMOVED



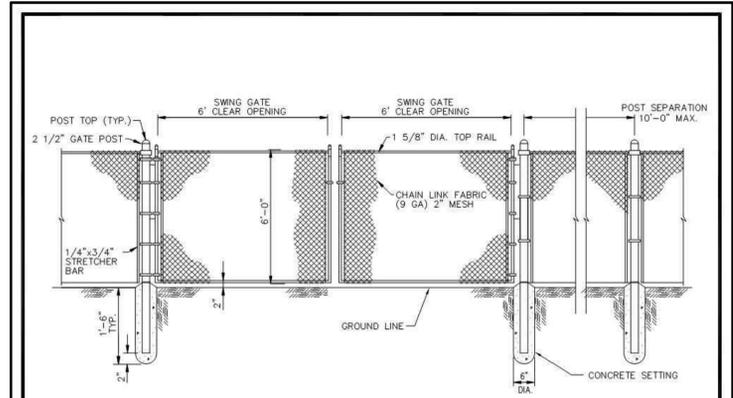
1/4" THICK ALUMINUM SKIMMER
TOP OF SKIMMER = 89.00
BOTTOM OF SKIMMER = 87.00



- NOTE:**
- FASTEN SKIMMER BLADE TO MOUNTING STRAP W/ 3/8" GALV. BOLTS & FASTENERS.
 - FASTEN MOUNTING BRACKETS TO STRUCTURE W/ 3/8" GALV. EXPAN. ANCHOR BOLT & FASTENERS.

MOUNTING BRACKET

JENSEN PRECAST 1616 DRAINAGE INLET BOX WITH 1616H GALVANIZED FRAME AND GRATE. (OR APPROVED EQUAL)



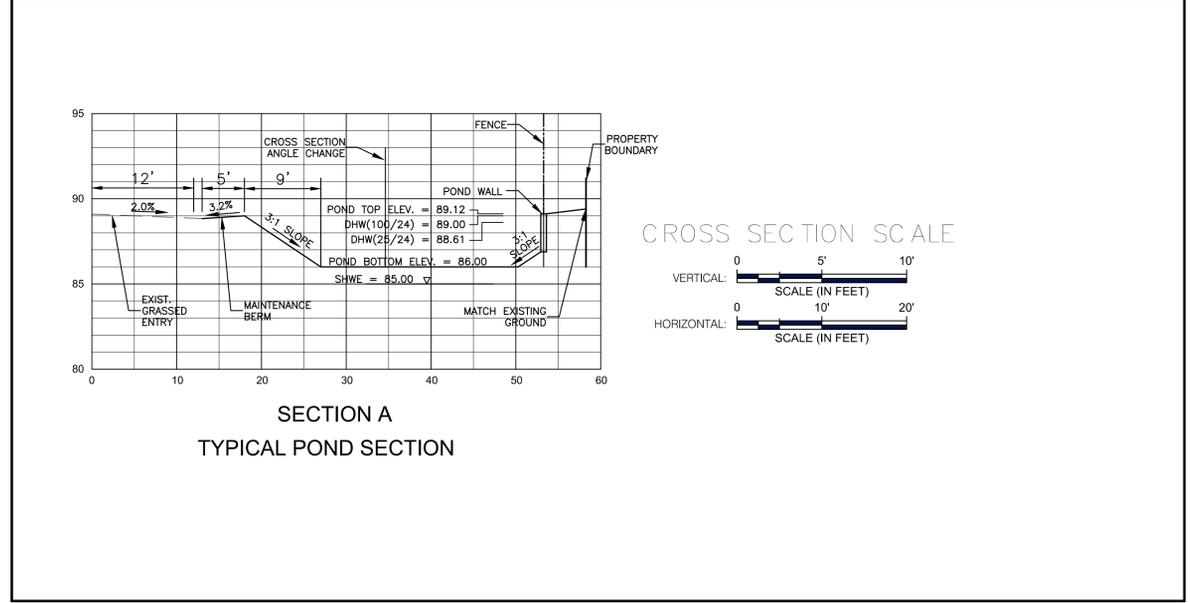
MATERIALS	
ITEM	DESCRIPTION
TYPE	CHAIN LINK
HEIGHT	4', 6', 8' - AS SPECIFIED BY COUNTY
FABRIC	9 GAUGE
POST	2-1/2" DIA. - .085 WALL THICKNESS (MINIMUM)
TOP RAILS	1-5/8" DIA. - .080 WALL THICKNESS (MINIMUM)
GATE	4' x 6' SWING TYPE W/ 2" DIA. - .085 WALL THICKNESS (MINIMUM)
	FRAMEWORK (LOCATED AS INDICATED ON METER SPEC. SHEET)
LATCH	FORK TYPE - PADLOCK COMPATIBLE

CREATED: 02/24/03
 REVISED: _____

FENCE SPECIFICATIONS

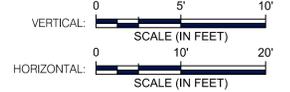
PASCO COUNTY UTILITIES

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 DETAIL 04

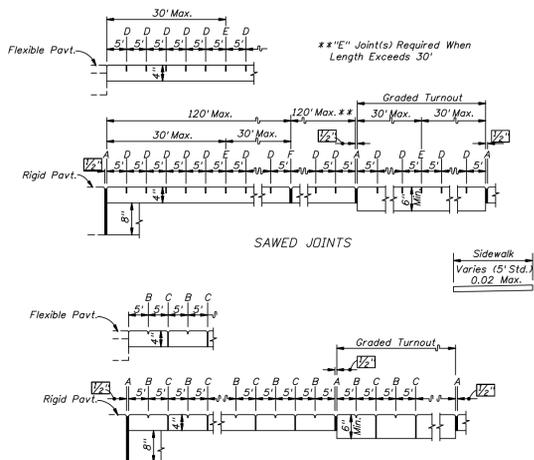
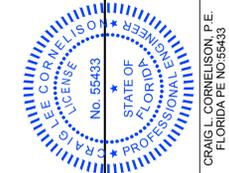


SECTION A
TYPICAL POND SECTION

CROSS SECTION SCALE



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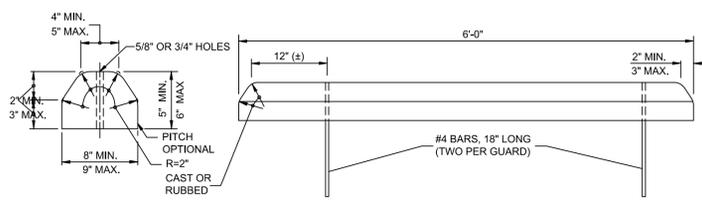


JOINT LEGEND

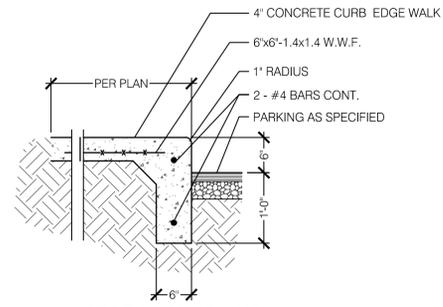
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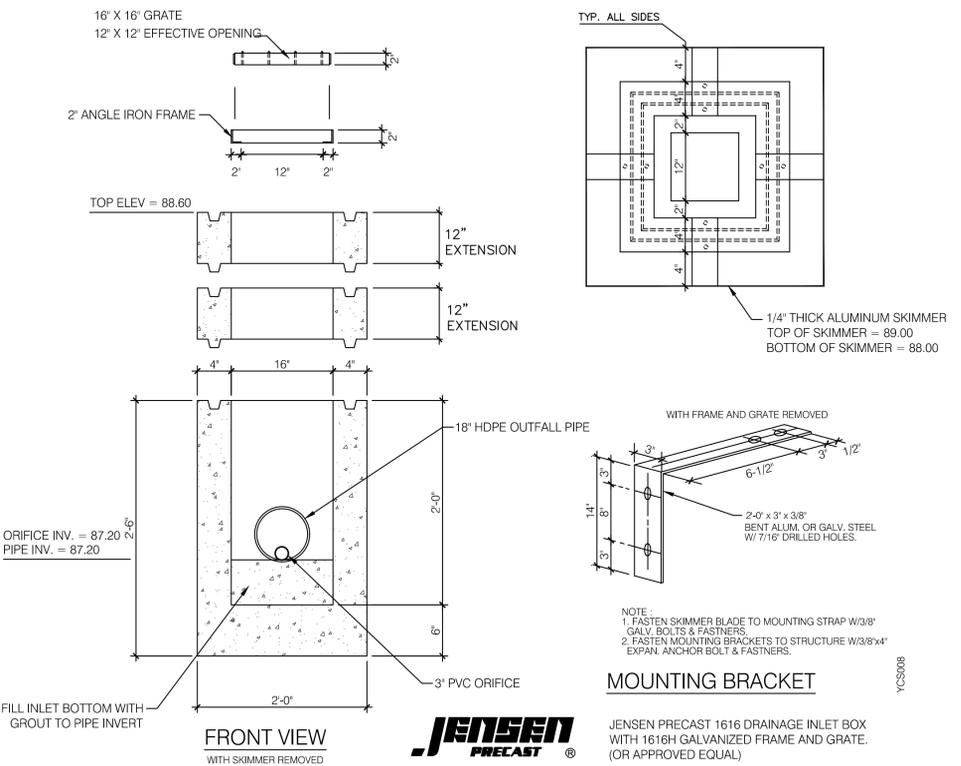
SIDEWALK DETAIL
N.T.S.



CONCRETE BUMPTER GUARD
CONCRETE WHEELSTOP PER FDOT INDEX 300
N.T.S.



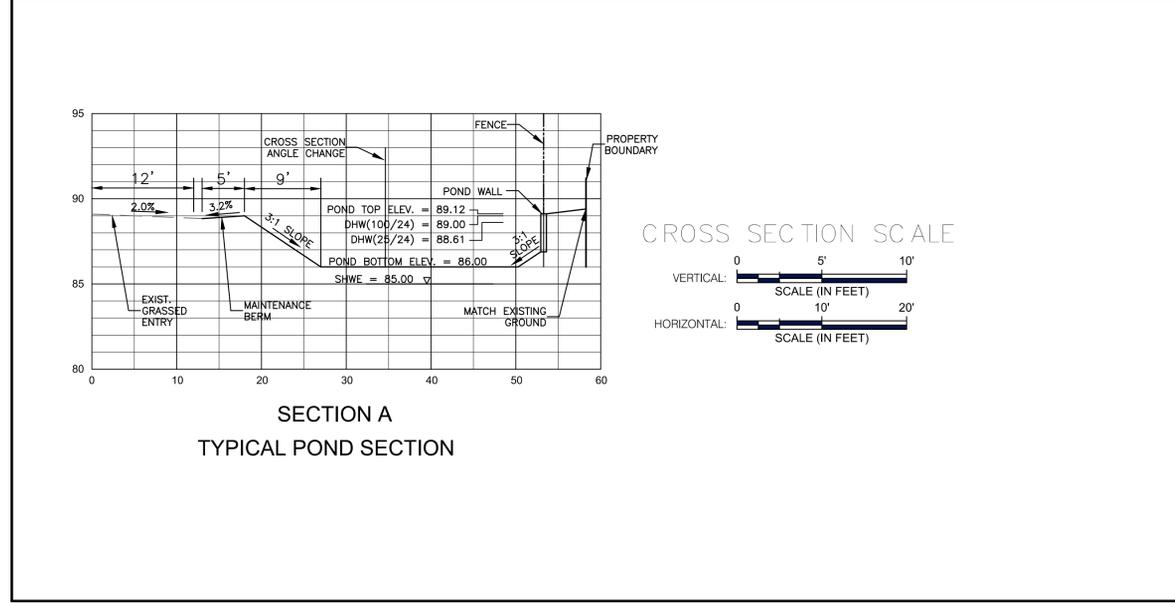
INTEGRAL CURB AND SIDEWALK DETAIL
N.T.S.



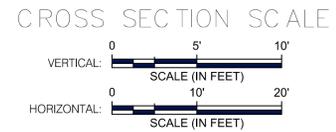
MOUNTING BRACKET



JENSEN PRECAST 1616 DRAINAGE INLET BOX WITH 1616H GALVANIZED FRAME AND GRATE. (OR APPROVED EQUAL)



SECTION A
TYPICAL POND SECTION



MATERIALS	
ITEM	DESCRIPTION
TYPE	CHAIN LINK
HEIGHT	4', 6', 8' - AS SPECIFIED BY COUNTY
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	FRAMEWORK (LOCATED AS INDICATED ON METER SPEC. SHEET)
LATCH	FORK TYPE - PADLOCK COMPATIBLE

CREATED: 02/24/03
 REVISED: _____

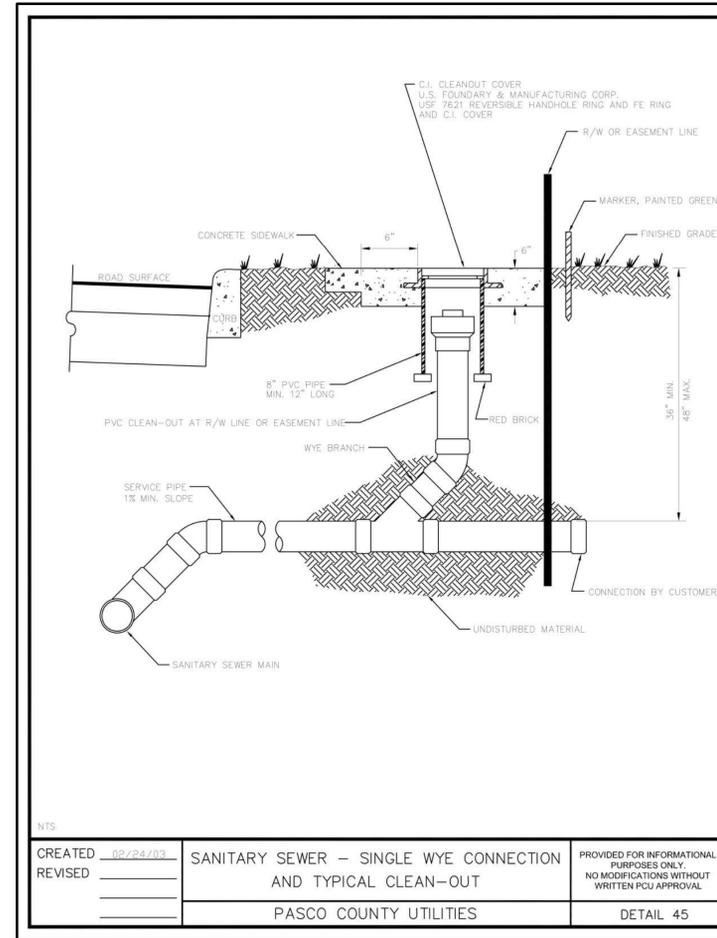
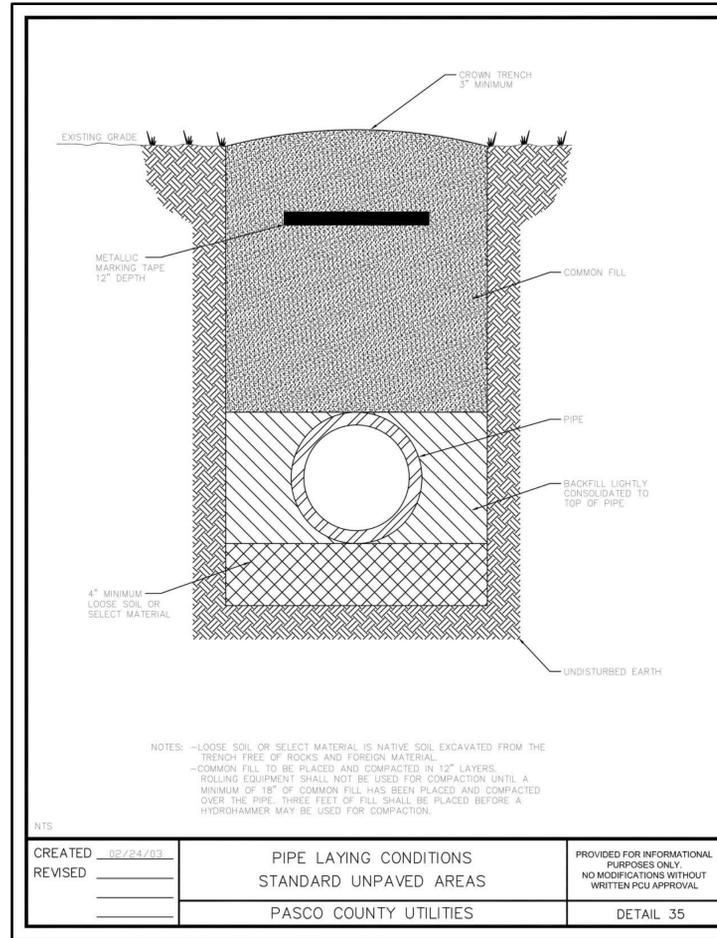
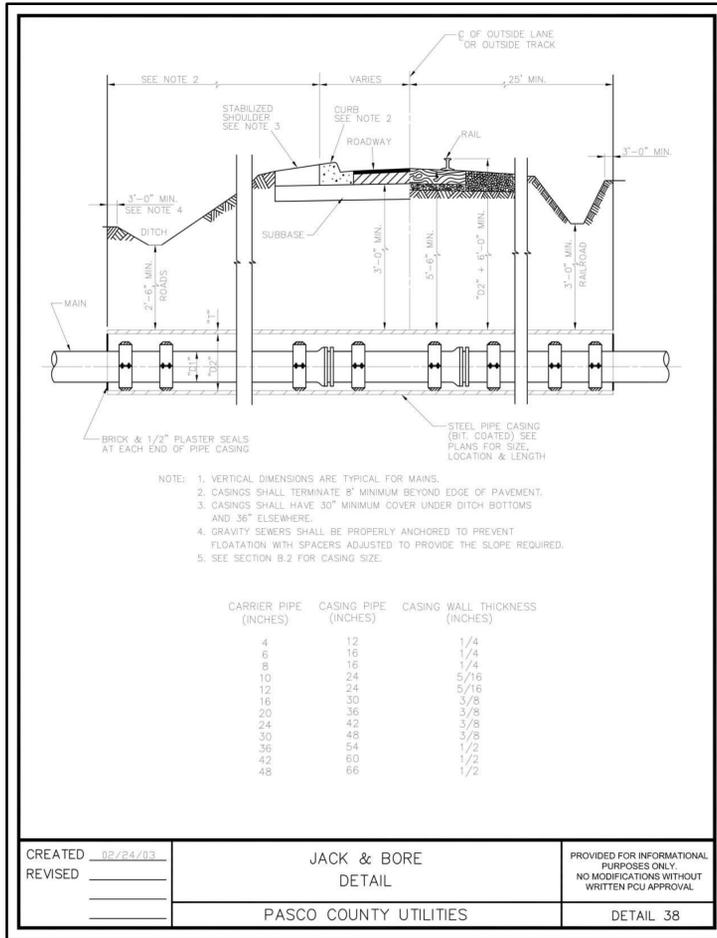
FENCE SPECIFICATIONS

PASCO COUNTY UTILITIES

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DETAIL: 04

Drawing name: \CEDSERVER\Shared Folders\Projects\1510001 - Wesley Chapel 7th Day Adventist Church\Cadd Construction\C10-WC 7TH DAY ADVENTIST - UTILITY DETAILS.dwg C10 - Aug 15, 2016 6:37pm by: MaroidCornelison
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CORNELISON ENGINEERING & DESIGN, INC. 38038 OLD 37th AVE., ZEPHYRUS, FL 33542 TEL: 813-788-7835 • FAX: 813-788-7862 CERTIFICATE OF AUTHORIZATION 28928	
PROJECT NAME	WESLEY CHAPEL 7th DAY ADVENTIST CHURCH - COMMUNITY SERVICES BUILDING
CLIENT	GRIFFIN CONSTRUCTION, LLC
SHEET NAME	UTILITY DETAILS
SCALE AS NOTED	DATE
DESIGNED BY C.L.C.	
DRAWN BY C.L.C.	
CHECKED BY C.L.C.	
NO.	REVISIONS
DATE	8-15-16
PROJECT NO.	1510001
SHEET NUMBER	C10

RILEY & Company, Inc. (H-20 GP)

w/ BATTERY BACK-UP FOR AUDIO AND VISUAL ALARMS

SCOPE: Supply one complete H-20 GP Pre-Fab Lift Station, per design.
Pumps shall be capable of grinding and pumping domestic & commercial sewage.

Complete system shall be supplied by:

RILEY & Company, Inc.

Sanford, FL 32773 (Ph. 407-265-9963)

NO SUBSTITUTIONS - NO ALTERNATES

PUMPS AND ELECTRICAL CONTROL PANEL MUST BE WARRANTED FOR A MINIMUM OF 3 YEARS.

FIBERGLASS WETWELL MUST BE WARRANTED FOR A MINIMUM OF 20 YEARS.

The H-20 Load Rated Fiberglass Wetwell Must Be Manufactured By L.F. Manufacturing, Giddings, Texas, Which Includes A Written 20 Yr. Warranty

Certification of the wetwell H-20 load rating must be supplied with submittals. H-20 certification must be signed and sealed by an engineer registered in the State of Florida.

After the H-20 load rated wetwell has been installed, the ASTM Certification Number and Serial Tracking Number must be visible.

PUMPS: (3 YEAR WARRANTY)

Submersible grinder pumps shall be RILEY Model RC30085.

installed in the H-20 GP FRP wetwell utilizing a dual slide rail system.

The grinder unit shall be capable of macerating materials normally found in domestic and commercial sewage into a fine slurry which will pass through the pump and the Sch.80 PVC discharge piping.

Stator winding shall be open type with Class F insulation and shall be heat-shrink fitted into the stator housing. The use of pins, bolts, or other fastening devices is not acceptable.

A heat sensor thermostat shall be attached to the top end of the motor winding and shall be connected in series with the magnetic contactor coil in the control panel to stop motor if winding temperature exceeds 140 C., but shall automatically reset when the winding temperature returns to normal. Two heat sensor thermostats shall be used on three phase motors.

The pump motor grinder shaft shall be AISI 430F SS threaded to take the pump impeller and the grinder impeller.

Upper & lower mechanical seals shall be Silicon Carbide vs Silicon Carbide.

DUPLIX CONTROL PANEL: (3 YEAR WARRANTY)

To insure complete unit and warranty responsibility the electrical control panel must be manufactured and built by the pump supplier. The pump supplier must be a TUV (UL508A CERTIFIED) manufacturing facility, with a minimum of 5 years history in the manufacturing of electrical control panels.

The Enclosure shall be NEMA 4X, minimum 30" high x 30" wide x 10" deep aluminum with 4 point latching system.

The enclosure shall have external mounting feet to allow for wall mounting.

The following components shall be mounted through the enclosure:

- 1- ea. Red Alarm Beacon (Light) 4" x 4" Minimum Diameter
- 1- ea. Alarm Horn (minimum 95 DCB)
- 1- ea. Generator Receptacle w/ weatherproof cover(SCM460 -UL 1686)
- 1- ea. Alarm Silence Pushbutton

The back panel shall be fabricated from .125, 5052-H32 marine alloy aluminum. All components shall be mounted by machined stainless steel screws.

The following components shall be mounted to back panel:

- 2- ea. Motor Contactors
- 1- ea. Volt Monitor (1 Ph) Phase Monitor (3 Ph) w/2 N/O & 1 N/C Contacts
- 1- ea. Control Transformer (480 Volt Only) (Min. 500VA)
- 1- ea. Silence Relay Module
- 1- ea. Duplex Alternator w/ Pump Selector Switch
- 1- ea. Model RCBB5AH Battery Back-Up w/ Smart Charger
- 20- ea. Terminals For Field Connections
- 6- ea. Terminals For Motor Connections (Single Phase Only)
- 7- ea. Grounding Lugs
- 1- ea. Seal Failure Relay

The inner door shall be fabricated from .080, 5052-H32 marine alloy aluminum. The inner door shall have a continuous aluminum piano hinge.

The following components shall be mounted through the inner door:

- 1- ea. Main Circuit Breaker
- 1- ea. Emergency Circuit Breaker
- 1- ea. Mechanical Interlock For Emergency And Main Breakers (UL Listed)
- 2- ea. Short Circuit Protectors w/ Auxiliary Contacts
- 1- ea. Control Circuit Breaker
- 2- ea. Seal Failure Indicator Lights
- 1- ea. Hand-Off-Auto Selector Switches
- 2- ea. Pump Run Pilot Lights
- 1- ea. Power On Pilot Light
- 2- ea. Elapse Time Meters (Non-Resetable)
- 1- ea. GFI Duplex Convenience Outlet

COMPONENT SPECIFICATIONS:

All circuit breakers shall be molded thermal magnetic. The mechanical interlock shall prevent the normal and emergency main breakers being energized at the same time.

An emergency generator receptacle shall be supplied in accordance with DEP standards. The generator receptacle shall be adequately sized to meet the equipment operating conditions.

NEUTRAL TO BE SUPPLIED FOR BOTH 230V 3PHASE OR 230V SINGLE PHASE POWER

All motor short circuit protection devices must provide for under voltage release and class 10 overload protection on all three phases. Visible trip indication, test, and reset capability must be provided without opening inner door.

Open frame, across the line, contactors shall be rated per IEC standards and properly sized per the motor requirements. Contactors shall provide for safe touch power and control terminals.

Lightning Arrestor shall meet UL1449 3rd Edition or exceed the requirements of ANSI/IEEE Std. C62.21-1984 section 8.6.1. and 8.7.3 shall be supplied by electrician and mounted on the bottom side of the switch disconnect ahead of the pump control panel.

A voltage monitor shall be supplied for single phase service. A phase monitor shall be supplied for (3) phase service.

A green pilot light shall be supplied for each motor. The pilot light shall illuminate each time the motor is called to run. Each pump shall have an Elapse Time Meter to record the accumulated run time. The ETM shall be 2" diameter, non-resettable, six digit, totally encapsulated unit.

A Red pilot light shall be supplied for control power. The pilot light shall illuminate when the control power is available inside the control panel.

Relays shall be ice-cube plug in type. Relay contacts shall be rated 10 amp minimum, DPDT.

Twenty (20) terminals shall be supplied for field connections. The terminals shall be rated 25 amps minimum.

Each motor over-temperature contact shall be connected to the terminal strip and shall open a contact to de-energize the appropriate motor upon a high temperature within the motor. A 15 Amp GFI duplex receptacle shall be supplied and mounted on the innerdoor.

Ground lugs shall be supplied and appropriately sized for each motor and for service entrance.

MISCELLANEOUS: All wiring on the back panel shall be contained within the wiring duct. All wiring between the inner door and the back panel shall be contained within a plastic spiral wrap. Each wire shall have a wire number at each end to correspond to the as built drawing for field troubleshooting.

The control panel must be manufactured in-house by lift station supplier and be a TUV (UL508A Certified) facility.

FASTENERS & APPURTANCES: All fasteners, lifting cables, float cable bracket, hinges, and appurtenances shall be made of AISI 304SS.

A 304SS slide/latch assembly shall be provided for holding the doors open on the wetwell and valve box. Slide rails shall be made of SCH.40 AISI 304SS pipe. Pump lifting cables shall be made of AISI 304 SS. Pump lifting bales shall be made of AISI 304 SS.

H-20 LOAD RATED WETWELL WITH LIFTING LUGS:

The fiberglass wetwell must be H-20 load rated with integral lifting lugs, fiberglass slope in bottom of wetwell and valve box. Certification of the H-20 load rating must be supplied at the time of submittals to Engineer. The wetwell shall be manufactured of fiberglass reinforced polyester (FRP) of depth and diameter as shown on the lift station elevation detail. The wall thickness shall be adequate for the depth of the wetwell to maintain the H-20 LOAD RATING.

EXECUTION:

Installation shall be in strict accordance with the manufacturer's recommendations in the locations shown on the drawing.

INSPECTION & TESTING: A factory representative shall provide for a one (1) time start-up and shall have complete knowledge of the proper operation and maintenance of complete system. Megger the motors. The pump motors shall be megged out prior to the start-up to ensure that the insulation of the pump motor/cable is intact. The pump controls and pumps shall be checked for mechanical reliability and proper operation.

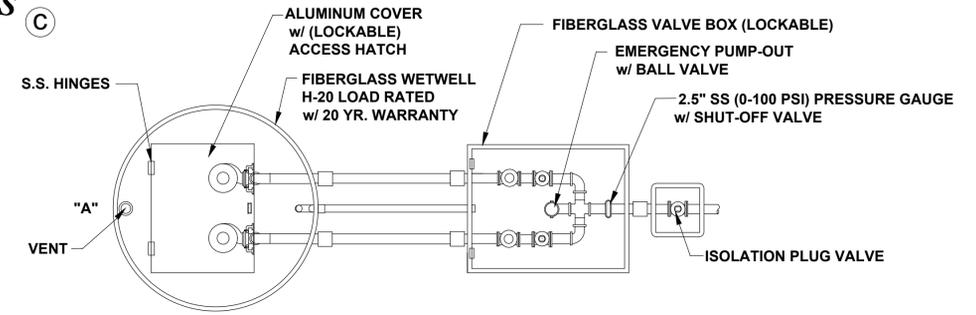
LIFT STATION WILL BE PRIVATELY OWNED AND MAINTAINED.

PUMP DATA		ELEVATIONS	
PRIMARY PUMP CAPACITY	80 GPM	TOP OF WETWELL	90.50
PRIMARY TDH	79 'TDH	INLET INVERT	86.00
PUMP MANUFACTURER	RILEY	HIGH LEVEL ALARM (HLA)	85.50
PUMP MODEL #	RC30085	2nd PUMP ON (LAG)	85.00
R.P.M.	3450	1st PUMP ON (LEAD)	84.00
HORSEPOWER	4.10	PUMPS OFF (OFF)	83.00
ELECTRICAL/ VOLTS / PHASE	230V/3	BOTTOM OF WETWELL	81.50
PUMP DISCHARGE SIZE	2"	WETWELL DIAMETER	48"

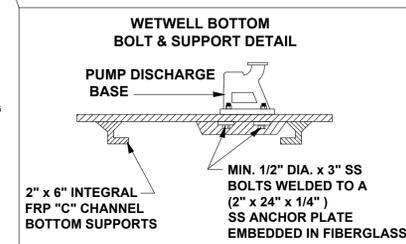
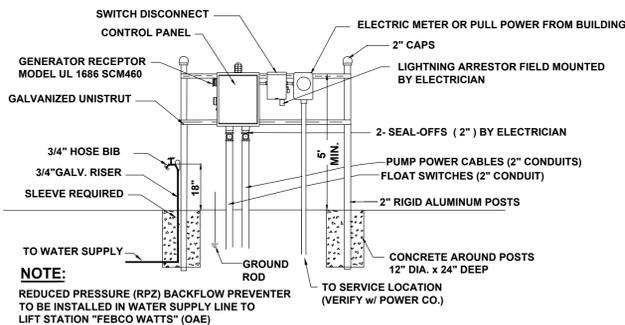
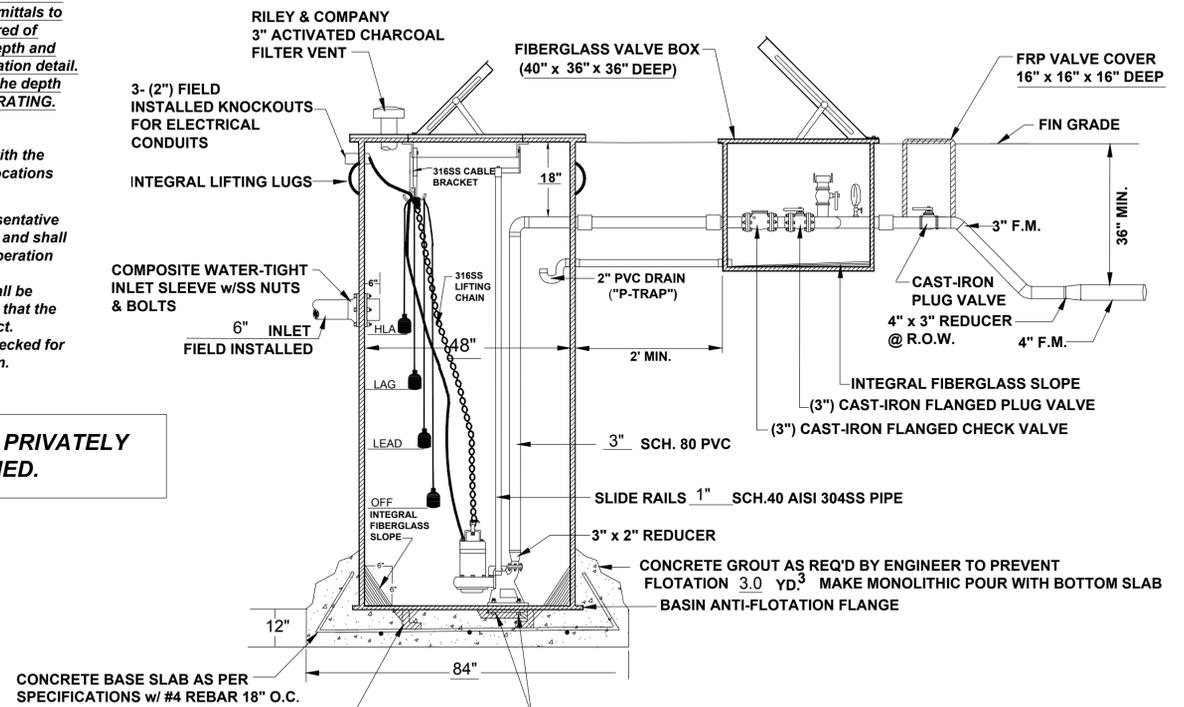
*** ELECTRICIAN NOTES:**

1. DRAWING NOT TO SCALE
- * 2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES
- * 3. ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS
- * 4. ELECTRICIAN TO MOUNT LIGHTNING ARRESTOR AT SWITCH DISCONNECT
- * 5. CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT
- * 6. NEUTRAL TO BE SUPPLIED FOR 230V-3 PHASE OR 230V-SINGLE PHASE POWER.

RILEY & CO. / H-20 GP 08-03-16



NOTE: PUMP CONTROL PANEL SHALL BE LOCATED 3 FEET FROM WETWELL PERIMETER AT POINT "A"



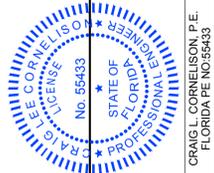
ELECTRICAL RISER FOR ILLUSTRATION PURPOSES ONLY

Drawing name: \CEDSERVERS\Shared\Folders\Project\1510001 - Wesley Chapel 7th Day Adventist Church\Cadd\Construction\C11-WC 7TH DAY ADVENTIST - LIFT STATION DETAILS.dwg C11 Aug 15, 2016 6:35pm by: MarciaCornelison
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15001 WESLEY CHAPEL ROAD, SUITE 200, WESLEY CHAPEL, FL 32793
TEL: 813-788-7835 • FAX: 813-788-7862
CERTIFICATE OF AUTHORIZATION #8928

PROJECT NAME: WESLEY CHAPEL 7th DAY ADVENTIST CHURCH - COMMUNITY SERVICES BUILDING
CLIENT: GRIFFIN CONSTRUCTION, LLC
SHEET NAME: LIFT STATION DETAILS

SCALE	AS NOTED	DESIGNED BY	DRAWN BY	CHECKED BY



DATE: 8-15-16
PROJECT NO.: 1510001
SHEET NUMBER: C11

Drawing name: \\CEDSERVERS\Shared Folders\Project\1510001 - Wesley Chapel 7th Day Adventist Church\Construction\1-WC 7TH DAY ADVENTIST - LANDSCAPE PLAN.dwg C04 Aug 12, 2016 3:55pm by: IleanaMartinez
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LANDSCAPE LEGEND:

SYMBOL	KEY	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SPECIFICATIONS	NATIVE TO FLORIDA	DROUGHT TOLERANT
CANOPY TREES:							
	CC	3	<i>Cercis canadensis</i>	RED BUD	2" CALIPER, 6' HT. MIN.	YES	YES
	LS	5	<i>Liquidambar styraciflua</i>	SWEETGUM	2" CALIPER, 6' HT. MIN.	YES	YES
	MGlg	4	<i>Magnolia grandiflora</i>	"LITTLE GEM" SOUTHERN MAGNOLIA	2" CALIPER, 6' HT. MIN.	YES	YES
	QV	4	<i>Quercus virginiana</i>	LIVE OAK	2" CALIPER, 6' HT. MIN.	YES	YES
	MC	2	<i>Myrica cerifera</i>	WAX MYRTLE	2" CALIPER, 6' HT. MIN.	YES	YES
SHRUBS:							
	MF	71	<i>Myrcianthes fragrans</i>	SIMPSON'S STOPPER	36" HT. MIN. (AT PLANTING) 42" O.C.	YES	YES
	VO	320	<i>Viburnum obovatum</i>	WALTER'S VIBURNUM	2 GAL., MIN. 18" HT. X 18" SPD., 36" O.C.	YES	YES

PASCO COUNTY LANDSCAPING STANDARD NOTES (PASCO LDC 905.2)

- MAINTENANCE RESPONSIBILITY.** THE COUNTY IS NOT RESPONSIBLE FOR MAINTENANCE OF ANY LANDSCAPING UNLESS APPROVED THROUGH A COUNTY MAINTENANCE AGREEMENT. (LDC 905.2-C.1.A)
- CLEAR-SIGHT TRIANGLE.** WHERE A DRIVEWAY/ACCESSWAY INTERSECTS A ROAD RIGHT-OF-WAY OR WHERE TWO (2) ROAD RIGHTS-OF-WAY INTERSECT, VEGETATION, STRUCTURES, AND NON-VEGETATIVE VISUAL SCREENS SHALL NOT BE LOCATED SO AS TO INTERFERE WITH THE CLEAR-SIGHT TRIANGLE AS DEFINED IN THIS CODE OR THE FLORIDA DEPARTMENT OF TRANSPORTATION, MANUAL OF UNIFORM MINIMUM STANDARDS, MOST RECENT EDITION (GREEN BOOK), WHICHEVER IS MORE RESTRICTIVE. (LDC 905.2-C.1.B)
- SUSTAINABLE PRACTICES.** LANDSCAPING SHALL BE INSTALLED SO THAT LANDSCAPING MATERIALS MEET THE CONCEPT OF RIGHT MATERIAL/RIGHT PLACE. INSTALLED TREES AND PLANTS SHALL BE GROUPED INTO ZONES ACCORDING TO WATER, SOIL, CLIMATE, AND LIGHT REQUIREMENTS. PLANT GROUPINGS BASED ON WATER REQUIREMENTS ARE DROUGHT TOLERANT, NATURAL, AND OASIS. (LDC 905.2-C.1.C)
- DIVERSITY.** A MAXIMUM OF 50 PERCENT OF THE PLANT MATERIALS USED, OTHER THAN TREES, MAY BE NON-DROUGHT TOLERANT. A MINIMUM OF 30 PERCENT OF THE PLANT MATERIALS, OTHER THAN TREES AND TURFGRASS, USED TO FULFILL THE REQUIREMENTS OF THIS SUBSECTION SHALL BE NATIVE FLORIDIAN SPECIES, SUITABLE FOR GROWTH IN THE COUNTY. (LDC 905.2-C.1.D)
- DIVERSITY.** NO ONE PLANT SPECIES OF SHRUBS OR GROUND COVER PLANTS, EXCLUDING TURFGRASS, SHALL CONSTITUTE MORE THAN 25 PERCENT COVERAGE OF THE OVERALL LANDSCAPE AREA. (LDC 905.2-C.1.D.5)
- QUALITY.** ALL PLANT MATERIALS SHALL BE FLORIDA NO. 1 GRADE PER "GRADES AND STANDARDS FOR NURSERY PLANTS," FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES (FDACS), WHICH IS INCORPORATED HEREIN BY REFERENCE. (LDC 905.2-C.2.A)
- AVOID EASEMENTS.** TREES SHALL NOT BE PLANTED WITHIN ANY EASEMENT SO AS TO INTERFERE WITH THE USE OF THAT EASEMENT, NOR UNDER ANY PRESENT OR PLANNED OVERHEAD UTILITY, NOR IN ANY RIGHTS-OF-WAY WITHOUT COUNTY APPROVAL THROUGH THE ASSOCIATED REVIEW PROCESS. (LDC 905.2-C.3.C)
- MULCH SHALL BE USED IN CONJUNCTION WITH LIVING PLANT MATERIALS** SO AS TO COVER EXPOSED SOIL. MULCH SHALL BE INSTALLED TO A MINIMUM DEPTH OF THREE (3) INCHES. THE MULCH SHOULD NOT BE PLACED DIRECTLY AGAINST THE PLANT STEM OR TREE TRUNK. MULCH SHALL NOT BE REQUIRED FOR ANNUAL BEDS. STONE OR GRAVEL MAY BE USED TO COVER A MAXIMUM OF 20 PERCENT OF THE LANDSCAPED AREA. (LDC 905.2-C.3.D)
- QUALITY PRACTICES.** ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH STANDARDS AND PRACTICES OF THE FLORIDA NURSERY, GROWERS, AND LANDSCAPE ASSOCIATION AND THE FLORIDA CHAPTER OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE. (LDC 905.2-C.3.E)
- ALL PORTIONS OF A LOT UPON WHICH DEVELOPMENT HAS COMMENCED, BUT NOT CONTINUED FOR A PERIOD OF 30 DAYS, SHALL BE PLANTED WITH A GRASS SPECIES OR GROUND COVER TO PREVENT EROSION AND ENCOURAGE SOIL STABILIZATION. ADEQUATE COVERAGE, SO AS TO SUPPRESS FUGITIVE DUST, SHALL BE ACHIEVED WITHIN 45 DAYS. (LDC 905.2-C.3.G)
- ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY CONDITION IN PERPETUITY IN ACCORDANCE WITH THIS CODE. (LDC 905.2-E.2)
- ONGOING MAINTENANCE TO PREVENT THE ESTABLISHMENT OF PROHIBITED EXOTIC SPECIES IS REQUIRED. (LDC 905.2-E.4)

REQUIRED LANDSCAPE BUFFERS:

DIRECTION	USE	TYPE	DISTANCE
NORTH:	STATE ROAD	D	10'
SOUTH:	SINGLE FAMILY RESIDENTIAL	A	10'
WEST:	RV PARK	A	10'
EAST:	VACANT COMMERCIAL LOT / SINGLE FAMILY RESIDENTIAL	A	10'

- TYPE A BUFFER**
TEN (10) FEET WIDE, TREES MAXIMUM 60 FEET ON CENTER, AND A CONTINUOUS ROW OF EVERGREEN SHRUBS A MINIMUM OF 18" INCHES IN HEIGHT AND A MAXIMUM OF 36" ON CENTER AT THE TIME OF INSTALLATION.
- TYPE D BUFFER**
SHADE AND UNDERSTORY TREES SHALL BE PLANTED AN AVERAGE OF THIRTY (30) FEET APART. MINIMUM SPACING TWENTY (20) FEET. MAXIMUM FORTY-FIVE (45) FEET. THE REMAINDER OF THE BUFFER SHALL BE LANDSCAPED WITH SHRUBS AT A MINIMUM RATE OF FIVE (5) SHRUBS PER TREE OR PALM AND GROUND COVER PLANTS. WHERE A VEHICULAR USE AREA ADJUTS THE RIGHT-OF-WAY BUFFER, THE BUFFER SHALL ALSO CONTAIN AN EARTHEN BERM A MINIMUM OF EIGHTEEN (18) INCHES IN HEIGHT; SHALL BE PLANTED SO AS TO FORM A CONTINUOUS, UNBROKEN, SOLID VISUAL SCREEN WITHIN ONE (1) YEAR OF TIME OF PLANTING; AND GROUND COVER PLANTS, BERMS AND LANDSCAPING SHALL BE EIGHTY (80) PERCENT OPAQUE AND SHALL BE A MINIMUM OF THREE (3) FEET IN HEIGHT AT THE TIME OF PLANTING AND ALL TIMES THEREAFTER. BERM MAY BE UNDULATING TO ALLOW TREE PLACEMENT AND PROMOTE VISUAL INTEREST. BERM SHALL NOT BE REQUIRED WITHIN CLEAR-SIGHT TRIANGLE AREA. NO MORE THAN THIRTY (30) PERCENT OF THE REQUIRED LANDSCAPE AREA SHALL BE GRASSED. WOODEN FENCES SHALL BE PROHIBITED.

DROUGHT TOLERANT REQUIREMENT:

OVERALL SITE: MAX 50% PLANT MATERIAL OTHER THAN TREES ARE ALLOWED TO BE NON-DROUGHT TOLERANT
 0 OF 391 SHRUBS ARE NON-DROUGHT TOLERANT = 0%

NATIVE SPECIES REQUIREMENT:

A MINIMUM OF THIRTY (30) PERCENT OF THE PLANT MATERIALS, OTHER THAN TREES AND TURFGRASS, SHALL BE NATIVE FLORIDIAN SPECIES SUITABLE FOR GROWTH IN THE COUNTY.
 29 OF 29 TREES ARE NATIVE FLORIDIAN SPECIES = 100%
 391 OF 391 SHRUBS ARE NATIVE FLORIDIAN SPECIES = 100%

LANDSCAPE BUFFER REQUIREMENT:

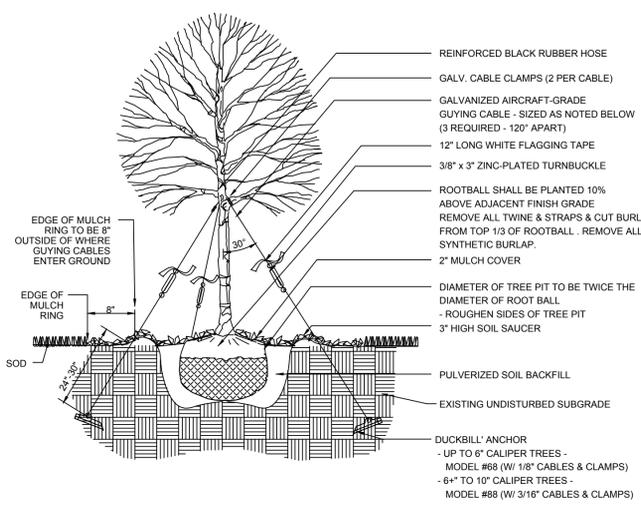
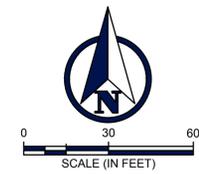
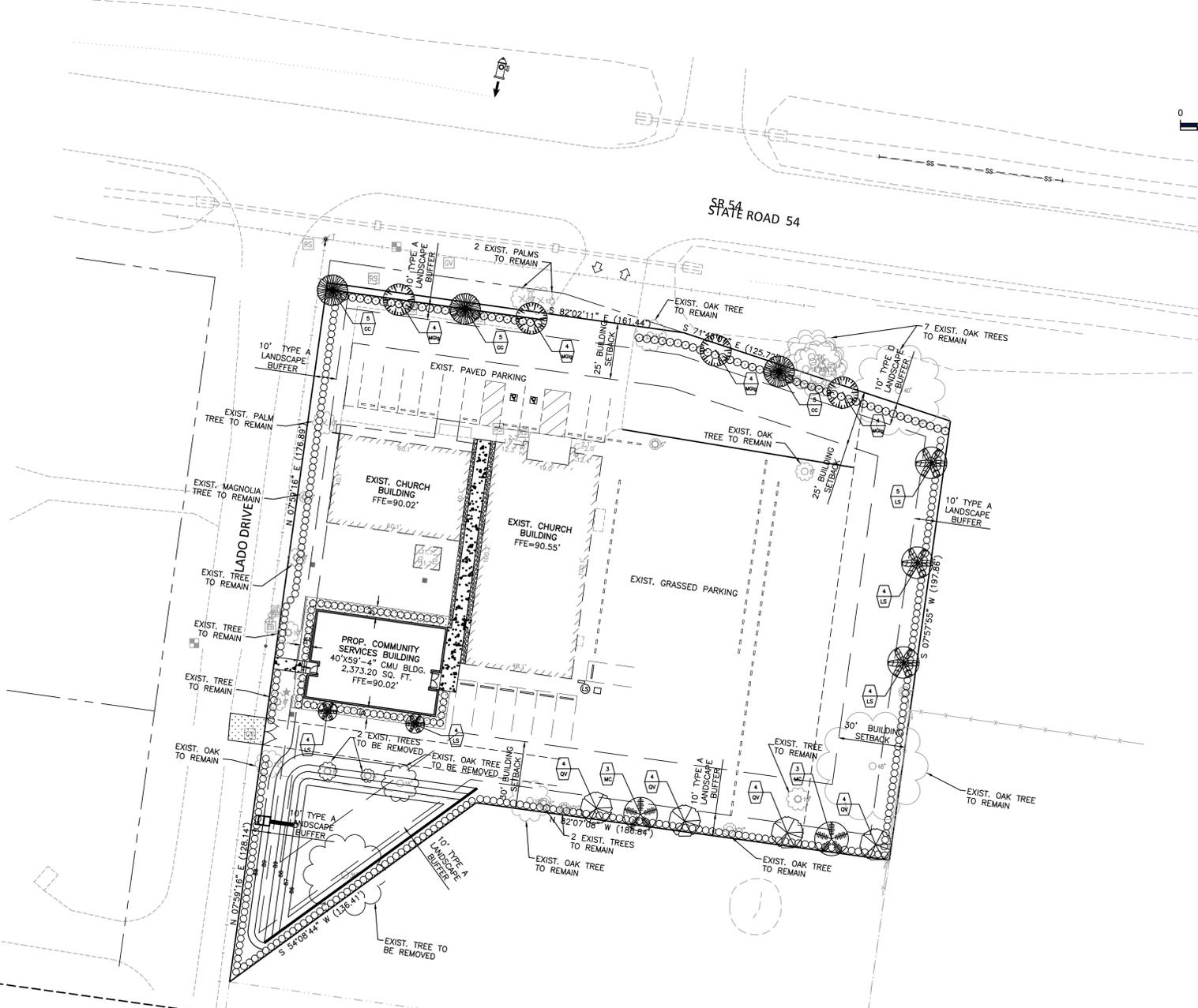
- BUFFER ALONG NORTH PROPERTY LINE**
TYPE "D" - 10' WIDE MINIMUM.
MAXIMUM OF 30' O.C. UNDERSTORY TREES
242 LINEAR FEET @ 1 TREE PER 30 FEET
8 TREES REQUIRED, 8 TREES PROVIDED
71 SHRUBS REQUIRED, 71 SHRUBS PROVIDED
- BUFFER ALONG WEST PROPERTY LINE**
TYPE "A" - 10' WIDE MINIMUM.
1 TREE PER 60 LINEAR FEET MAXIMUM O.C. WITH HEDGE ROW
PLANTED AT 18" HEIGHT AND MAXIMUM OF 36" O.C.
315 LINEAR FEET @ 1 TREE PER 60 FEET
6 TREES REQUIRED, 6 TREES PROVIDED
94 SHRUBS REQUIRED, 94 SHRUBS PROVIDED
- BUFFER ALONG SOUTH PROPERTY LINE**
TYPE "A" - 10' WIDE MINIMUM.
1 TREE PER 60 LINEAR FEET WITH HEDGE ROW PLANTED AT 6' HEIGHT AND MAXIMUM OF 5' O.C.
323 LINEAR FEET @ 1 TREE PER 60 FEET
5 TREES REQUIRED, 5 TREES PROVIDED
105 SHRUBS REQUIRED, 105 SHRUBS PROVIDED
- BUFFER ALONG EAST PROPERTY LINE**
TYPE "A" - 10' WIDE MINIMUM.
1 TREE PER 60 LINEAR FEET WITH HEDGE ROW PLANTED AT 6' HEIGHT AND MAXIMUM OF 5' O.C.
198 LINEAR FEET @ 1 TREE PER 60 FEET
4 TREES REQUIRED, 4 TREES PROVIDED
62 SHRUBS REQUIRED, 62 SHRUBS PROVIDED

NOTES:

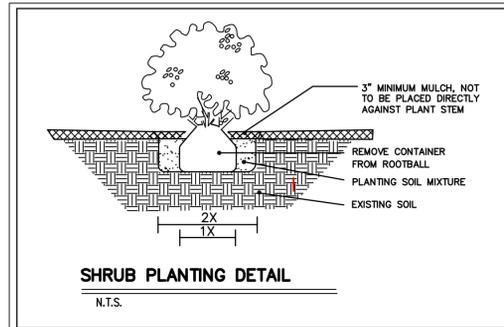
- ALL TREES SHALL BE PLANTED ACCORDING TO THE FLORIDA CHAPTER, INTERNATIONAL SOCIETY OF ARBORICULTURE STANDARDS FOR PLANTING.
- ALL INSTALLED LANDSCAPING SHALL BE NEAT AND ORDERLY IN APPEARANCE AND KEPT FREE OF REFUSE, DEBRIS, DISEASE, PESTS, AND WEEDS, AND SHALL BE FERTILIZED AND IRRIGATED AS NEEDED TO MAINTAIN PLANTS IN A HEALTHY CONDITION.
- ALL BEDS TO BE MULCHED WITH 3" LAYER OF FLORIMULCH (OR EQUAL).
- APPLICANT SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPING.
- ALL HEIGHT REQUIREMENTS SHALL BE BASED ON FINISHED GRADE OF THE LANDSCAPED AREA AS MEASURED AT THE MAIN STEM.

BUILDING PERIMETER REQUIREMENTS:

THE BUILDING PERIMETER SHALL BE LANDSCAPED WITH AN AREA EQUAL TO 10% OF EACH BUILDING GROUND LEVEL FLOOR AREA. THE AREA WILL BE A MINIMUM OF FIVE (5) FEET WIDE AND SHALL INCLUDE SHADE TREES AND/OR PALMS, SHRUBS AND GROUND COVER PLANTS. EACH BUILDING REQUIRES A MINIMUM OF TWO (2) TREES IN ITS PERIMETER AREA. FIFTY PERCENT OF THE BUILDING PERIMETER IS REQUIRED TO BE LANDSCAPED WITH TREES, SHRUBS, AND GROUND COVER. BUILDING AREA = 9,497 SF. LANDSCAPING REQUIRED = 950 SF. BUILDING PERIMETER LANDSCAPING PROVIDED = 950 SF



TREE PLANTING DETAIL
N.T.S.



SHRUB PLANTING DETAIL
N.T.S.

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 CERTIFICATE OF AUTHORIZATION 28928

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 CLIENT: **GRIFFIN CONSTRUCTION, LLC**
 SHEET NAME: **LANDSCAPE PLAN**

SCALE AS NOTED
 DESIGNED BY: C.L.C.
 DRAWN BY: C.L.C.
 CHECKED BY: C.L.C.

DATE: 08/12/2016

PROJECT NO: 1510001

SHEET NUMBER: **L1**

REVISIONS: No.

STATE OF FLORIDA PROFESSIONAL ENGINEER
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