

**CONSTRUCTION NOTES:**

- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT, READY TO USE, AND ALL ITEMS NECESSARY FOR A COMPLETE AND WORKABLE JOB SHALL BE FURNISHED AND INSTALLED. ANY DISCREPANCY SHALL BE IMMEDIATELY REPORTED TO THE OWNER OR HIS REPRESENTATIVE.
- NOTIFY THE INSPECTOR OF THE LOCAL GOVERNING AUTHORITY 24 HOURS BEFORE EVERY PHASE OF CONSTRUCTION.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR, AT HIS EXPENSE, UNLESS ALREADY OBTAINED BY THE OWNER.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBING CURBING, PAVING, AND ALL OTHER UTILITIES.
- THE EXISTING UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE DRAWINGS. THE UTILITIES SHOWN ARE THOSE LOCATED BY THE SURVEYOR OF RECORD. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF THE UTILITIES SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR CONSENT OF THE ENGINEER AND THE MUNICIPALITY MAY CAUSE FOR THE WORK TO BE UNACCEPTABLE.
- ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER.
- THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
- ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
- THE CONTRACTOR SHALL PROVIDE SHEETING AND SHORING FOR ALL TRENCH CONSTRUCTION IN ACCORDANCE WITH OSHA GUIDELINES.
- ALL PIPE LENGTHS SHOWN ARE TO THE CENTERLINE OF THE STRUCTURES UNLESS SPECIFICALLY NOTED.
- PIPES (STORM AND SANITARY SEWER) SHALL BE LAID ON SMOOTH, CONTINUOUS GRADES WITH NO VISIBLE BENDS AT THE JOINTS.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUM REQUIRED FOR RELATIVELY DRY STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES TO PROVIDE SUCH ADDITIONAL BEDDING AS REQUIRED TO PROPERLY CONSTRUCT WORK.
- ALL STORM DRAINAGE INLET STRUCTURES SHALL HAVE METAL RING AND COVER FOR ACCESS.
- ALL ANGLES SHOWN ARE 90 DEGREES UNLESS SHOWN OTHERWISE.
- ALL GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY DIMENSIONS, GRADES, AND EXISTING ELEVATIONS PRIOR TO CONSTRUCTION.
- CONCRETE CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN ON PLANS. MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE D.O.T. STANDARD SPECIFICATIONS.
- ALL CONCRETE SHALL HAVE 3000 PSI COMPRESSIVE STRENGTH AFTER 28 DAYS, WITH A MAXIMUM SLUMP OF FOUR (4) INCHES, UNLESS SPECIFIED OTHERWISE.
- ALL EXPOSED CONCRETE SHALL HAVE A FINE HAIR BROOMED FINISH.
- PARKING AND DRIVEWAY BASE COURSE AND ASPHALTIC CONCRETE SURFACE AND PRIME MATERIALS, EQUIPMENT, METHODS FOR CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE D.O.T. STANDARD SPECIFICATIONS.
- CONTRACTOR TO FIELD VERIFY ALL STORM, SANITARY, WATER AND OTHER UTILITIES LOCATIONS AND INVERTS PRIOR TO INSTALLATION OF ANY UTILITIES. NOTIFY ENGINEER PRIOR TO PROCEEDING WITH ANY WORK IF DISCREPANCIES FOUND.
- THE USE OF CONCRETE THRUST BLOCKS FOR THE INSTALLATION OF WATER MAINS IS STRICTLY PROHIBITED. PRESSURE PIPE FITTINGS AND OTHER ITEMS REQUIRING RESTRAINT SHALL BE RESTRAINED USING METHODS SPECIFIED IN SECTION 3.8 OF THE CITY'S TECHNICAL STANDARD SPECIFICATIONS. THE PREFERRED METHOD OF RESTRAINT IS THROUGH THE USE OF "MEGA-LUGS" OR "MUR" DEVICES.
- ALL DIMENSIONS ARE MEASURED TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

**EARTHWORK SPECIFICATIONS:**

- CLEARING AND GRUBBING**  
CLEARING AND GRUBBING SHALL CONSIST OF CLEARING THE SURFACE OF THE GROUND OF THE DESIGNATED AREAS OF ALL TREES, LOGS, SNAGS, BRUSH, UNDERGROWTH, HEAVY GROWTH OF GRASS, WEEDS, FENCE STRUCTURES, DEBRIS AND RUBBISH OF ANY NATURE, NATURAL OBSTRUCTIONS SUCH AS OBJECTIONAL SOIL MATERIAL UNSATISFACTORY FOR FOUNDATIONS. IT SHALL ALSO CONSIST OF GRUBBING OF STUMPS, ROOTS FOUNDATIONS AND DISPOSAL OF ALL SUCH MATERIAL. ALL HOLES REMAINING AFTER THE GRUBBING OPERATION IN EMBANKMENT AREAS AND IN EXCAVATION AREAS LESS THAN TWO (2) FEET IN DEPTH, SHALL HAVE SIDES BROKEN DOWN AND LEVELLED IF NECESSARY TO FLATTEN OUT SLOPES, REFILLED WITH ACCEPTABLE MATERIAL THAT IS PROPERLY COMPACTED IN LAYERS BY TAMPERS, ROLLERS OR CONSTRUCTION EQUIPMENT.  
BURNING ON SITE IS NOT PERMITTED WITHOUT WRITTEN APPROVAL OF THE LOCAL GOVERNING AUTHORITIES HAVING JURISDICTION.
- EXISTING TREES AND AREA OUTSIDE OF GRADING LIMITS LINE**  
TREES AND VEGETATION TO BE SAVED SHALL BE PROTECTED FROM DAMAGE BY A FENCE BARRICADE PRIOR TO, OR DURING, CLEARING OPERATIONS. TREES TO BE SAVED SHALL BE DESIGNATED BY THE OWNER. NO TREES ARE TO BE REMOVED FROM THE AREA OUTSIDE THE LIMITS OF GRADING OR FROM SPECIFICALLY DESIGNATED AREAS WITHIN THE CONSTRUCTION AREAS. IF, IN THE OPINION OF THE ENGINEER, A CONTRACTOR DAMAGES A TREE NOT TO BE REMOVED, THE CONTRACTOR WILL BE FINED AN AMOUNT DETERMINED BY THE LOCAL GOVERNING AUTHORITY. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL COSTS ASSOCIATED IN REMOVING THE DAMAGED TREES FROM THE SITE.
- FILL**  
ALL VEGETATION SUCH AS ROOTS, BRUSH, HEAVY GROWTH OF GRASS, TOPSOIL, ALL DECAYED VEGETABLE MATTER, RUBBISH, AND OTHER UNSUITABLE MATERIAL WITHIN THE AREA UPON WHICH FILL IS TO BE PLACED SHALL BE STRIPPED OR BE OTHERWISE REMOVED BEFORE THE FILL OPERATION IS STARTED. IN NO CASE SHALL UNSUITABLE MATERIAL REMAIN IN OR UNDER THE FILL AREA. SLOPED GROUND SURFACE STEEPER THAN ONE VERTICAL TO FOUR HORIZONTAL, ON WHICH FILL IS TO BE PLACED, SHALL BE PLACED, STEPPED OR BENCHED IN SUCH A MANNER THAT THE FILL TO BE PLACED SHALL BE 97 PERCENT OF THE MAXIMUM LABORATORY DRY DENSITY ACCORDING TO STANDARD PROCTOR (AASHTO T99, ASTM D-698). MOISTURE CONTENT SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT. PROOF ROLL THE AREAS TO BE FILLED OR ON WHICH STRUCTURES ARE TO BE PLACED. A LOADED DUMP TRUCK OR OTHER RUBBER Tired EQUIPMENT SHALL BE USED PROOF ROLLING. OVERLAPPING PASSES OF A VEHICLE SHOULD BE MADE ACROSS THE SITE IN ONE DIRECTION IN PERPENDICULAR TO THE ORIGINAL DIRECTION OF ROLLING.  
ANY YIELDING, PUMPING OR SOFT AREAS SHOULD BE CUT OUT AND REPLACED WITH FILL COMPACTED AS DESCRIBED HEREIN.  
THE PROPOSED FILL SHOULD BE LIMITED TO SOILS CLASSIFIED IN ACCORDANCE WITH ASTM D-2487 AS GM, GC, SW, SM, SC, ML AND CL SOIL CLASSIFIED AS PT, OH, OL, CH AND MH ARE NOT SATISFACTORY AS COMPACTED FILL.  
FILLS AND EMBANKMENTS SHALL BE CONSTRUCTED AT THE LOCATIONS AND TO THE LINES AND GRADES INDICATED ON CONSTRUCTION PLANS. THE SLOPE SHALL NOT EXCEED 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL, OR 3 FOOT HORIZONTAL TO 1 FOOT VERTICAL, IN THE PUBLIC RIGHT OF WAY. THE COMPLETED FILL SHALL CORRESPOND TO THE SHAPE OF THE TYPICAL SECTIONS INDICATED ON THE CONSTRUCTION PLANS. MATERIAL REMOVED FROM THE EXCAVATION SHALL BE USED IN FORMING THE FILL. FILL MATERIAL SHALL BE REASONABLY FREE FROM ROOTS, OTHER ORGANIC MATERIAL, TRASH AND STONES HAVING MAXIMUM DIMENSIONS GREATER THAN 6 INCHES (4 INCHES IN TRENCHES FOR UTILITIES). NO FROZEN MATERIAL WILL BE PERMITTED IN THE FILL. STONES HAVING A MAXIMUM DIMENSION OF 4 INCHES WILL NOT BE PERMITTED IN THE UPPER SIX INCHES OF FILL OR EMBANKMENT OR UTILITY TRENCH. THE MATERIAL SHALL BE PLACED IN SUCCESSIVE HORIZONTAL LAYERS NOT MORE THAN 8 INCHES THICK, UNLESS OTHERWISE NOTED, IN LOOSE DEPTH FOR THE WIDTH OF THE CROSS-SECTION AND SHALL BE COMPACTED TO AT LEAST 97 PERCENT OF THE MAXIMUM LABORATORY DRY DENSITY ACCORDING TO STANDARD PROCTOR (ASTM D-698, AASHTO T-99). MOISTURE SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT. THE TOP 12 INCHES OF THE PAVING, PARKING AND/OR ROADWAY SUB-GRADE SHALL BE COMPACTED TO 97 PERCENT OF THE MAXIMUM DRY DENSITY (STANDARD PROCTOR). EACH LIFT SHALL BE ROLLED WITH A VIBRATORY ROLLER, A SHEEPSFOOT ROLLER, OR A LOADED RUBBER Tired DUMP TRUCK, SCRAPER OR LOADER. IF THE SOIL IS TOO DRY, A WATER TRUCK WITH SPREADER BAR OR SPRAY HOSE SHALL BE USED TO BRING THE SOIL TO THE PROPER MOISTURE RANGE. THE WATER SHALL BE THOROUGHLY AND PROPERLY MIXED WITH THE SOIL PRIOR TO COMPACTION.  
STORM DRAIN PIPES SHALL BE PLACED ON FIRM BOTTOM AND HAMP TAMPED TO SAFE UP THE PIPE. A CUSHION OF SOIL SHALL BE TAMPED ABOVE THE CROWN OF THE PIPE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS SO THAT THE HEAVIER COMPACTION EQUIPMENT CAN THEN BE USED TO BRING THE SOIL TO A DENSITY AS DESCRIBED ABOVE FOR FILL AREAS.  
IF SOILS INVESTIGATION REPORT IS PROVIDED, THEN FOLLOW THE RECOMMENDATIONS OF THE REPORT IF THEY EXCEED THE RECOMMENDATIONS OF THESE SPECIFICATIONS.
- TOPSOIL**  
UNLESS OTHERWISE SPECIFIED, AREAS DESIGNATED FOR GRADING OPERATIONS THAT CONTAIN A BLANKET OF TOPSOIL SHALL BE STRIPPED AND PLACED IN CONVENIENT STOCKPILES FOR LATER USE AS A TOPSOIL BLANKET ON THE NEW GRADED AREAS SPECIFIED HEREIN, OR AS DESIGNATED. TOPSOIL SHALL BE STRIPPED FROM ALL AREAS DESIGNATED TO RECEIVE FILL. THE STRIPPING OF MATERIAL FOR TOPSOIL SHALL BE CAREFULLY DETERMINED AND ONLY THE QUANTITY REQUIRED SHALL BE STOCKPILED. MATERIAL STOCKPILED SHALL BE STORED IN A SATISFACTORY MANNER TO AFFORD PROPER DRAINAGE. WHEN GRADING OPERATIONS RESUME, INSTEAD OF STOCKPILES, THE TOPSOIL SHALL BE HAILED AND SPREAD DIRECTLY ON THE AREAS DESIGNATED TO RECEIVE TOPSOIL.
- ROCK EXCAVATION**  
IF ROCK IS ENCOUNTERED, CLEAR AWAY EARTH TO EXPOSE MATERIAL. NOTIFY OWNER AND RECEIVE WRITTEN INSTRUCTIONS PRIOR TO EXCAVATION. REMOVE ROCK TO A DEPTH OF 6 INCHES BELOW AND 8 INCHES ON EACH SIDE OF PIPES IN TRENCHES. A MEASUREMENT OF EXTENT OF ROCK TO BE REMOVED SHALL BE MADE. ROCK EXCAVATION SHALL BE PAID FOR IN ACCORDANCE WITH AGREEMENT WITH THE OWNER.

# SIMULTANEOUS PRELIMINARY CONSTRUCTION PLANS

FOR

# ZAXBY'S



## CENTURION MANAGEMENT GROUP, LLC

RIDGE ROAD PUBLIX OUTPARCEL No.1  
PASCO COUNTY, FLORIDA

PARCEL #: 29-25-17-0000-00600-0080

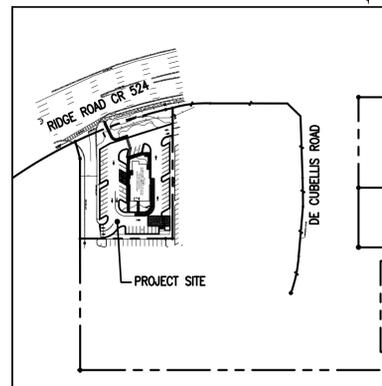
Section 29 - Township 25 South - Range 17 East

AUGUST 24, 2016



AERIAL LOCATION MAP

SCALE: NTS



PROPOSED DRIVEWAYS

SCALE: 1"=200'

**LEGAL DESCRIPTION**

A PARCEL OF LAND SITUATED IN SECTION 29, TOWNSHIP 25 SOUTH, RANGE 17 EAST OF PASCO COUNTY, FLORIDA, BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCE AT THE MOST SOUTHERLY CORNER OF THE OAKS AT RIVER RIDGE, UNITS FOUR B & C, AS RECORDED IN PLAT BOOK 36, PAGES 37 THROUGH 40, INCLUSIVE, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; THENCE ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF DECOUBELLUS ROAD AND SOUTHERLY RIGHT-OF-WAY LINE OF RIDGE ROAD AS DESCRIBED IN OFFICIAL RECORD BOOK 1654, PAGE 1047, OFFICIAL RECORD BOOK 1951, PAGE 578 AND OFFICIAL RECORD BOOK 3858, PAGE 1025, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, RESPECTIVELY, THE FOLLOWING SEVEN COURSES AND DISTANCES: 1050.22 FEET ALONG THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 1410.00 FEET, A CENTRAL ANGLE OF 42°40'33", AND A CHORD OF 1026.11 FEET WHICH BEARS NORTH 72°19'13" EAST, NORTH 50°59'57" EAST, 652.43 FEET; 244.22 FEET ALONG THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 1940.00 FEET, A CENTRAL ANGLE OF 071°2'46", AND A CHORD OF 244.06 FEET WHICH BEARS NORTH 47°22'49" EAST, NORTH 43°47'16" EAST, FOR 551.57 FEET; NORTH 00°16'46" WEST, FOR 43.13 FEET; NORTH 44°20'05" WEST, FOR 419.92 FEET; 232.63 FEET ALONG THE ARC OF A CURVE TO THE LEFT, TO THE POINT OF BEGINNING; SAID CURVE HAVING A RADIUS OF 1071.00 FEET, A CENTRAL ANGLE OF 12°26'42", AND A CHORD OF 232.17 FEET WHICH BEARS NORTH 50°33'25" WEST; THENCE SOUTH 45°33'48" WEST, FOR 306.65 FEET; THENCE NORTH 44°20'05" WEST, FOR 218.12 FEET; THENCE NORTH 45°33'58" EAST, FOR 188.08 FEET; THENCE NORTH 30°04'00" EAST, FOR 41.42 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF RIDGE ROAD AS DESCRIBED IN OFFICIAL RECORD BOOK 3858, PAGE 1025 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA; THENCE 242.89 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, TO THE POINT OF BEGINNING, SAID CURVE HAVING A RADIUS OF 1071.00 FEET, A CENTRAL ANGLE OF 12°59'39", AND A CHORD OF 242.37 FEET WHICH BEARS SOUTH 63°16'36" EAST.

CONTAINING 1.381 ACRES, MORE OR LESS.

**PROJECT DESCRIPTION**

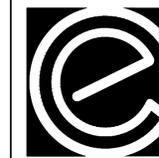
CONSTRUCTION OF A 3,652 S.F. ZAXBY'S RESTAURANT ON EXISTING VACANT PARCEL IN THE RIVERWALK PUBLIX SHOPPING CENTER

# SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	ALTA SURVEY
3	SITE PLAN
4	UTILITY PLAN
5	GRADING PLAN
6	EROSION CONTROL PLAN
6.1	EROSION CONTROL DETAILS
7	STANDARD DETAILS
8	PASCO COUNTY UTILITY DETAILS
9	ADA ACCESS PLAN
10	ADA ACCESS DETAILS
11	MENU BOARD DETAILS
12	MENU CANOPY DETAILS
13	LANDSCAPE PLAN
14	FIRE TRUCK ACCESS PLAN
15	OUTDOOR LIGHTING PLAN

# REVISION BLOCK

REV. NO.	DATE	DESCRIPTION
A	8/22/16	PRESUBMITTAL MEETING
B	9/27/16	SIMULTANEOUS PRELIMINARY CONSTRUCTION PLANS SUBMITTAL



Carter Engineering Consultants, Inc.  
3651 Mars Hill Road  
Suite 2000  
Watkinsville, GA 30677  
P: 770-725-1200  
F: 770-725-1204  
www.carterengineering.net

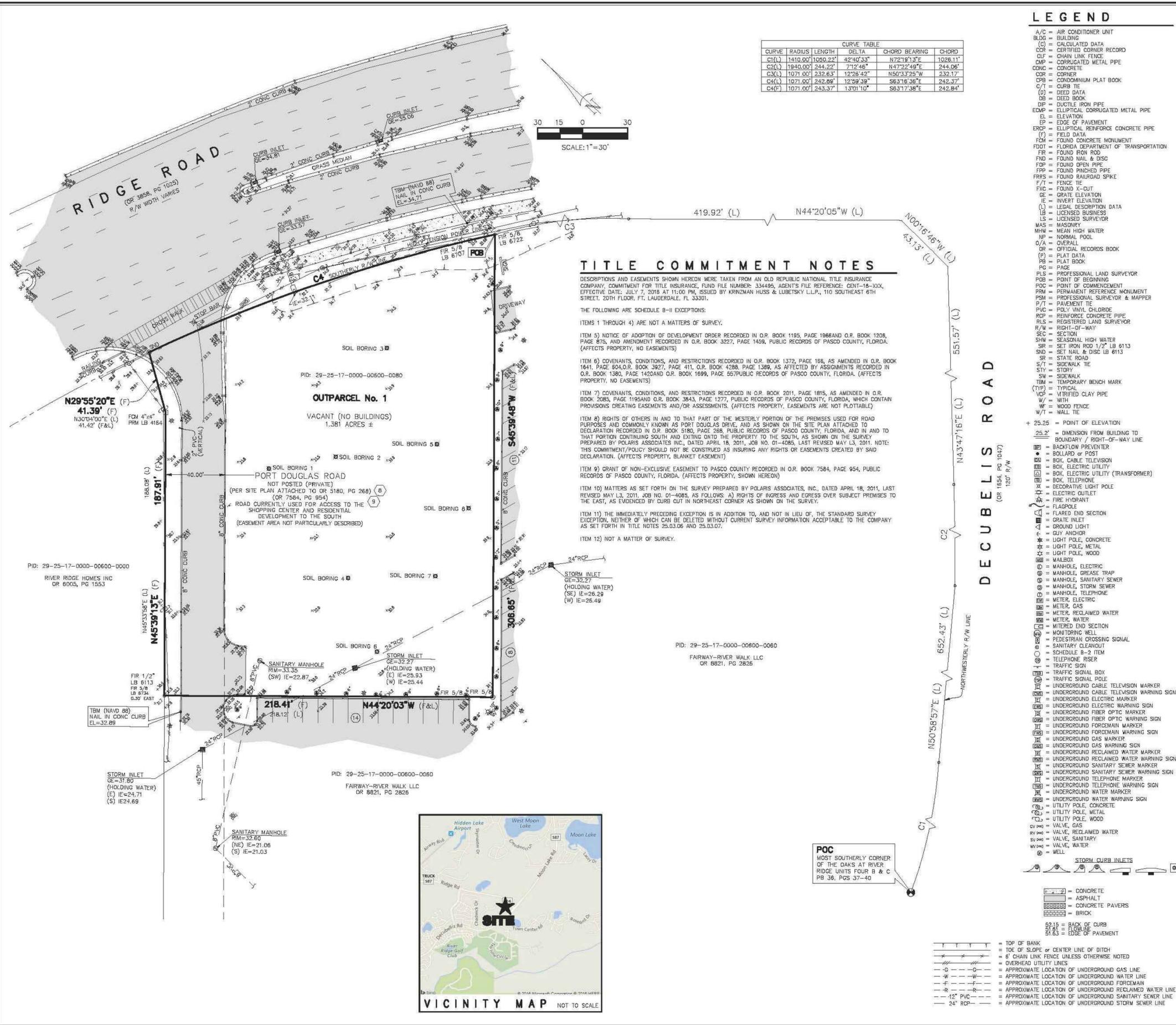


09/27/16

24-HOUR CONTACT:  
Elizabeth Oates, Tel. 704 791 2870

**PROJECT NOTES:**

DEVELOPER: Centurion Management 16930 W Catawba Ave, Suite 205 Cornelius, NC 28031 Contact: Elizabeth Oates Tel. (704) 791-2870	ENGINEER: Carter Engineering Consultants, Inc. 3651 Mars Hill Road - Suite 2000 Watkinsville, GA 30677 Contact: Jeff Carter, P.E. jeff@carterengineering.net Tel. 770-725-1200
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CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD
C1(L)	1410.00'	1026.22'	42°40'33"	N72°19'13"E	1026.11'
C2(L)	1940.00'	244.22'	7°12'46"	N47°22'49"E	244.06'
C3(L)	1071.00'	232.63'	12°26'42"	N50°33'25"W	232.17'
C4(L)	1071.00'	242.88'	12°59'39"	S63°16'36"E	242.37'
C4(F)	1071.00'	243.37'	13°01'10"	S63°17'38"E	242.84'

**LEGEND**

- A/C = AIR CONDITIONER UNIT
- BLDG = BUILDING
- (C) = CALCULATED DATA
- CCR = CERTIFIED CORNER RECORD
- CLF = CHAIN LINK FENCE
- CMP = CORRUGATED METAL PIPE
- CONC = CONCRETE
- COR = CORNER
- CPB = CONDOMINIUM PLAT BOOK
- G/T = CURB TIE
- (D) = DEED DATA
- DB = DEED BOOK
- DI = DUCTILE IRON PIPE
- EMF = ELECTRO-METAL PIPE
- EL = ELEVATION
- EP = EDGE OF PAVEMENT
- ERCP = ELLIPTICAL REINFORCE CONCRETE PIPE
- (F) = FIELD DATA
- FCM = FOUND CONCRETE MONUMENT
- FDOT = FLORIDA DEPARTMENT OF TRANSPORTATION
- FR = FOUND RIGID ROAD
- FRD = FOUND RAILROAD
- FPP = FOUND PINCHED PIPE
- FRRS = FOUND RAILROAD SPIKE
- F/T = FENCE
- FXC = FOUND X-CUT
- GE = GRATE ELEVATION
- IE = INVERT ELEVATION
- (L) = LEGAL DESCRIPTION DATA
- LS = LICENSED BUSINESS
- LS = LICENSED SURVEYOR
- MAS = MASSAWUG
- MHW = MEAN HIGH WATER
- NP = NORMAL POOL
- OR = OFFICIAL RECORDS BOOK
- (P) = PLAT DATA
- PLB = PLAT BOOK
- PG = PAGE
- PLS = PROFESSIONAL LAND SURVEYOR
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- PRM = PERMANENT REFERENCE MONUMENT
- PSM = PROFESSIONAL SURVEYOR & MAPPER
- P/T = PAVEMENT TIE
- PVC = POLY VINYL CHLORIDE
- RCP = REINFORCE CONCRETE PIPE
- RLS = REGISTERED LAND SURVEYOR
- R/W = RIGHT-OF-WAY
- SEC = SECTIONAL HIGH WATER
- SHW = SEASONAL HIGH WATER
- SIR = SET IRON ROD 1/2" LB 6113
- SMD = SET NAIL & DISC LB 6113
- SR = STATE ROAD
- S/T = SIDEWALK TIE
- STY = STORY
- SW = SIDEWALK
- TBM = TEMPORARY BENCH MARK
- (TYP) = TYPICAL
- VEP = VITRIFIED CLAY PIPE
- W = WOOD
- WF = WOOD FENCE
- WT = WALL TIE

**TITLE COMMITMENT NOTES**

DESCRIPTIONS AND EASEMENTS SHOWN HEREIN WERE TAKEN FROM AN OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT FOR TITLE INSURANCE, FUND FILE NUMBER: 334495, AGENT'S FILE REFERENCE: CENT-16-XXX, EFFECTIVE DATE: JULY 7, 2018 AT 11:00 PM, ISSUED BY KRINZMAN HUSS & LUBETSKY L.P., 110 SOUTHEAST 6TH STREET, 20TH FLOOR, FT. LAUDERDALE, FL 33301.

THE FOLLOWING ARE SCHEDULE B-II EXCEPTIONS:

ITEMS 1 THROUGH 4) ARE NOT A MATTERS OF SURVEY.

ITEM 5) NOTICE OF ADOPTION OF DEVELOPMENT ORDER RECORDED IN O.R. BOOK 1195, PAGE 1968 AND O.R. BOOK 1208, PAGE 875, AND AMENDMENT RECORDED IN O.R. BOOK 3227, PAGE 1459, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA. (AFFECTS PROPERTY, NO EASEMENTS)

ITEM 6) COVENANTS, CONDITIONS, AND RESTRICTIONS RECORDED IN O.R. BOOK 1372, PAGE 188, AS AMENDED IN O.R. BOOK 1641, PAGE 804, O.R. BOOK 3877, PAGE 411, O.R. BOOK 4288, PAGE 1389, AS AFFECTED BY ASSIGNMENTS RECORDED IN O.R. BOOK 1380, PAGE 142 AND O.R. BOOK 1699, PAGE 567, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA. (AFFECTS PROPERTY, NO EASEMENTS)

ITEM 7) COVENANTS, CONDITIONS, AND RESTRICTIONS RECORDED IN O.R. BOOK 2011, PAGE 1815, AS AMENDED IN O.R. BOOK 2085, PAGE 1195 AND O.R. BOOK 3843, PAGE 1277, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, WHICH CONTAIN PROVISIONS CREATING EASEMENTS AND/OR ASSIGNMENTS. (AFFECTS PROPERTY, EASEMENTS ARE NOT FLOTTABLE)

ITEM 8) RIGHTS OF OTHERS IN AND TO THAT PART OF THE WESTERLY PORTION OF THE PREMISES USED FOR ROAD PURPOSES AND COMMONLY KNOWN AS PORT DOUGLAS DRIVE, AND AS SHOWN ON THE SITE PLAN ATTACHED TO DECLARATION RECORDED IN O.R. BOOK 5180, PAGE 288, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, AND IN AND TO THAT PORTION CONTINUING SOUTH AND EXITING ONTO THE PROPERTY TO THE SOUTH, AS SHOWN ON THE SURVEY PREPARED BY POLARIS ASSOCIATES INC., DATED APRIL 18, 2011, JOB NO. 01-4085, LAST REVISED MAY 13, 2011. NOTE: THIS COMMITMENT/POLICY SHOULD NOT BE CONSTRUED AS INSURING ANY RIGHTS OR EASEMENTS CREATED BY SAID DECLARATION. (AFFECTS PROPERTY, BLANKET EASEMENT)

ITEM 9) GRANT OF NON-EXCLUSIVE EASEMENT TO PASCO COUNTY RECORDED IN O.R. BOOK 7584, PAGE 954, PUBLIC RECORDS OF PASCO COUNTY, FLORIDA. (AFFECTS PROPERTY, SHOWN HEREON)

ITEM 10) MATTERS AS SET FORTH ON THE SURVEY PREPARED BY POLARIS ASSOCIATES, INC., DATED APRIL 18, 2011, LAST REVISED MAY 13, 2011, JOB NO. 01-4085, AS FOLLOWS: A) RIGHTS OF INGRESS AND EGRESS OVER SUBJECT PREMISES TO THE EAST, AS EVIDENCED BY CURB CUT IN NORTHEAST CORNER AS SHOWN ON THE SURVEY.

ITEM 11) THE IMMEDIATELY PRECEDING EXCEPTION IS IN ADDITION TO, AND NOT IN LIEU OF, THE STANDARD SURVEY EXCEPTION, NEITHER OF WHICH CAN BE DELETED WITHOUT CURRENT SURVEY INFORMATION ACCEPTABLE TO THE COMPANY AS SET FORTH IN TITLE NOTES 25.03.06 AND 25.03.07.

ITEM 12) NOT A MATTER OF SURVEY.

**SECTION 29, TOWNSHIP 25 S, RANGE 17 E,**

**PASCO COUNTY, FLORIDA**

**DESCRIPTION**

A PARCEL OF LAND SITUATED IN SECTION 29, TOWNSHIP 25 SOUTH, RANGE 17 EAST OF PASCO COUNTY, FLORIDA, BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCE AT THE MOST SOUTHERLY CORNER OF THE OAKS AT RIVER RIDGE, UNITS FOUR B & C, AS RECORDED IN PLAT BOOK 38, PAGES 37 THROUGH 40, INCLUSIVE, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, THENCE ALONG THE NORTHWESTERLY RIGHT-OF-WAY LINE OF DECEBELIS ROAD AND SOUTHERLY RIGHT-OF-WAY LINE OF RIDGE ROAD AS DESCRIBED IN OFFICIAL RECORD BOOK 1854, PAGE 1047, OFFICIAL RECORD BOOK 1851, PAGE 578 AND OFFICIAL RECORD BOOK 3858, PAGE 1025, OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, RESPECTIVELY, THE FOLLOWING SEVEN COURSES AND DISTANCES: 1050.22 FEET ALONG THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 1410.00 FEET, A CENTRAL ANGLE OF 42°40'33", AND A CHORD OF 1026.11 FEET WHICH BEARS NORTH 72°19'13" EAST; NORTH 50°58'57" EAST, 652.43 FEET; 244.22 FEET ALONG THE ARC OF A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 1940.00 FEET, A CENTRAL ANGLE OF 07°12'46", AND A CHORD OF 244.06 FEET WHICH BEARS NORTH 47°22'49" EAST; NORTH 43°47'16" EAST, FOR 551.57 FEET; NORTH 07°16'46" WEST, FOR 43.13 FEET; NORTH 44°20'05" WEST, FOR 419.92 FEET; 232.63 FEET ALONG THE ARC OF A CURVE TO THE LEFT, TO THE POINT OF BEGINNING, SAID CURVE HAVING A RADIUS OF 1071.00 FEET, A CENTRAL ANGLE OF 12°26'42", AND A CHORD OF 232.17 FEET WHICH BEARS NORTH 50°33'25" WEST, THENCE SOUTH 45°30'48" WEST FOR 308.65 FEET, THENCE NORTH 44°20'03" WEST, FOR 218.12 FEET, THENCE NORTH 45°33'58" EAST, FOR 188.08 FEET, THENCE SOUTH 30°04'00" EAST, FOR 41.42 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF RIDGE ROAD AS DESCRIBED IN OFFICIAL RECORD BOOK 3858, PAGE 1025 OF THE PUBLIC RECORDS OF PASCO COUNTY, FLORIDA, THENCE 242.89 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, TO THE POINT OF BEGINNING, SAID CURVE HAVING A RADIUS OF 1071.00 FEET, A CENTRAL ANGLE OF 12°59'39", AND A CHORD OF 242.37 FEET WHICH BEARS SOUTH 63°16'36" EAST.

CONTAINING 1.381 ACRES, MORE OR LESS.

**NOTES**

1. BEARINGS ARE BASED ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF DECEBELIS ROAD ASSUMED AS BEING N43°47'16"E.
2. SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL REGISTERED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED.
3. NO EXCAVATION WAS PERFORMED TO VERIFY THE EXISTENCE OF ANY UNDERGROUND UTILITIES, ENCROACHMENTS, IMPROVEMENTS, STRUCTURES OR FOUNDATIONS. UNDERGROUND UTILITY LINE LOCATIONS (IF SHOWN HEREON) ARE BASED UPON UTILITY PROVIDER ATLASSES AND VISIBLE SURFACE EVIDENCE.
4. RE-USE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN VERIFICATION, WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN TO WHOM GRANTED.
5. ALL FOUND POINTS ARE UNMARKED UNLESS OTHERWISE NOTED. ALL PERIMETER BEARINGS AND DISTANCES ARE ALSO FIELD MEASURED UNLESS NOTED.
6. THIS SURVEY IS NOT INTENDED TO SHOW THE LOCATION OR EXISTENCE OF ANY JURISDICTIONAL, HAZARDOUS OR ENVIRONMENTALLY SENSITIVE AREAS.
7. THE SITE APPEARS TO BE IN FLOOD ZONES X AND A, ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12023D 0194 F, MAP NUMBER 12101C0184F, EFFECTIVE DATE SEPTEMBER 26, 2014 (MAP INDEX NUMBER 12101C0184F, EFFECTIVE DATE SEPTEMBER 26, 2014). POLARIS ASSOCIATES, INC. AND THE SIGNING SURVEYOR HEREOF ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS DETERMINATION. THE AUTHOR OF THE MAP, THE FEDERAL EMERGENCY MANAGEMENT AGENCY, OR THE LOCAL GOVERNMENTAL AGENCY HAVING JURISDICTION OVER SUCH MATTERS SHOULD BE CONTACTED PRIOR TO ANY JUDGMENTS BEING MADE FROM THIS INFORMATION. THE ABOVE REFERENCED MAP STATES IN THE NOTES TO THE USER THAT "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM".
8. ANY ZONING INFORMATION SHOWN OR NOTED HEREON IS BASED ON INFORMATION AVAILABLE DURING THE PREPARATION OF THE SURVEY. THIS INFORMATION SHOULD BE VERIFIED WITH THE GOVERNING AUTHORITY PRIOR TO ANY DETERMINATIONS OR DESIGN.
9. SHOW ANYWHERE ON THIS SURVEY, THE WORD "CERTIFY" IS UNDERSTOOD TO BE AN EXPRESSION OF A PROFESSIONAL OPINION BASED UPON THE SURVEYOR'S BEST KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT THUS CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY.
10. UNLESS OTHERWISE INDICATED, THE PROPERTY DESCRIPTIONS AND EASEMENTS SHOWN WERE FURNISHED TO POLARIS ASSOCIATES, INC. AND ARE PRESUMED TO BE CORRECT. NO SEARCH OF ANY PUBLIC RECORDS, FOR EASEMENTS, DEEDS, ETC., WAS PERFORMED BY THIS FIRM FOR THE COMPLETION OF THIS SURVEY AND THERE MAY BE ADDITIONAL RESTRICTIONS THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
11. ELEVATIONS ARE BASED ON A NATIONAL GEODETIC SURVEY BENCHMARK, R 675, HAVING AN ELEVATION OF 40.86 NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88).
12. TREES 4" IN DIAMETER AND LARGER HAVE BEEN LOCATED WITH COMMON NAME AND APPROXIMATE DIAMETER. TREES WITHIN JURISDICTIONAL AREAS (IF ANY) HAVE NOT BEEN LOCATED. TREES BY NATURE ARE IRREGULAR IN SIZE AND SHAPE. EVERY EFFORT IS MADE TO ACCURATELY LOCATE TREES. THE TREE LOCATION IS THE CENTER OF THE TREE. THIS LOCATION MAY BE DIFFERENT IF LOCATED FROM A DIFFERENT DIRECTION. ALL TREE LOCATIONS SHOULD BE FIELD CHECKED IF CRITICAL TO DESIGN.
13. THIS SURVEY IS BASED ON U.S. FEET.

**CERTIFICATION**

CERTIFIED TO: CENTURION SOUTHEAST LLC, A FLORIDA LIMITED LIABILITY COMPANY; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; KRINZMAN HUSS & LUBETSKY LLP.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 8, 9, 11, 13, 14, 15, 16, 17, 19 AND 21 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON JULY 16, 2016.

DANIEL D. FERRANS  
PROFESSIONAL LAND SURVEYOR  
STATE OF FLORIDA LS 3885

PROJECT: **RIDGE ROAD PUBLIX OUTPARCEL No 1**

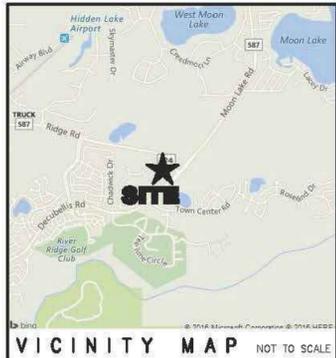
TYPE OF SURVEY: **ALTA/NSPS LAND TITLE SURVEY BOUNDARY AND TOPOGRAPHIC SURVEY**

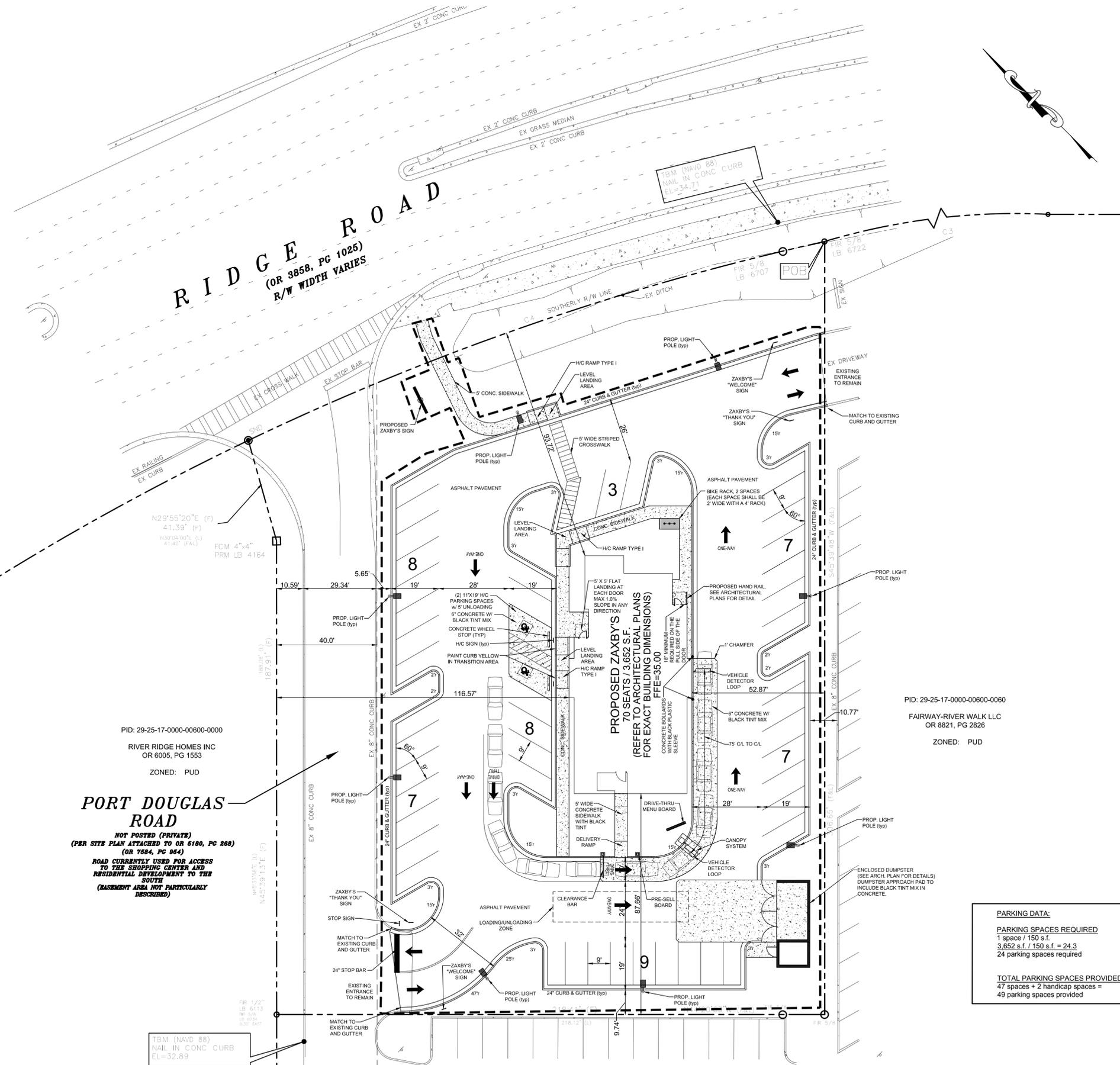
PREPARED FOR: **CENTURION MANAGEMENT GROUP, INC.**

**POLARIS ASSOCIATES INC.**

PROFESSIONAL SURVEYING LB 6113  
2165 SUNNYDALE BOULEVARD, SUITE D  
CLEARWATER, FLORIDA 33765  
(727) 461-6113

CHECKED BY: SCALE: 1"=30' DRAWN BY: JOB NO. DRAWING PATH: SHEET 1 OF 1





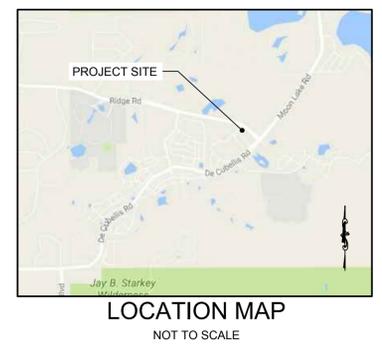
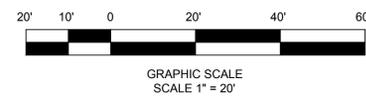
**PORT DOUGLAS ROAD**  
 NOT POSTED (PRIVATE)  
 (PER SITE PLAN ATTACHED TO OR 5180, PG 288)  
 (OR 7684, PG 954)  
 ROAD CURRENTLY USED FOR ACCESS  
 TO THE SHOPPING CENTER AND  
 RESIDENTIAL DEVELOPMENT TO THE  
 SOUTH  
 (BASEMENT AREA NOT PARTICULARLY  
 DESCRIBED)

PID: 29-25-17-0000-00600-0000  
 RIVER RIDGE HOMES INC  
 OR 6005, PG 1553  
 ZONED: PUD

PID: 29-25-17-0000-00600-0060  
 FAIRWAY-RIVER WALK LLC  
 OR 8821, PG 2826  
 ZONED PUD

**PARKING DATA:**  
**PARKING SPACES REQUIRED**  
 1 space / 150 s.f.  
 3,652 s.f. / 150 s.f. = 24.3  
 24 parking spaces required

**TOTAL PARKING SPACES PROVIDED**  
 47 spaces + 2 handicap spaces =  
 49 parking spaces provided



**PROJECT NOTES:**  
 DEVELOPER:  
 Centurion Management  
 16930 W Catawba Ave, Suite 205  
 Cornelius, NC 28031  
 Contact: Elizabeth Cates  
 Tel: (704) 791-2870  
 ENGINEER:  
 Carter Engineering Consultants, Inc.  
 3651 Mars Hill Road, Suite 2000  
 Watkinsville, GA 30677  
 Contact: Jeff Carter, P.E.  
 Tel: (770) 725-1200  
 jeff@carterengineering.net  
 Property located as Ridge Road Publix Outparcel No. 1, Section 29, Township 25 S, Range 17E,  
 Pasco County, Florida  
 Current Zoning: MPUD  
 Setbacks: Front 25' Rear 30' Side 30'  
 Proposed use is a restaurant with drive-thru  
 Proposed building height is 20'  
 Boundary and topographical information obtained from field run survey by Polaris Associates, Inc.  
 Phone: (727) 461-6113  
 Project tract contains 1.381 acres  
 Total disturbed area: 0.99 acres  
 Contour interval is 1 foot (NAVD 88)  
 The underground utilities shown hereon have been located from field information and existing  
 drawings. The surveyor nor engineer warrants that the underground utilities shown comprise all  
 such utilities in the area, either in service or abandoned. The surveyor nor engineer warrants that  
 the underground utilities shown are in the exact location indicated. The surveyor nor engineer has  
 physically located all the underground utilities.  
 It is the responsibility of the contractor to field locate all utilities prior to commencing work and  
 notify engineer if a discrepancy is found.  
 The contractor shall verify the invert elevations of all existing storm and sanitary sewer structures  
 prior to commencement of storm and sanitary sewer construction.

**UNDERGROUND UTILITIES DISCLAIMER**  
 Information regarding the reported presence, size, character and location of existing  
 underground utilities and structures related to underground utilities is shown hereon.  
 There is no certainty of the accuracy of this information and it shall be considered in  
 that light by those using this drawing. The location and arrangement of underground  
 utilities and structures related to underground utilities shown hereon may be  
 inaccurate and utilities and structures related to underground utilities not shown may  
 be encountered. The owner, his employees, his consultants and his contractors shall  
 hereby distinctly understand that the surveyor is not responsible for the correctness  
 or sufficiency of this information regarding the underground utilities and structures  
 related to underground utilities shown hereon.

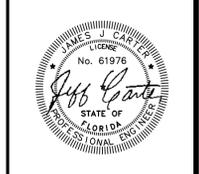
**SITE DATA**  
**STATEMENT OF INTENT:**  
 THE OWNER PROPOSES TO CONSTRUCT A 3,652 SF ZAXBY'S  
 RESTAURANT WITH DRIVE-THRU AND ASSOCIATED PARKING LOT.  
**SITE ADDRESS:**  
 RIDGE ROAD PUBLIX OUTPARCEL No. 1  
**PARCEL I.D. #** 29-25-17-0000-00600-0080  
**EXISTING ZONING:** MPUD  
**LAND USE DESIGNATION:** RES-6  
**TOTAL SITE AREA:** 1.381 ACRES  
**EXISTING CONDITION:** VACANT OUTPARCEL TO PUBLIX  
**PROPOSED LAND USE:** ZAXBY'S RESTAURANT  
**TOTAL BUILDING AREA:** 3,652 S.F.  
**FLOOR AREA RATIO:** 3,652 / 60,156 = 0.06  

PROPOSED AREA CALCULATIONS	EXISTING AREA CALCULATIONS
BUILDING AREA: 3,652 S.F.	N/A
PERVIOUS AREA: 17,818 S.F.	51,980 S.F.
IMPERVIOUS AREA: 38,888 S.F.	8,178 S.F.
TOTAL: 60,156 S.F.	60,156 S.F.

BUILDING SETBACKS REQUIRED:	BUILDING SETBACKS PROVIDED:
NORTH: 25'	93.72'
EAST: 30'	52.97'
SOUTH: 30'	87.66'
WEST: 30'	116.57'

**FLOOD ZONE:**  
 THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE X AND A  
 IN ACCORDANCE WITH THE FIRM MAP OF PASCO COUNTY,  
 COMMUNITY NUMBER 120230 0194F (MAP NUMBER 12101C0194F),  
 DATED SEPTEMBER 26, 2014

REVISION BLOCK	#	DATE	DESCRIPTION
A	02/27/16		PRE-SUBMITTAL MEETING
B	02/27/16		SIMULTANEOUS PRELIMINARY CONSTRUCTION PLANS SUBMITTAL



Carter Engineering Consultants, Inc.  
 3651 Mars Hill Road  
 Suite 2000  
 Watkinsville, GA 30677  
 P: 770.725.1200  
 F: 770.725.1204  
 www.carterengineering.net

SITE DEVELOPMENT PLANS  
 for  
 CENTURION MANAGEMENT  
 GROUP, LLC.  
 RIDGE ROAD PUBLIX OUTPARCEL No. 1, PASCO COUNTY, FLORIDA



PROJECT NAME:  
**SITE PLAN**

SHEET NUMBER:  
**3**

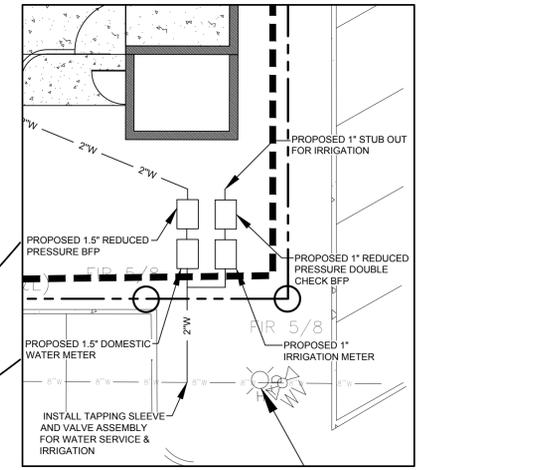
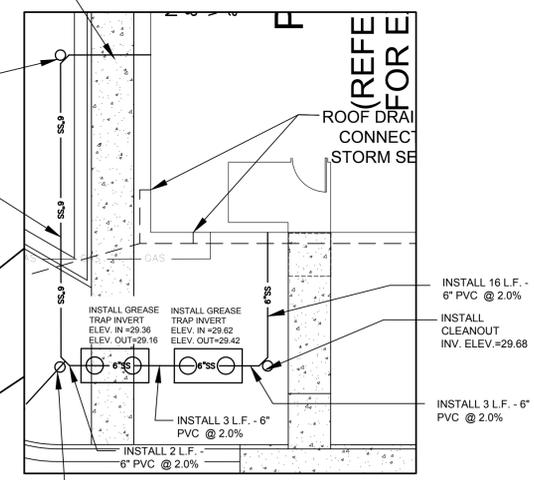
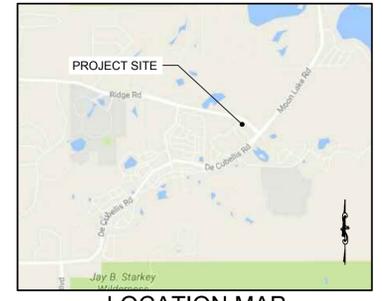
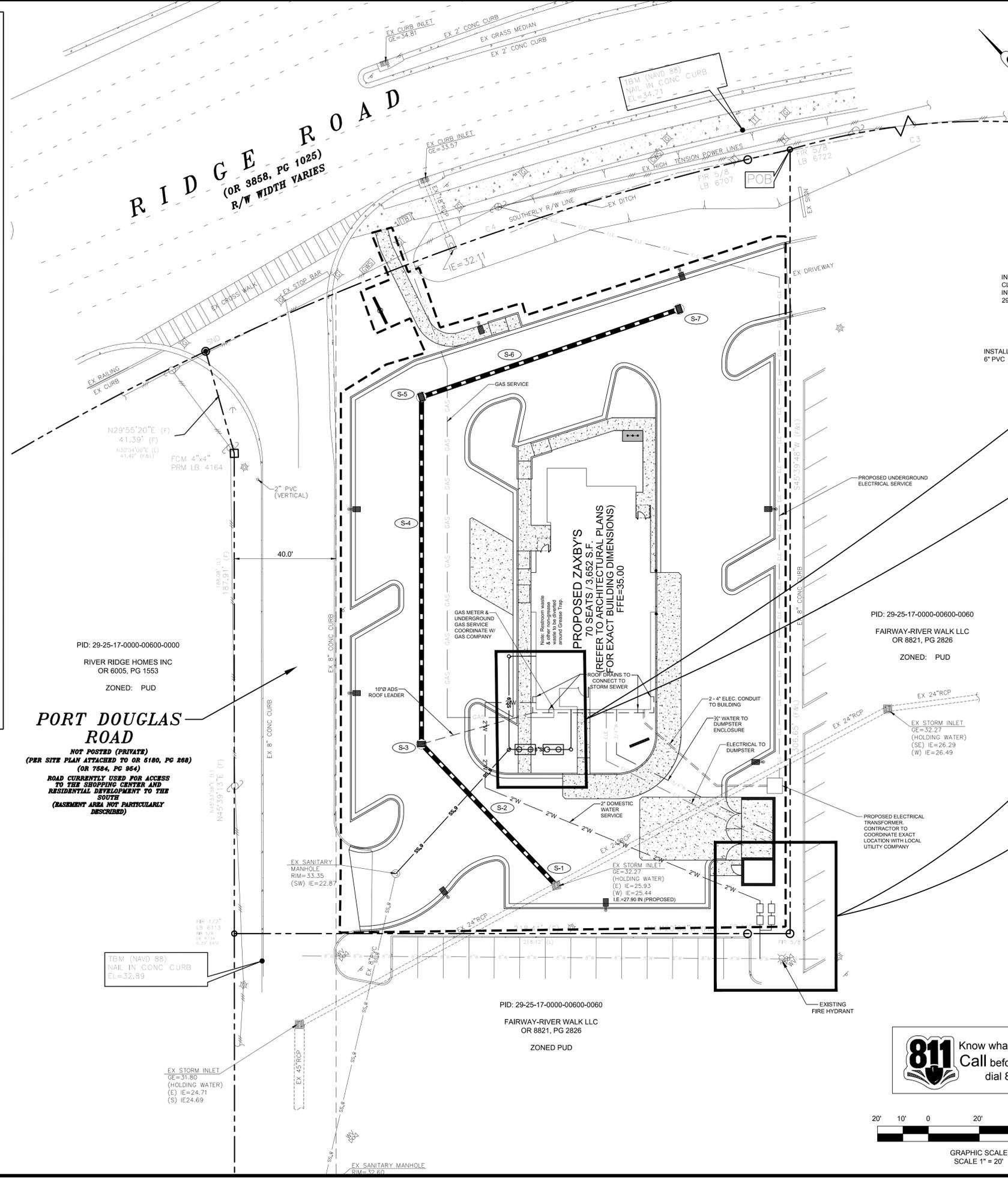
PROJECT NUMBER:  
**16297ZAX**

DATE:  
**08/22/16**



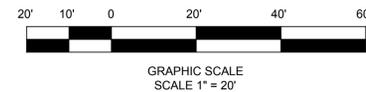
**PASCO COUNTY NOTES:**

1. FIRE PROTECTION SHALL MEET THE REQUIREMENTS OF THE PASCO COUNTY CODE OF ORDINANCES, CHAPTER 46, FIRE PREVENTION AND PROTECTION, AND PLANS SHALL COMPLY WITH REFERENCED REQUIREMENTS.
2. THE FIRE HYDRANTS SHALL BE FLOW-TESTED AND COLOR-CODED BASED ON FLOW RESULTS.
3. ALL UTILITY SYSTEM-DESIGN MATERIALS AND WORKMANSHIP SHALL COMPLY WITH STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER, WASTEWATER, AND RECLAIMED WATER FACILITIES SPECIFICATIONS, LATEST EDITION.
4. CONNECTIONS INTO AN EXISTING COUNTY-OWNED SYSTEM SHALL BE VIA WET TAP. WET TAPS SHALL BE PERFORMED EXCLUSIVELY BY THE UTILITIES SERVICES BRANCH AT THE DEVELOPER'S EXPENSE. EXCAVATION, BACKFILL, AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. MATERIAL FOR WET TAPS LARGER THAN TWO INCHES SHALL BE PROVIDED AND INSTALLED BY THE PROJECT CONTRACTOR.
5. THE UTILITIES SERVICES BRANCH SHALL NOT OWN OR MAINTAIN ON-SITE WATERLINES, SEWER LINES, OR FACILITIES, UNLESS OTHERWISE APPROVED BY THE UTILITIES SERVICE BRANCH.
6. IN CONSIDERATION OF PASCO COUNTY'S AGREEMENT TO PROVIDE POTABLE WATER AND/OR RECLAIMED WATER TO THE SUBJECT PROPERTY, DEVELOPER/OWNER, AND ITS SUCCESSORS AND ASSIGNS, AGREE TO THE FOLLOWING:
  - 6.a. IN THE EVENT OF PRODUCTION FAILURE OR SHORTFALL BY TAMPA BAY WATER, AS SET FORTH IN SECTION 3.19 OF THE INTERLOCAL AGREEMENT CREATING TAMPA BAY WATER, DEVELOPER/OWNER SHALL TRANSFER TO PASCO COUNTY ANY AND ALL WATER USE PERMITS OR WATER RIGHTS THE DEVELOPER/OWNER MAY HAVE TO USE OR CONSUME SURFACE OR GROUND WATER WITHIN PASCO COUNTY.
  - 6.b. PRIOR TO DEVELOPER/OWNER SELLING WATER OR WATER USE PERMITS OR WATER USE RIGHTS, DEVELOPER/OWNER SHALL NOTIFY PASCO COUNTY, AND PASCO COUNTY SHALL HAVE A RIGHT OF FIRST REFUSAL TO PURCHASE WATER OR WATER USE PERMITS OR WATER USE RIGHTS.
  7. CONTRACTORS RESPONSIBILITY REGARDING WET TAPS:
    - 7.a. 2" ONLY - THIS EXCAVATED TRENCH MUST BE DRY OR THE TRENCH WILL REQUIRE ROCK AND A PUMP TO BE IN PLACE. THE MINIMUM DISTANCE FROM THE FACE OF VALVE TO THE WALL OF THE TRENCH IS TO BE SIX FEET.
    - 7.b. 3" AND LARGER - THE CONTRACTOR WILL SUPPLY A TAPPING SADDLE BEING EPOXY COATED. A TAPPING VALVE WITH MECHANICAL JOINT AND THE EQUIPMENT TO PROVIDE AND CONDUCT A PRESSURE TEST. COUNTY PERSONNEL WILL WITNESS THE PRESSURE TEST WHICH MUST BE AT 150 PSI FOR DURATION OF THIRTY MINUTES.
    - 7.c. THE CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION BEFORE ANY COUNTY PERSONNEL WILL ENTER AN EXCAVATION AREA. IF THE TRENCH IS FOUR FEET IN DEPTH OR DEEPER, IT WILL REQUIRE A TRENCH BOX OR SLOPING, AND A LADDER ACCORDING TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION STANDARDS (OSHA).
    - 7.d. THE TAPPING VALVE WILL REQUIRE A BLOCKING DEVICE MADE OF SUITABLE MATERIAL OR DEVICE. THIS BLOCKING DEVICE OR MATERIAL WILL BE PLACED UNDER THE VALVE AND REMAIN IN PLACE UNTIL THE TAP MACHINE IS REMOVED AND THE TAP IS COMPLETED.
    - 7.e. IF THE CONTRACTOR HAS NOT FULFILLED HIS RESPONSIBILITIES, AS STATED ABOVE, PRIOR TO THE ARRIVAL OF PASCO COUNTY UTILITIES OPERATION AND MAINTENANCE TAPPING CREW, THERE WILL BE ADDITIONAL CHARGE OF \$92.00.



**PROPOSED STORM SCHEDULE**

S-1	INSTALL TRAFFIC RATED FRAME AND GRATE AND ADJUST RIM TO FINISHED GRADE
S-2	77 L.F. OF 18" RCP, SLOPE=0.5%
S-3	TYPE "C" INLET PER FDOT INDEX No. 232 TOP ELEV.= 33.00, INV. ELEV. = 28.29
S-4	136 L.F. OF 18" RCP, SLOPE=0.5%
S-5	TYPE "C" INLET PER FDOT INDEX No. 232 TOP ELEV.= 33.00, INV. ELEV. = 28.97
S-6	107 L.F. OF 18" RCP, SLOPE=0.5%
S-7	TYPE "C" INLET PER FDOT INDEX No. 232 TOP ELEV.= 33.00, INV. ELEV. = 29.50



PID: 29-25-17-0000-00600-0000  
 RIVER RIDGE HOMES INC  
 OR 6005, PG 1553  
 ZONED: PUD

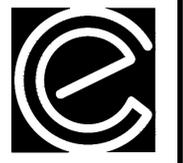
**PORT DOUGLAS ROAD**  
 NOT POSTED (PRIVATE)  
 (PER SITE PLAN ATTACHED TO OR 6180, PG 288)  
 (OR 7584, PG 954)  
 ROAD CURRENTLY USED FOR ACCESS TO THE SHOPPING CENTER AND RESIDENTIAL DEVELOPMENT TO THE SOUTH (BASEMENT AREA NOT PARTICULARLY DESCRIBED)

PID: 29-25-17-0000-00600-0060  
 FAIRWAY-RIVER WALK LLC  
 OR 8821, PG 2826  
 ZONED PUD

PID: 29-25-17-0000-00600-0060  
 FAIRWAY-RIVER WALK LLC  
 OR 8821, PG 2826  
 ZONED: PUD

REVISION BLOCK

#	DATE	DESCRIPTION
A	8/22/16	PRE-SUBMITTAL MEETING
B	9/27/16	SIMULTANEOUS PRELIMINARY CONSTRUCTION PLANS SUBMITTAL



Carter Engineering Consultants, Inc.  
 3651 Mars Hill Road  
 Suite 2000  
 Watkinsville, GA 30667  
 P: 770.725.1200  
 F: 770.725.1204  
 www.carterengineering.net

**SITE DEVELOPMENT PLANS**  
 for  
**CENTURION MANAGEMENT GROUP, LLC.**  
 RIDGE ROAD PUBLIC OUTPARCEL No.1, PASCO COUNTY, FLORIDA

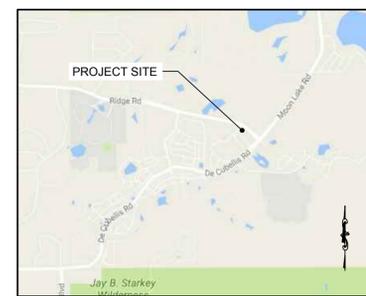
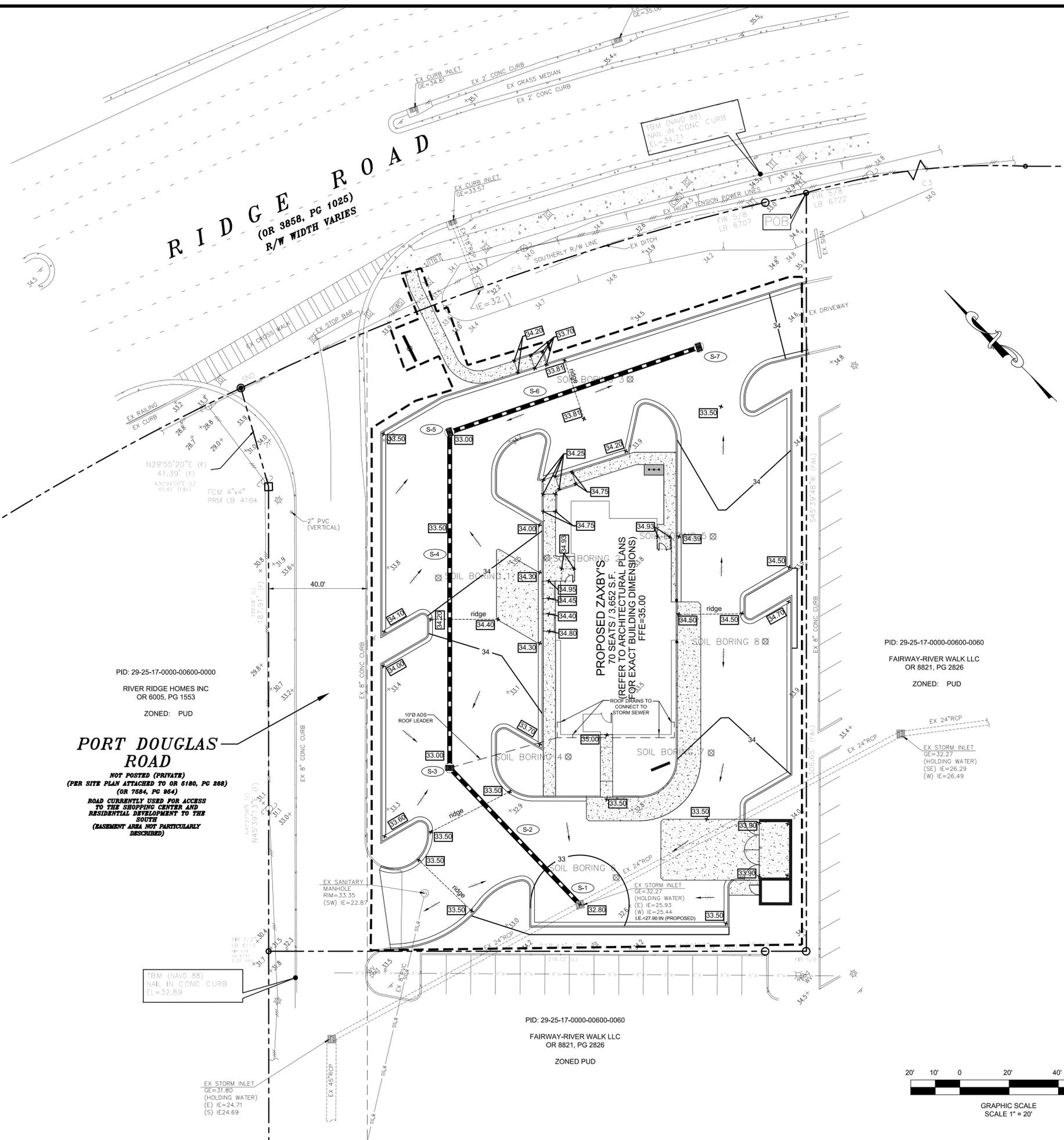
PROJECT NAME:  
**ZAXBY'S**

SHEET TITLE:  
**UTILITY PLAN**

SHEET NUMBER:  
**4**

PROJECT NUMBER:  
**16297ZAX**

DATE:  
**08/22/16**



LOCATION MAP  
NOT TO SCALE

PROPOSED STORM SCHEDULE

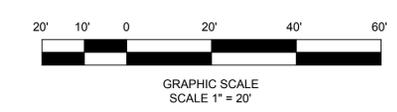
S-1	INSTALL TRAFFIC RATED FRAME AND GRATE AND ADJUST RIM TO FINISHED GRADE
S-2	77 L.F. OF 18" RCP, SLOPE=0.5%
S-3	TYPE "C" INLET PER FDOT INDEX No. 232 TOP ELEV.= 33.00, INV. ELEV. = 28.29
S-4	136 L.F. OF 18" RCP, SLOPE=0.5%
S-5	TYPE "C" INLET PER FDOT INDEX No. 232 TOP ELEV.= 33.00, INV. ELEV. = 28.97
S-6	107 L.F. OF 18" RCP, SLOPE=0.5%
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PID: 29-25-17-0000-00600-0000  
RIVER RIDGE HOMES INC  
OR 6005, PG 1553  
ZONED: PUD

**PORT DOUGLAS ROAD**  
*NOT POSTED (PRIVATE)*  
(PER SITE PLAN ATTACHED TO OR 5180, PG 288)  
(OR 7584, PG 954)  
ROAD CURRENTLY USED FOR ACCESS  
TO THE SHOPPING CENTER AND  
RESIDENTIAL DEVELOPMENT TO THE  
SOUTH  
(BASEMENT AREA NOT PARTICULARLY  
DESCRIBED)

PID: 29-25-17-0000-00600-0060  
FAIRWAY-RIVER WALK LLC  
OR 8821, PG 2826  
ZONED PUD

PID: 29-25-17-0000-00600-0060  
FAIRWAY-RIVER WALK LLC  
OR 8821, PG 2826  
ZONED: PUD



REVISION BLOCK

#	DATE	DESCRIPTION
A	8/22/16	PRE-SUBMITTAL MEETING
B	9/27/16	SIMULTANEOUS PRELIMINARY CONSTRUCTION PLANS SUBMITTAL



**CARTER ENGINEERING CONSULTANTS**

Carter Engineering Consultants, Inc.  
3651 Mars Hill Road  
Suite 2000  
Watkinsville, GA 30677  
P: 770.725.1200  
F: 770.725.1204  
www.carterengineering.net

**SITE DEVELOPMENT PLANS**  
for  
**CENTURION MANAGEMENT GROUP, LLC.**  
RIDGE ROAD PUBLIC OUTPARCEL No. 1, PASCO COUNTY, FLORIDA

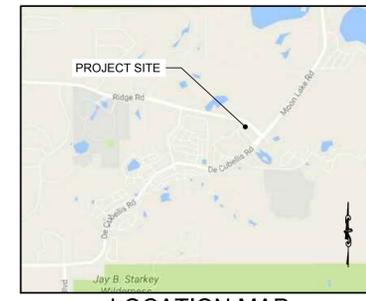
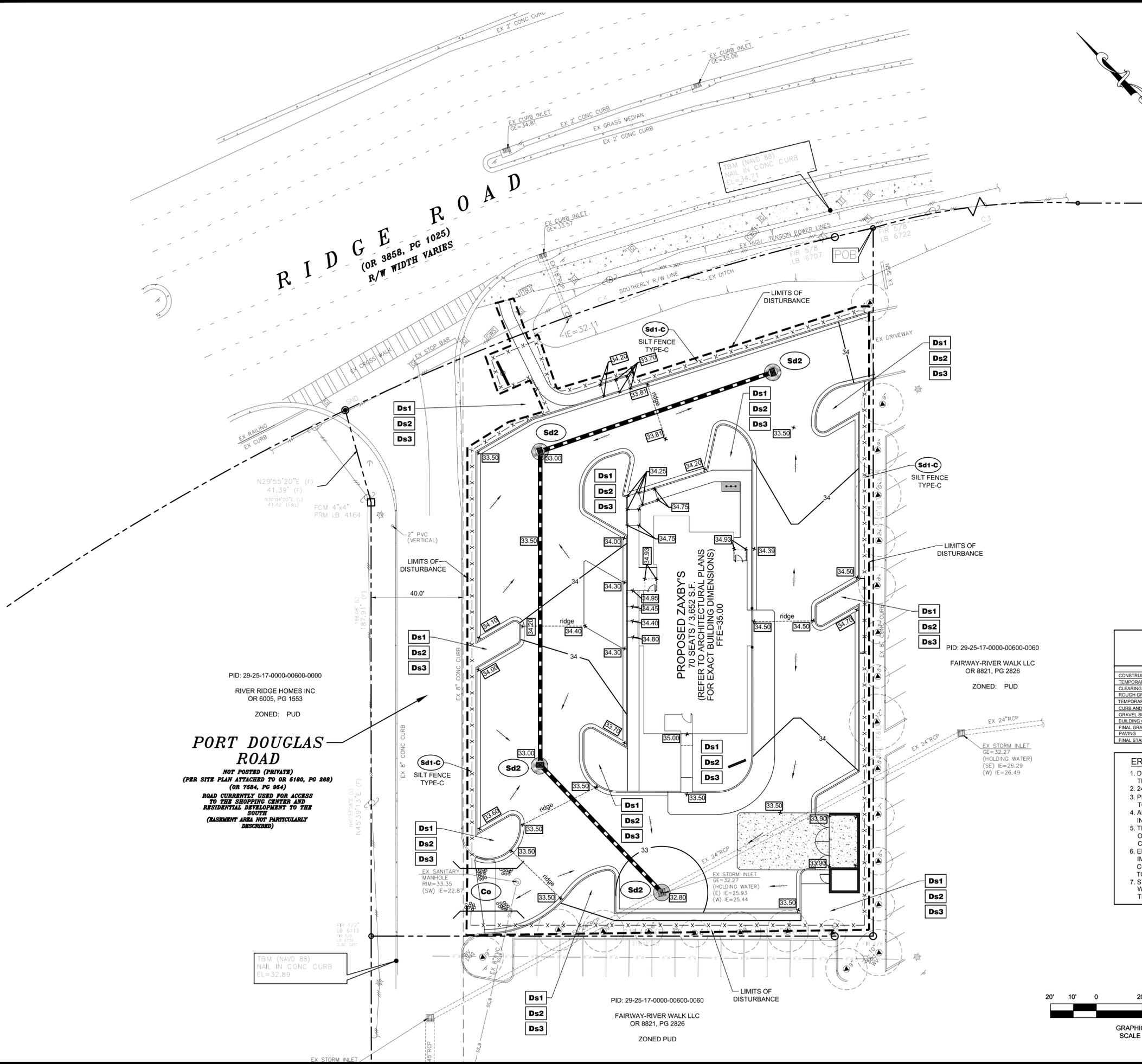


PROJECT NAME:  
**GRADING PLAN**

SHEET NUMBER:  
**5**

PROJECT NUMBER:  
**16297ZAX**

DATE:  
**08/22/16**



**PROJECT NOTES:**

**DEVELOPER:**  
Centurion Management  
16930 W. Catalina Ave. Suite 205  
Cornelius, NC 28031  
Contact: Elizabeth Oates  
Tel: (704) 791-2870

**ENGINEER:**  
Carter Engineering Consultants, Inc.  
3651 Mars Hill Road, Suite 2000  
Watkinsville, GA 30677  
Contact: Jeff Carter, P.E.  
Tel: (770) 725-1200  
jeff@carterengineering.net

Property located as Ridge Road Public Outparcel No. 1, Section 29, Township 25 S, Range 17E, Pasco County, Florida  
Current Zoning: MPUD  
Setbacks: Front 25' Rear 30' Side 30'  
Proposed use is a restaurant with drive-thru  
Proposed building height is 20'  
Boundary and topographical information obtained from field run survey by Polaris Associates, Inc. Phone: (727) 461-6113  
Project tract contains 1.381 acres  
Total disturbed area: 0.99 acres  
Contour interval is 1 foot (NAVD 88)

The underground utilities shown hereon have been located from field information and existing drawings. The surveyor nor engineer warrants that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor nor engineer warrants that the underground utilities shown are in the exact location indicated. The surveyor nor engineer has physically located all the underground utilities.

It is the responsibility of the contractor to field locate all utilities prior to commencing work and notify engineer if a discrepancy is found.

The contractor shall verify the invert elevations of all existing storm and sanitary sewer structures prior to commencement of storm and sanitary sewer construction.

**UNDERGROUND UTILITIES DISCLAIMER**

Information regarding the reputed presence, size, character and location of existing underground utilities and structures related to underground utilities is shown hereon. There is no certainty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and arrangement of underground utilities and structures related to underground utilities shown hereon may be inaccurate and utilities and structures related to underground utilities not shown may be encountered. The owner, his employees, his consultants and his contractors shall hereby distinctly understand that the surveyor is not responsible for the correctness or sufficiency of this information regarding the underground utilities and structures related to underground utilities shown hereon.

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RIVER RIDGE HOMES INC  
OR 6005, PG 1553  
ZONED: PUD

**PORT DOUGLAS ROAD**  
*NOT POSTED (PRIVATE)*  
(PER SITE PLAN ATTACHED TO OR 6180, PG 268)  
(OR 7684, PG 964)  
ROAD CURRENTLY USED FOR ACCESS  
TO THE SHOPPING CENTER AND  
RESIDENTIAL DEVELOPMENT TO THE  
SOUTH  
(BASEMENT AREA NOT PARTICULARLY  
DESCRIBED)

PID: 29-25-17-0000-00600-0060  
FAIRWAY-RIVER WALK LLC  
OR 8821, PG 2826  
ZONED: PUD

**ACTIVITY SCHEDULE:**

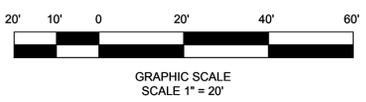
TASK DESCRIPTION:	MONTHS 2016-2017			
	OCTOBER	NOVEMBER	DECEMBER	JANUARY
CONSTRUCTION EXIT AND PERIMETER SILT FENCE	X	X	X	X
TEMPORARY SEDIMENT STORAGE FACILITIES	X	X	X	X
CLEARING & GRUBBING	X	X	X	X
ROUGH GRADING	X	X	X	X
TEMPORARY STABILIZATION (GRASSING)	X	X	X	X
CURB AND GUTTER	X	X	X	X
GRAVEL SUBBASE FOR ROADS AND PARKING AREAS	X	X	X	X
BUILDING CONSTRUCTION	X	X	X	X
FINAL GRADING	X	X	X	X
PAVING	X	X	X	X
FINAL STABILIZATION (LANDSCAPING)	X	X	X	X

**EROSION CONTROL LEGEND**

<b>Ds3</b>	DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
<b>Co</b>	CONSTRUCTION EXIT
<b>Sd1-C</b>	SILT FENCE TYPE-C
<b>Du</b>	DUST CONTROL
<b>Sd2</b>	INLET PROTECTION

- EROSION CONTROL NOTES:**
- DEVELOPER/OWNER: CENTURION MANAGEMENT  
TEL: (704) 791-2870
  - 24 HOUR CONTACT: ELIZABETH OATES (704) 791-2870
  - PROJECT INCLUDES CONSTRUCTION OF A 3,652 S.F. BUILDING WITH ASSOCIATED UTILITIES.  
TOTAL TRACT AREA = 1.381 ACRES, TOTAL DISTURBED AREA = 0.99 ACRES
  - ADDITIONAL MEASURES WILL BE ADDED IF DETERMINED TO BE NEEDED BY ON-SITE INSPECTION.
  - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
  - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE. PRACTICES WILL BE CHECKED DAILY.
  - STANDARD AND SPECIFICATIONS: ALL DESIGN WILL CONFORM TO AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED "MANUAL FOR EROSION AND SEDIMENT CONTROL IN FLORIDA."

**EROSION CONTROL NOTE:**  
CONTRACTOR TO USE BEST MANAGEMENT PRACTICES AT ALL TIMES. CONSTRUCTION EXIT IS CRITICAL TO PREVENT SEDIMENT TRACKING FROM LEAVING THE PROJECT SITE.



**REVISION BLOCK:**

#	DATE	DESCRIPTION
A	8/22/16	PRESUBMITTAL MEETING
B	9/27/16	SIMULTANEOUS PRELIMINARY CONSTRUCTION PLANS SUBMITTAL



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**SITE DEVELOPMENT PLANS**  
for  
**CENTURION MANAGEMENT GROUP, LLC.**

RIDGE ROAD PUBLIC OUTPARCEL NO. 1, PASCO COUNTY, FLORIDA

PROJECT NAME:  
**ZAXBY'S**

SHEET TITLE:  
**EROSION CONTROL PLAN**

SHEET NUMBER:  
**6**

PROJECT NUMBER:  
**16297ZAX**

DATE:  
**08/22/16**

**MULCHING RATES** **Ds1**

USE DRY STRAW OR DRY HAY OF GOOD QUALITY AND FREE OF WEED SEEDS. DRY STRAW OR HAY SHALL BE APPLIED AT THE RATE OF 2.5 TONS PER ACRE. MULCHING SHALL BE USED. MULCH WILL BE SPREAD UNIFORMLY WITHIN 24 HOURS AFTER SEEDING. MULCH SHALL BE USED DURING MONTHS THAT CRASSING SHOULD NOT BE APPLIED BASED ON THE SCHEDULE BELOW.

TEMPORARY AND PERMANENT VEGETATION SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 6 OF "THE MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA".

**TEMPORARY GRASSING** **Ds2**

TEMPORARY GRASSES SHALL CONSIST OF SOWING A QUICK GRASS SUCH AS RYE, BROWN TOP MILLET, OR GRASS SUITABLE TO THE AREA AND SEASON. LIME AND FERTILIZER WILL BE OMITTED. MULCH IS NOT REQUIRED BUT SHOULD BE USED AS INDICATED BY SITE CONDITIONS. TEMPORARY GRASSING IS REQUIRED WHEN DISTURBED AREA IS LEFT EXPOSED MORE THAN 14 DAYS.

SPECIES	RATE	PLANTING DATES
RYE GRASS	40#/ACRE	JAN-APR/AUG-DEC
BROWN MILLET	10-40#/ACRE	APRIL - JUNE
RYE	1/2-3 bu./ACRE	AUGUST-DECEMBER
WEeping LOEGRASS	2-4#/ACRE	FEBRUARY-JUNE
ANNUAL LESPEDEZA	10-40#/ACRE	FEBRUARY-APRIL
SUDAN GRASS	60#/ACRE	APRIL-AUGUST
WHEAT	1/2-3bu./ACRE	SEPTEMBER-DECEMBER

**PERMANENT GRASSING** **Ds3**

PERMANENT GRASSING SHALL CONSIST OF GROUND PREPARATION, LIMING, FERTILIZATION, MULCHING AND SEEDING. THE GROUND SHALL BE PREPARED BY PLOWING AND DISHING TO A DEPTH NOT LESS THAN 4". FERTILIZER AND LIME SHALL BE UNIFORMLY MIXED INTO THE GROUND, WITH FERTILIZER AT THE RATE OF 1500#/ACRE AND LIME AT THE RATE OF 2000#/ACRE. THE GROUND SHALL BE FINISHED SMOOTH AND UNIFORM AND BE FREE OF ROCKS, CLDS, ROOTS AND WEEDS. FERTILIZER SHALL BE APPLIED PER THE TABLE BELOW. WEATHER PERMITTING, SEEDING SHALL BE DONE WITHIN 24 HOURS OF FERTILIZER APPLICATION. SEED SHALL BE UNIFORMLY SPREAD AT THE RATES SHOWN BELOW. MULCHING IS REQUIRED AND SHALL BE DONE IMMEDIATELY AFTER SEEDING. MULCH SHALL BE UNIFORMLY APPLIED OVER SEEDED AREAS AND SHALL ACHIEVE 75% TO 100% SOIL COVER. THE RATE OF APPLICATION SHALL BE DOUBLED ON SLOPES STEEPER THAN 4:1.

**GRASSING RATES AND SCHEDULE**

SPECIES	RATE	PLANTING DATES
TALL FESCUE	30-50#/ACRE	MARCH-APRIL AUGUST-OCTOBER
SERICIA LESPEDEZA (S)	60#/ACRE	MARCH-JUNE
WEeping LOE GRASS	2-4#/ACRE	MARCH-JUNE
UNMULLED BERMUDA	6-10#/ACRE	JAN-FEB/OCT-DEC
HULLED BERMUDA	6-10#/ACRE	MARCH-JUNE
BANNA	30-60#/ACRE	APRIL-MARCH

(a) USE A MINIMUM OF 40% SCARIFIED SEED, REMAINDER MAY BE UNSCARIFIED, CLEAN HULLED SEED.  
(b) USE EITHER COMMON SERPILA, OR INTERSTATE SERICIA LESPEDEZA.

**LIMING RATES**

Agricultural lime is required at the rate of one to two tons per acre unless soil tests indicate otherwise. Grown grasses require lime application. If lime is applied within six months of planting permanent perennial vegetation, additional lime is not required. Agricultural lime shall be within the specifications of the Georgia Department of Agriculture.

**FERTILIZER REQUIREMENTS**

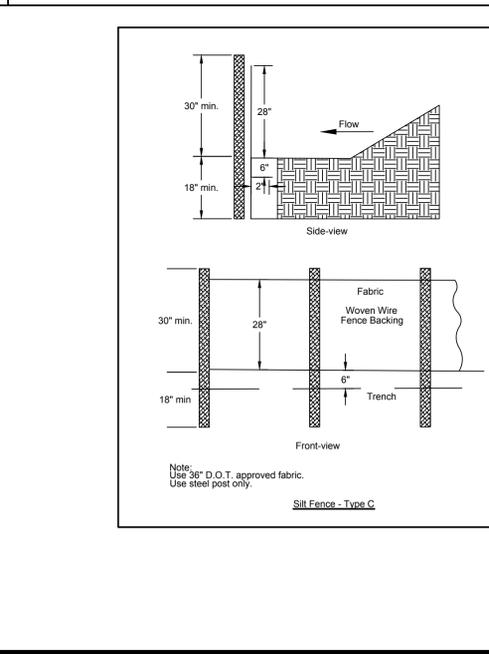
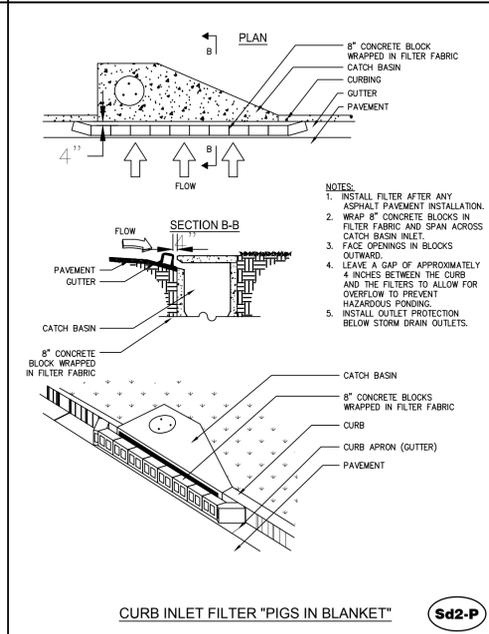
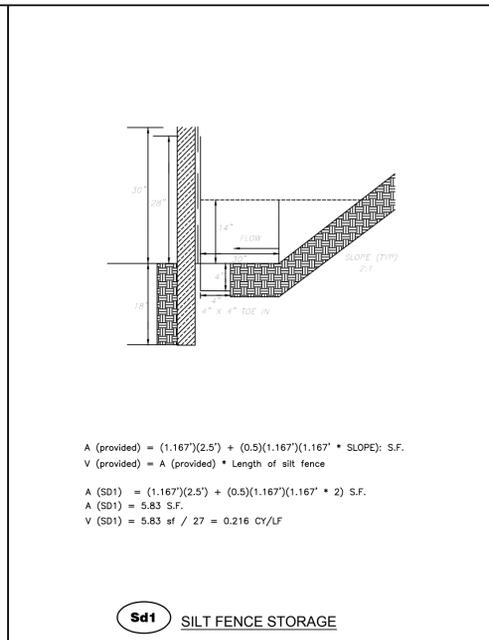
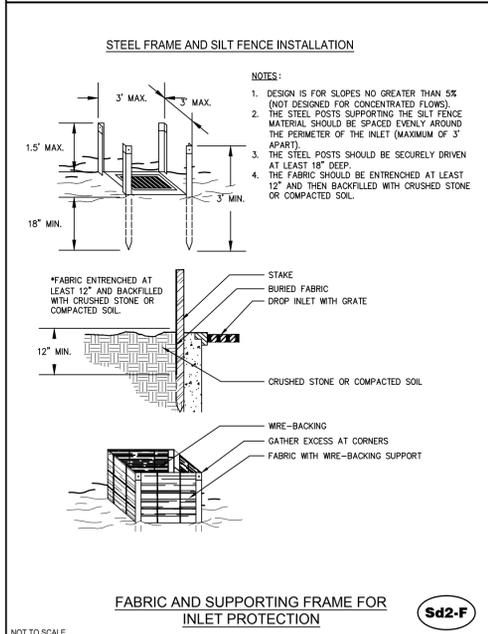
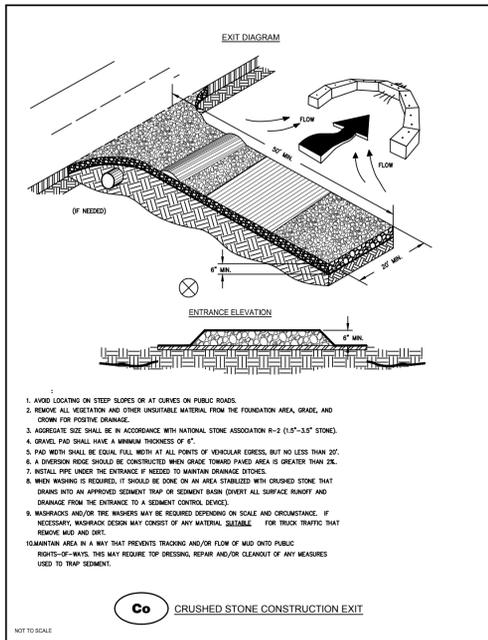
TYPES OF SPECIES	YEAR	ANALYSIS OR EQUIVALENT N-P-K	RATE	N TOP DRESSING RATE
1. Cool season grasses	First	6-12-12	1500 lbs./ac.	50-100 lbs./ac/ 1/2"
	Second Maintenance	6-12-12 10-10-10	1000 lbs./ac. 400 lbs./ac.	- 30
2. Cool season grasses and legumes	First	6-12-12	1500 lbs./ac.	0-50 lbs./ac. 1/
	Second Maintenance	0-10-10 0-10-10	1000 lbs./ac. 400 lbs./ac.	- -
3. Ground Covers	First	10-10-10	1300 lbs./ac. 3/	-
	Second Maintenance	10-10-10 10-10-10	1300 lbs./ac. 3/ 1100 lbs./ac.	- -
4. Shrub Lespedeza	First	0-10-10	700 lbs./ac.	-
	Maintenance	0-10-10	700 lbs./ac. 4/	-
5. Warm season grasses	First	6-12-12	1500 lbs./ac.	50-100 lbs./ac. 2/ 6/
	Second Maintenance	6-12-12 10-10-10	800 lbs./ac. 400 lbs./ac.	50-100 lbs./ac. 2/ 30 lbs./ac.
6. Warm season grasses and legumes	First	6-12-12	1500 lbs./ac.	50 lbs./ac. 6/
	Second Maintenance	0-10-10 0-10-10	1000 lbs./ac. 400 lbs./ac.	- -

**APPROVED TACKIFIERS AND BINDERS**

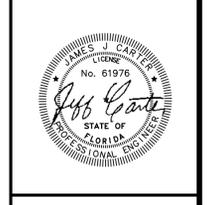
PRODUCT OR TRADE NAME	RECOMMENDED APPLICATION RATE
A500 HYDRO-STIK	40 lb./ac.
Agro Track MP	PMR
CONWED CON-TAC	40 lb./ac.
Eco Tak-OP/Eco Tak-SATII PMR	
Emulsified Asphalt	100 gal. of SS-1h or CSS-1h and 100 gal. of water per ton of mulch
Hercules Solloc-E	PMR
HYDRO-BOND	35 lb./ac.
RMB-plus	80-120 lb./ac.
TACPAC GT	PMR
TERRA-MULCH	
TACKING AGENT III	PMR

**Du**

**DUST CONTROL**



REVISION BLOCK #	DATE	DESCRIPTION
A	8/22/16	PRE-SUBMITTAL MEETING
B	9/27/16	SHULTANEUS PRELIMINARY CONSTRUCTION PLANS SUBMITTAL



Carter Engineering Consultants, Inc.  
3651 Mars Hill Road  
Suite 3000  
Watkinsville, GA 30677  
P: 770.725.1200  
F: 770.725.1204  
www.carterengineering.net

SITE DEVELOPMENT PLANS  
for  
**CENTURION MANAGEMENT GROUP, LLC.**

RIDGE ROAD PUBLIC OUTPARCEL No. 1, PASCO COUNTY, FLORIDA

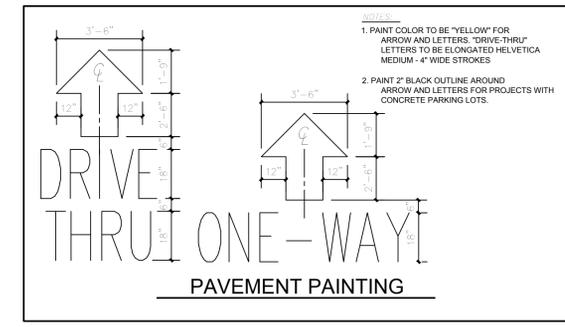
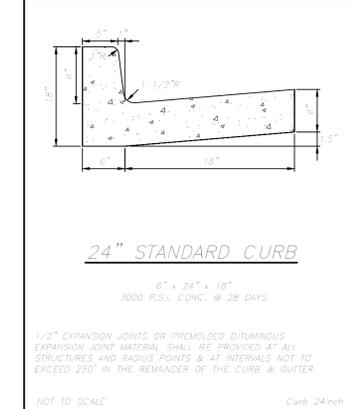
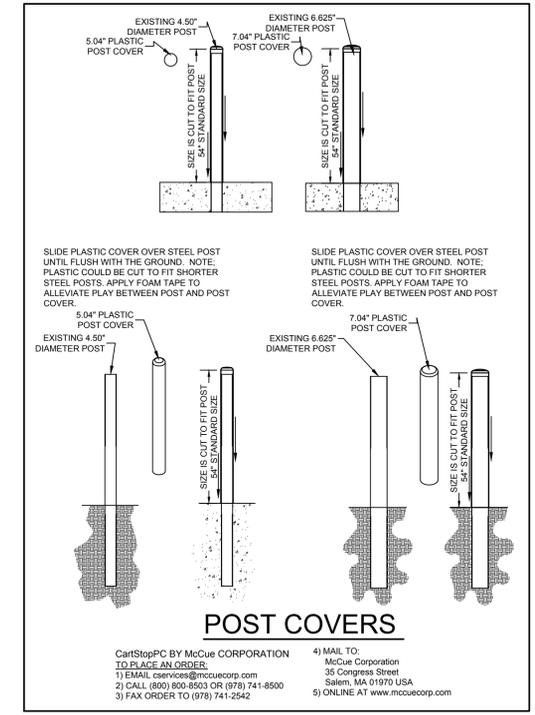
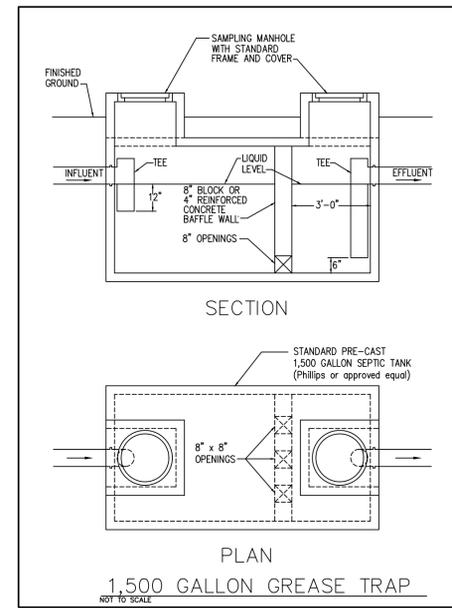
PROJECT NAME:  
**ZAXBY'S**

SHEET TITLE:  
**EROSION CONTROL DETAILS**

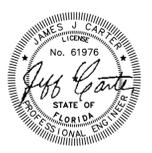
SHEET NUMBER:  
**6.1**

PROJECT NUMBER:  
**16297ZAX**

DATE:  
**08/22/16**



REVISION BLOCK #	DATE	DESCRIPTION
A	8/22/16	PRE-SUBMITTAL MEETING
B	9/27/16	SIMULTANEOUS PRELIMINARY CONSTRUCTION PLANS SUBMITTAL



**CARTER ENGINEERING CONSULTANTS**

Carter Engineering Consultants, Inc.  
 3651 Mars Hill Road  
 Suite 2000  
 Watkinsville, GA 30677  
 P: 770.725.1200  
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**SITE DEVELOPMENT PLANS**  
 for  
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 RIDGE ROAD PUBLIC OUTPARCEL No. 1, PASCO COUNTY, FLORIDA

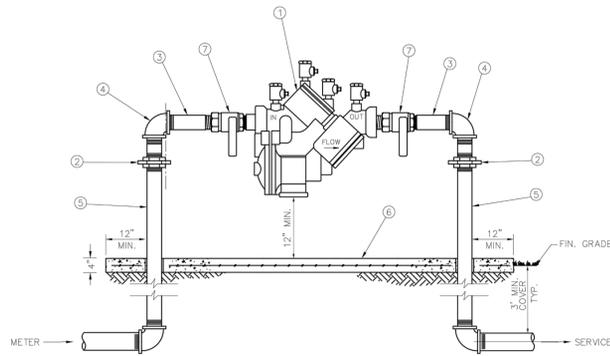
PROJECT NAME:

SHEET TITLE:  
 STANDARD DETAILS

SHEET NUMBER:  
**7**

PROJECT NUMBER:  
 16297ZAX

DATE:  
 08/22/16



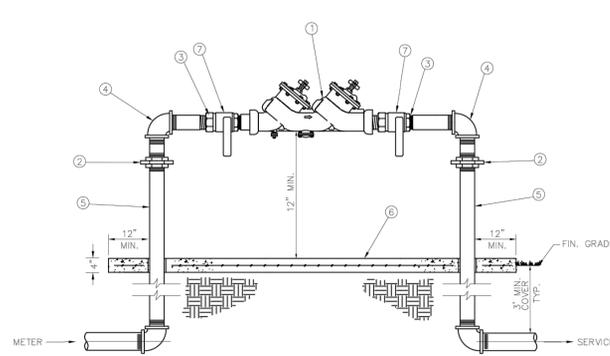
MATERIALS		
ITEM	QUANT.	DESCRIPTION
1	1	BACKFLOW PREVENTER ASSEMBLY, REDUCED PRESSURE ZONE
2	2	UNIONS - GALV.
3	2	NIPPLES - BRASS
4	2	ELBOWS - GALV. 90°
5	2	RISER - GALV.
6	*	CONCRETE SLAB
7	2	BALL VALVES - BRASS OR S.S. (PROVIDED WITH BFP ASS'Y)

NOTE: - FIELD ADJUST AND CUT ITEM 5 TO THE PROPER LENGTH.  
 - MINIMUM CLEARANCE OF 24" TO BE MAINTAINED AROUND DEVICE FOR TESTING.  
 - ENTIRE ASSEMBLY TO BE PAINTED SAFETY BLUE.  
 - CONCRETE SLAB TO EXTEND 12" MIN. AROUND ENTIRE DEVICE.  
 - DEVICE MUST BE LISTED WITH THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH.

CREATED 02/24/03  
 REVISED \_\_\_\_\_  
 \_\_\_\_\_

REDUCED PRESSURE BACKFLOW PREVENTER  
 (SINGLE SERVICE: 3/4", 1", 1-1/2", 2")  
 PASCO COUNTY UTILITIES

PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.  
 DETAIL 12



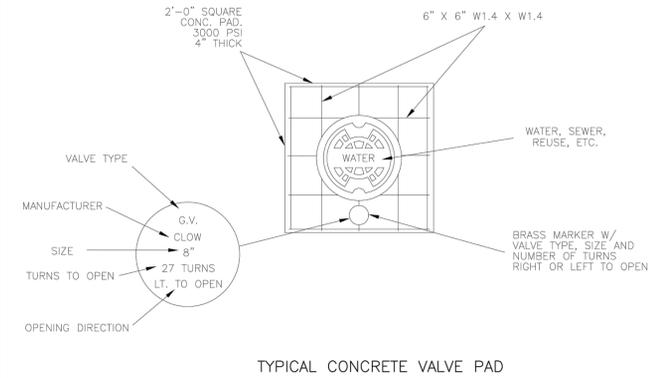
MATERIALS		
ITEM	QUANT.	DESCRIPTION
1	1	BACKFLOW PREVENTER ASSEMBLY, DOUBLE CHECK VALVE
2	2	UNIONS - GALV.
3	2	NIPPLES - BRASS
4	2	ELBOWS - GALV. 90°
5	2	RISER - GALV.
6	*	CONCRETE SLAB
7	2	BALL VALVES - BRASS OR S.S. (PROVIDED WITH BFP ASS'Y)

NOTE: - FIELD ADJUST AND CUT ITEM 5 TO THE PROPER LENGTH.  
 - BFP DEVICE TO BE INSTALLED LEVEL AND PLUMB  
 - MINIMUM CLEARANCE OF 24" TO BE MAINTAINED AROUND DEVICE FOR TESTING.  
 - ENTIRE ASSEMBLY TO BE PAINTED SAFETY BLUE.  
 - CONCRETE SLAB TO EXTEND 12" MIN. AROUND ENTIRE DEVICE.  
 - DEVICE MUST BE LISTED WITH THE UNIVERSITY OF SOUTHERN CALIFORNIA FOUNDATION FOR CROSS CONNECTION CONTROL AND HYDRAULIC RESEARCH.

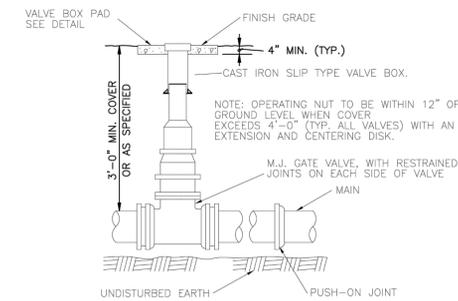
CREATED 02/24/03  
 REVISED \_\_\_\_\_  
 \_\_\_\_\_

DOUBLE CHECK VALVE ASSEMBLY/BACKFLOW PREVENTER  
 (SINGLE SERVICE: 3/4", 1", 1-1/2", 2")  
 PASCO COUNTY UTILITIES

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 DETAIL 13



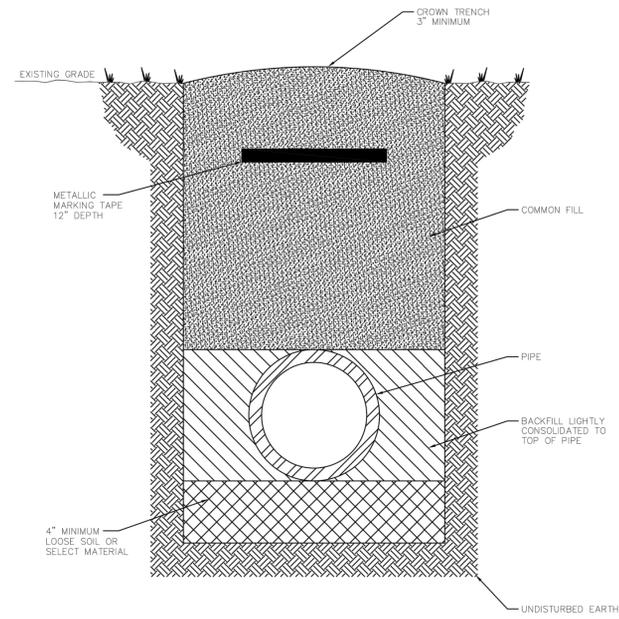
TYPICAL CONCRETE VALVE PAD



CREATED 02/24/03  
 REVISED \_\_\_\_\_  
 \_\_\_\_\_

VALVE BOX DETAIL SLIP TYPE  
 PASCO COUNTY UTILITIES

PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.  
 DETAIL 30

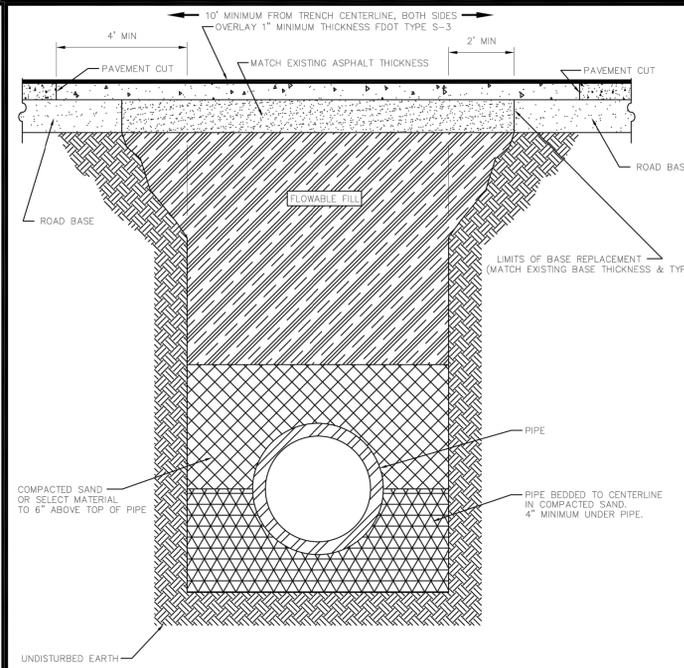


NOTES: -LOOSE SOIL OR SELECT MATERIAL IS NATIVE SOIL EXCAVATED FROM THE TRENCH FREE OF ROCKS AND FOREIGN MATERIAL.  
 -COMMON FILL TO BE PLACED AND COMPACTED IN 12" LAYERS.  
 -ROLLING EQUIPMENT SHALL NOT BE USED FOR COMPACTION UNTIL A MINIMUM OF 18" OF COMMON FILL HAS BEEN PLACED AND COMPACTED OVER THE PIPE. THREE FEET OF FILL SHALL BE PLACED BEFORE A HYDROHAMMER MAY BE USED FOR COMPACTON.

CREATED 02/24/03  
 REVISED \_\_\_\_\_  
 \_\_\_\_\_

PIPE LAYING CONDITIONS STANDARD UNPAVED AREAS  
 PASCO COUNTY UTILITIES

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 DETAIL 35

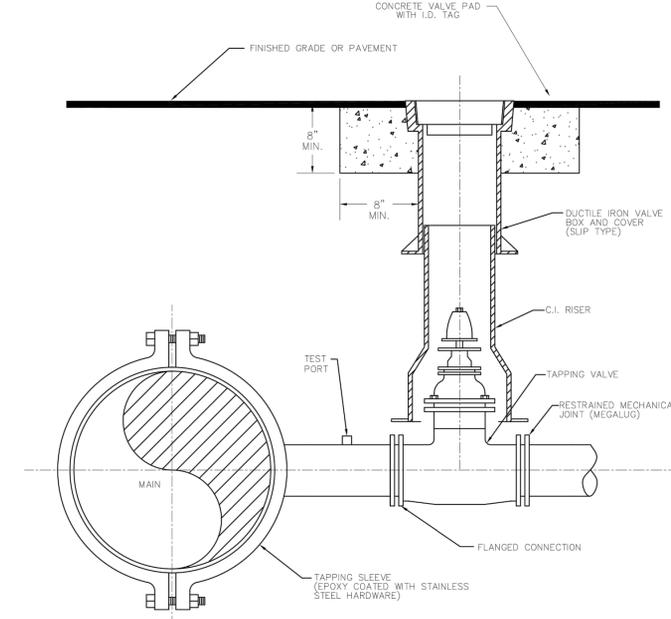


NOTE: -SELECT MATERIAL IS NATIVE SOIL EXCAVATED FROM THE TRENCH FREE OF ROCKS AND FOREIGN MATERIAL.  
 -COMPACTION TO TOP OF PIPE IS TO BE APPROXIMATELY 90% STANDARD PROCTOR, AASHTO T-99.  
 -EXISTING CONCRETE/ASPHALT PAVEMENT SURFACE AND BASE TO BE CUT SQUARE WITH CONCRETE SAW.

CREATED 03/06/03  
 REVISED \_\_\_\_\_  
 \_\_\_\_\_

PIPE LAYING CONDITIONS FLOWABLE FILL BACKFILL STANDARD EXISTING PAVED AREAS & ROADWAYS  
 PASCO COUNTY UTILITIES

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 DETAIL 36



ELEVATION

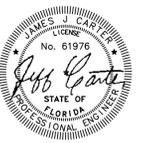
NOTES: - SADDLE CONNECTION WILL BE TESTED TO 150 PSI PRIOR TO TAPPING MAIN.  
 - MECHANICAL JOINTS/UNDERGROUND PIPING SHALL BE RESTRAINED AS SPECIFIED BY COUNTY ENGINEER.  
 - VALVE EXTENSION ROD SHALL BE UTILIZED, AS NECESSARY, SO THAT VALVE OPERATING NUT IS A MAXIMUM OF 3' BELOW GRADE.

CREATED 02/24/03  
 REVISED \_\_\_\_\_  
 \_\_\_\_\_

WATER, REUSE, AND FORCE MAIN TAPPING DETAIL W/ VALVE LOCATION  
 PASCO COUNTY UTILITIES

PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO MODIFICATIONS WITHOUT WRITTEN PCU APPROVAL.  
 DETAIL 37

REVISION BLOCK #	DATE	DESCRIPTION
A	8/22/16	PRESUBMITTAL MEETING
B	9/27/16	SIMULTANEOUS PRELIMINARY CONSTRUCTION PLANS SUBMITTAL



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 3651 Mars Hill Road  
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SITE DEVELOPMENT PLANS for CENTURION MANAGEMENT GROUP, LLC.  
 RIDGE ROAD PUBLIC OUTPARCEL No. 1, PASCO COUNTY, FLORIDA

PROJECT NAME:  
 ZAXBY'S

SHEET TITLE:  
 PASCO COUNTY UTILITY DETAILS

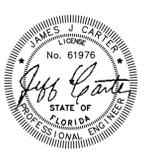
SHEET NUMBER:  
 8

PROJECT NUMBER:  
 16297ZAX

DATE:  
 08/22/16



REVISION BLOCK	
#	DESCRIPTION
A	9/22/16 PRESUBMITTAL MEETING
B	9/27/16 SIMULTANEOUS PRELIMINARY CONSTRUCTION PLANS SUBMITTAL



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**SITE DEVELOPMENT PLANS**  
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RIDGE ROAD PUBLIC OUTPARCEL No. 1, PASCO COUNTY, FLORIDA

PROJECT NAME:



SHEET TITLE:

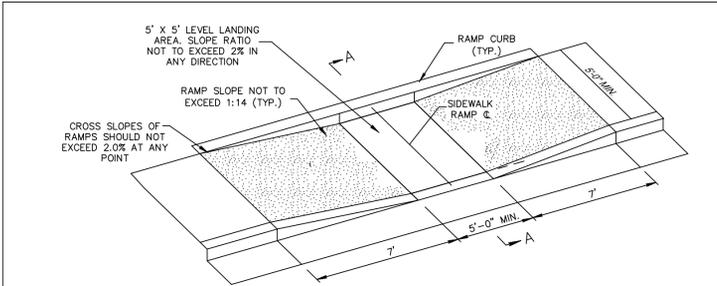
**ADA ACCESS DETAILS**

SHEET NUMBER:

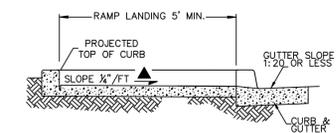
**10**

PROJECT NUMBER:  
**16297ZAX**

DATE:  
**08/22/16**



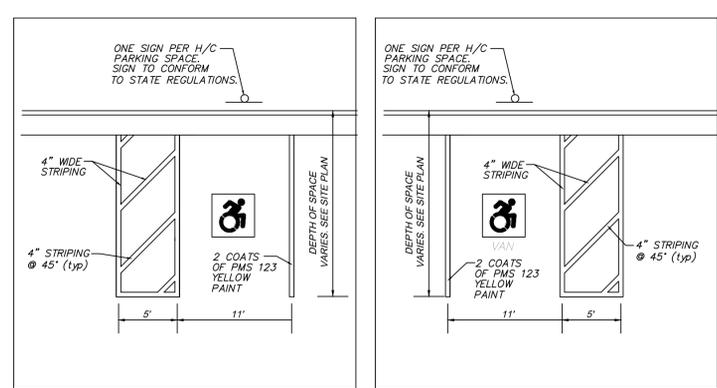
**ISOMETRIC VIEW OF RAMP**



**SECTION A-A**

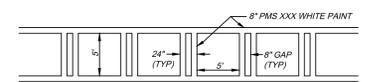
- NOTES:
- HANDICAP RAMP CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE AND CITY CODES AND SPECIFICATIONS.
  - SURFACES SHALL MEET THE REQUIREMENTS OF 2010 ADA AND THE 2004 ADAAG
  - THE SLOPE OF THE GUTTER MUST NOT EXCEED 1:20 ADJACENT TO THE RAMP.

**STANDARD CONSTRUCTION DETAIL  
HANDICAP RAMP TYPE 1**



WHEN MEASURING SPACES AND ACCESS AISLES, THE MEASUREMENT SHOULD BE TAKEN FROM THE CENTER OF THE OUTSIDE STRIPE ON THE SPACE OR ACCESS AISLE TO THE CENTER OF THE INSIDE STRIPE ON THE SPACE OR ACCESS AISLE.

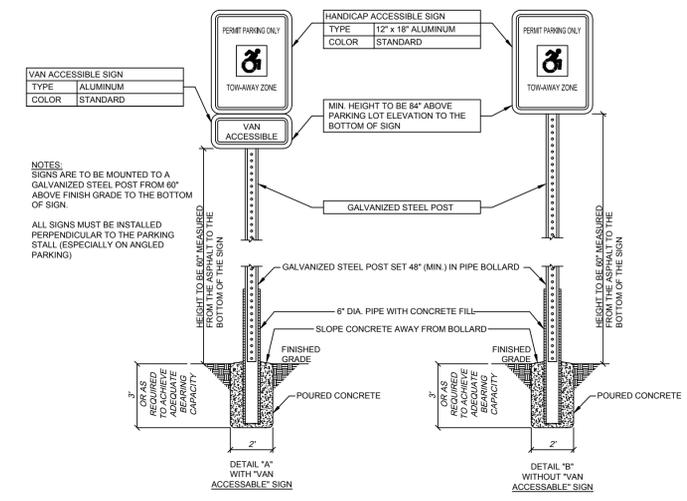
ACCESSIBLE PARKING SPACES, ACCESS AISLES AND PASSENGER LOADING ZONES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:50 (2.0%) IN ANY DIRECTION.



**CROSS WALK STRIPING**



**PAINTED HANDICAPPED PARKING SPACE & SYMBOL  
NOT TO SCALE**



- NOTES:
- SIGNS ARE TO BE MOUNTED TO A GALVANIZED STEEL POST FROM 60" ABOVE FINISH GRADE TO THE BOTTOM OF SIGN.
  - ALL SIGNS MUST BE INSTALLED PERPENDICULAR TO THE PARKING STALL (ESPECIALLY ON ANGLED PARKING)

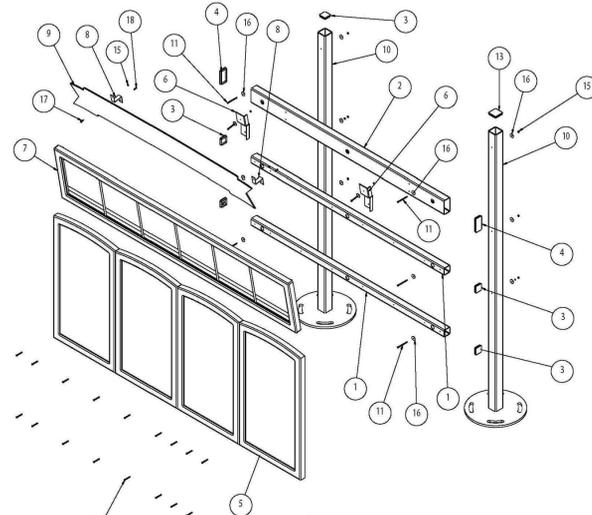
**"HANDICAP PARKING ONLY" SIGNS  
NOT TO SCALE**

## Zaxby's OD Pole Mounting Installation Guide



It is the intent of these diagrams to be used only as a guideline for the installation of the equipment. Be sure to study all diagrams & templates before construction.

The information contained in this document has set forth certain assumed conditions. It shall be the responsibility of the purchaser and his contractors to verify these assumptions with local governing agencies. In addition, certain assumptions have been made and noted on the drawings and specifications for soil bearing capacity. It shall be the responsibility of the purchaser and his / her contractor to verify these assumptions and make the necessary revisions to the structure and the parking lot design as indicated on the site documents provided by the owner/tenant. It shall be the responsibility of the purchaser and his / her contractor to submit this document to the proper governing agencies for their review and all necessary modifications or revisions.



ITEM NO.	QTY.	PART NO.	DESCRIPTION
18	2	H50019-001	HLSCREW 1/8X100X0.75
17	2	H50011-043	CRPHMS 1/8-24X0.75X0.75-N
16	16	H512014-006	
15	11	H690107-199-28-24	W/UT WELD 3/16x1/4
14	1	HW 013	WASHER LOCK 1/4"
13	1	P101288-003	END CAP 2 1/2 X 2 1/2 TUBE
12	20	H50013-003	SCREW W/KEYHOLE 1/8-24X1.75 PHSS BLK
11	7	H500124-001	CRPHMS 1/8-24X0.75
10	2	A101065-002	PRELIMINARY POLE VERTICAL
9	1	P101291-001	BIBBON HEADER OUTDOOR ZAXBY'S
8	2	M101065-001	BRACKET HEADER MOUNTING ZAXBY'S
7	1	A101061-001	ASSEMBLY HEADER MENU PANEL
6	2	M101065-001	BRACKET MOUNTING BRACKET
5	4	A101078-001	ASSEMBLY PANEL MENU BOARD
4	2	P101288-002	END CAP 2 X 4 TUBE
3	5	P101288-001	END CAP 2 X 2 TUBE
2	1	M101065-001	TUBE HEADER VERTICAL ZAXBY'S
1	2	M101064-001	TUBE MENU BOARD HORIZONTAL ZAXBY'S

Zaxby's Outdoor Pole Mount Exploded View

## Zaxby's OD Presell Menu System Installation Guide



It is the intent of these diagrams to be used only as a guideline for the installation of the equipment. Be sure to study all diagrams & templates before construction.

The information contained in this document has set forth certain assumed conditions. It shall be the responsibility of the purchaser and his contractors to verify these assumptions with local governing agencies. In addition, certain assumptions have been made and noted on the drawings and specifications for soil bearing capacity. It shall be the responsibility of the purchaser and his / her contractor to verify these assumptions and make the necessary revisions to the structure and the parking lot design as indicated on the site documents provided by the owner/tenant. It shall be the responsibility of the purchaser and his / her contractor to submit this document to the proper governing agencies for their review and all necessary modifications or revisions.

Note: To prevent scratching of polycarb face, lay menu panels on a clean smooth surface before proceeding.

### STEP #2 Attaching Back Panel

Begin by loosening the (2) thumb screws on the bottom of the menu panel (see photo 1). NOTE: The Thumb Screw will not come out all the way. While holding the bottom portion of the metal back panel, lift up and remove the back panel from the urethane face (see photo 2). NOTE: There will be some resistance because of the vacuum in the panel. Carefully set aside the urethane frame.



PHOTO 1 Loosening Thumb Screws

Using K100761-004 Mounting Screw Kit [Kit #4], attach one (1) screw into the top hole on the Vertical Pole [located approx. 47-1/4" from the ground, stopping short 1/16" from front face [photo 3].



PHOTO 2 Removing Metal Back Panel

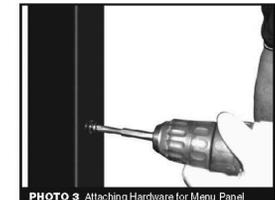


PHOTO 3 Attaching Hardware for Menu Panel

The next step is to attach the metal back panel to the Vertical Pole. Lining up previously attached screw w/keyhole found on the back of the metal back panel.

Using one (1) screw from K100761-004 [Kit #4], screw in the metal back panel to the vertical pole (see Photo 4).

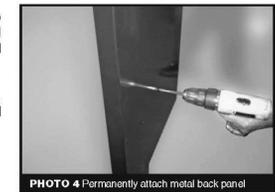


PHOTO 4 Permanently attach metal back panel

3

### STEP #1 Foundation Kit

Check that you have all the required hardware for the foundation kit:

- (4) Anchor bolts
- (8) Hex nuts w/unit
- (4) Hex nuts
- (8) Flat washers
- (4) Lock washers

1. Use site plan to establish position of this unit (if available).

2. Excavate foundation and position conduit as indicated. Use template provided to position (4) anchor bolts. Brace anchor bolts to prevent movement and pour concrete [see Diagram A & B]. **Anchor bolts should extend 2-1/2" above grade.**

3. After final curing of the concrete, remove the four 5/8" hex nuts and the mounting template from the anchor bolts. Inspect and clean the threads of the anchor bolts for dried concrete or other debris.

4. Reinstall the four hex nuts, one per anchor bolt, but keep nuts loose (as these nuts will be used for leveling the Presell Board in the final installation). Place one 5/8" flat washer over each anchor bolt, on top of the hex nuts. Place the reinforcement base plate over the anchor bolts, on top of the washers [see Diagram B].

5. Place the Presell Board Mounting Pole over the anchor bolts.

6. Secure the Mounting Pole and plate with four 5/8" washers, four 5/8" lock washers and four 5/8" hex nuts.

7. Adjust the nuts above and below the plates as needed to level the Mounting Pole from side to side and front to back. Once the pole is level, tighten the four top nuts.

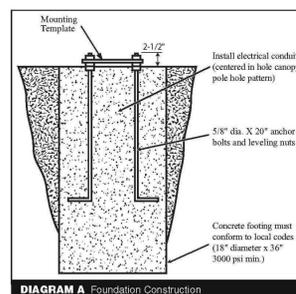


DIAGRAM A Foundation Construction

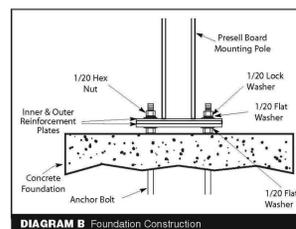
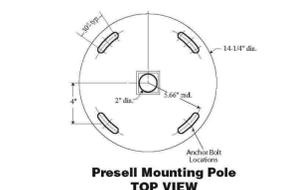
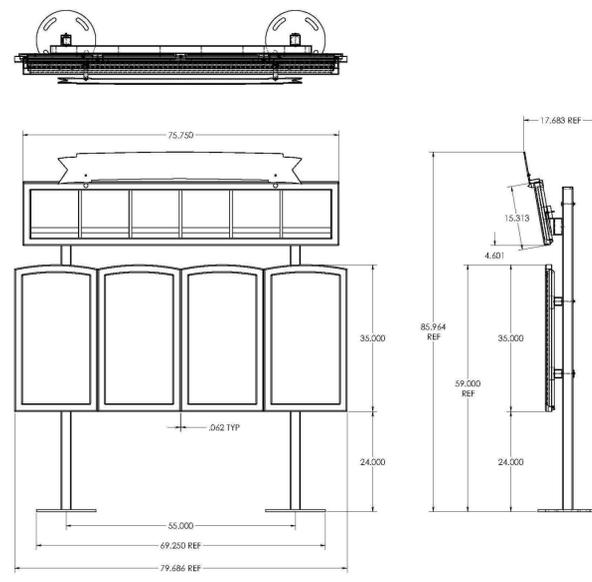


DIAGRAM B Foundation Construction



Presell Mounting Pole TOP VIEW



C101160-004 04/04

Questions? Feel free to call us at 866-317-7767



### STEP #1 Foundation Kit

Check that you have all the required hardware for the foundation kit:

- (4) Anchor bolts
- (8) Hex nuts w/unit
- (4) Hex nuts
- (8) Flat washers
- (4) Lock washers

1. Use site plan to establish position of this unit (if available).

2. Excavate foundation and position conduit as indicated. Use template provided to position (4) anchor bolts. Brace anchor bolts to prevent movement and pour concrete [see Diagram A & B]. **Anchor bolts should extend 2-1/2" above grade.**

3. After final curing of the concrete, remove the four 5/8" hex nuts and the mounting template from the anchor bolts. Inspect and clean the threads of the anchor bolts for dried concrete or other debris.

4. Reinstall the four hex nuts, one per anchor bolt, but keep nuts loose (as these nuts will be used for leveling the Presell Board in the final installation). Place one 5/8" flat washer over each anchor bolt, on top of the hex nuts. Place the reinforcement base plate over the anchor bolts, on top of the washers [see Diagram B].

5. Place the Presell Board Mounting Pole over the anchor bolts.

6. Secure the Mounting Pole and plate with four 5/8" washers, four 5/8" lock washers and four 5/8" hex nuts.

7. Adjust the nuts above and below the plates as needed to level the Mounting Pole from side to side and front to back. Once the pole is level, tighten the four top nuts.

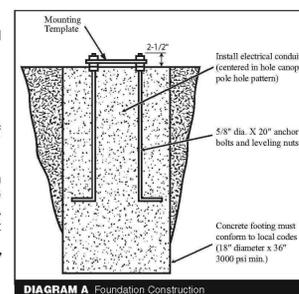


DIAGRAM A Foundation Construction

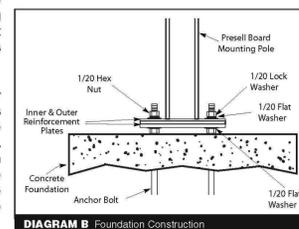
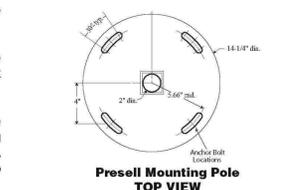


DIAGRAM B Foundation Construction



Presell Mounting Pole TOP VIEW

2

### STEP #4 Attaching Front Face

Attach the front urethane face to the metal back panel. Begin by sliding frame down from the top and then pushing down and inwards (see Photo 5). Tighten the Thumb Screws by pushing up & inwards and turning the screws counter-clockwise.

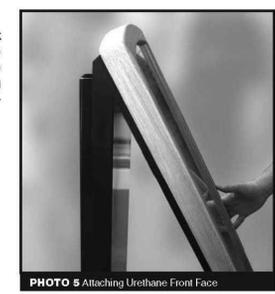


PHOTO 5 Attaching Urethane Front Face

### Attaching Presell Graphic

Begin by loosening the (2) thumb screws on the bottom of the menu panels (see Photo 1). NOTE: The Thumb Screw will not come out all the way. While holding the bottom portion of the metal back panel, lift up and remove the back panel from the urethane face (see Photo 2). NOTE: There will be some resistance because of the vacuum in the panel. Set aside urethane frame.

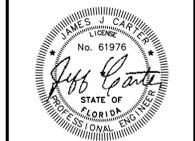
Place the presell graphic approx. 1/4" from the left & right and centered between the top & bottom of the metal back panel. Once complete, attach the front urethane face to the menu back panels. Begin by sliding frame down from the top and then pushing down and inwards (see Photo 5). Tighten the Thumb Screws by pushing up & inwards and turning the screws counter-clockwise.

C101160-003 02/04

Questions? Feel free to call us at 866-317-7767



REVISION	DATE	DESCRIPTION
A	8/22/16	PRE-SUBMITTAL MEETING
B	8/22/16	SIMULTANEOUS PRELIMINARY CONSTRUCTION PLANS SUBMITTAL



**CARTER ENGINEERING CONSULTANTS**

Carter Engineering Consultants, Inc.  
3651 Mars Hill Road  
Suite 2000  
Wakulla County, FL 32097  
P: 770.725.1200  
F: 770.725.1204  
www.carterengineering.net

**SITE DEVELOPMENT PLANS**  
for  
**CENTURION MANAGEMENT GROUP, LLC.**  
RIDGE ROAD PUBLIC OUTPARCEL No. 1, PASCO COUNTY, FLORIDA

PROJECT NAME:  
**ZAXBY'S**

SHEET TITLE:  
**MENU BOARD DETAILS**

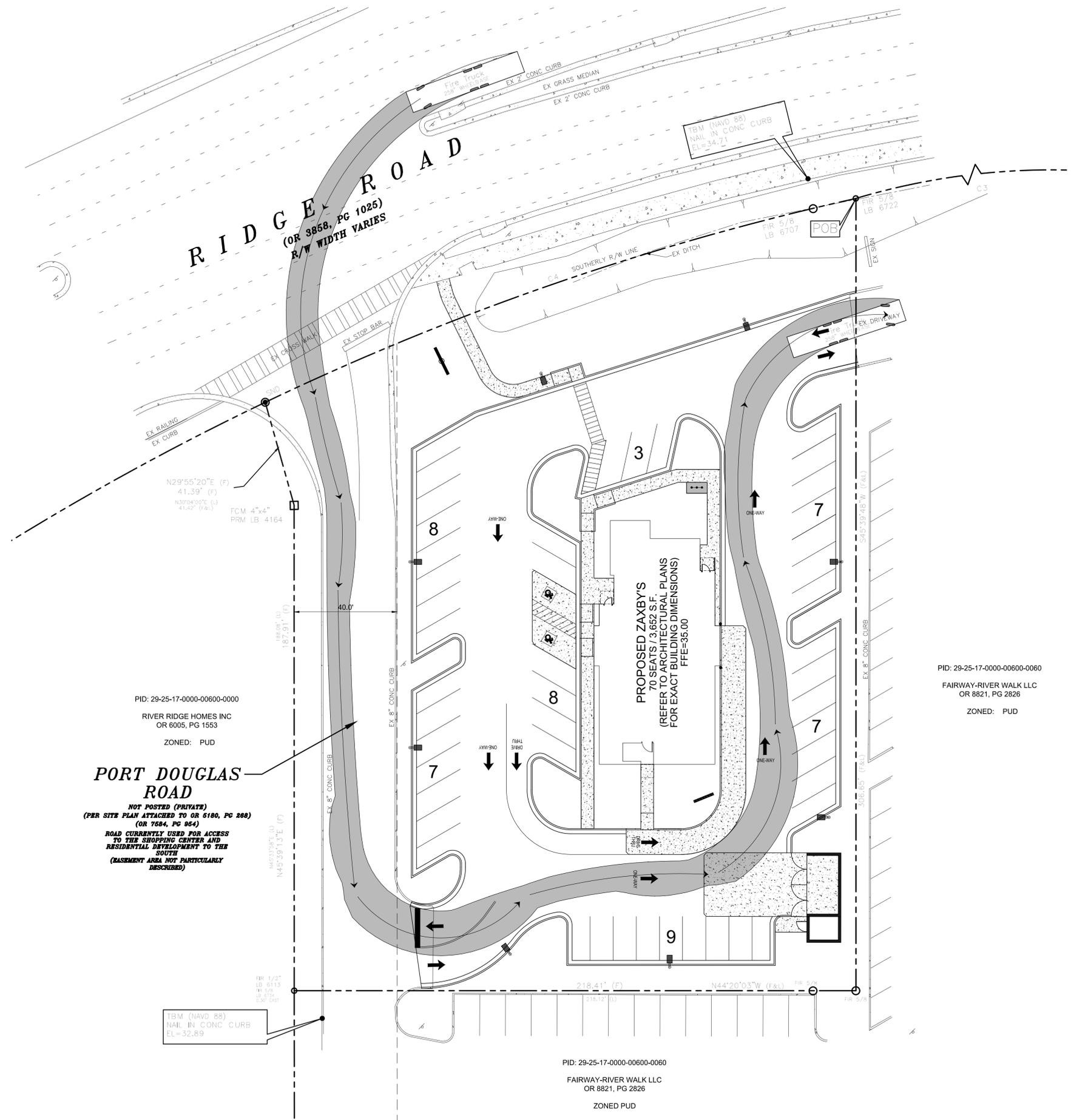
SHEET NUMBER:  
**11**

PROJECT NUMBER:  
**16297ZAX**

DATE:  
**08/22/16**







**PORT DOUGLAS ROAD**  
 NOT POSTED (PRIVATE)  
 (PER SITE PLAN ATTACHED TO OR 6180, PG 288)  
 (OR 7684, PG 954)  
 ROAD CURRENTLY USED FOR ACCESS  
 TO THE SHOPPING CENTER AND  
 RESIDENTIAL DEVELOPMENT TO THE  
 SOUTH  
 (BASEMENT AREA NOT PARTICULARLY  
 DESCRIBED)

PID: 29-25-17-0000-00600-0000  
 RIVER RIDGE HOMES INC  
 OR 6005, PG 1553  
 ZONED: PUD

PID: 29-25-17-0000-00600-0060  
 FAIRWAY-RIVER WALK LLC  
 OR 8821, PG 2826  
 ZONED: PUD

PID: 29-25-17-0000-00600-0060  
 FAIRWAY-RIVER WALK LLC  
 OR 8821, PG 2826  
 ZONED PUD

REVISION BLOCK	
#	DESCRIPTION
A	8/22/16 PRELIMINARY MEETING
B	9/27/16 SIMULTANEOUS PRELIMINARY CONSTRUCTION PLANS SUBMITTAL



Carter Engineering Consultants, Inc.  
 3651 Mars Hill Road  
 Suite 2000  
 Watkinsville, GA 30677  
 P: 770.725.1200  
 F: 770.725.1204  
 www.carterengineering.net

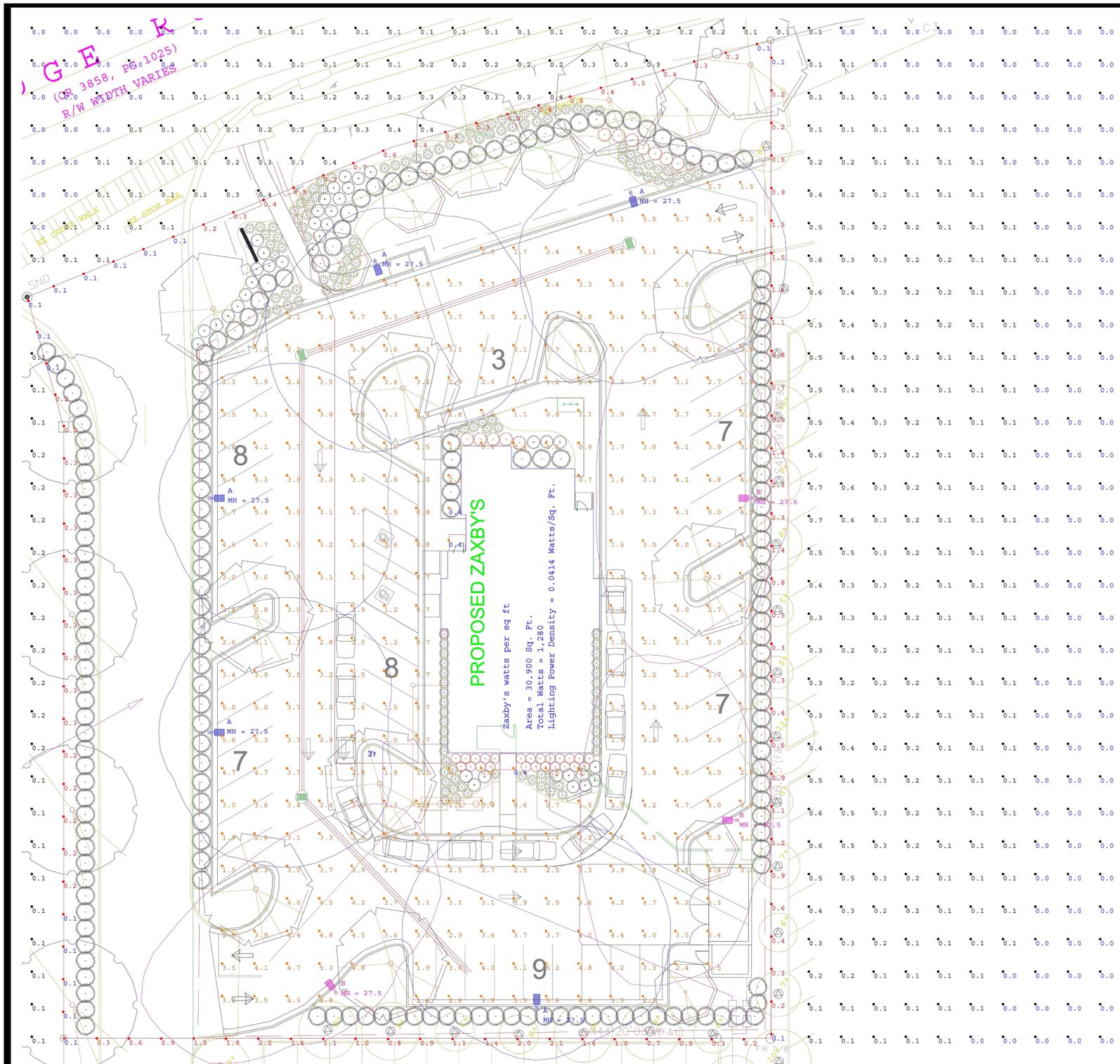
**SITE DEVELOPMENT PLANS**  
 for  
**CENTURION MANAGEMENT GROUP, LLC.**  
 RIDGE ROAD PUBLIC OUTPARCEL No. 1, PASCO COUNTY, FLORIDA



SHEET TITLE:  
**FIRE TRUCK ACCESS PLAN**

SHEET NUMBER:  
**14**

PROJECT NUMBER:  
**16297ZAX**  
 DATE:  
**08/22/16**



Symbol	Qty	Label	Lumens/Lamp	LLF	Description	Lum. Watts
⊙	5	A	N.A.	0.850	KAX1 LED P4 50K R4 MVOLT	160
⊙	3	B	N.A.	0.850	KAX1 LED P4 50K R3 MVOLT	160

Calculation Summary						
Label	Avg	Max	Min	Avg/Min	Max/Min	
Beyond prop line	0.04	0.9	0.0	N.A.	N.A.	
Parking lot	2.94	5.7	0.4	7.35	14.25	
Property line	0.62	2.3	0.1	6.20	23.00	

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1300 South Wolf Road  
Des Plaines, IL  
60018  
Tel: 800 367-5866  
email: Luis.Jorge@  
AcuityBrands.com

Client:  
  
SMART LIGHTING SOLUTIONS  
MR. RANDY PARRISH

Project:  
ZAXBY'S PASCO COUNTY FL  
RIDGE ROAD  
MAINTAINED HORIZONTAL FC  
SHOWN AT GRADE LEVEL

Scale:  
Date: 9/28/2016  
Project No:  
16-273-SMART1 (5083)  
Drawn by: LJ

The calculation and results thereof, shown in this report, are based on information provided by the customer. The output figures are only as accurate as the input data. Therefore design parameters such as room reflectances, size, mounting height, depreciation factors, orientation and tilt must be verified. Juno Lighting Group disclaims all implied warranties with regard to actual installed light levels as compared to those calculated based on inaccurate or incomplete data

REVISION BLOCK	
#	DESCRIPTION
A	8/22/16 PRE-SUBMITTAL MEETING
B	9/27/16 SINGLE ANGLE PRELIMINARY CONSTRUCTION PLANS SUBMITTAL



Carter Engineering Consultants, Inc.  
3651 Mars Hill Road  
Suite 2000  
Wakiville, GA 30677  
P: 770.725.1200  
F: 770.725.1204  
www.carterengineering.net

**SITE DEVELOPMENT PLANS**  
for  
**CENTURION MANAGEMENT**  
**GROUP, LLC.**

RIDGE ROAD PUBLIC OUTPARCEL No. 1, PASCO COUNTY, FLORIDA

PROJECT NAME:  
**ZAXBY'S**

SHEET TITLE:  
**OUTDOOR LIGHTING PLAN**

SHEET NUMBER:  
**15**

PROJECT NUMBER:  
**16297ZAX**

DATE:  
**08/22/16**